

Garage and Front Door in Modern Prairie Style for Malaga St home

Inspired by the example of Modern Prairie Style homes, I have chosen a roll up garage door that will be wood with four panels and four windows. Prairie Style trim will be included.



The door is standard 16' wide by 7' high, wooden and will be painted on site to match the trim.

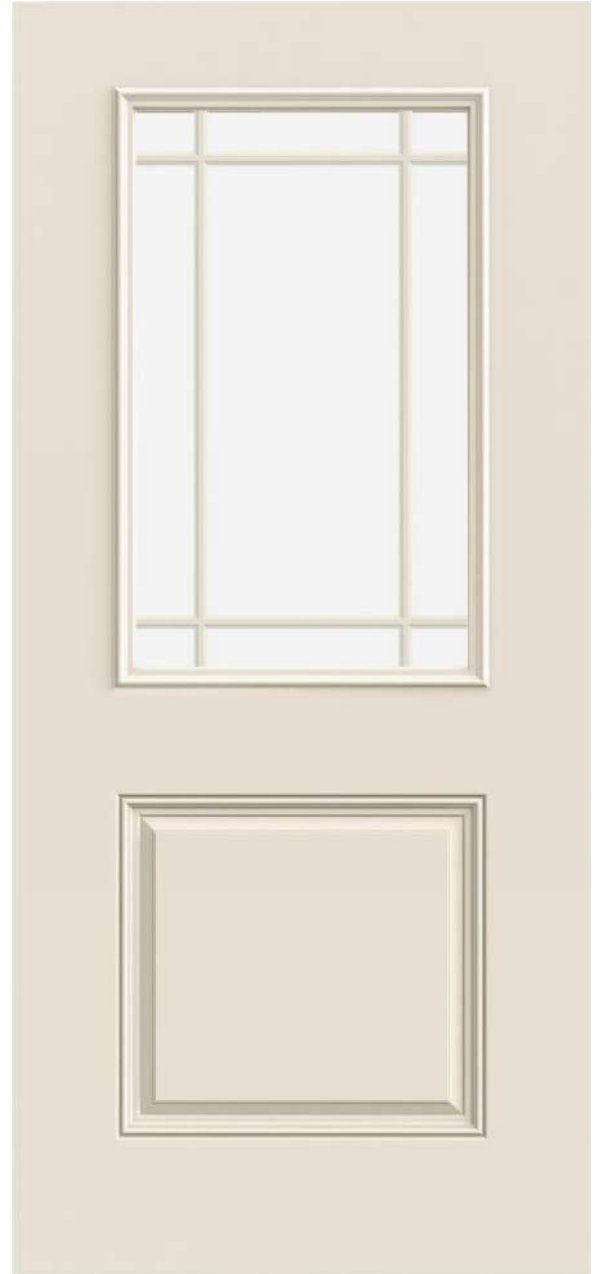
Artistic Garage Doors of San Carlos will manufacture the door to this specification and to match the front door as needed.

The Jeld-Wend company offers customization of doors to fit any size and need. I found the following door in their offerings, but other options may also exist.

Doors can be made in Wood or fiberglass resembling wood and is primed to be painted on site to match the color scheme.

Installed grill between glass is available in limited colors including Bronze which should closely match our dark trim color.

The front door should be 3' wide x 7' high and match the garage door style with a flat panel below the window.



SPECIFICATIONS

Certifications/Qualifications	
	www.kichler.com/warranty
Dimensions	
Base Backplate	11" x 11"
Height	5.31"
Length	11.00"
Width	11.00"
Light Source	
Lamp Included	Not Included
Lamp Type	A
Light Source	Incandescent
Max or Nominal Watt	40.00
# of Bulbs/LED Modules	2
Socket Type	E26 (Medium)
Mounting/Installation	
Interior/Exterior	Exterior
Location Rating	Damp

FIXTURE ATTRIBUTES

Housing	
Diffuser Description	Clear Wave
Primary Material	Al
Shade Description	Glass
Product/Ordering Information	
SKU	39516
Finish	Olde Bronze
Style	Traditional
UPC	737995395162

Finish Options	
	Olde Bronze



ALSO IN THIS FAMILY



Direct-to-Ceiling LED Downlight – Mini Recessed



OVERVIEW

The Direct-to-Ceiling Mini Recessed LED Downlight is perfect for small areas where accent lights are needed or for modern ceiling design elements. Offering a contemporary style, this 2" round downlight is ideal for residential use as well as upscale bars, restaurants and hotels where a grouping of downlights is desired or as an architectural accent.

PROJECT:	PRODUCT #:
TYPE:	DATE:
PREPARED BY:	AUTHORIZED BY*:
COMMENTS:	

FEATURES

- Baffle design minimizes glare.
- Simple snap-in installation is fast and easy.
- Remote driver enables installation in drywall and drop ceilings without a junction box.
- Dimmable, see recommended dimmers at Kichler.com
- 5-year warranty
- Available in two color temperatures (2700 & 3000K) to coordinate with the look and feel of the room.

SPECIFICATIONS

ELECTRICAL

Input Voltage	120Vac
Input Voltage Range	108Vac-132Vac
Input Frequency	60Hz
Power	See Data Table
Power Factor	>0.9
Surge	2.5kV ringwave
Connector	Push-in quick connects AC; Screwlock DC terminal

PHOTOMETRICS

Light Source	LED Backlit
Color Temperature(s)	2700K/3000K
Color Rendering Index (CRI)	>90, R9>50
Dimmable	Yes
Lumen Packages	See Data Table
Lumens Per Watt (LPW)	>60LPW

RATINGS & CERTIFICATIONS

Safety Rating	Wet
Installation Requirements	Wet Indoor Covered Ceiling; Damp Outdoor Covered Ceiling (Not for coastal environments)
Operating Ambient Temperature	0-40°C
Lumen Maintenance	L70 at 50,000 Hrs
Safety Certification	cETLus
Energy Star	Yes
T24	Yes
FCC	CFR 47, FCC Part 15, Subpart B:2017

MECHANICAL

Dimensions	See Dimension Table
IP Rating	IP-54

MOUNTING

Direct to ceiling via spring clips

OPTICS

Backlit

WARRANTY

5 Year

ACCESSORIES

See Accessories

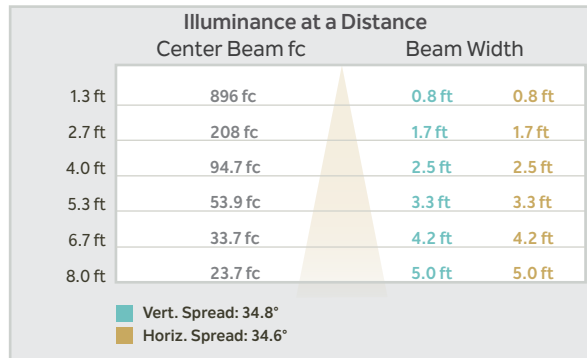
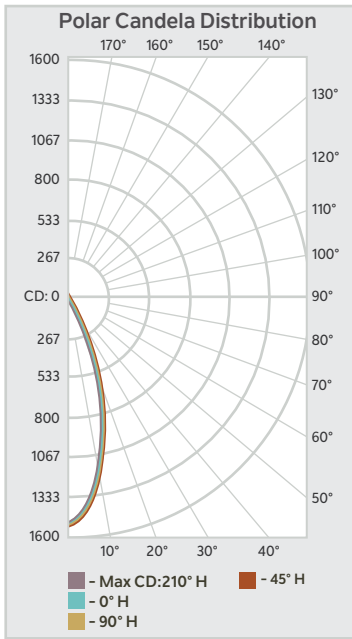
Direct-to-Ceiling LED Downlight – Mini Recessed

LUMEN Data Table – Mini Recessed

Shape	Size (Inches)	Watts	Lumens	
			2700K	3000K
Round	2	8W	550	

Photometric Diagrams

DLMN02R3090WHT



DtC Mini Recessed Ordering Matrix

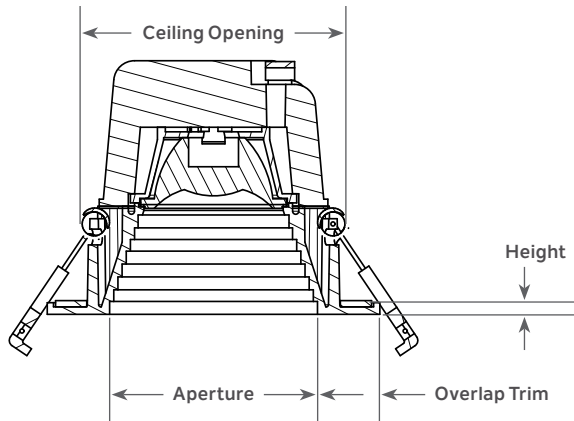
Family	Type	Size		Shape		CCT		CRI	Finish
DL Downlight	MN Mini Recessed	02	2 inch	R	Round	27 30	2700K 3000K	90 90 CRI	WHT Textured White

To form a complete product number, combine:

Family + Type + Size + Shape + CCT + CRI + Finish = **DL MN 02 R 27 90 WHT**

4" and 6" DtC Recessed Downlights are also available. See Round items DLRC04R2790WHT, DLRC04R3090WHT, DLRC06R2790WHT, DLRC06R3090WHT, or Square items DLRC04S2790WHT, DLRC04S3090WHT, DLRC06S2790WHT, DLRC06S3090WHT for complete specifications.

Direct-to-Ceiling LED Downlight – Mini Recessed



Dimension Table

	Aperture (in/mm)	Ceiling Opening (in/mm)	Overlap Trim (in/mm)	Height (in/mm)
2" Round	1.97 / 50	2.875 / 73.0	0.6 / 15	0.11 / 2.8

ACCESSORIES

Additional Accessories (or Components)

Goof Rings	Use With	Rough-In Plate	Use With	Extension Cable (use for all)	Size
DLGR02WH	2" Round	DLRP01ST	2" Round	DLE06WH	6'
				DLE10WH	10'
				DLE20WH	20'

Direct-to-Ceiling LED Downlight – Recessed



OVERVIEW

With its simple snap-in installation, the Direct-to-Ceiling (DtC) Recessed LED Downlight allows for installation in drywall and drop ceilings without the need for a junction box. This downlight is designed with a baffled trim that reduces glare and delivers general room lighting.

PROJECT:	PRODUCT #:
TYPE:	DATE:
PREPARED BY:	AUTHORIZED BY*:
COMMENTS:	

FEATURES

- Baffle design minimizes glare and provides a welcoming illumination to any room.
- Simple snap-in installation is fast and easy.
- Remote driver enables installation in drywall and drop ceilings without junction box.
- Dimmable, see recommended dimmers at Kichler.com
- 5-year warranty
- Available in two color temperatures (2700K & 3000K) to coordinate with the look and feel of the room.

SPECIFICATIONS

ELECTRICAL

Input Voltage	120Vac
Input Voltage Range	108Vac-132Vac
Input Frequency	60Hz
Power	See Data Table
Power Factor	>0.9
Surge	2.5kV ringwave
Connector	Push-in quick connects AC; Screwlock DC terminal

PHOTOMETRICS

Light Source	LED Backlit
Color Temperature(s)	2700K/3000K
Color Rendering Index (CRI)	>90, R9>50
Dimmable	Yes
Lumen Packages	See Data Table
Lumens Per Watt (LPW)	>60LPW

RATINGS & CERTIFICATIONS

Safety Rating	Wet
Installation Requirements	Wet Indoor Covered Ceiling; Damp Outdoor Covered Ceiling (Not for coastal environments)
Operating Ambient Temperature	0-40°C
Lumen Maintenance	L70 at 50,000 Hrs
Safety Certification	cETLus
Energy Star	Yes
T24	Yes
FCC	CFR 47, FCC Part 15, Subpart B:2017

MECHANICAL

Dimensions	See Dimension Table
IP Rating	IP-54

MOUNTING

Direct to ceiling via spring clips

OPTICS

Backlit

WARRANTY

5 Year

ACCESSORIES

See Accessories

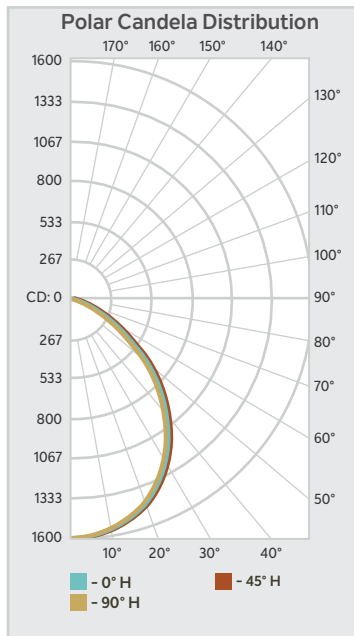
Direct-to-Ceiling LED Downlight – Recessed

LUMEN Data Table – Recessed

Shape	Size (Inches)	Watts	Lumens	
			2700K	3000K
Round	4	11.5W	700	
	6	13W	900	
Square	4	11.5W	700	
	6	13W	900	

Photometric Diagrams

DLRC04R2790WHT



	Illuminance at a Distance		Beam Width	
	Center Beam fc	Beam Width		
1.3 ft	223 fc	2.7 ft	2.7 ft	
2.7 ft	51.6 fc	5.6 ft	5.7 ft	
4.0 ft	23.5 fc	8.3 ft	8.4 ft	
5.3 ft	13.4 fc	11.1 ft	11.1 ft	
6.7 ft	8.38 fc	14.0 ft	14.0 ft	
8.0 ft	5.88 fc	16.7 ft	16.8 ft	

■ Vert. Spread: 92.4°
■ Horiz. Spread: 92.7°

DtC Recessed Ordering Matrix

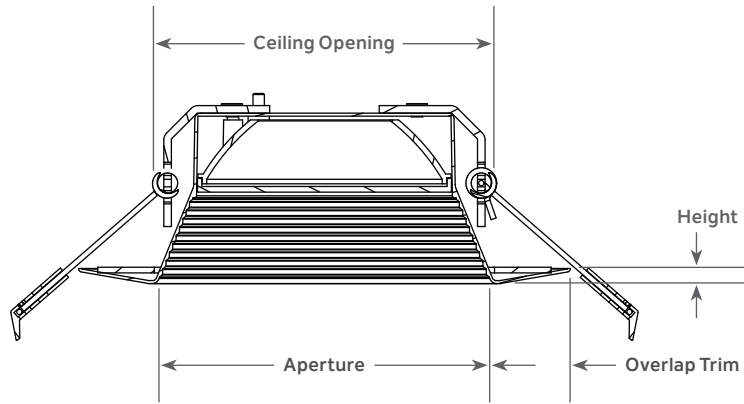
Family	Type	Size		Shape		CCT		CRI	Finish
		04	4 inch	R	Round	27	2700K		
DL Downlight	RC Recessed	04	4 inch	R	Round	27	2700K	90 90 CRI	WHT Textured White
		06	6 inch	S	Square	30	3000K		

To form a complete product number, combine:

Family + Type + Size + Shape + CCT + CRI + Finish = **DL RC 04 R 30 90 WHT**

A 2" Mini Recessed fixture is also available. See items DLMN02R2790WHT or DLMN02R3090WHT for complete specifications.

Direct-to-Ceiling LED Downlight – Recessed



Dimension Table

	Aperture (in/mm)	Ceiling Opening (in/mm)	Overlap Trim (in/mm)	Height (in/mm)
4" Round	3.44 / 87.5	4.0 / 101.6	0.84 / 21.3	0.157 / 3.9
4" Square	2.69 / 68.3	4.0 / 101.6	1.12 / 28.3	0.098 / 2.5
6" Round	4.98 / 126.5	5.25 / 133.4	1.21 / 30.7	0.157 / 3.9
6" Square	4.11 / 104.4	6.0 / 153	1.59 / 40.3	0.098 / 2.5

ACCESSORIES

Trim Ring Matrix

		Fixture Models			
		4" Round Recessed	4" Square Recessed	6" Round Recessed	6" Square Recessed
		DLRC04Rxx90WHT	DLRC04Sxx90WHT	DLRC06Rxx90WHT	DLRC06Sxx90WHT
Trim Models	4" Round Recessed Trim – DLTRC04R Textured Black (BKT), Brushed Nickel (NI)	○			
	4" Square Recessed Trim – DLTRC04S Textured Black (BKT), Brushed Nickel (NI)		○		
	6" Round Recessed Trim – DLTRC06R Textured Black (BKT), Brushed Nickel (NI)			○	
	6" Square Recessed Trim – DLTRC06S Textured Black (BKT), Brushed Nickel (NI)				○

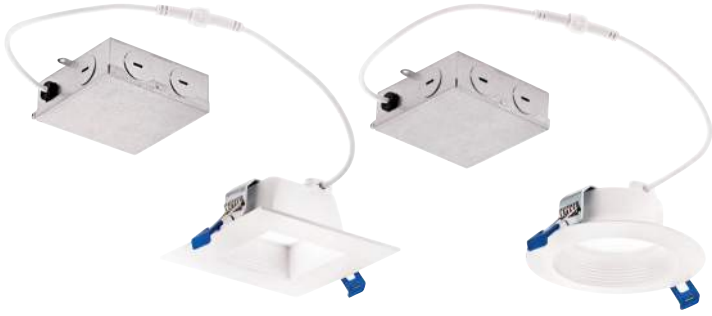
To form a complete trim product number, combine:

Trim + Finish = **DLTRC04R NI**

Additional Accessories (or Components)

Goof Rings	Use With	Rough-In Plate	Use With	Extension Cable (use for all)	Size
DLGR05WH	4" Round	DLRP02ST	4" Round & Square	DLE06WH	6'
DLGR06BWH	6" Round		6" Round & Square	DLE10WH	10'
				DLE20WH	20'

Direct-to-Ceiling LED Downlight – Recessed



PROJECT:	PRODUCT #:
TYPE:	DATE:
PREPARED BY:	AUTHORIZED BY*:
COMMENTS:	

OVERVIEW

With its simple snap-in installation, the Direct-to-Ceiling (DtC) Recessed LED Downlight allows for installation in drywall and drop ceilings without the need for a junction box. This downlight is designed with a baffled trim that reduces glare and delivers general room lighting.

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Input Voltage	120Vac
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Input Frequency	60Hz
Power	See Data Table
Power Factor	>0.9
Surge	2.5kV ringwave
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PHOTOMETRICS

Light Source	LED Backlit
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RATINGS & CERTIFICATIONS

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Safety Certification	cETLus
Energy Star	Yes
T24	Yes
FCC	CFR 47, FCC Part 15, Subpart B:2017

MECHANICAL

Dimensions	See Dimension Table
IP Rating	IP-54

MOUNTING

Direct to ceiling via spring clips

OPTICS

Backlit

WARRANTY

5 Year

ACCESSORIES

See Accessories

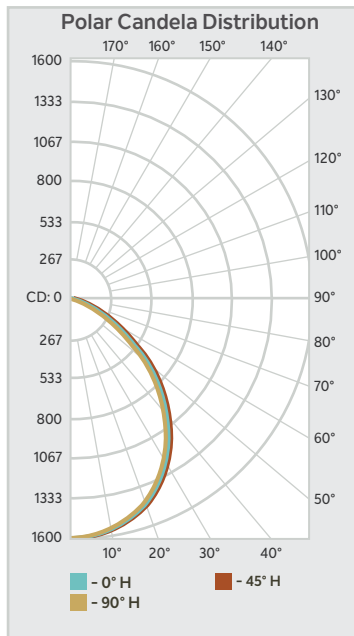
Direct-to-Ceiling LED Downlight – Recessed

LUMEN Data Table – Recessed

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	6	13W	900	
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	6	13W	900	

Photometric Diagrams

DLRC04R2790WHT



	Illuminance at a Distance		Beam Width	
	Center Beam fc	Beam Width		
1.3 ft	223 fc	2.7 ft	2.7 ft	
2.7 ft	51.6 fc	5.6 ft	5.7 ft	
4.0 ft	23.5 fc	8.3 ft	8.4 ft	
5.3 ft	13.4 fc	11.1 ft	11.1 ft	
6.7 ft	8.38 fc	14.0 ft	14.0 ft	
8.0 ft	5.88 fc	16.7 ft	16.8 ft	

■ Vert. Spread: 92.4°
■ Horiz. Spread: 92.7°

DtC Recessed Ordering Matrix

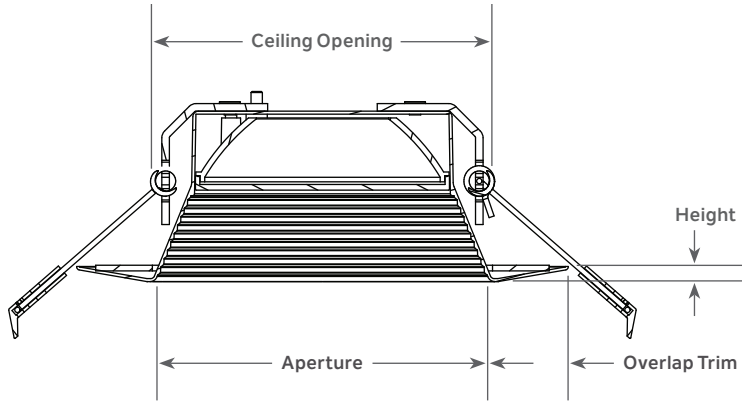
Family	Type	Size		Shape		CCT		CRI	Finish
		04	4 inch	R	S	27	30		
DL Downlight	RC Recessed	04	4 inch	R	Round	27	2700K	90 90 CRI	WHT Textured White
		06	6 inch	S	Square	30	3000K		

To form a complete product number, combine:

Family + Type + Size + Shape + CCT + CRI + Finish = **DL RC 04 R 30 90 WHT**

A 2" Mini Recessed fixture is also available. See items DLMN02R2790WHT or DLMN02R3090WHT for complete specifications.

Direct-to-Ceiling LED Downlight – Recessed



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6" Round	4.98 / 126.5	5.25 / 133.4	1.21 / 30.7	0.157 / 3.9
6" Square	4.11 / 104.4	6.0 / 153	1.59 / 40.3	0.098 / 2.5

ACCESSORIES

Trim Ring Matrix

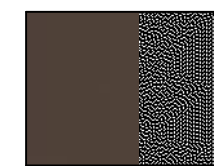
		Fixture Models			
		4" Round Recessed	4" Square Recessed	6" Round Recessed	6" Square Recessed
		DLRC04Rxx90WHT	DLRC04Sxx90WHT	DLRC06Rxx90WHT	DLRC06Sxx90WHT
Trim Models	4" Round Recessed Trim – DLTRC04R Textured Black (BKT), Brushed Nickel (NI)	○			
	4" Square Recessed Trim – DLTRC04S Textured Black (BKT), Brushed Nickel (NI)		○		
	6" Round Recessed Trim – DLTRC06R Textured Black (BKT), Brushed Nickel (NI)			○	
	6" Square Recessed Trim – DLTRC06S Textured Black (BKT), Brushed Nickel (NI)				○

To form a complete trim product number, combine:

Trim + Finish = **DLTRC04R NI**

Additional Accessories (or Components)

Goof Rings	Use With	Rough-In Plate	Use With	Extension Cable (use for all)	Size
DLGR05WH	4" Round	DLRP02ST	4" Round & Square	DLE06WH	6'
DLGR06BWH	6" Round		6" Round & Square	DLE10WH	10'
				DLE20WH	20'



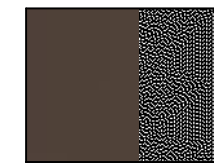
VINYL WINDOWS AND DOORS
KELLEY MOORE OXFORD BROWN
#504239



WOOD SOFFIT
KELLEY MOORE ADOBE WHITE HLS4201



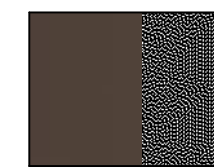
DECRA SHAKE METAL ROOF
WEATHERED TIMBER



WOOD FASCIA
KELLEY MOORE
OXFORD BROWN #504239



SMOOTH STUCCO SIDING
KELLEY MOORE TOSCANA 232



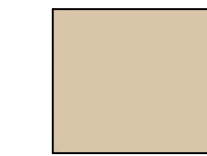
GARAGE DOOR
KELLEY MOORE
OXFORD BROWN #504239



DRIVEWAY & PATIOS
CALSTONE PAVERS



MOLDING COLOR
MISSION TAN
KELLEY MOORE D9C6A8



NEW RESIDENCE FOR: JANET OULTON, 950 MALAGA STREET, EL GRANADA, CALIFORNIA



SOUTHWEST PERSPECTIVE



SOUTH PERSPECTIVE



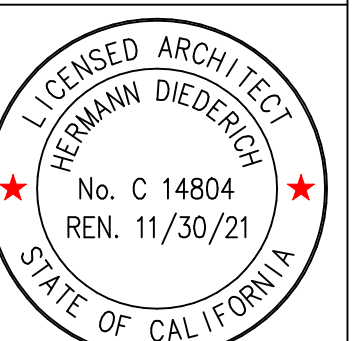
SOUTHEAST PERSPECTIVE

Diederich & Kim Architects
240 Star Hill Road Woodside, Ca. 94062
(650) 851-0477

New Residence for:
Janet Oulton
950 Malaga Street
El Granada, CA A.P.N.047-292-320

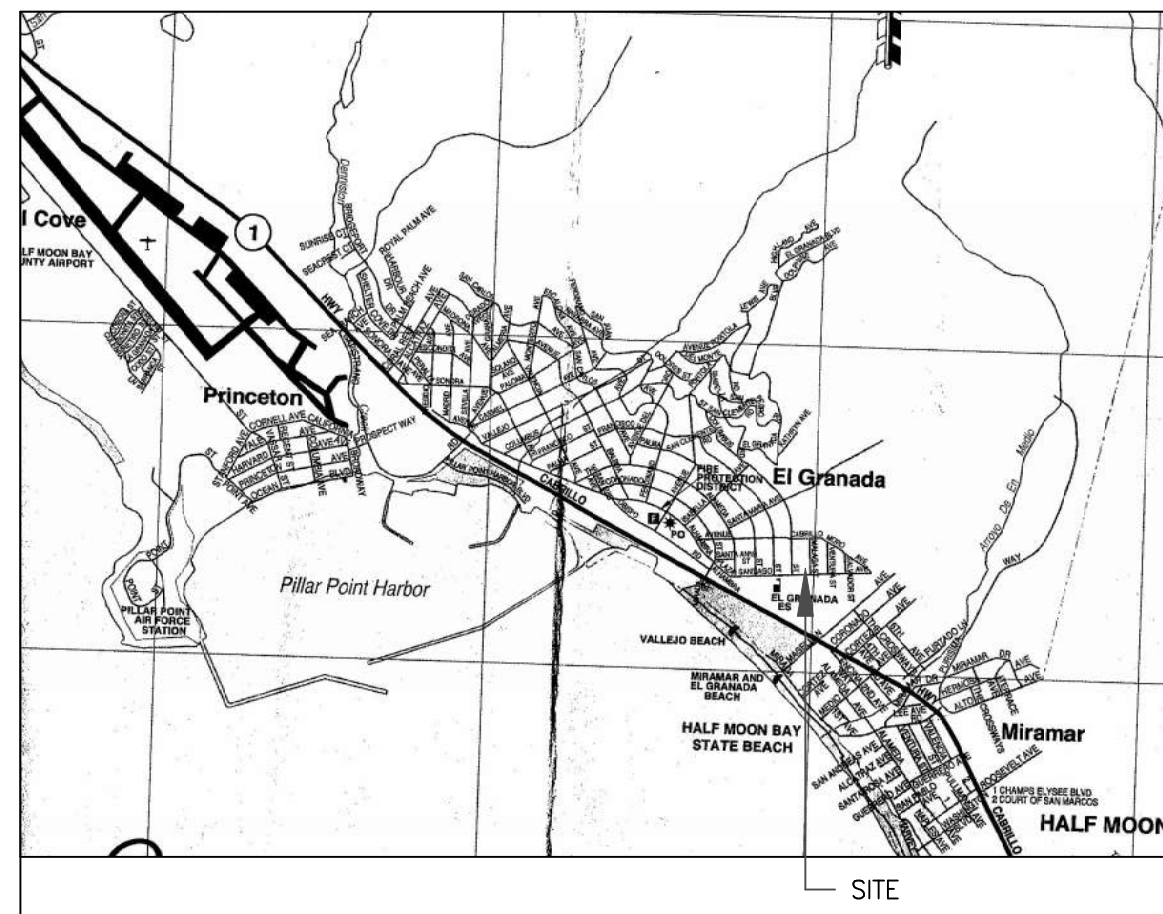
Materials & Rendering Board

scale N.T.S.
date 1/20/2022
revisions



project 21-02

M 1



LOCATION MAP

NOTES:
SEE SURVEY FOR THE LOCATION OF EXISTING UTILITY LINES

STREET PERSPECTIVE



ZONING INFORMATION: APN 047-292-320

ZONING R-1 S-17 D/R
 FRONT SETBACK = 20'-0"
 REAR SETBACK = 20'-0"
 SIDE YARD SETBACK (NORTH) = 5'-0"
 SIDE YARD SETBACK (SOUTH) = 10'-0"

HEIGHT LIMIT = 28'-0"

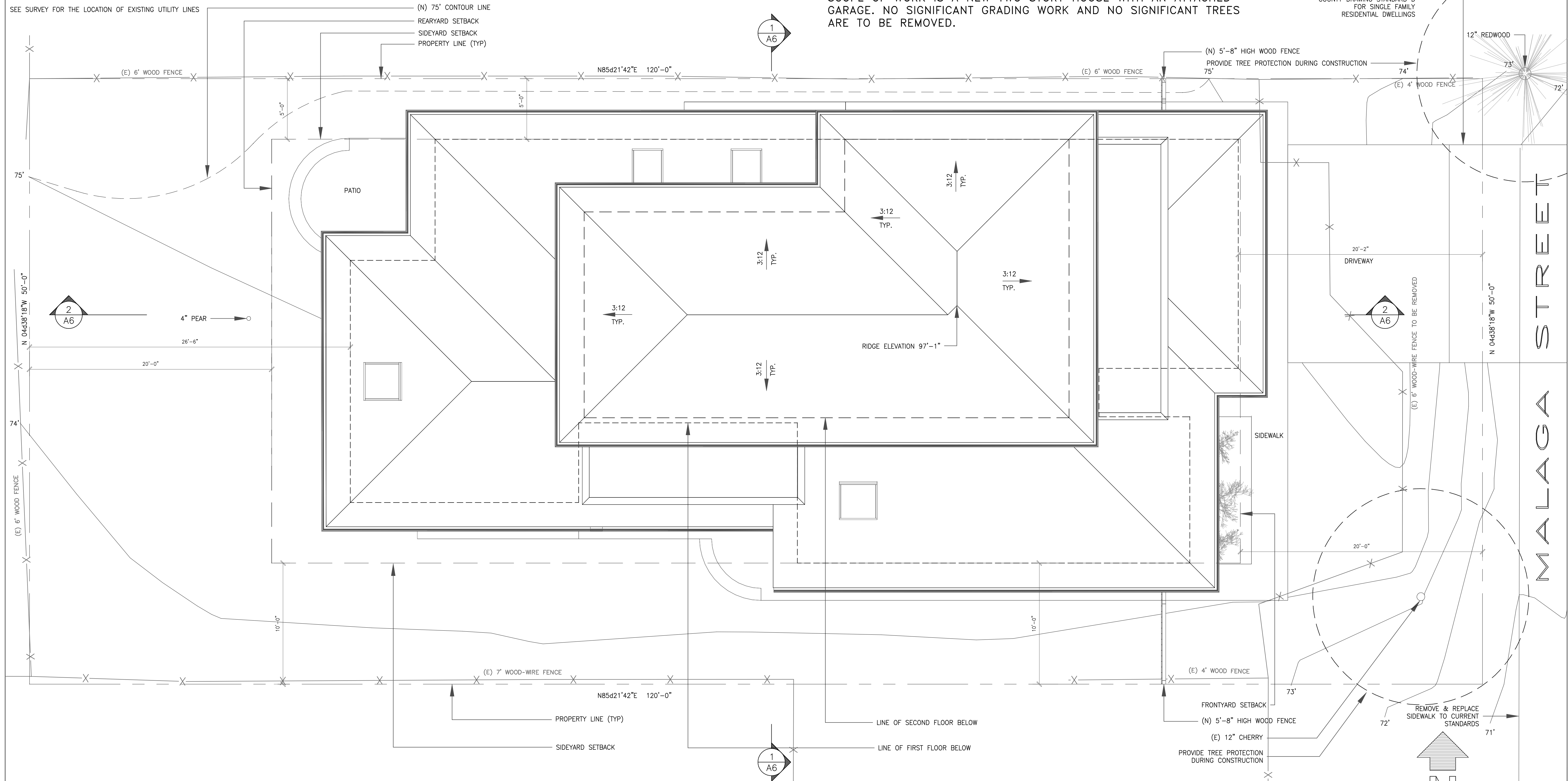
LOT SIZE = 50'x120' = 6,000 SQ. FT.
 LOT COVERAGE ALLOWABLE = 35% OF 6,000 = 2,100 SQ. FT.
 LOT COVERAGE PROPOSED = 2,098 SQ. FT.

FLOOR AREA RATIO ALLOWABLE = 0.53 x 6,000 SQ. FT. = 3,180 SQ. FT.
 FIRST FLOOR AREA = 2,098 SQ. FT.
 SECOND FLOOR AREA = 791 SQ. FT.
 TOTAL SQUARE FEET PROPOSED = 2,889 SQ. FT. = 0.48% F.A.R.

SCOPE OF WORK IS A NEW TWO STORY HOUSE WITH AN ATTACHED GARAGE. NO SIGNIFICANT GRADING WORK AND NO SIGNIFICANT TREES ARE TO BE REMOVED.

INDEX TO DRAWINGS:

- M 1 MATERIALS & RENDERING BOARD
- A 1 SITE PLAN
- A 2 FIRST FLOOR PLAN
- A 3 SECOND FLOOR PLAN
- A 4 EXTERIOR ELEVATIONS
- A 5 EXTERIOR ELEVATIONS
- A 6 SECTIONS
- A 7 ROOF PLAN
- A 8 STANDARD DRIVEWAY DRAWING
- L 1 LANDSCAPE PLAN
- T 1 TREE PLAN
- C 1 GRADING & DRAINAGE PLAN
- C 2 EROSION & SEDIMENT CONTROL PLAN
- SU1 SURVEY
- SMCO BMP SHEET



SITE & ROOF PLAN

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 (650) 851-0477

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 El Granada, CA A.P.N. 047-292-320

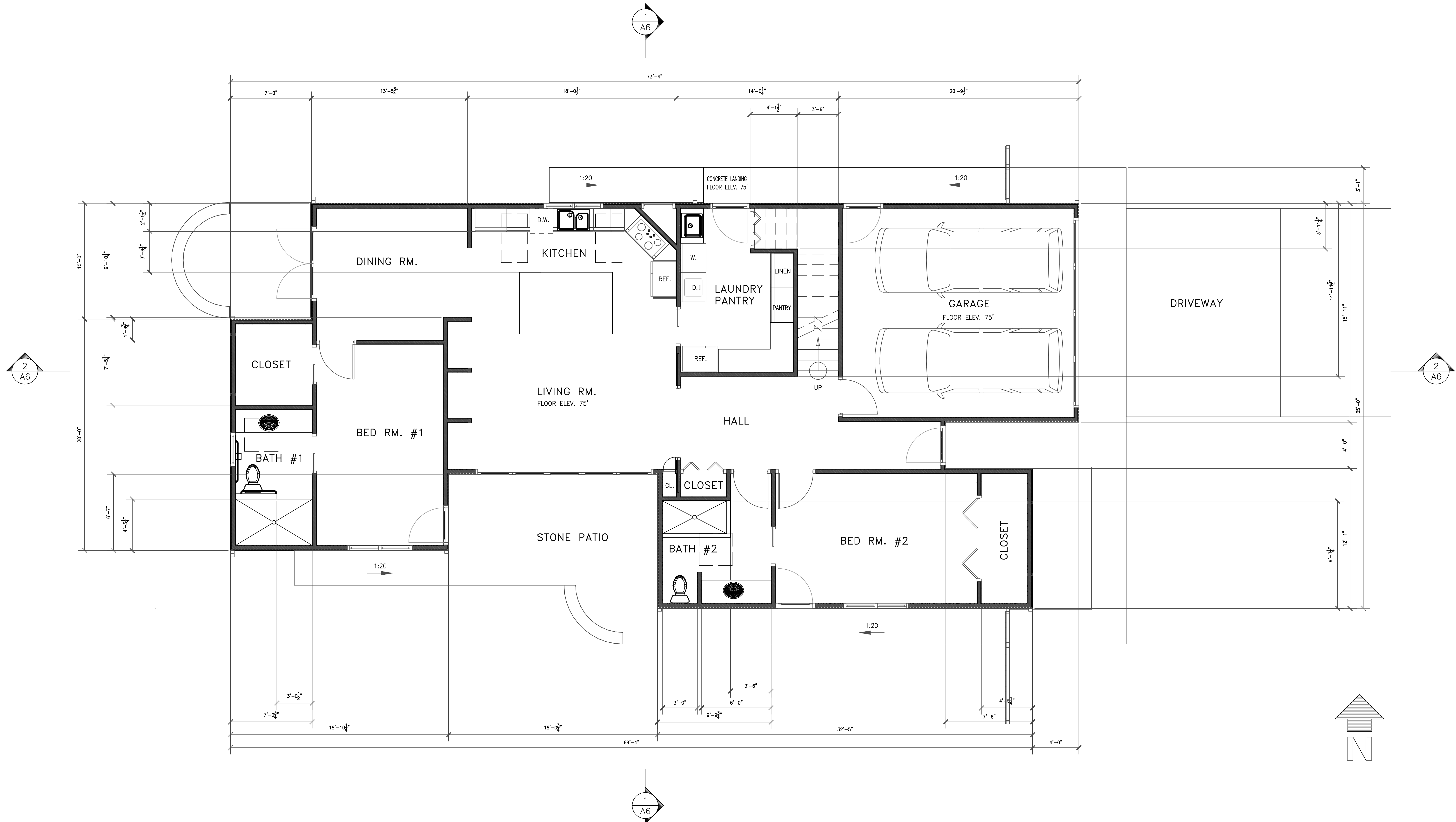
Site & Roof Plan

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 date 1/20/2022
 revisions

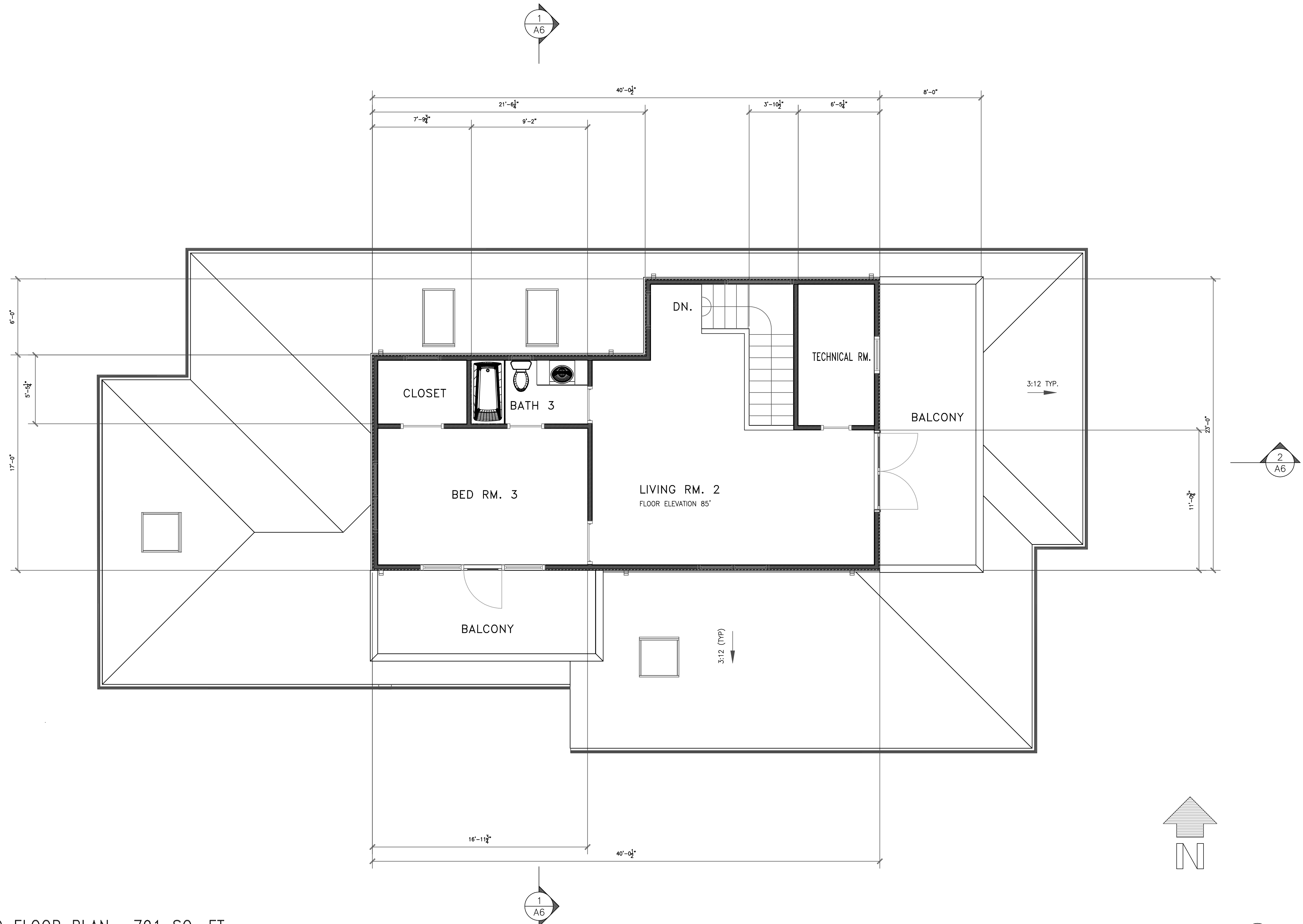


project 21-02

A 1



FIRST FLOOR PLAN 1,705.5 SQ. FT. RESIDENCE + 393.3 SQ. FT. GARAGE = 2,098.8 SQ. FT. TOTAL FIRST FLOOR



SECOND FLOOR PLAN 791 SQ. FT.

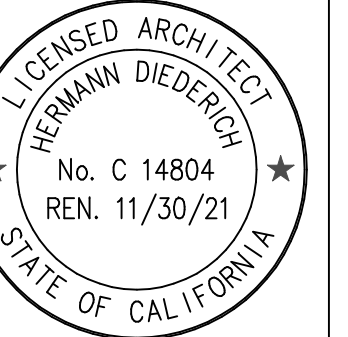
Diederich & Kim Architects
 240 Star Hill Road Woodside, Ca. 94062
 (650) 851-0477

New Residence for:
Janet Oulton
 950 Malaga Street
 El Granada, CA A.P.N. 047-292-320

Second Floor Plan

scale 1/4"=1'-0"
 date 1/20/2022
 revisions

Hermann Diederich

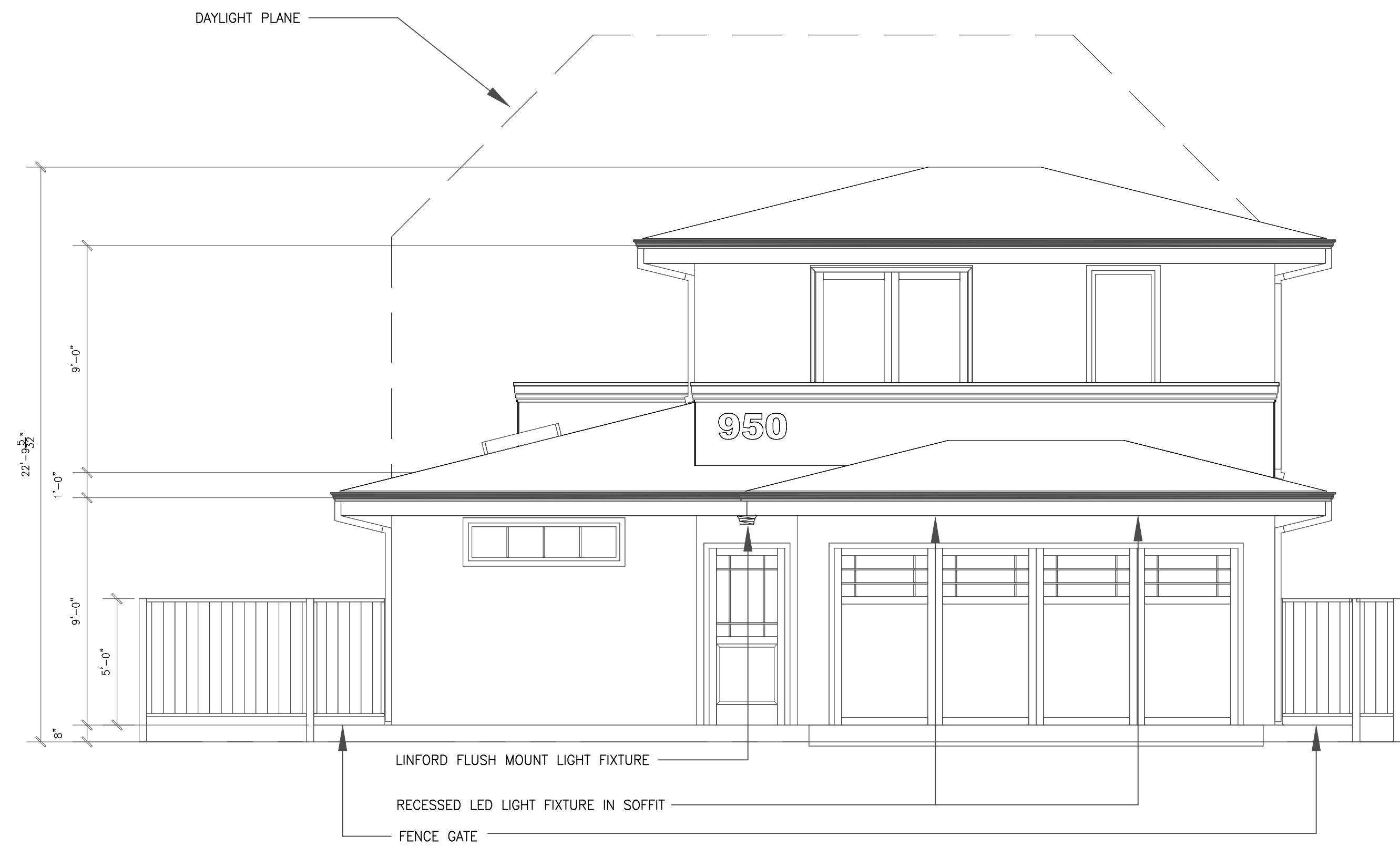


project 21-02

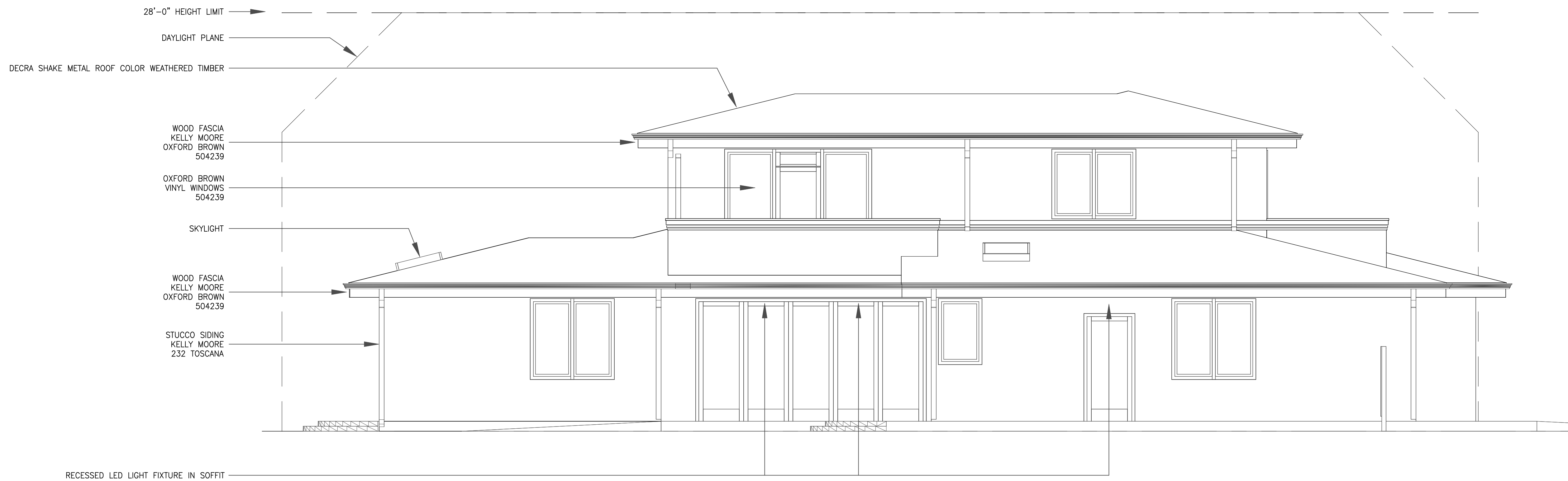
A 3



SOUTHEAST PERSPECTIVE



EAST ELEVATION



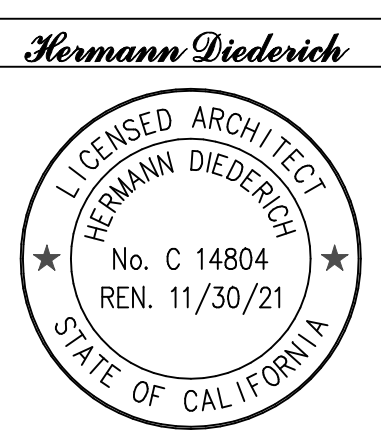
SOUTH ELEVATION

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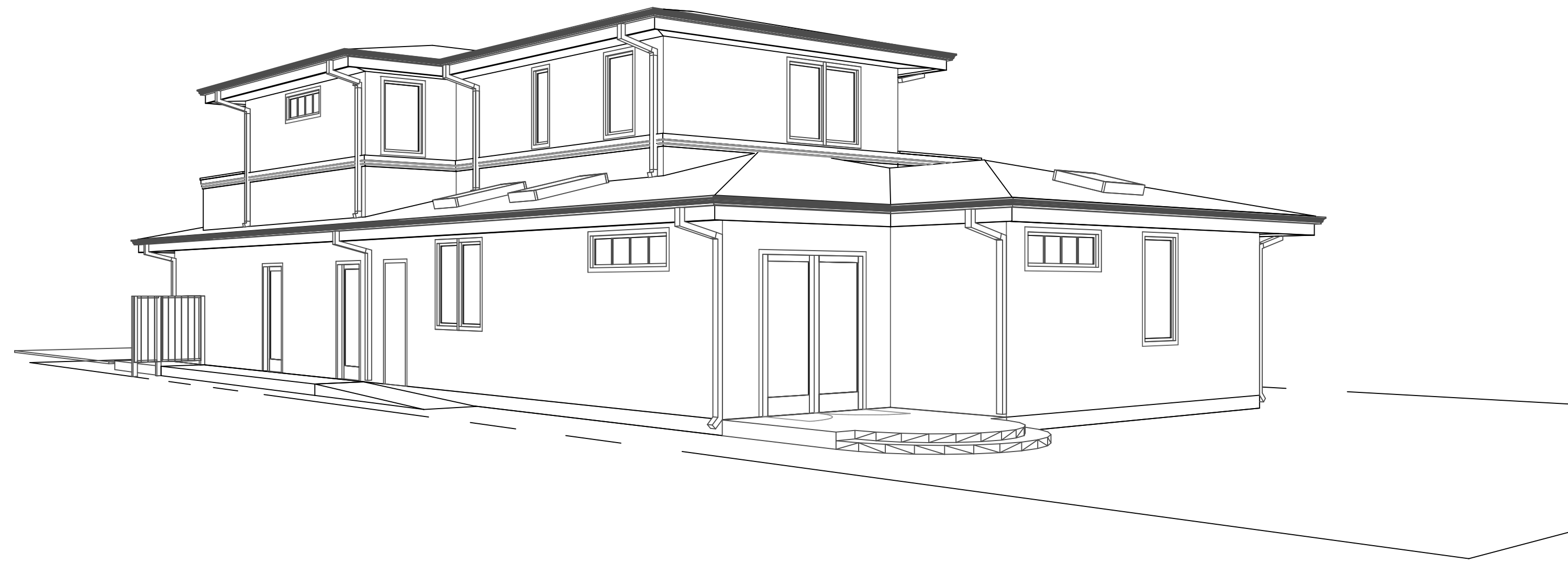
Exterior Elevations

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date 1/20/2022
revisions



project 21-02

A 4



NORTHWEST PERSPECTIVE



WEST ELEVATION



NORTH ELEVATION

3

1

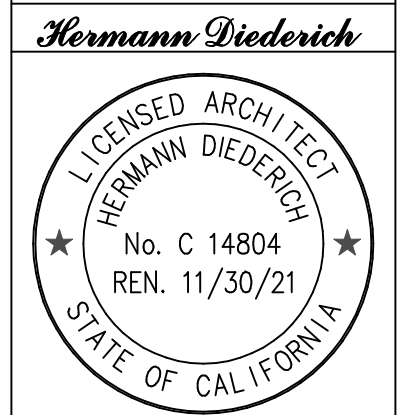
2

Diederich & Kim Architects
 240 Star Hill Road Woodside, Ca. 94062
 (650) 851-0477

New Residence for:
 Janet Oulton
 950 Malaga Street
 El Granada, CA A.P.N. 047-292-320

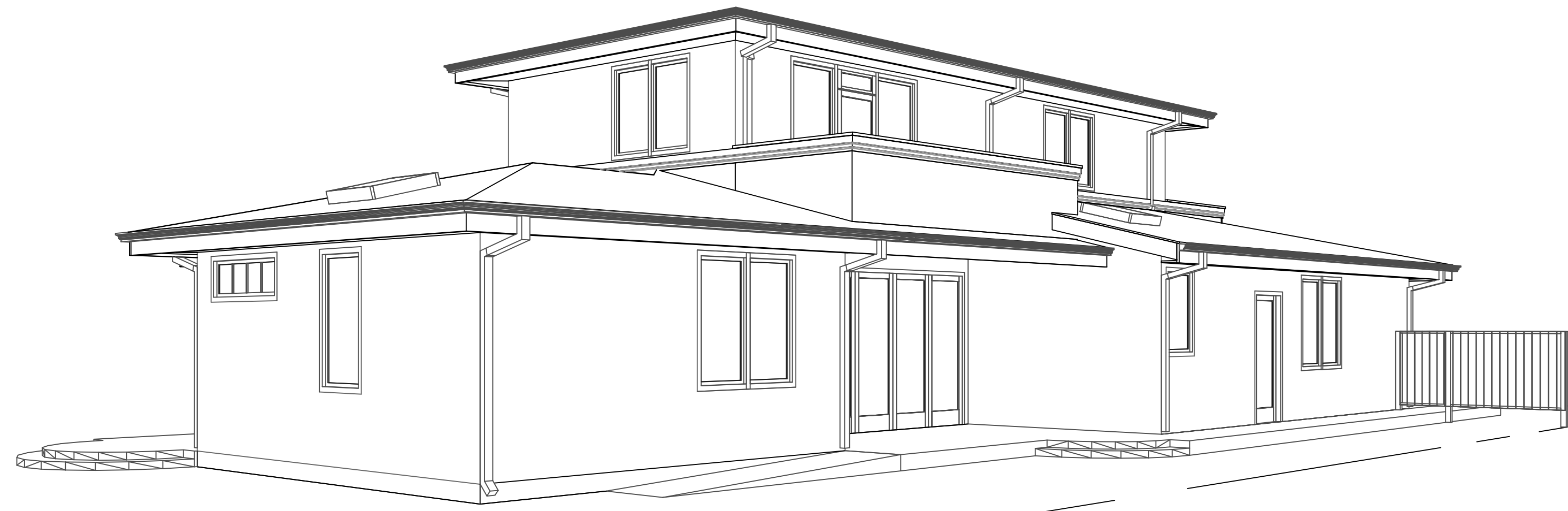
Exterior Elevations

scale 1/4"=1'-0"
 date 1/20/2022
 revisions

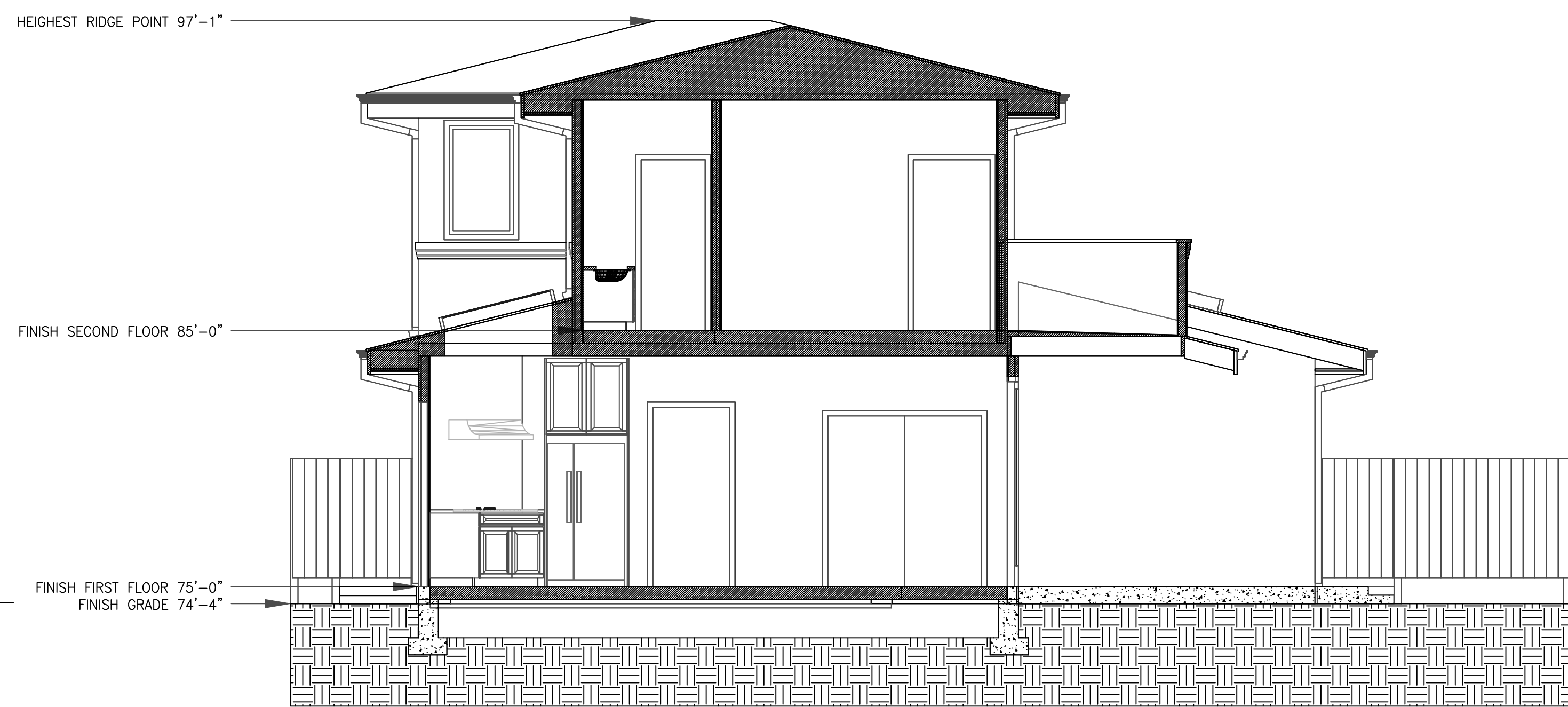


project 21-02

A 5



SOUTHWEST PERSPECTIVE



CROSS SECTION



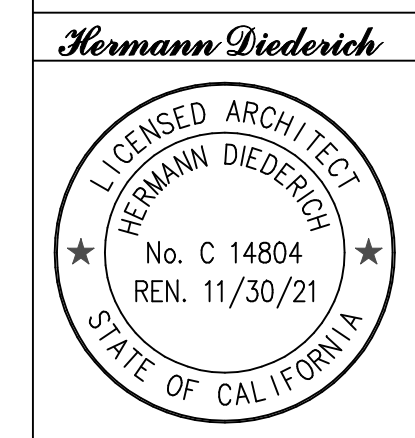
LONG CROSS SECTION

Diederich & Kim Architects
 240 Star Hill Road Woodside, Ca. 94062
 (650) 851-0477

New Residence for:
 Janet Oulton
 950 Malaga Street
 El Granada, CA A.P.N. 047-292-320

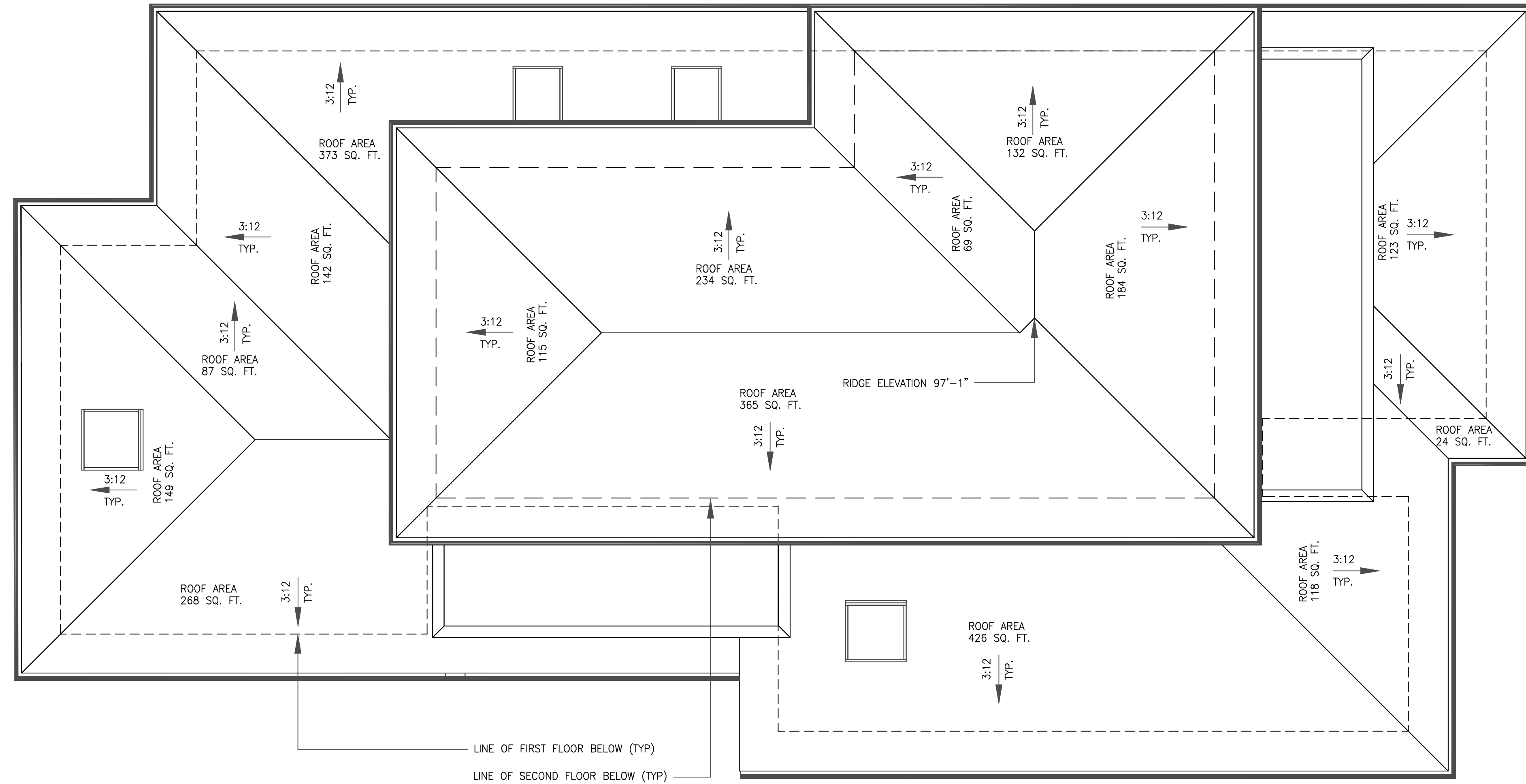
Sections

scale 1/4"=1'-0"
 date 1/20/2022
 revisions

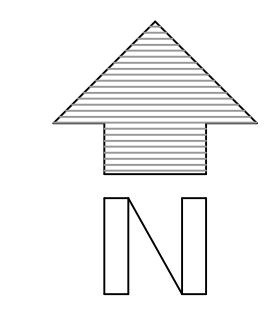


project 21-02

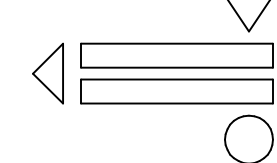
A 6



ROOF PLAN

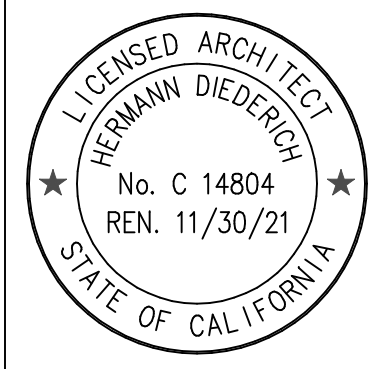


1


Diederich & Kim Architects
 240 Star Hill Road Woodside, Ca. 94062
 (650) 851-0477

New Residence for:
Janet Oulton
 950 Malaga Street
 El Granada, CA A.P.N. 047-292-320

Roof Plan
 scale 1/4"=1'-0"
 date 1/20/2022
 revisions



project 21-02

A 7

SAN MATEO COUNTY DEPARTMENT

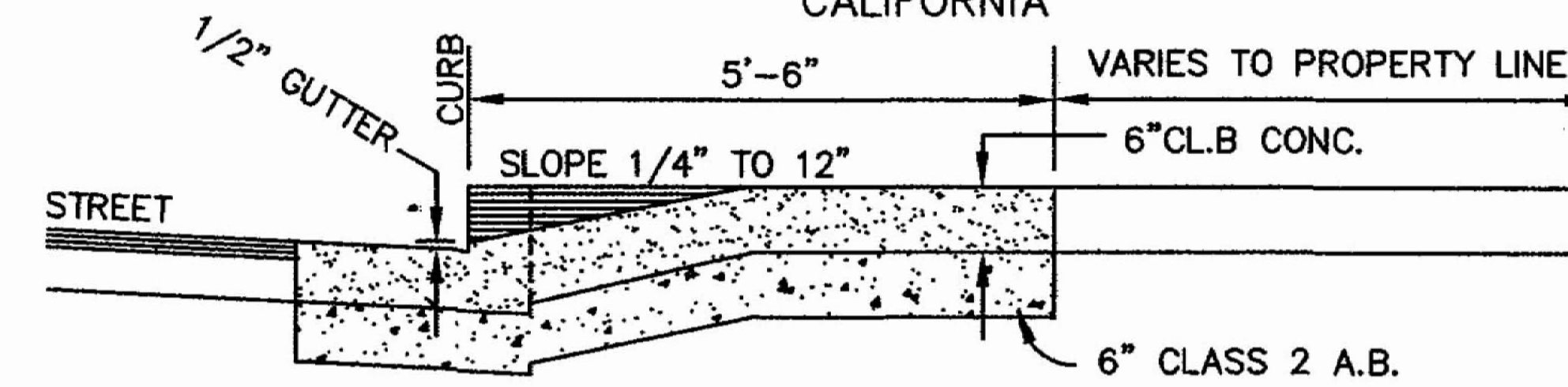
OF

PUBLIC WORKS

REDWOOD CITY
CALIFORNIA

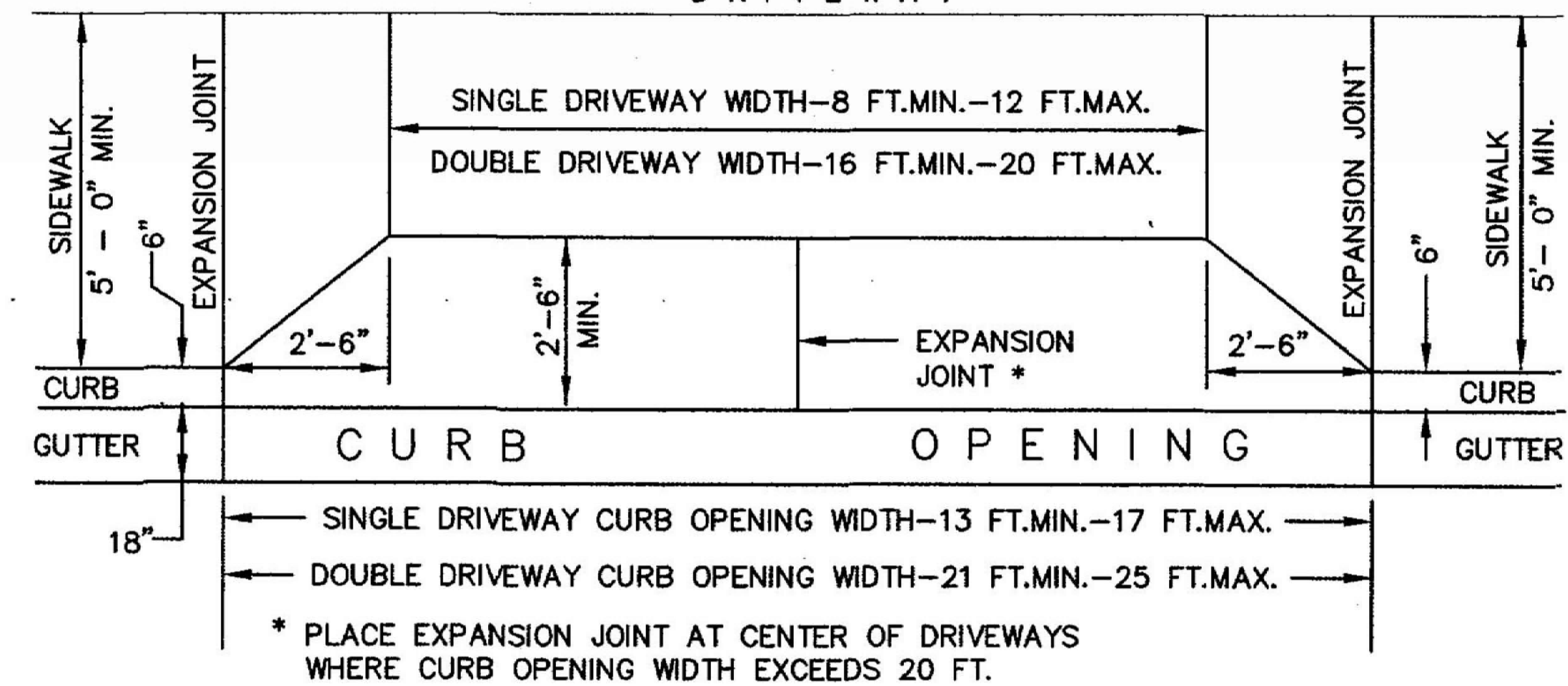
DRAWN BY: D.P.
CHECK BY: J.A.L.
APPROVED BY: N.R.C.

SCALE: NONE
DATE: 6/95
REVISED: 4/97

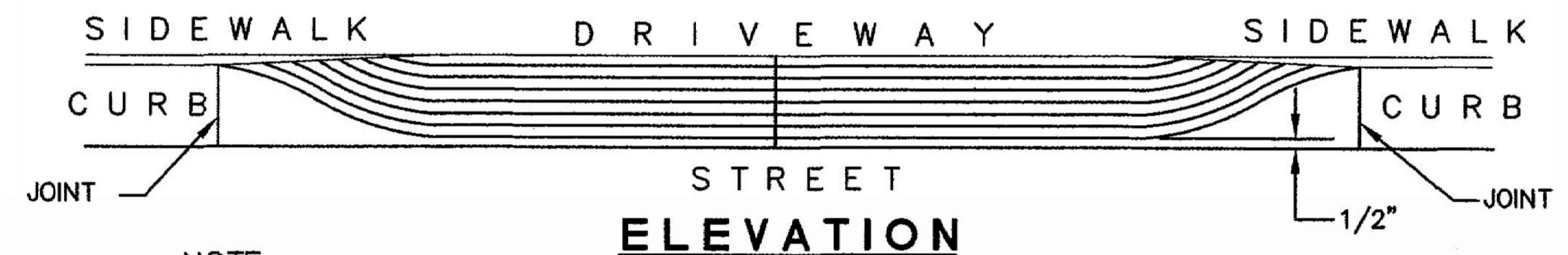


SECTION

DRIVEWAY



PLAN



ELEVATION

NOTE:

WHERE POSSIBLE, 22 FT. DISTANCES OR MULTIPLES OF 22 FT. DISTANCES SHOULD BE OBTAINED BETWEEN CURB OPENINGS. CONSTRUCT MONOLITHIC CURB, GUTTER, DRIVEWAY AND APRON. WHERE DRIVEWAYS OF SEPARATE RESIDENTIAL DWELLINGS ARE CONSTRUCTED ADJACENT TO ONE ANOTHER, DOUBLE THE DIMENSIONS SHOWN ABOVE. USE NO. 4 REINFORCING BAR DOWELS AS SHOWN ON STANDARD CURB, GUTTER AND SIDEWALK DETAIL.

**STANDARD STRUCTURES
DRIVEWAY WIDTHS AND CURB OPENINGS
FOR
SINGLE FAMILY RESIDENTIAL DWELLINGS**

D-1

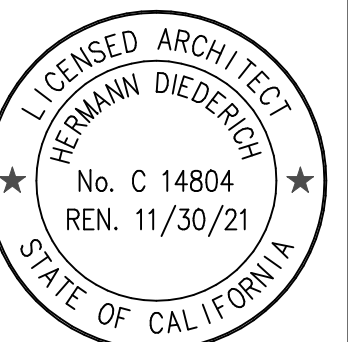
Diederich & Kim Architects
240 Star Hill Road
Woodside, Ca. 94062
(650) 851-0477

New Residence for:
Janet Oulton
950 Malaga Street
El Granada, CA A.P.N. 047-292-320

Standard Driveway

scale 1/4"=1'-0"
date 10/27/2021
revisions

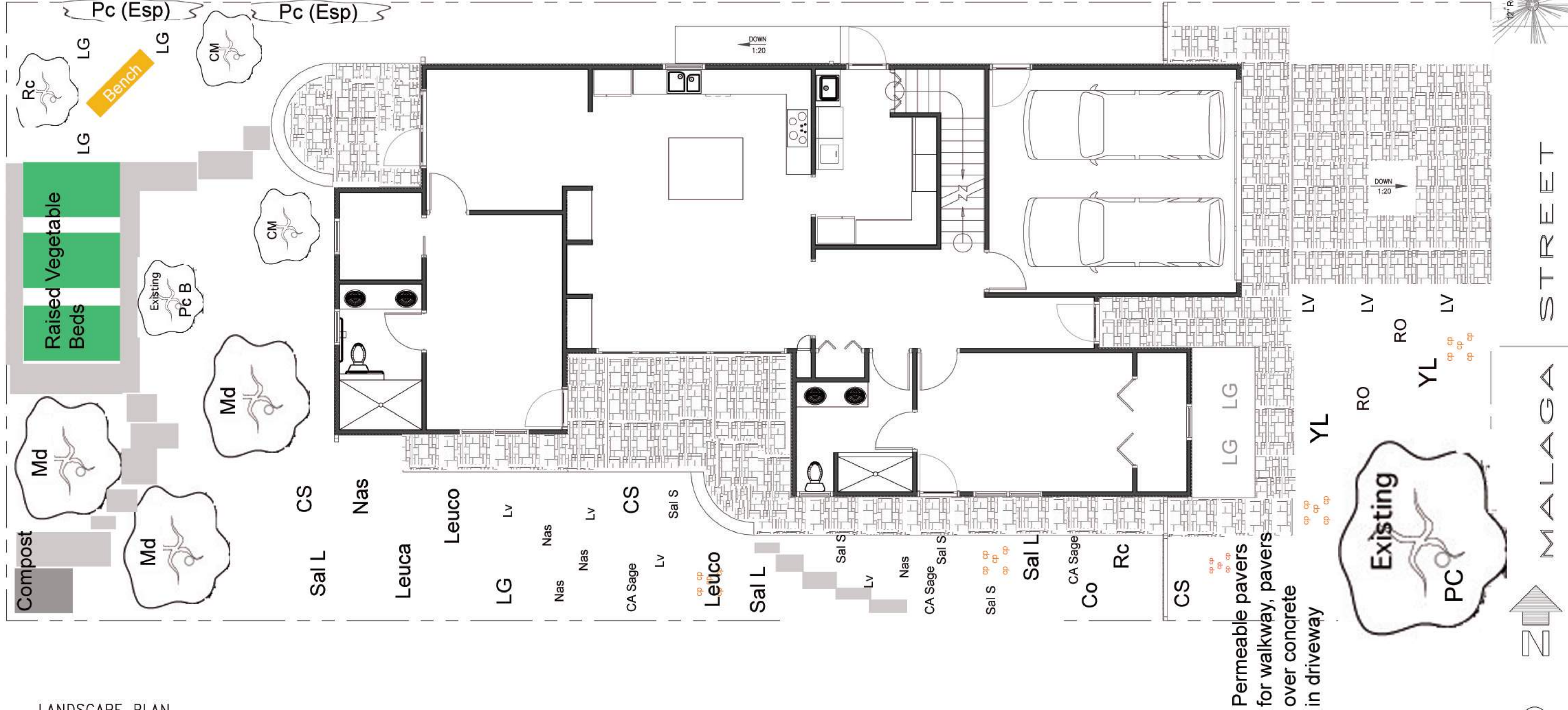
Hermann Diederich



project 21-02

A 8

LANDSCAPE PLAN



Plant Legend (alphabetical)

Code	Botanical Name	Common Name	Qty	MWELQ Code	Size
CA Sage	Euphorbia spp (Zauschneria)	California sage (native)	3	L	1 gal
CM	Citrus meirei	Semi Dwarf Meyer Lemon	2	M	25 gal
Co	Cotinus coggyria	Smoke bush	1	L	1 gal
CP	Eschscholzia californica	California Poppy	many	VL	scattered areas
CS	Artemisia californica	California sagebrush (native)	3	L	1 gal
Leuca	Leucadendron discolor	Conebush	1	L	2 gal
Leuco	Leucospermum cathariniae	Pincushion Protea	2	L	2 gal
LG	Lavender Grosso	Lavender	6	L	1 gal
LV	Lavender angustifolia	Lavender	7	L	1 gal
Md	Milvus domestica	Semi Dwarf Apple Tree	3	M	25 gal
Nas	Nasella tenuissima (Stipa)	Mexican feather grass	5	L	1 gal
PC	Prunus cerasifera	Flowering Plum (existing)	1	L	exist
Pc (esp)	Pyrus communis 'Bosc'	Especially Pear (several varieties)	2	M	Bare Root existing
Rc	Romneya coulteri	Bosc Pear (existing)	1	M	5 gal
RO	Rosmarinus Officinalis	Matijia Poppy (Native)	2	VL	1 gal
Sal L	Salvia leucantha	Rosemary	3	L	1 gal
Sal S	Salvia spargacea	Mexican sage	3	L	1 gal
YL	Lupinus arboreus	Hummingbird sage (native)	4	L	1 gal
		Yellow lupine (native)	2	L	1 gal

Decomposed Granite pathways

There are three distinct landscaping zones planned for this property, the vegetable beds and orchard, the south side border and the street side entrance.

All tree locations, except those existing, are notional with final layout to be determined at installation.

Paving for two patios and the south walkway will be permeable pavers. The small walkway on the north side of the house will be concrete. Unfortunately, the slope of the driveway does not allow for permeable pavers but will be pavers over concrete.

Pathways to the neighboring property, the vegetable beds and the compost bin will be decomposed granite.

Irrigation System

Plants selected are low water use. Hand watering will be the only method of irrigation.

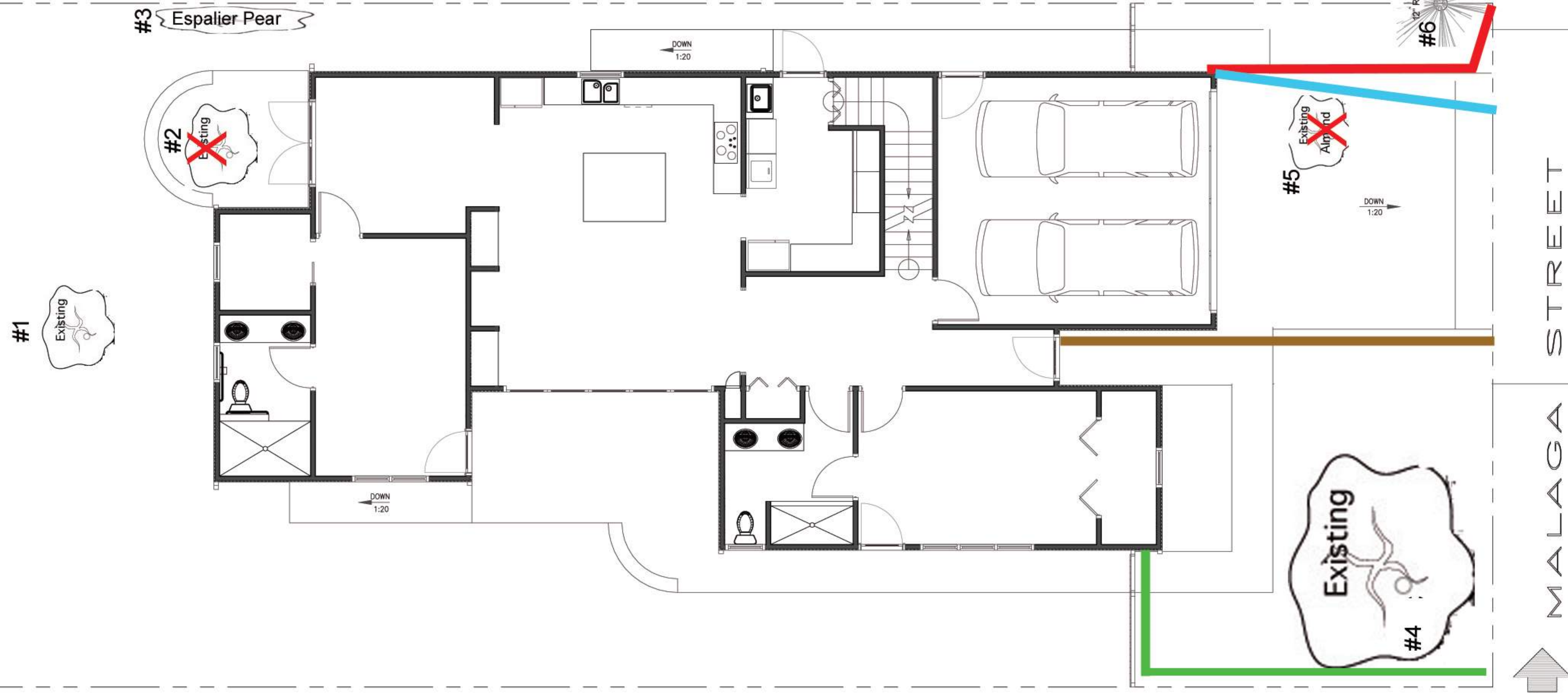
Notes: A minimum 3-inch layer of mulch or bark shall be applied on all exposed soil surfaces of planting area except where mulch is contraindicated. Unless contraindicated by a soils test, compost at a rate of a minimum of four cubic yards per 1000 sq ft of permeable area shall be incorporated to a depth of six inches into the soil.

Janet Oulton
Janet Oulton

Existing Tree Plan

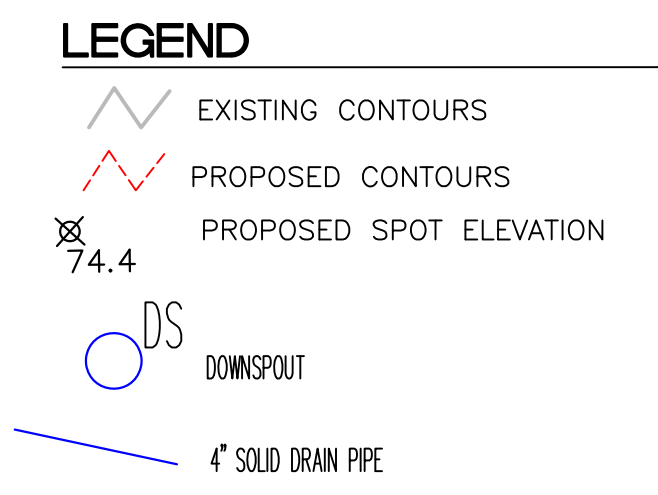
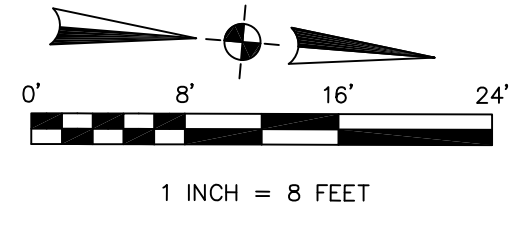
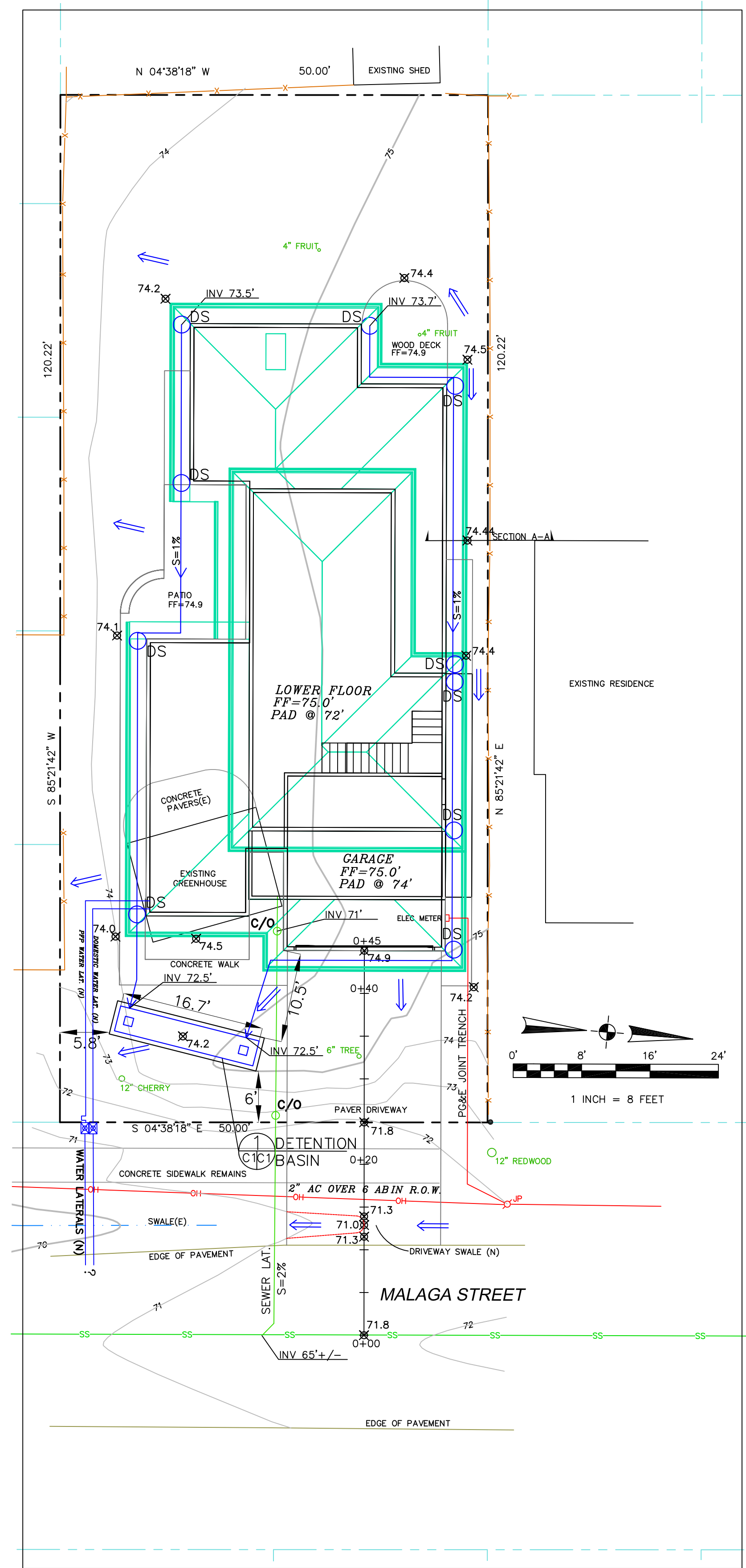
Code on Plan	Botanical Name	Common Name	Trunk Size	Dripline
#1	<i>Pyrus communis</i> 'Bosc'	Bosc Pear	4"	9'
#2	<i>Malus domestica</i> 'Newtown Pippin'	Semi Dwarf Apple Tree	4"	9'
#3	<i>Pyrus communis</i>	Espalier Pear (several varieties)	6"	N/A
#4	<i>Prunus cerasifera</i>	Flowering Plum	12"	20'
#5	<i>Prunus dulcis</i>	Almond	6"	6'
#6	Unknown	Redwood?	12"	14'

** This tree is part of a hedge facing the street on the neighboring property. One tree is planted directly on the property line. They were very fast growing and the branches stretch 7' into my property. Note: the hedge is now at the height of the telephone cables toward the house. I do not know the species of this plant but assume some kind of redwood.



Utilities

- Red= Electrical Underground
- Green = Water Underground
- Brown = Sewer Underground
- Gas -- None
- Blue = Phone/Cable overhead.



GENERAL NOTES

- PLANS PREPARED AT THE REQUEST OF:
JANET OULTON, OWNER
- TOPOGRAPHY BY BGT LAND SURVEYING, SURVEYED 6-14-21.
- THIS IS NOT A BOUNDARY SURVEY.
- ELEVATION DATUM: NGVD29.
- THE GEOTECHNICAL REPORT:
GEOTECHNICAL STUDY: OULTON PROPERTY, MALAGA STREET, EL GRANADA, APN 047-292-320; DATE: 5-7-21, BY SIGMA PRIME GEOSCIENCES, PROJECT NO. 21-133 SHALL BE RETAINED ON THE CONSTRUCTION SITE. THE GEOTECHNICAL ENGINEER OF RECORD IS SIGMA PRIME GEOSCIENCES, WITH THE CONTACT NUMBER (650)-728-3590. THE CONTRACTOR SHALL NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
- STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUB-GRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS CALL SIGMA PRIME AT 650-728-3590 TO SCHEDULE DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

DRAINAGE NOTES

- DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
- ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN.
- ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

GRADING NOTES

CUT VOLUME : 215 CY (FOR FOUNDATION)
FILL VOLUME: 0 CY

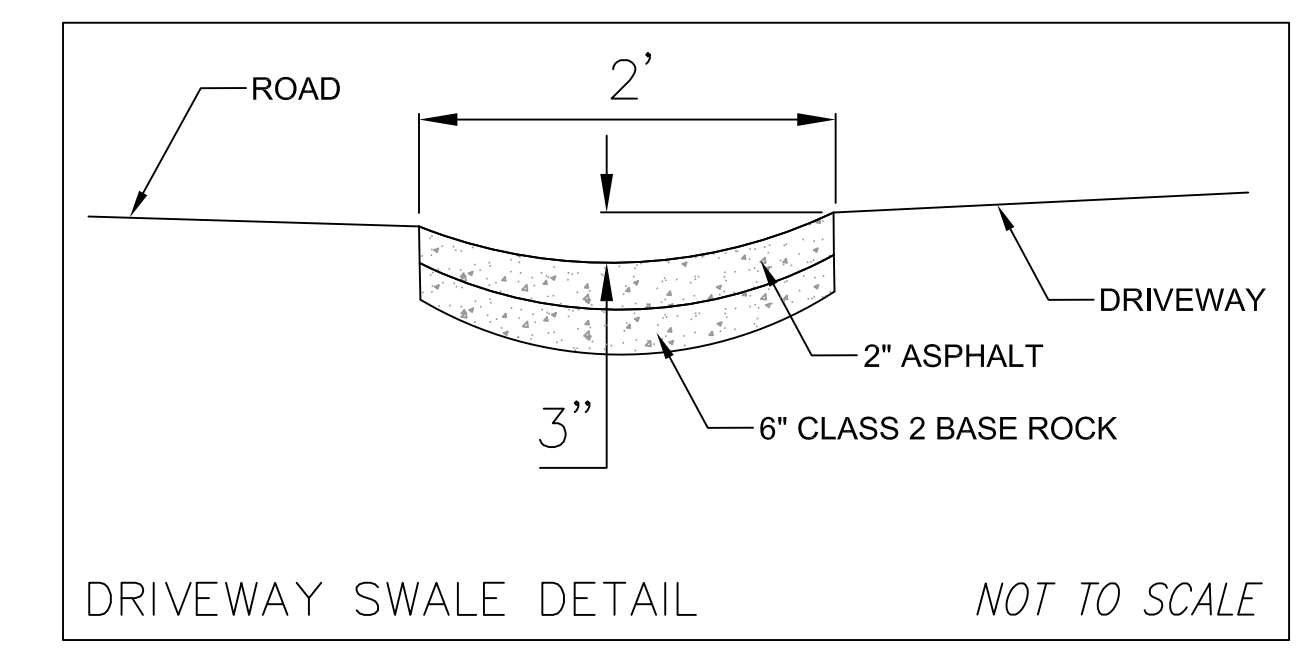
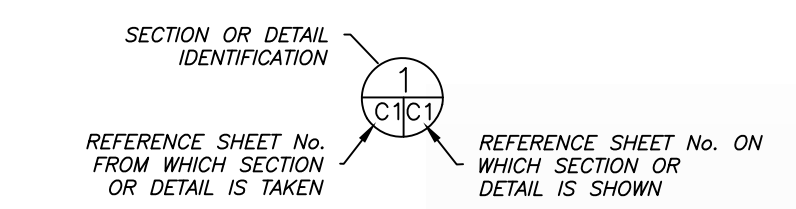
VOLUMES ABOVE ARE APPROXIMATE.

THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.

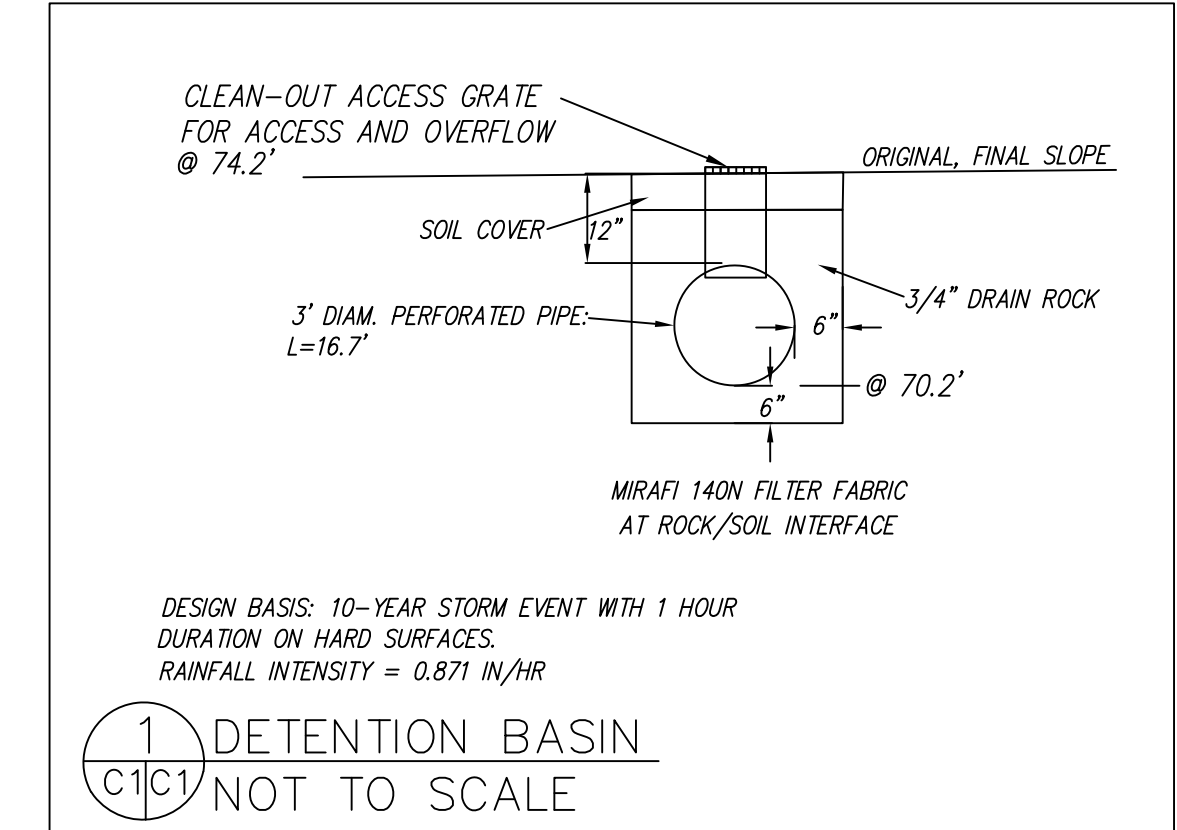
ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

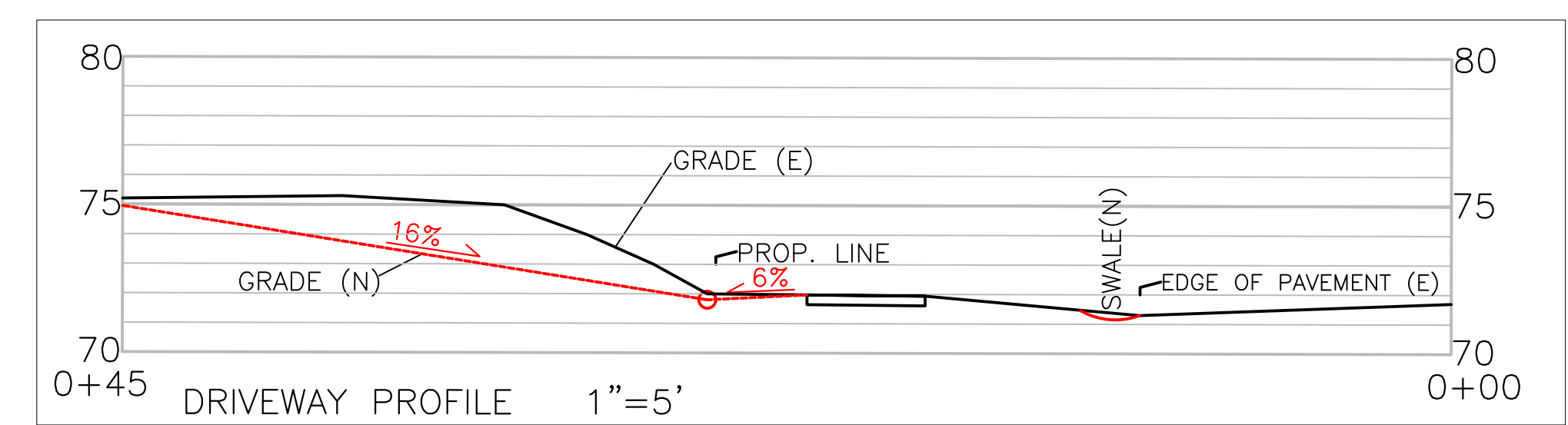
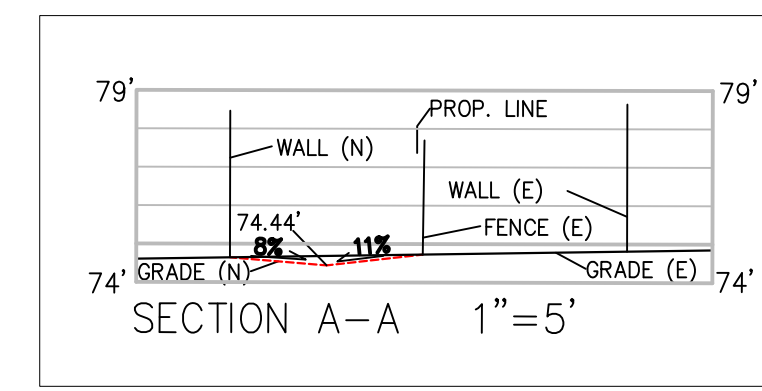
SECTION AND DETAIL CONVENTION



DRIVEWAY SWALE DETAIL NOT TO SCALE



1 DETENTION BASIN NOT TO SCALE



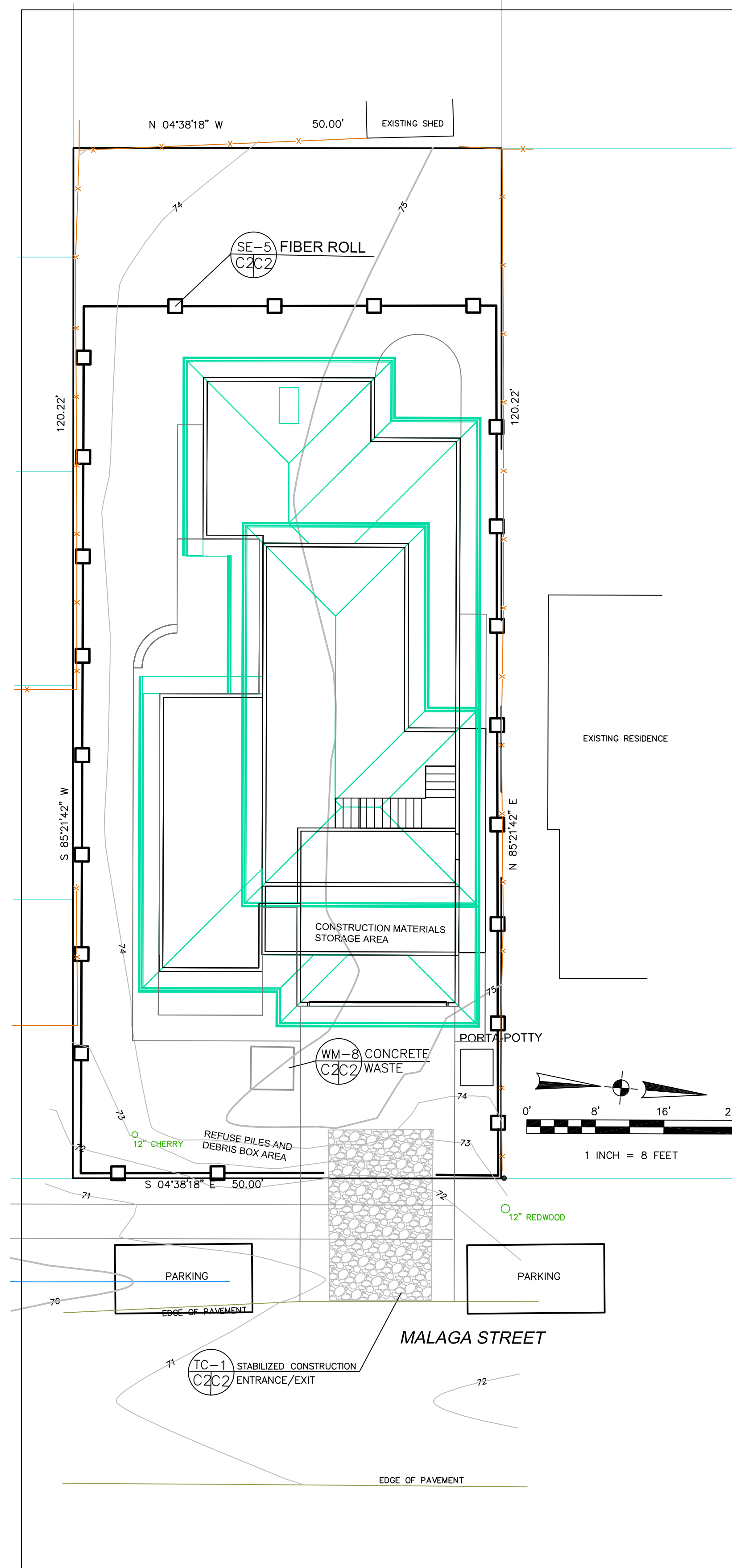
DRIVEWAY PROFILE 1"=5'

GRADING AND DRAINAGE PLAN	DATE: 7-21-21	DRAWN BY: CMK	CHECKED BY: AZG	REV. DATE:	REV. DATE:
	Sigma Prime Geosciences, Inc. SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 728-3590 FAX 728-3593				
SHEET C-1	OULTON PROPERTY 950 MALAGA STREET EL GRANADA APN 047-292-320				
	SHEET C-1				

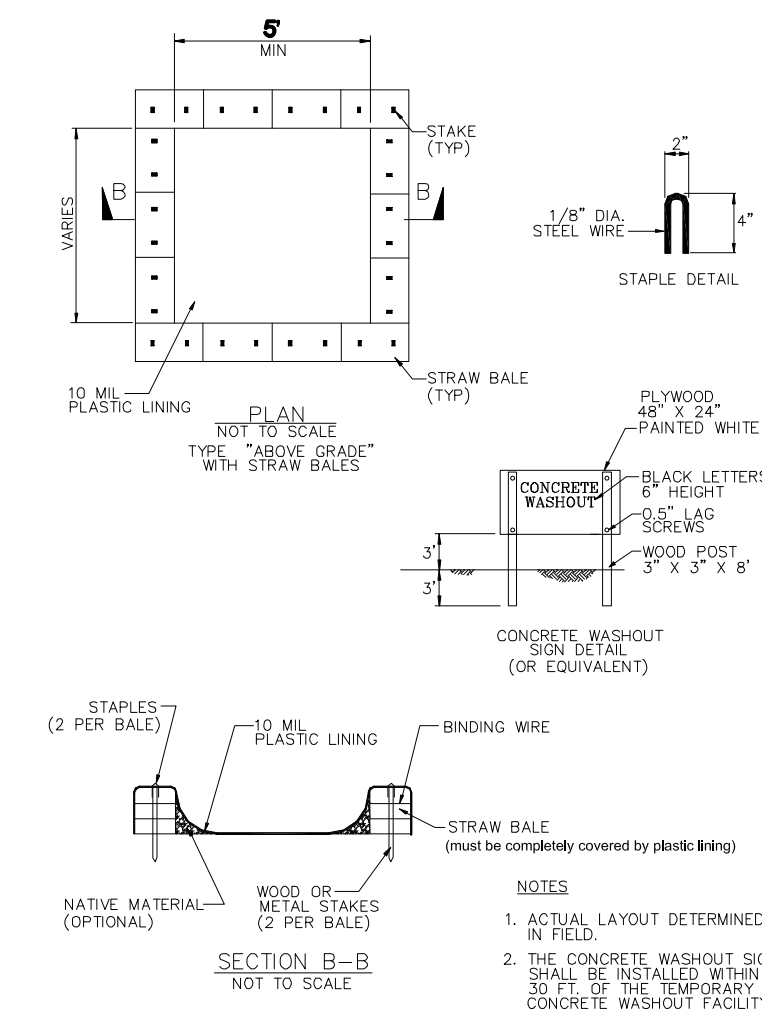
GENERAL EROSION AND SEDIMENT CONTROL NOTES

FIBER ROLL
INSTALL AT LOCATIONS SHOWN.
AFIX AS SHOWN IN DETAIL SE-5

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- There are no trees or driplines on the site.



CONCRETE WASTE MANAGEMENT WM-8



EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: JANET OULTON
TITLE/QUALIFICATION: OWNER
PHONE: 650-312-9151
PHONE:
JANET_OULTON@HOTMAIL.COM



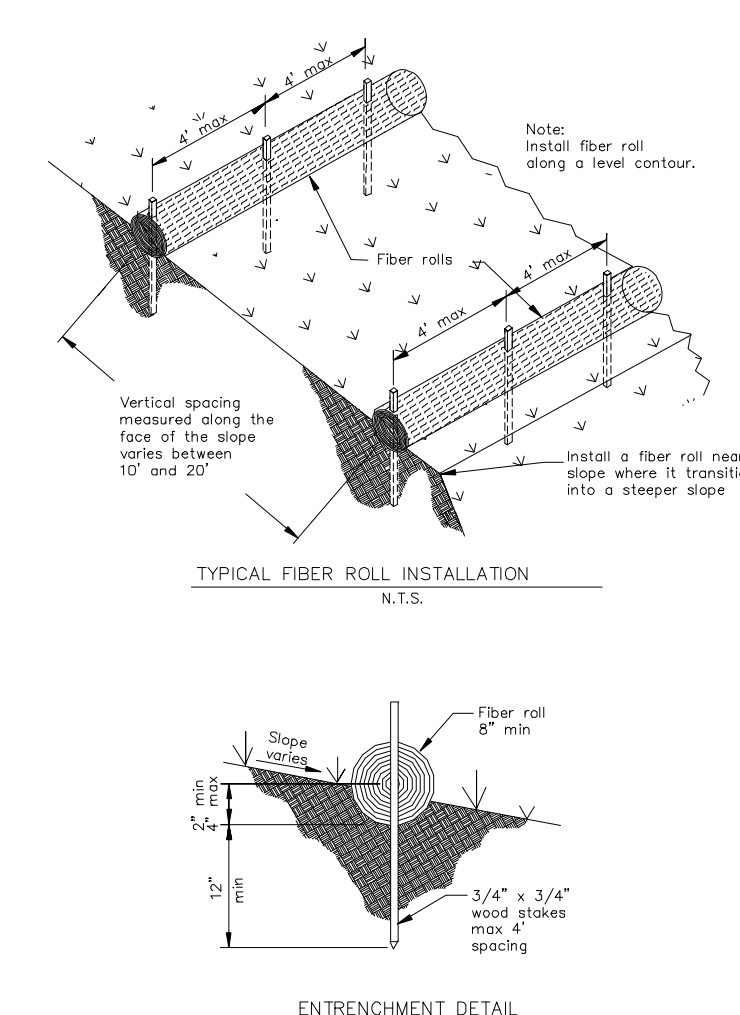
Sigma Prime Geosciences, Inc.
SIGMA PRIME GEOSCIENCES, INC.
502 PRINCETON AVENUE
4141 PRINCETON AVENUE, CA 94019
(650) 738-3693
FAX 738-3693

DATE: 7-21-21
DRAWN BY: CMK
CHECKED BY: AZG
REV. DATE:
REV. DATE:
REV. DATE:

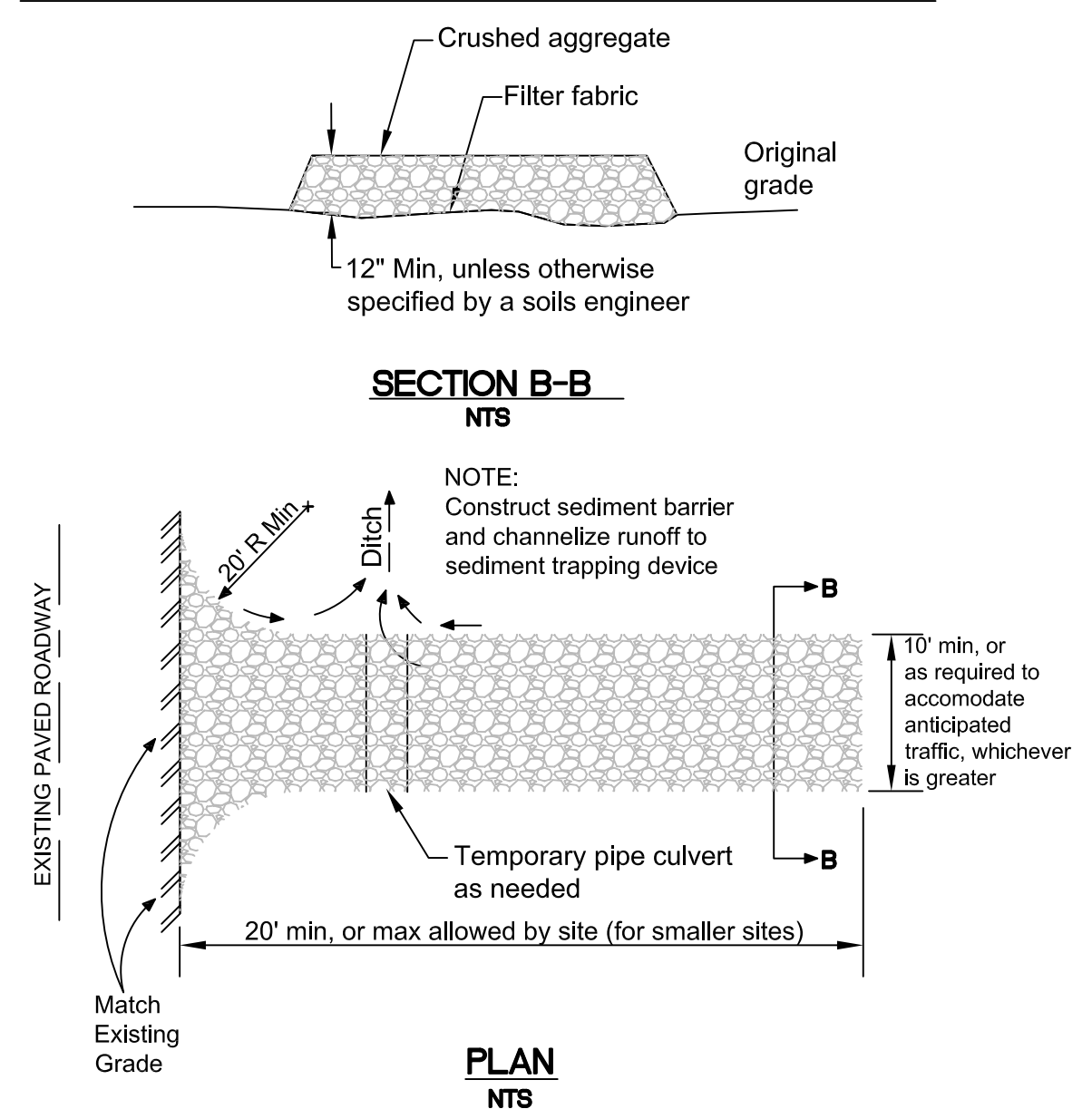
EROSION AND SEDIMENT CONTROL PLAN
OULTON PROPERTY
950 MALAGA STREET
EL GRANADA
APN 047-292-320

SHEET
C-2

FIBER ROLLS SE-5

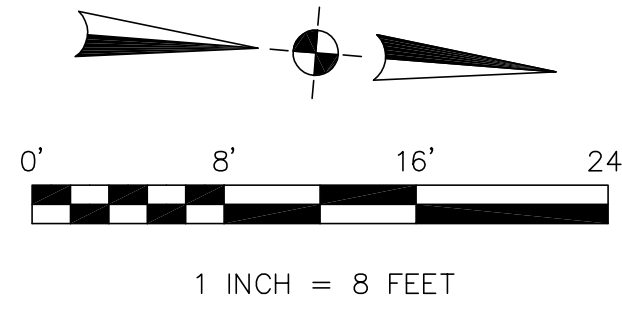


STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1



FRANCISCO ST.

[C/L INTERSECTION AS RESOLVED BY BGT PER 31 LLS 73]



EXISTING RESIDENCE
RIDGE: 94.1

LOT 5

LOT 10

LOT 11

LOT 12

PLAT OF SUBDIVISION NO. 1 OF GRANADA
BOOK 5 MAPS 43
BLOCK 7

BASIS OF BEARINGS

BEARINGS SHOWN HEREON TAKEN FROM THE RECORD OF SUREVEY BY BGT WHICH WAS FILED FOR RECORD IN VOLUME 31 OF LLS MAPS PAGE 73 ON JUNE 24, 2008, SAN MATEO COUNTY RECORDS.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED UPON NGVD 1929 DATUM ("MEAN SEA LEVEL"). BENCHMARK USED WAS THE NGS DISK IN CAST IRON CASING "TIDAL 5" WITH AN ELEVATION OF 11.45 FEET.

TBM TO USE FOR SITEWORK IS THE CENTER OF THE SEWER MANHOLE LID WITH AN ELEVATION OF 72.67 FEET.

NOTES:

BGT DID NOT RECEIVE A TITLE REPORT. THEREFORE, ANY EASEMENTS OF RECORD AFFECTING THE PROPERTY COULD NOT BE PLOTTED.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELD CREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING
www.bgtssurveying.com

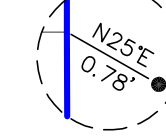
DATE OF FIELD SURVEY: JUNE 14, 2021
JOB NUMBER: 21-093

LEGEND

- AC ASPHALT CONCRETE
- CB BACK OF WALK
- CB CATCH BASIN
- C/L CENTERLINE
- CMP CORRUGATED METAL PIPE
- C CAST IRON PIPE
- CO CLEAN OUT BOX
- CP SURVEY CONTROL POINT
- CPP CORRUGATED PLASTIC PIPE
- CTV CABLE TELEVISION LINE
- DI DROP INLET
- EM ELECTRIC METER
- EV ELECTRIC VAULT
- FL FINISHED FLOOR
- FL FLOWLINE
- FH FIRE HYDRANT
- GM GAS METER
- GRD GROUND
- GUY GUY ANCHOR
- GV GAS VALVE
- INV INVERT
- IP IRON PIPE
- JP JOINT POLE
- LG LIP OF GUTTER
- MH MH (TYPE UNKNOWN)
- MON-MON MONUMENT TO MONUMENT DISTANCE
- P&E P&E VAULT
- PV POST INDICATOR VALVE
- PP POWER POLE
- SDMH STORM DRAIN MANHOLE
- SSMH SANITARY SEWER MANHOLE
- SSV SANITARY SEWER VAULT
- T&C TOP BACK OF CURB
- TBM TEMPORARY BENCHMARK
- UNK UNKNOWN TYPE
- VCP VITRIFIED CLAY PIPE
- WBF WATER BACK FLOW VALVE
- WM WATER METER BOX
- WV WATER VALVE
- G- GAS LINE
- OH- OVERHEAD LINE
- SD- STORM DRAIN LINE
- SS- SANITARY SEWER LINE
- W- WATER LINE

APN 047-292-320
6000 SQ. FT.±

FOUND 3/4" IP WITH BRASS TAG AND TACK "LS 3451"



N25E
0.76'

(120)
120.22'

(120)
120.22'

S 85°21'42" W
57.50'

N 85°21'42" E
57.50'

S 04°38'18" E
50.00'

S 04°38'18" E
50.00'

S 04°38'18" E
50.00'

S 04°38'18" E
50.00'

SANTIAGO AVENUE
[60' WIDE]

COLUMBUS ST.

[C/L INTERSECTION AS RESOLVED BY BGT PER 31 LLS 73]

LOT 4

LOT 3

LOT 2

LOT 1

LOT 36

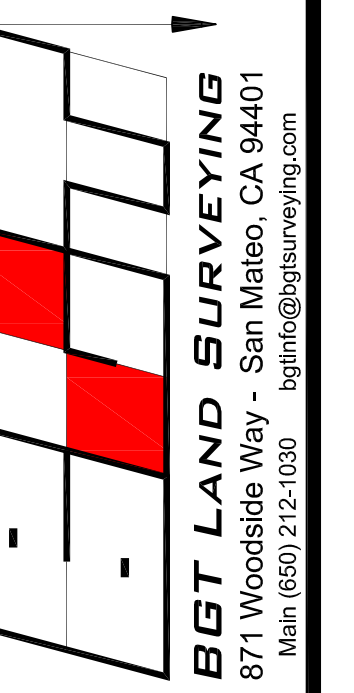
LOT 35

LOT 34

MALAGA STREET [50' WIDE]

SSMH
LID: 65.23
INV: 56.5

SSMH
LID: 72.67
INV: 66.9



BOUNDARY AND TOPOGRAPHIC SURVEY
LOT 35-36, BLOCK 7, "PLAT OF SUBDIVISION NO. 1 GRANADA" (BOOK 5 MAPS 43)

VACANT, 950 MALAGA STREET
EL GRANADA, COUNTY OF SAN MATEO, CALIFORNIA

Assessor Parcel Number:
047-292-320

Prepared For:
JANET OULTON
PO BOX 1146
EL GRANADA, CA 94018

Date: JUNE 2021
Scale: 1" = 8'

Contour Interval: 1'
Drawn by: LHL

Revisions:

SU-1

Job No. 21-093



SAN MATEO COUNTYWIDE

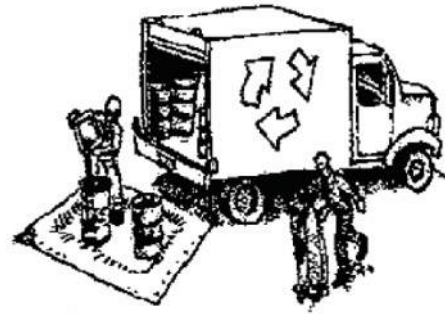
Water Pollution Prevention Program

Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

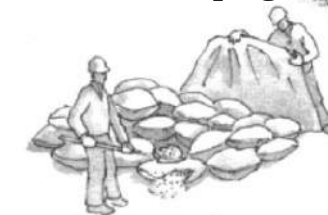
- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



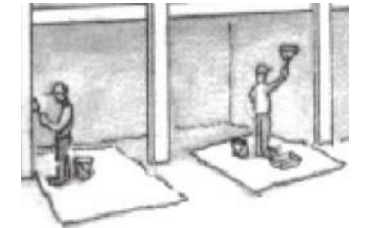
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

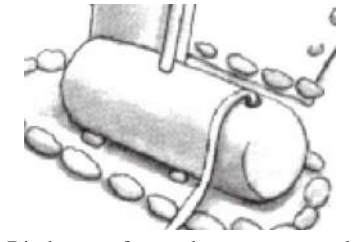
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!