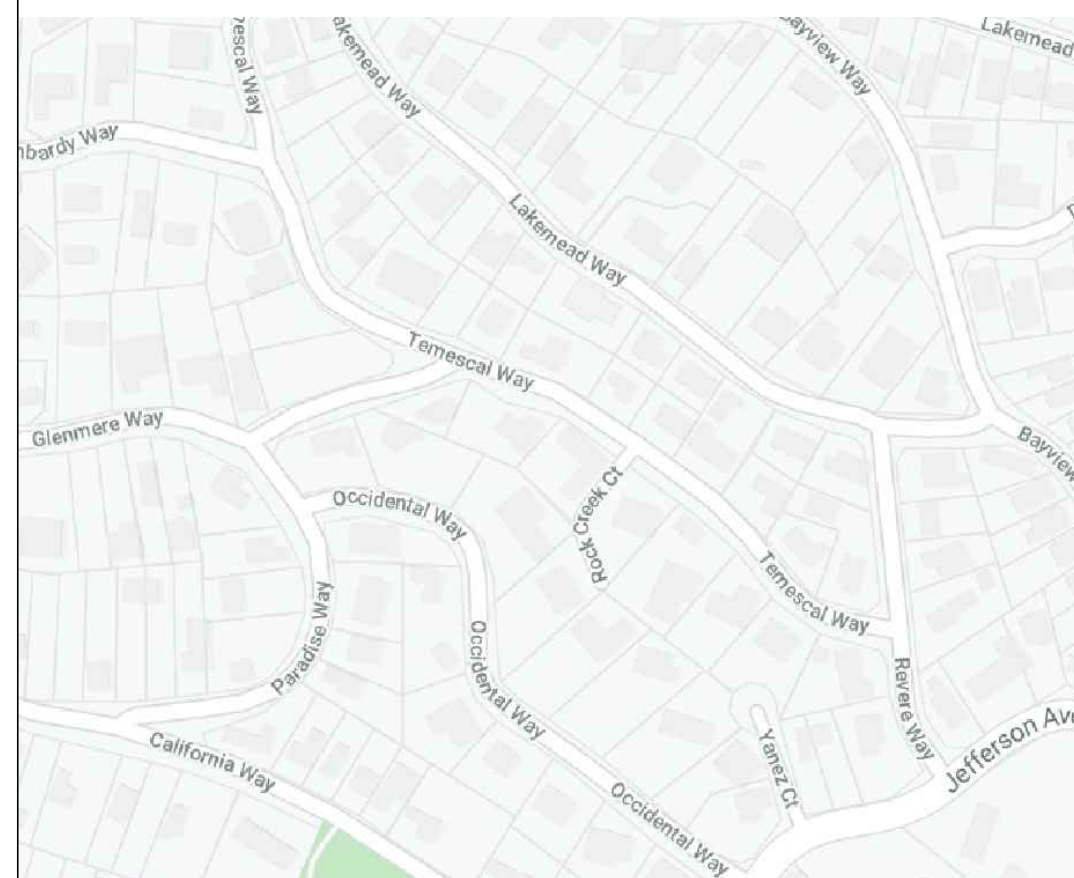




THE MOSTAFA RESIDENCE

000 TEMESCAL WAY
EMERALD HILLS, CA

VICINITY MAP



BUILDING CODE DATA

OCCUPANCY:
R-3 / U
SINGLE FAMILY RESIDENCE
WITH ATTACHED GARAGE.
CONSTRUCTION TYPE: V-B
FIRE SPRINKLER: YES
APN: 068-092-190

BUILDING CODE:
ALL APPLICABLE CURRENT CODES
TO THE COUNTY OF SAN MATEO
AND THE STATE OF CALIFORNIA
2019 CALIFORNIA BLD'G CODE (CEC)
2019 CALIFORNIA PLUMBING CODE (CPC)
2019 CALIFORNIA MECHANICAL CODE (CMC)
2019 CALIFORNIA ELECTRICAL CODE (CEC)
2019 CALIFORNIA GREEN BUILDING CODE (CALGREEN)
2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA ENERGY CODE

TABULATION

F.A.R
ALLOWABLE 2400 SQ.FT.
FIRST FLOOR 1,493.55 SQ. FT.
SECOND FLOOR 904.45 SQ. FT.
TOTAL F.A.R 2398 SQ. FT.
REFER TO SHEET A-1.2 FOR AREA DIAGRAM

LOT COVERAGE
LOT SIZE 7144 SQ.FT.
MAX ALLOWABLE 7144 X 0.25 = 1786 SQ. FT.
PROPOSED LOT COVERAGE 1757 SQ. FT.
REFER TO SHEET A-1.2 FOR AREA DIAGRAM

PROPOSED ATTACHED ADU
SINGLE STORY ATTACHED 550.5 SQ. FT.

SHEET INDEX.

- A-0.0 COVER SHEET/ PLANNING DATA
- T-1 PRELIMINARY BOUNDARY AND TOPOGRAPHIC SURVEY MAP

ARCHITECTURAL

- A-1.0 PROPOSED SITE PLAN
- A-1.2 AREA CALCULATION DIAGRAMS
- A-2.0 PROPOSED FIRST FLOOR PLAN
- A-2.1 PROPOSED SECOND FLOOR PLAN
- A-3.0 ROOF PLAN
- A-4.0 EXTERIOR ELEVATIONS
- A-4.1 EXTERIOR ELEVATIONS

GRADING AND DRAINAGE

- C-1 COVER SHEET
- C-2 GRADING AND DRAINAGE PLAN
- C-3 RETAINING WALLS AND SUBDRAIN SYSTEM PLAN
- C-4 DETAILS.
- C-5 EROSION CONTROL PLAN
- C-6 CONSTRUCTION BMP'S

No. Date Description

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Drawn By : FK

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COVER SHEET
PLANNING DATA

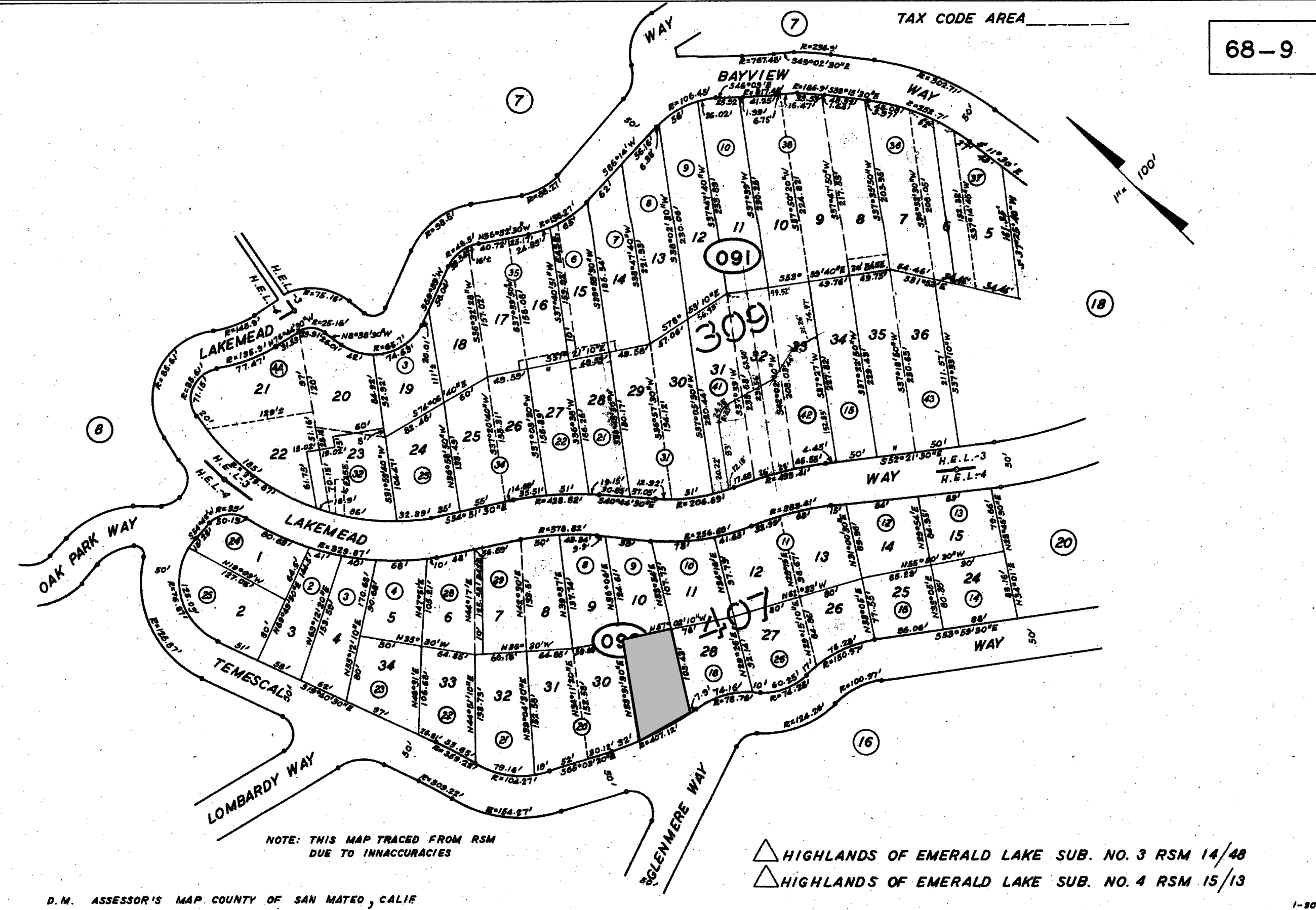
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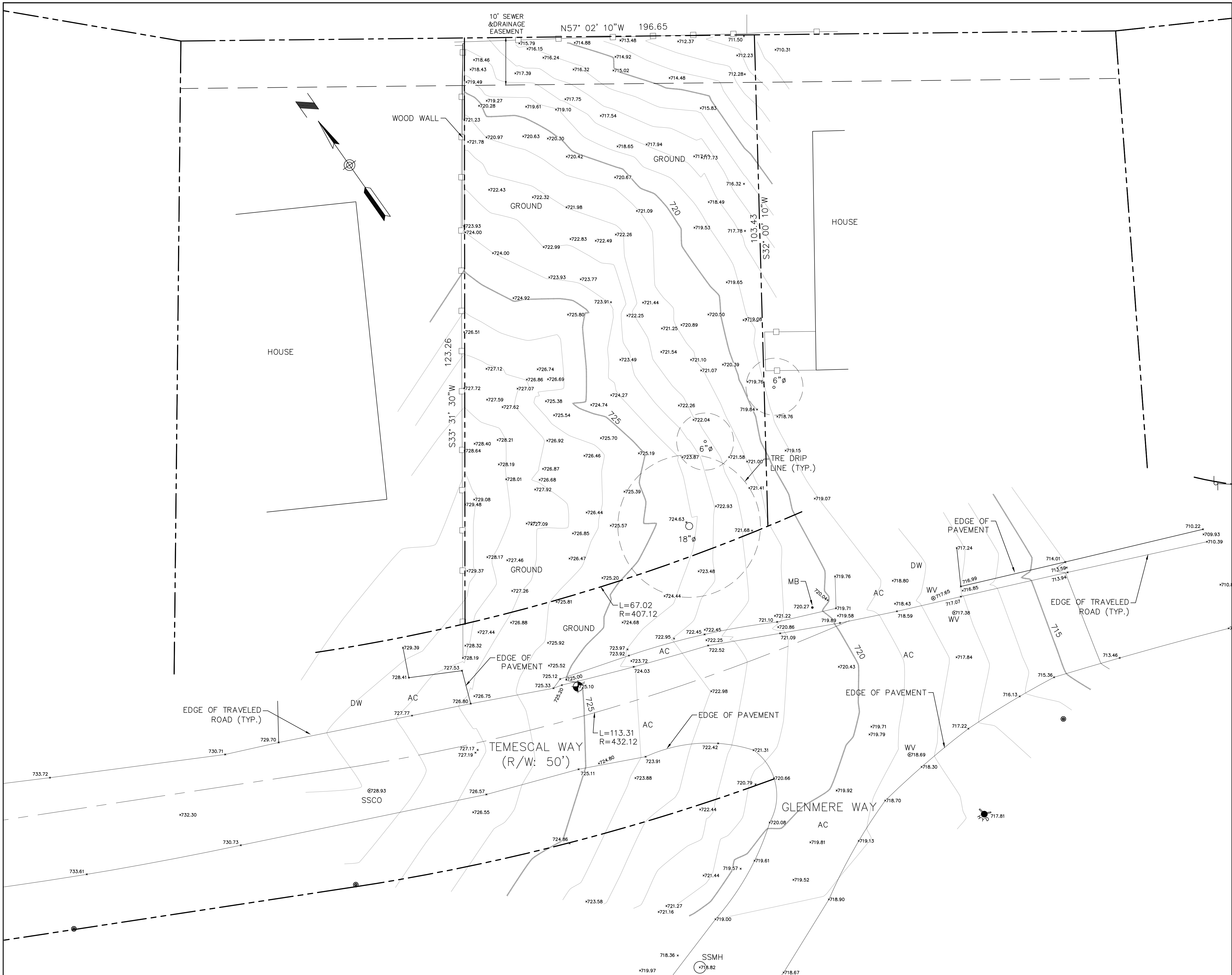
CONSULTANTS

DESIGN BY:
KHADIV DESIGN STUDIO
4657 TAMPIGO WAY
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Phone (408) 888-6662
Email Address: INFO@KHADIVDESIGN.COM

CIVIL DRAWING
SMP ENGINEERS
1534 CAROB LANE
LOS ALTOS, CA 94024
Tel: (650) 941-8055 Fax: (650) 941-8155



1-80



LEGEND

---	PROPERTY LINE	AC	ASPHALT
- - -	EXISTING LOTS	AD	AREA DRAIN
---	CENTERLINE	ANC	ANCHOR
---	EASEMENT LINE	BSBL	BUILDING SETBACK LINE
---	SANITARY SEWER LINE	C&G	CURB AND GUTTER
---	STORM DRAIN LINE	CB	CATCH BASIN
---	OVERHEAD POWER LINE	CO	CLEAN OUT
---	WOOD FENCE	DW	DRIVEWAY
○	POWER POLE	EB	ELECTRIC BOX
○	FIRE HYDRANT	EM	ELECTRIC METER
○	JOINT POLE	EP	EDGE OF PAVEMENT
○	SURVEY MONUMENT FOUND	FM	FIRE HYDRANT
○	TBM (ELEVATION)	GA	GUY ANCHOR
○	WATER VALVE	GM	GAS METER
		GV	GAS VALVE
		IV	IRRIGATION VALVE
		LP	LIGHT POLE
		MB	MAIL BOX
		MH	UTILITY MANHOLE
		P.U.E.	PUBLIC UTILITY EASEMENT
		P	BRICK CONC PILLAR
		PP	POWER POLE
		(R)	RADIAL BEARING
		SL	STREET LIGHT
		SDMH	STORM DRAINAGE MANHOLE
		SSMH	SANITARY SEWER MANHOLE
		SSCO	SANITARY SEWER CLEAN OUT
		TCD	THROUGH CURB DRAIN
		TS	TRAFFIC SIGN
		VG	VALLEY GUTTER
		WM	WATER METER
		WV	WATER VALVE

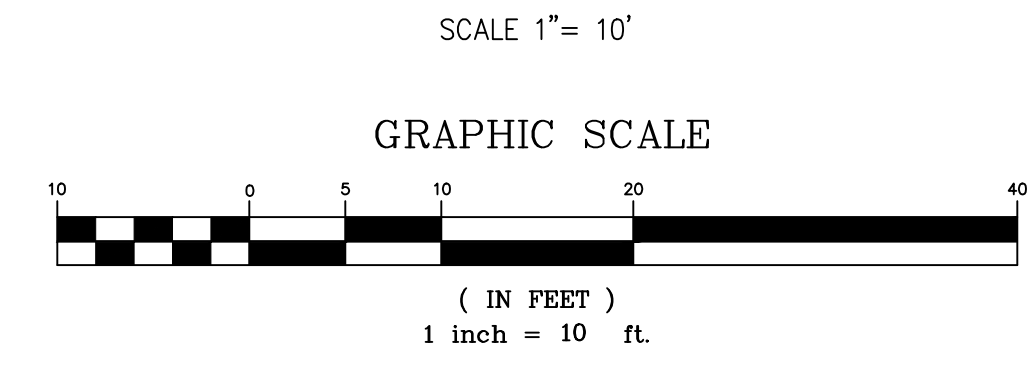
DISCLAIMER:
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NOTE:
THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE.

BASIS OF BEARINGS:
FOUND SURVEY MONUMENTS. RECORD INFORMATION WAS USED. PER RECORD MAP, BOOK (RSM):15 PAGE:13 WHICH IS FILED IN THE COUNTY OF SAN MATEO RECORDER'S OFFICE.

SITE BENCHMARK:
SURVEY CONTROL SET MAG NAIL ELEVATION=725.10' (NAVD 88 DATUM)

- NOTES:**
1. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
 2. THE GROSS AREA OF LAND OF RECORD IS 7,144.44 SQ. FT. ±.
 3. THE MAP WAS BASED ON A GRANT DEED DOC.# 15999 BY LINDA L. ROUDE BUSH. DATED 03/07/2019, RECORDED IN SAN MATEO COUNTY.
 4. ALL EXISTING BUILDINGS ARE WOOD.
 5. FOR PRECISE SPECIES OF TREES A CERTIFIED ARBORIST SHALL BE CONSULTED.
 6. THIS DRAWING REPRESENTS A TOPOGRAPHIC SURVEY PREPARED IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE PROPERTY LINES SHOWN HEREON ARE COMPILED FROM RECORD DATA AND REPRESENT THE BEST GRAPHICAL FIT BETWEEN RECORD INFORMATION AND THE TOPOGRAPHICAL FEATURES SURVEYED AND SHOULD NOT BE RELIED UPON OR USED FOR ANY OTHER PURPOSES. PURSUANT TO THE CLIENT'S DIRECTION A BOUNDARY SURVEY WAS NOT PERFORMED AT THIS TIME WHICH MAY HAVE DETERMINED THE ACTUAL PROPERTY LINES.



SLOPE DENSITY = $\frac{0.0023 \times 1 \times 1347}{0.164} = 18.89\%$

EMES
RED
N

SMP ENGINEERS
CIVIL ENGINEERS—LAND SURVEYORS
1534 Carob Lane Los Altos, CA 94024
Tel. (650) 941-8055 Fax (650) 941-8755

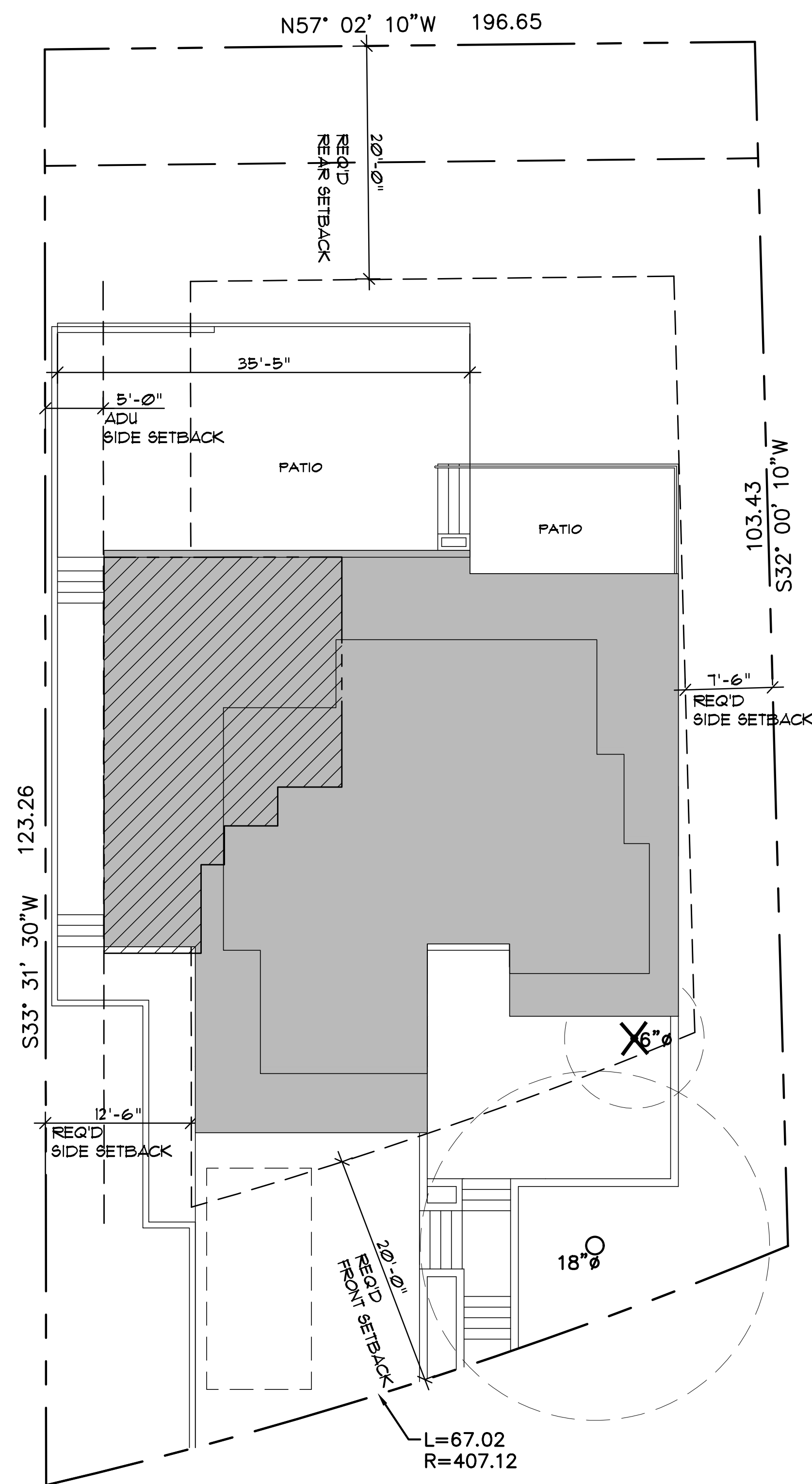
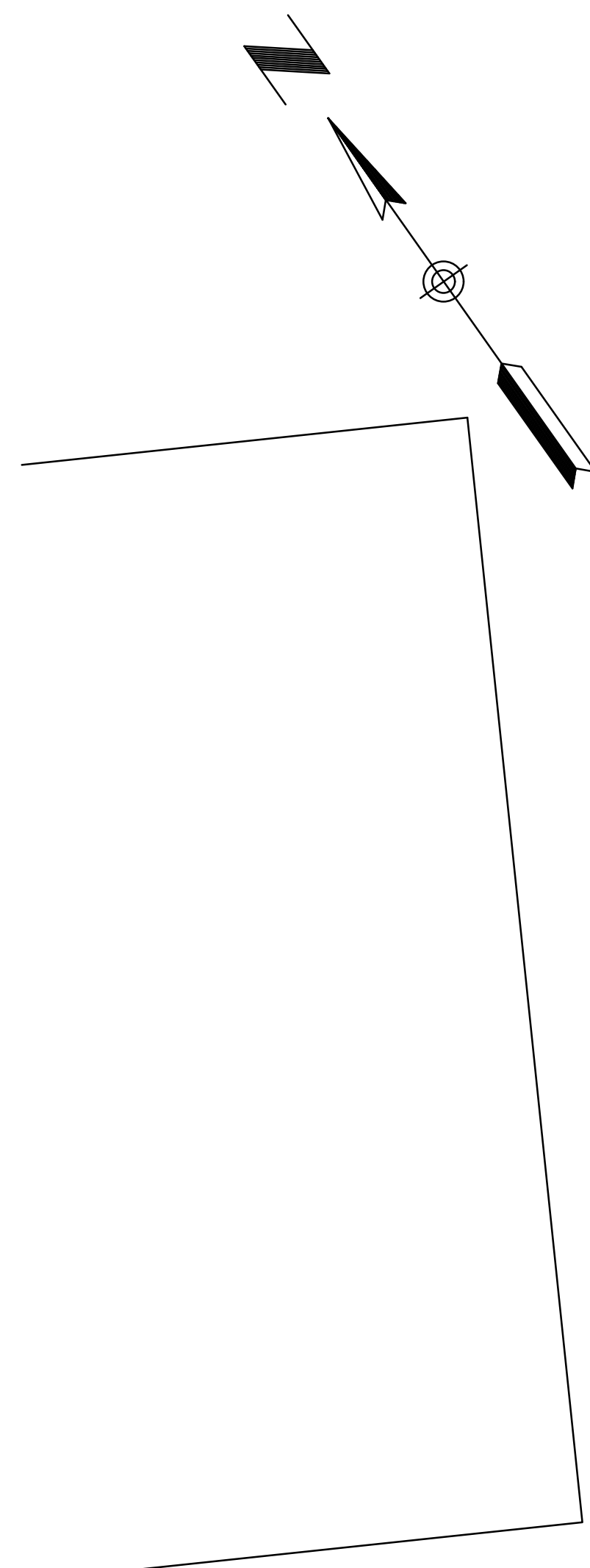
Scale: 1" = 10'
Prepared by: J.N.
Checked by: S.R.
Date: 01/16/2020
Project No: 220005

REIMINROND
GRIDSREIM

Sheet No: □□

REVISIONS	DESIGN BY	DESIGN DATE	CITY APPR.	APPR. DATE

REDD



SITE PLAN LEGEND

- PROPERTY LINE.
- SETBACK LINE OR LINE OF EASEMENT
- FOOTPRINT OF ATTACHED ADU
- FOOTPRINT OF MAIN RESIDENCE
- PERVIOUS INTERLOCKING PAVER
- TREE TO REMAIN
- TREE TO BE REMOVED

No. Date Description

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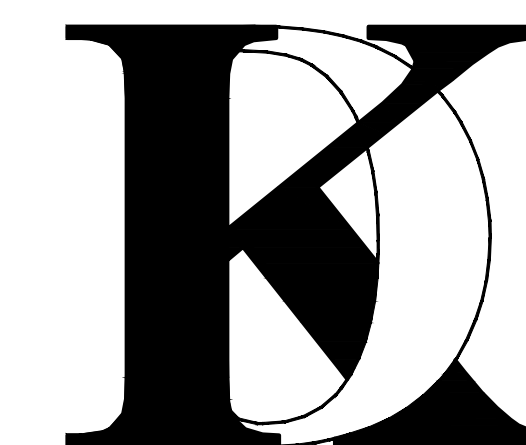
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Drawn By : FK

Job No: 2019-05

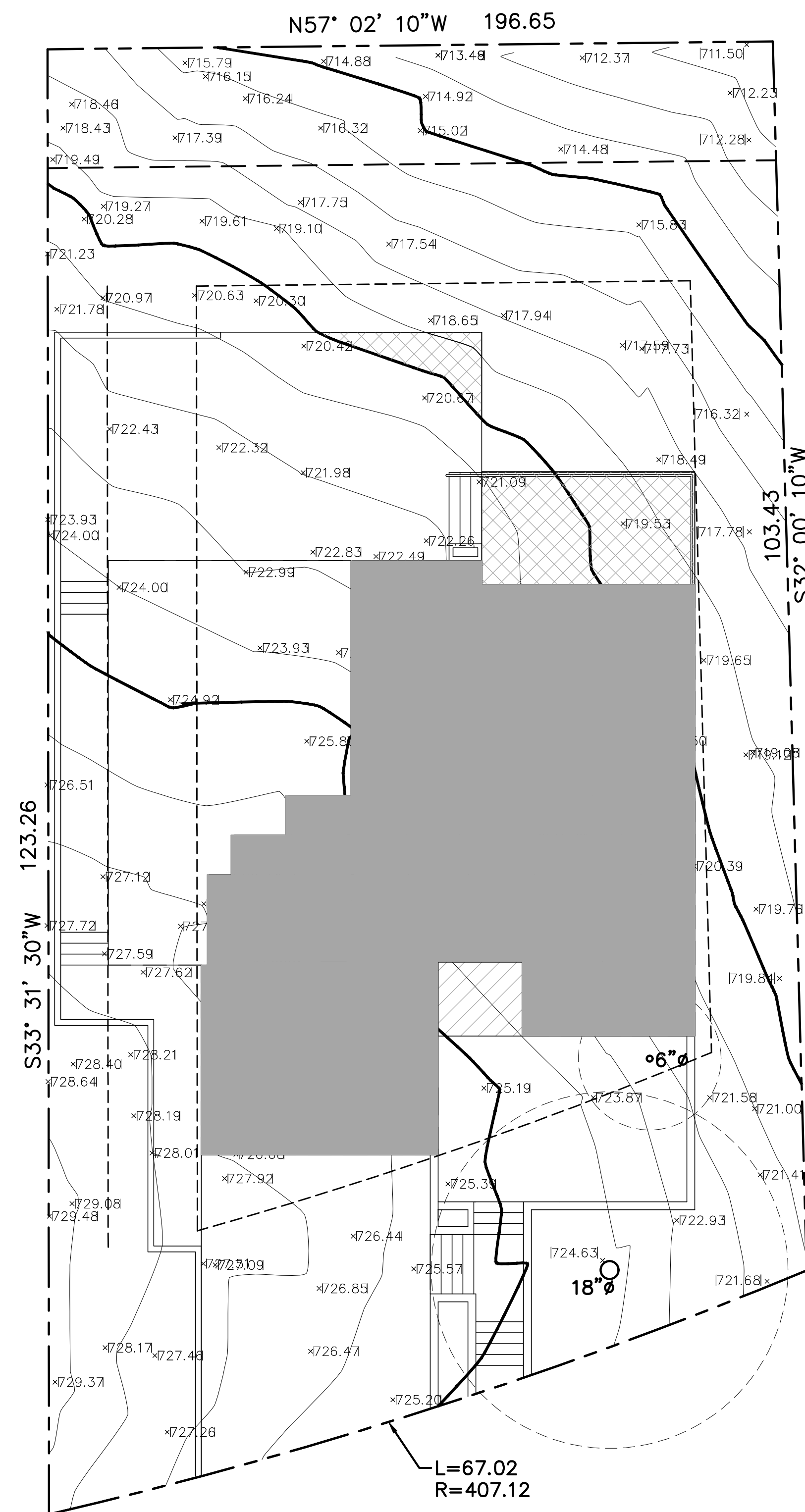
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Sheet Title :

**PROPOSED
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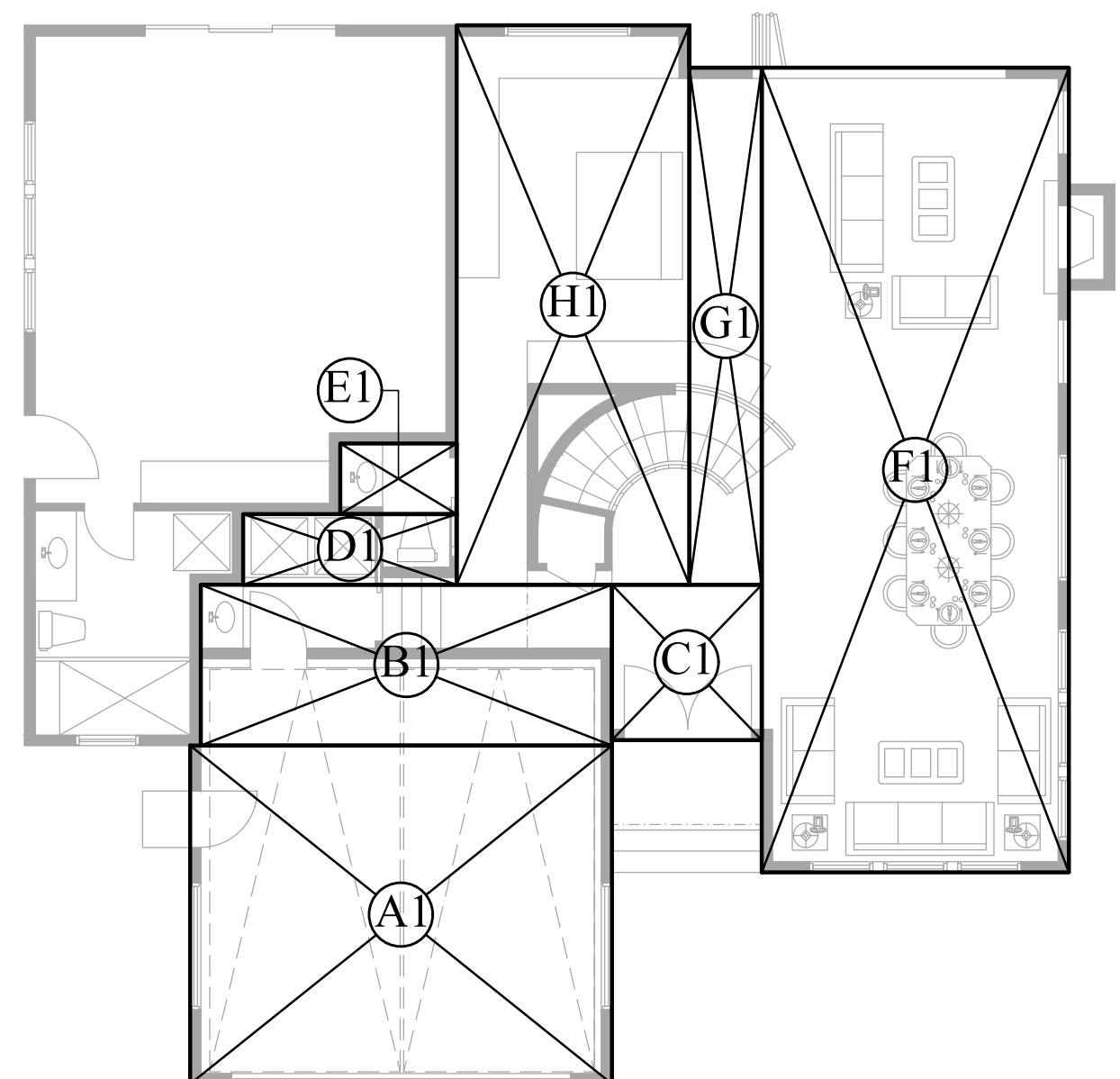
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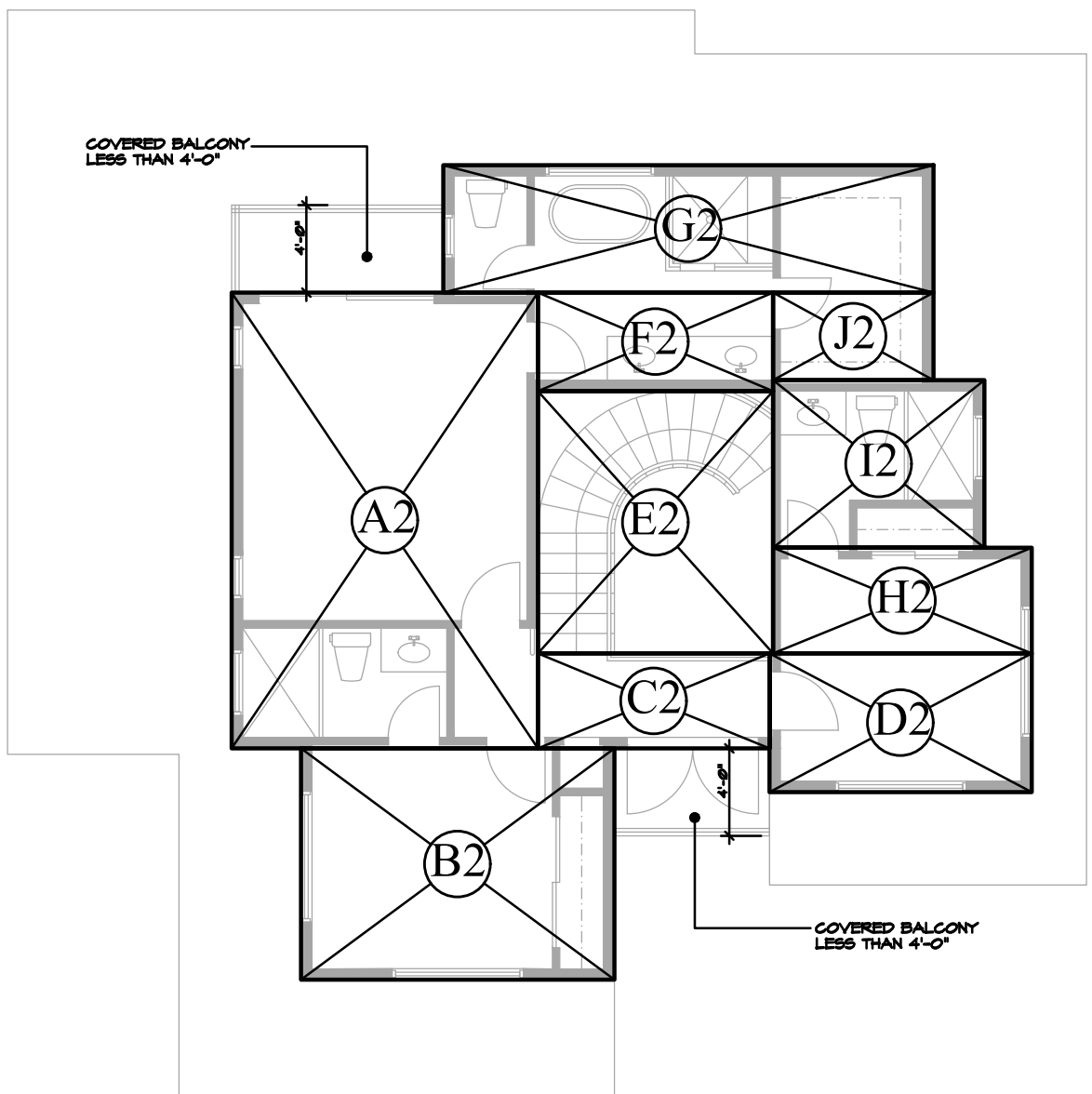
HATCH	POLYGON/AREA DESIGNATION	AREA (SQ. FT.)
	EXISTING FIRST FLR AND GARAGE	1,493.55
	FRONT ENTRY PORCH	44
	PATIO 18" ABOVE GRADE	219.45
TOTAL LOT COVERAGE		1757
MAX ALLOWABLE 7144 X 0.25 =		1786 SQ. FT.

LOT COVERAGE DIAGRAM



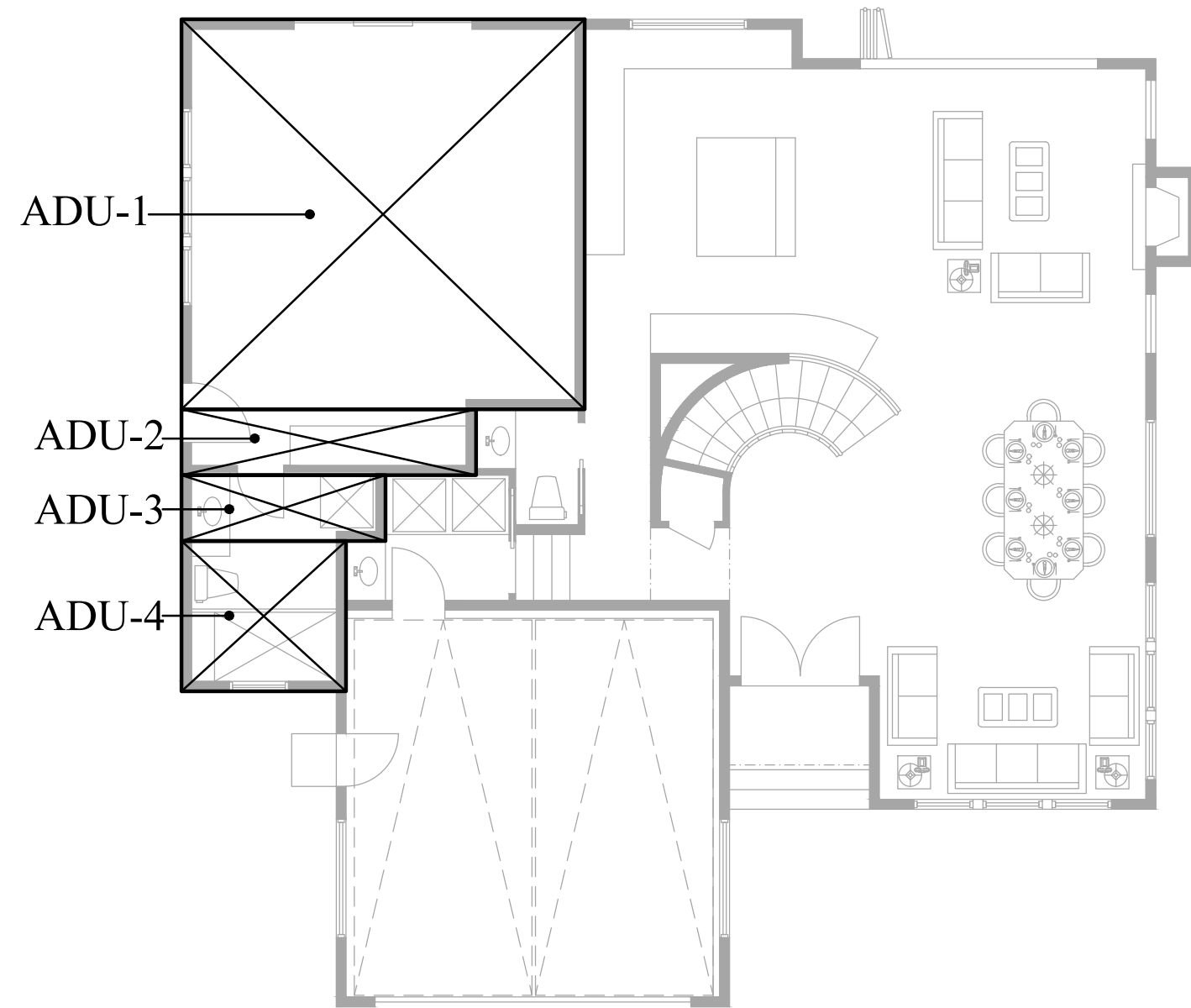
FIRST FLOOR DIAGRAM

POLYGON/AREA DESIGNATION	DIMENSIONS	AREA (SQ. FT.)
A1	19'-11" X 16'-0"	318.25
B1	19'-5" X 7'-8"	147.5
C1	7'-1" X 7'-4"	52
D1	10'-1" X 3'-4"	33.5
E1	5'-6" X 3'-4"	18.3
F1	14'-6" X 38'-0"	550
G1	3'-5" X 24'-5"	83.5
H1	11'-0" X 26'-5"	290.50
SUBTOTAL FIRST FLOOR		1,493.55



SECOND FLOOR DIAGRAM

POLYGON/AREA DESIGNATION	DIMENSIONS	AREA (SQ. FT.)
A2	14'-0" X 20'-10"	291
B2	14'-4" X 10'-7"	152
C2	10'-7" X 4'-4"	45.8
D2	12'-0" X 6'-3"	76
E2 (STAIR AND OPEN TO BELOW)	10'-9" X 12'-0"	-129.00
F2	10'-9" X 4'-6"	48.5
G2	22'-5" X 5'-10"	130.75
H2	11'-10" X 4'-10"	57.1
I2	9'-8" X 7'-8"	74
J2	7'-4" X 4'-0"	29.3
SUBTOTAL SECOND FLOOR		904.45



ATTACHED ADU DIAGRAM

POLYGON/AREA DESIGNATION	DIMENSIONS	AREA (SQ. FT.)
ADU-1	20'-5" X 19'-9"	403
ADU-2	14'-11" X 3'-4"	49.5
ADU-3	10'-4" X 3'-4"	34.5
ADU-4	8'-4" X 7'-8"	63.5
SUBTOTAL ADU FLOOR		550.5

FLOOR AREA DIAGRAM

No. Date Description

- △ _____
- △ _____
- △ _____

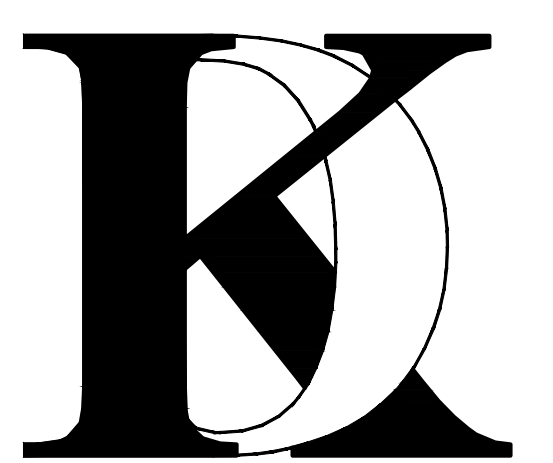
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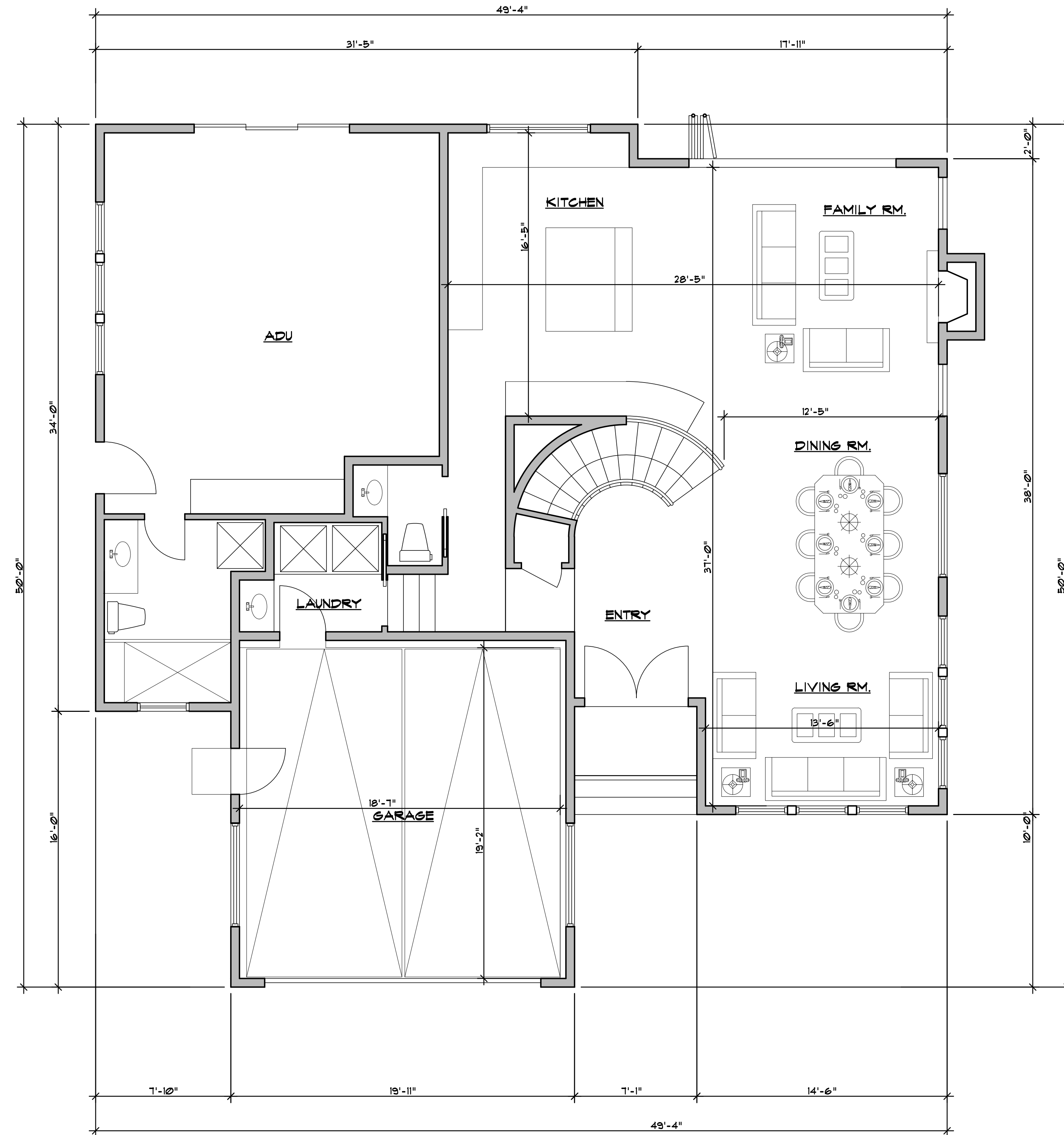
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Sheet Title :

AREA CALCULATION
DIAGRAM

Sheet No. :

A-1.2



FIRST FLOOR PLAN

No. Date Description

- △ _____
- △ _____
- △ _____

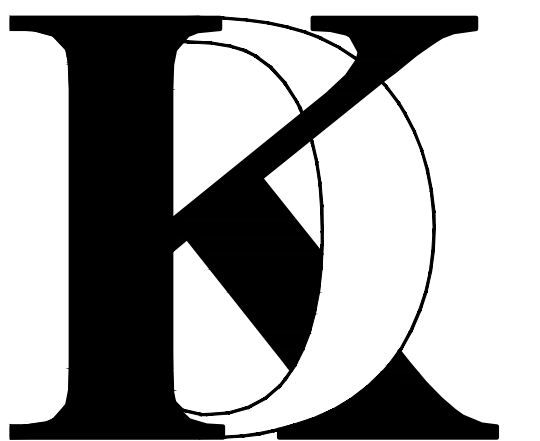
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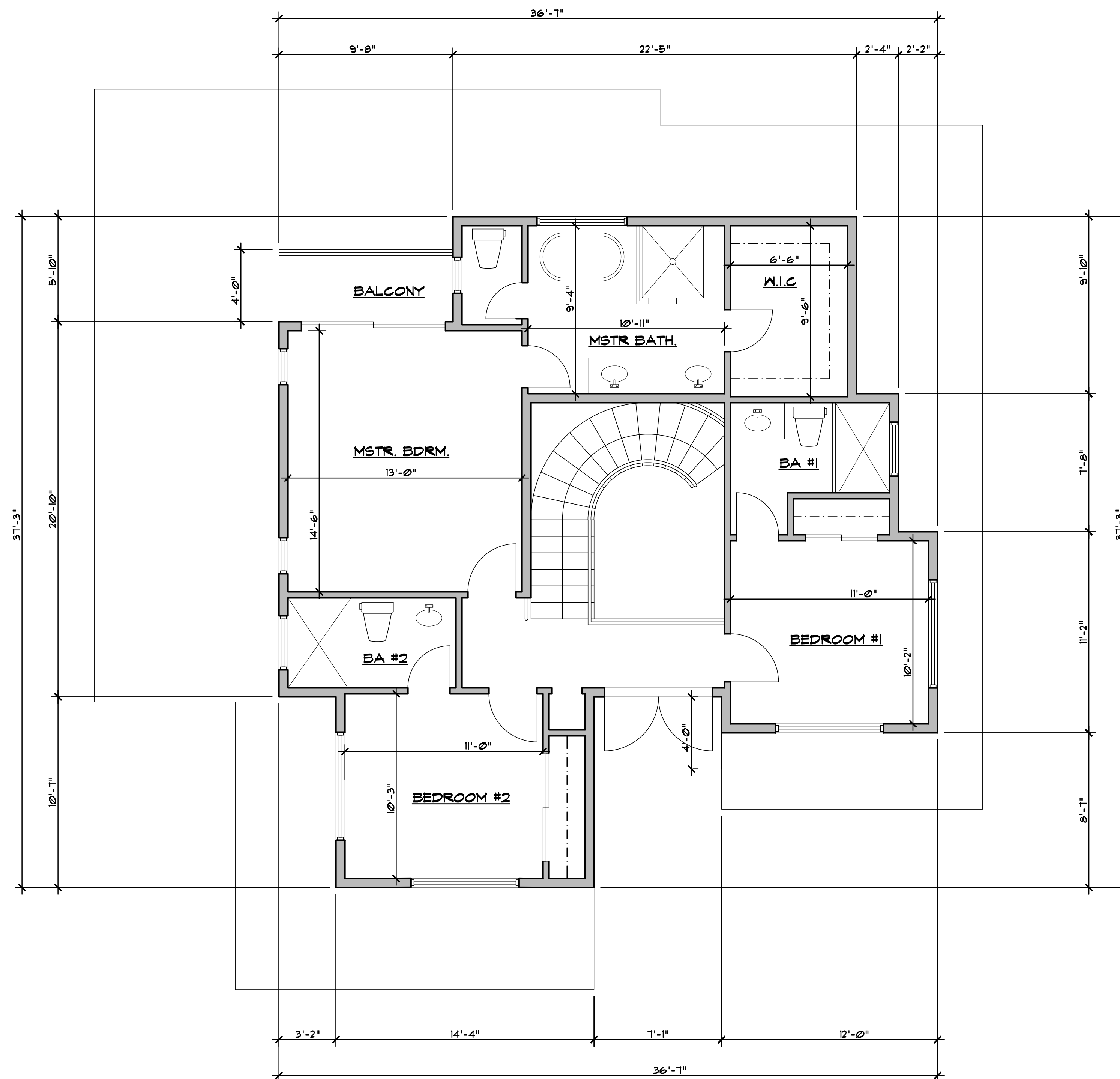
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**PROPOSED
FIRST FLOOR**

Sheet No. :

A-2.0



SECOND FLOOR PLAN

No. Date Description

- △ _____
- △ _____
- △ _____

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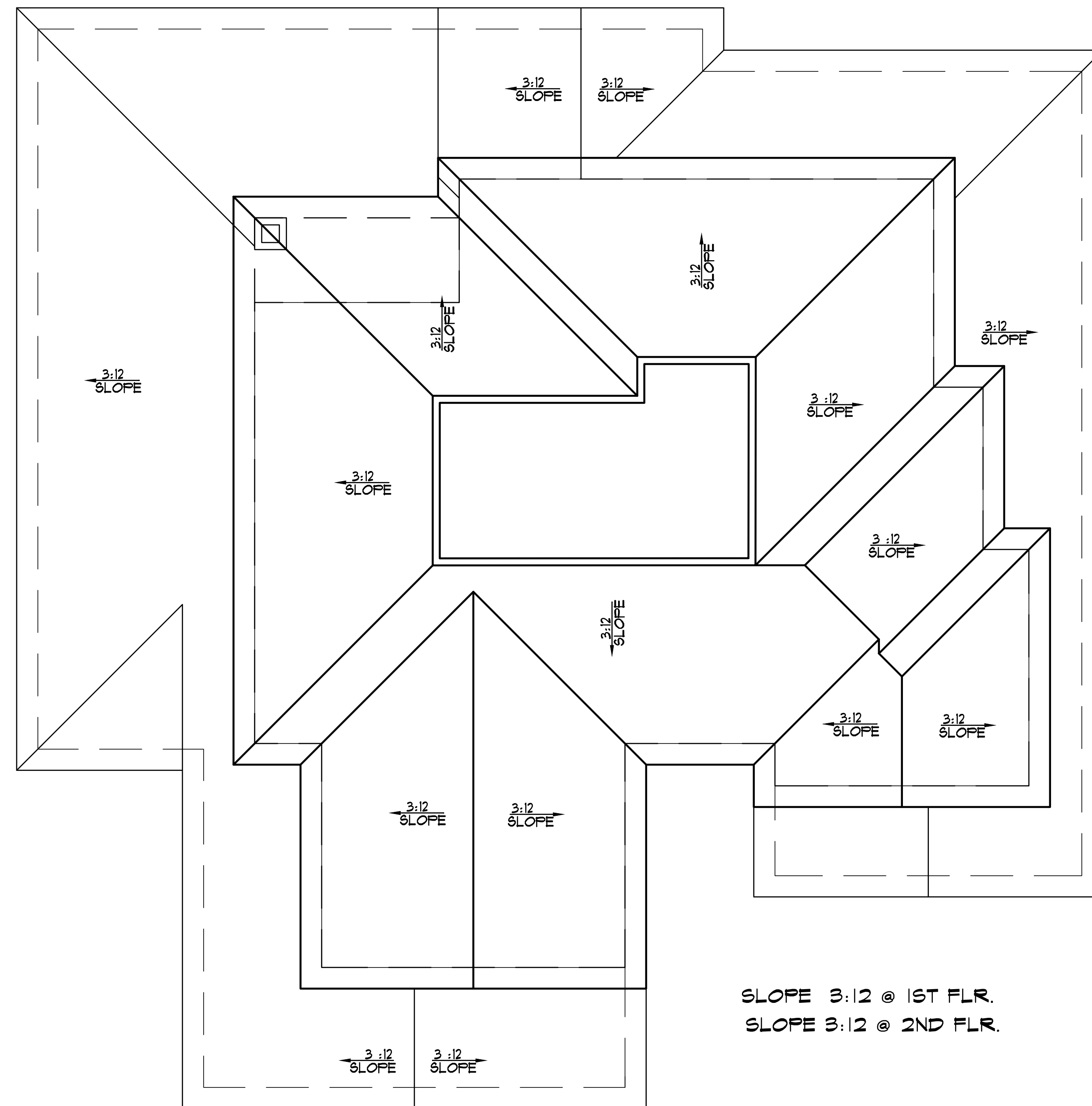
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Sheet Title :

**PROPOSED
SECOND FLOOR**

Sheet No. :

A-2.1



SLOPE 3:12 @ 1ST FLR.
SLOPE 3:12 @ 2ND FLR.

ROOF PLAN

No.	Date	Description
△	_____	_____
△	_____	_____
△	_____	_____

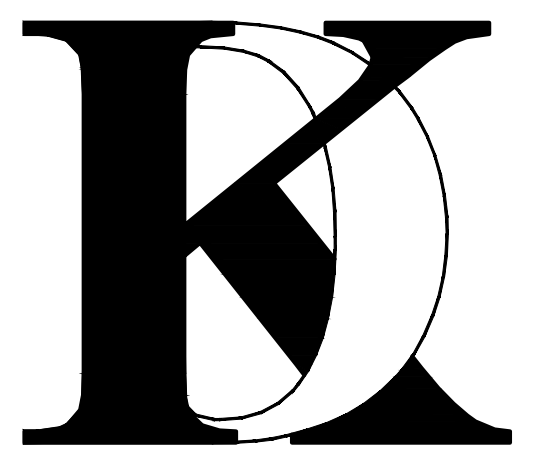
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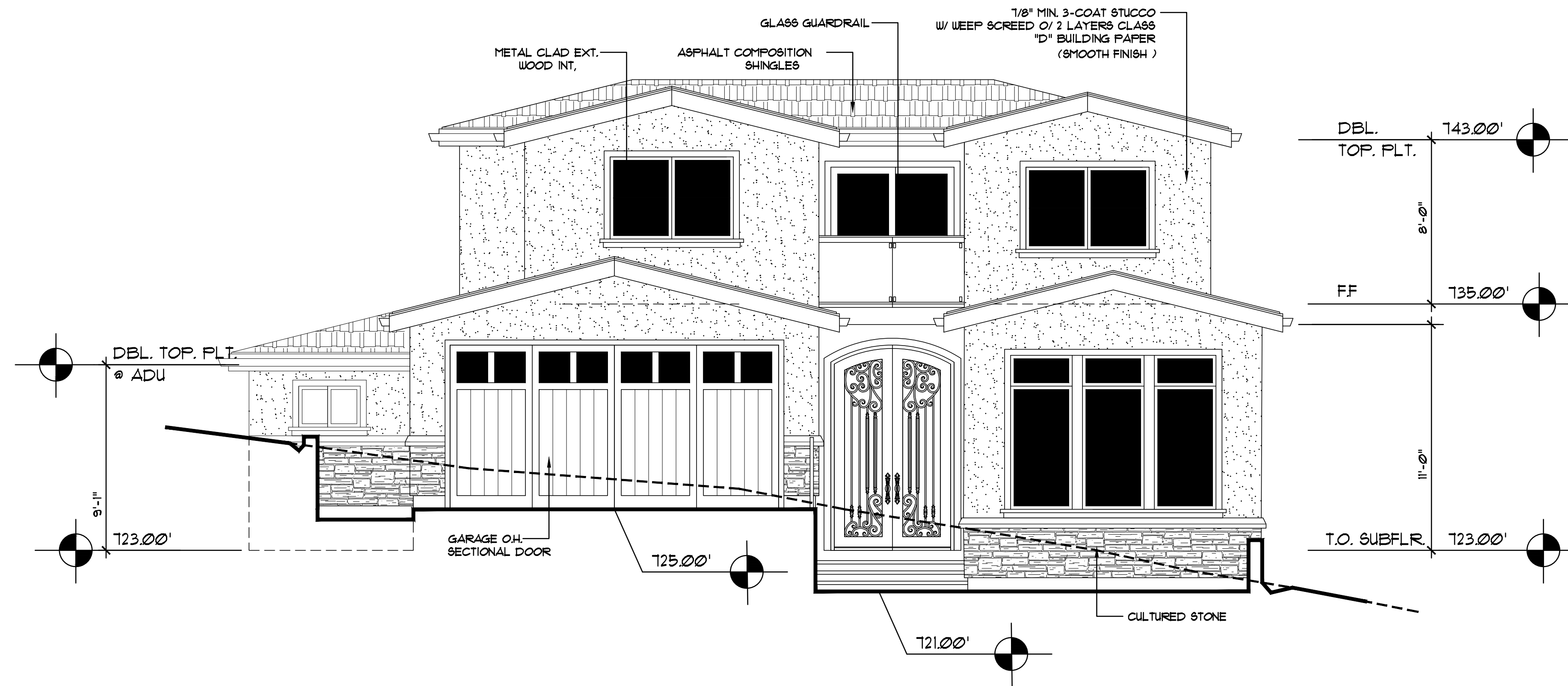
Signature :

Sheet Title :

**PROPOSED
ROOF PLAN**

Sheet No. :

A-3.0



FRONT ELEVATION

28'-0" MAX ALLOWABLE HEIGHT
PARALLEL TO GRADE



RIGHT SIDE ELEVATION

No.	Date	Description
△		
△		
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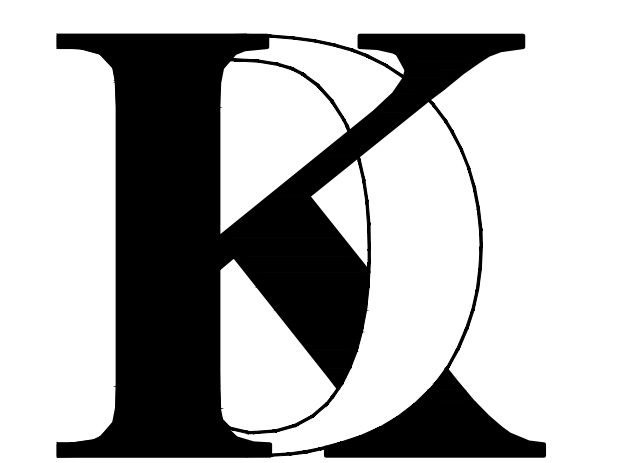
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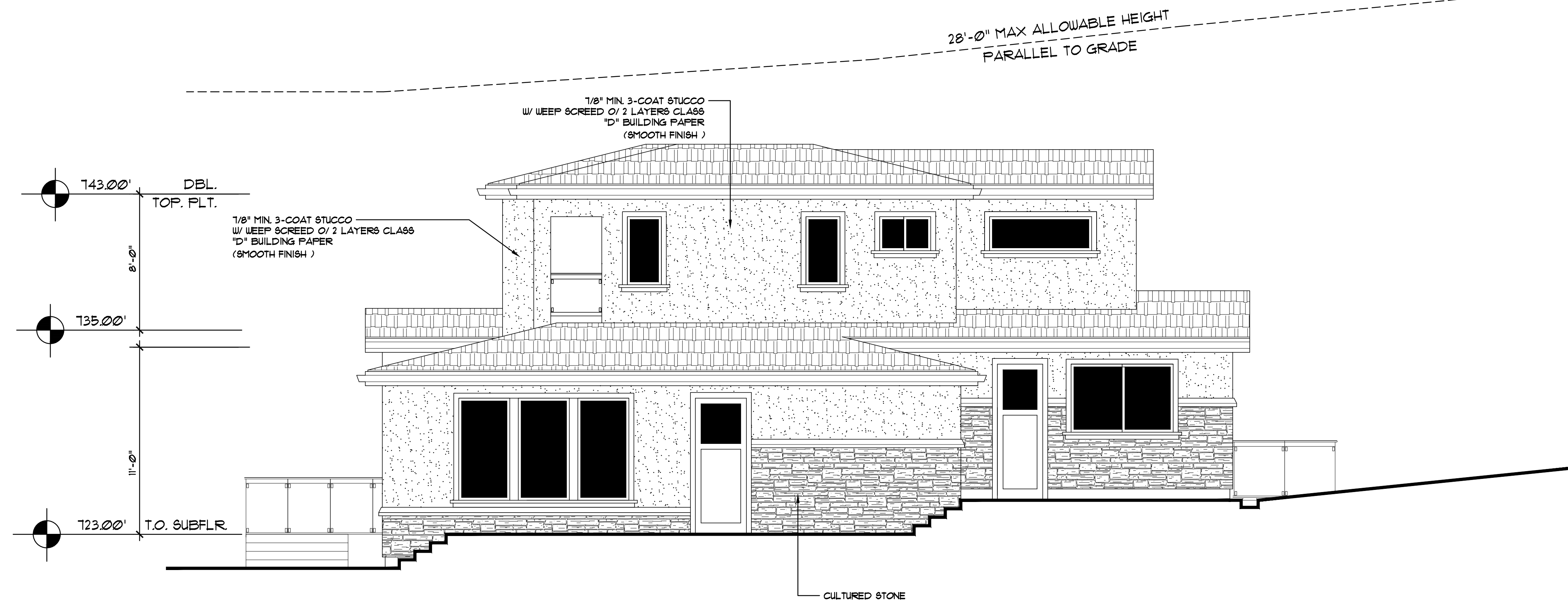
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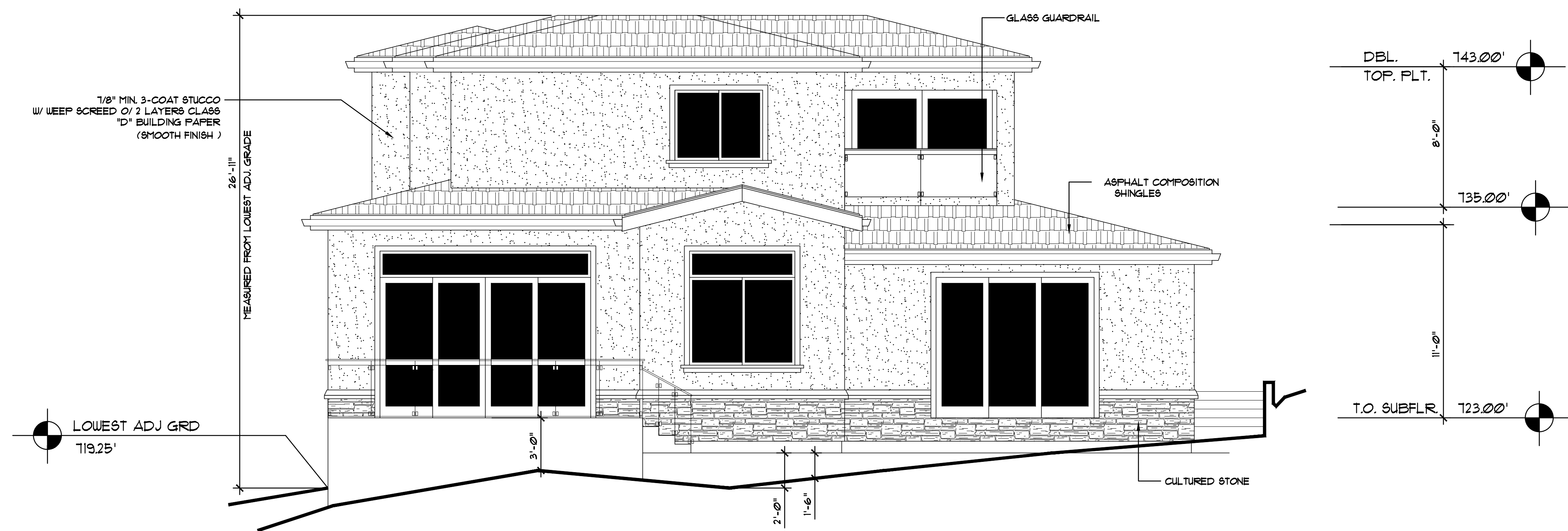
**EXTERIOR
 ELEVATIONS**

Sheet No. :

A-4.0



LEFT SIDE ELEVATION



REAR ELEVATION

No.	Date	Description
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△		
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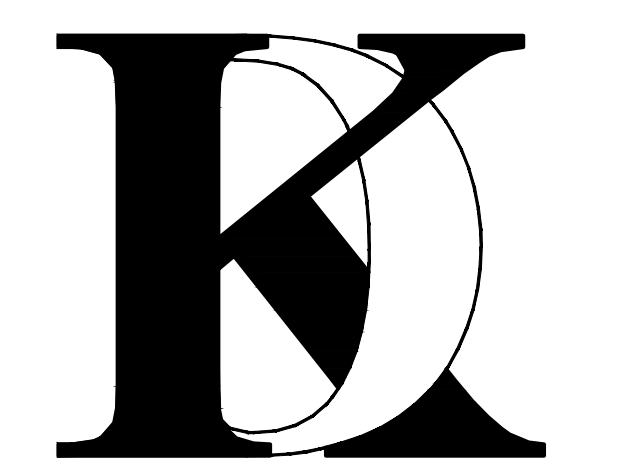
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 Scale:
 Drawn By : FK
 Job No: 2019-05

Signature :

Sheet Title :

**EXTERIOR
 ELEVATIONS**

Sheet No. :

A-4.1

ABBREVIATIONS	
DESCRIPTION	DESCRIPTION
AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
BC	BACK OF CURB
BFL	BACKFLOW PREVENTOR
BSBL	BUILDING SETBACK LINE
BSW	BACK OF SIDEWALK
BW	BOTTOM OF WALL
C&G	CURB AND GUTTER
C.C./C.L.	CENTERLINE
CLSW	CENTERLINE SWALE
CO	CLEANOUT
CHD	CHANNEL DRAIN
DWY	DRIVEWAY
DI	DROP INLET
DTL	DETAIL
ELCT	ELECTRIC
EP	EDGE OF PAVEMENT ELEVATION
EUC	EUCALYPTUS TREE
(E).EX	EXISTING
FF	FINISH FLOOR
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOWLINE
FNC	FENCE
FOC	FACE OF CURB
GB	GRADE BREAK
GUY	GUY WIRE
HP	HIGH POINT
DIP	DUCTILE IRON PIPE
INV	INVERT
JP	JOINT POLE
JB	JUNCTION BOX (UTILITY)
LG	LIP OF GUTTER
L/S	LANDSCAPE AREA
LP	LOW POINT
MON	MONUMENT
(N)	NEW
OG	ORIGINAL GROUND
O.R.	OVERLAND RELEASE
PB	PULL BOX
POEV	PG&E VAULT
P.P./L	PROPERTY LINE
PP	POWER POLE
PPP	PLASTIC PERFORATED PIPE
PSE	PUBLIC SERVICE EASEMENT
PVC	POLYVINYL CHLORIDE
R/W	RIGHT OF WAY
RCP	REINFORCED CONCRETE PIPE
SD	STORM DRAIN
SDM	STORM DRAIN MANHOLE
STD	STANDARD
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
SW	SIDEWALK
TC	TOP OF CURB
TF	TOP OF FOUNDATION
TG	TOP OF GRATE
TP	TOP OF SLAB
TP	TOP OF PAVEMENT
TW	TOP OF WALL
(TYP)	TYPICAL
VCP	VITRIFIED CLAY PIPE
WL	WHITE LINE STRIPE
WLK	WALKWAY
WM	WATER METER
WV	WATER VALVE

GRADING AND DRAINAGE PLANS

NEW SINGLE FAMILY HOUSE

0 TEMESCAL WAY, EMERALD HILLS, CA 94062

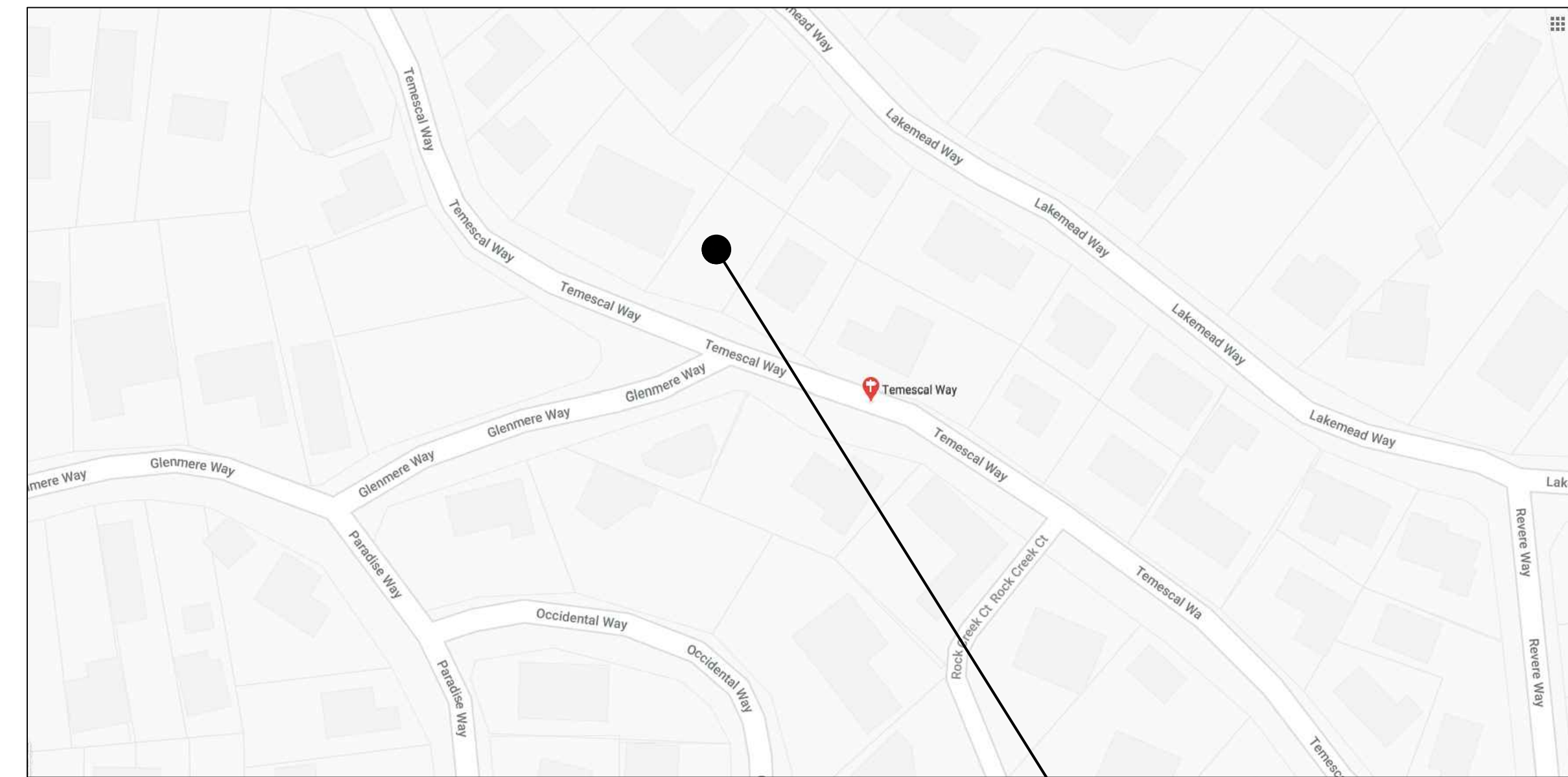
APN: 068-092-190

STANDARD STREET FRONTAGE NOTES:

- A SEPARATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT OF WAY. VISIT THE CITY'S WEBSITE AT WWW.REDWOODCITY.ORG TO VIEW ENCROACHMENT PERMIT REQUIREMENTS. PERMITS FROM UTILITY COMPANIES MUST BE OBTAINED PRIOR TO APPLICATION OF THE ENCROACHMENT PERMIT.
- CONTACT PUBLIC WORKS TO SCHEDULE AN INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE OF COMMENCEMENT OF PUBLIC IMPROVEMENT WORK TO SCHEDULE A PRECONSTRUCTION MEETING AND FOR EACH SUBSEQUENT DAY OF WORK IN THE PUBLIC RIGHT OF WAY.
- ALL EXISTING FRONTAGE IMPROVEMENTS (CURB, GUTTER, SIDEWALK, VALLEY GUTTER, PARKING STRIP) THAT ARE DAMAGED DURING THE COURSE OF CONSTRUCTION MUST BE REPAIRED TO "AS NEW" CONDITION. CITY WILL NOT BEAR THE COSTS OF RECONSTRUCTION.
- ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE REDWOOD CITY STANDARD DETAILS. ALL DETAILS APPLICABLE TO THE PARTICULAR CONSTRUCTION ACTIVITY SHALL BE UTILIZED.
- ALL IMPROVEMENTS IN THE PUBLIC RIGHT OF WAY ARE TO BE COMPLETED AND APPROVED BY THE CONSTRUCTION SUPERVISOR PRIOR TO FINAL INSPECTION BY THE BUILDING INSPECTOR.

STANDARD GRADING NOTES:

- CONTACT PUBLIC WORKS TO SCHEDULE AN INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE OF COMMENCEMENT OF GRADING.
- ALL GRADING DURING THE RAINY SEASON (OCTOBER 1ST THROUGH APRIL 30TH) REQUIRES AN EROSION AND SEDIMENT CONTROL PLAN APPROVED BY THE CITY. STORMWATER POLLUTION PREVENTION MEASURES SHALL BE IMPLEMENTED THROUGHOUT THE YEAR, TO THE SATISFACTION OF THE CONSTRUCTION SUPERVISOR.
- ALL CHANGES TO THE APPROVED GRADING AND DRAINAGE PLAN REQUIRE A PLAN MODIFICATION APPROVAL BY THE CITY IN ADVANCE OF CONSTRUCTION THE CHANGE. THE PROPOSED PLAN CHANGE MUST BE GENERATED FROM THE ENGINEER/ARCHITECT WHO ORIGINALLY PREPARED THE PLAN.
- ANY DEVIATION FROM THE APPROVED PLAN AND/OR FAILURE TO OBTAIN GRADING AND DRAINAGE INSPECTION MAY AFFECT THE PUBLIC WORKS SIGN-OFF FOR BUILDING FINAL AND/OR OCCUPANCY.

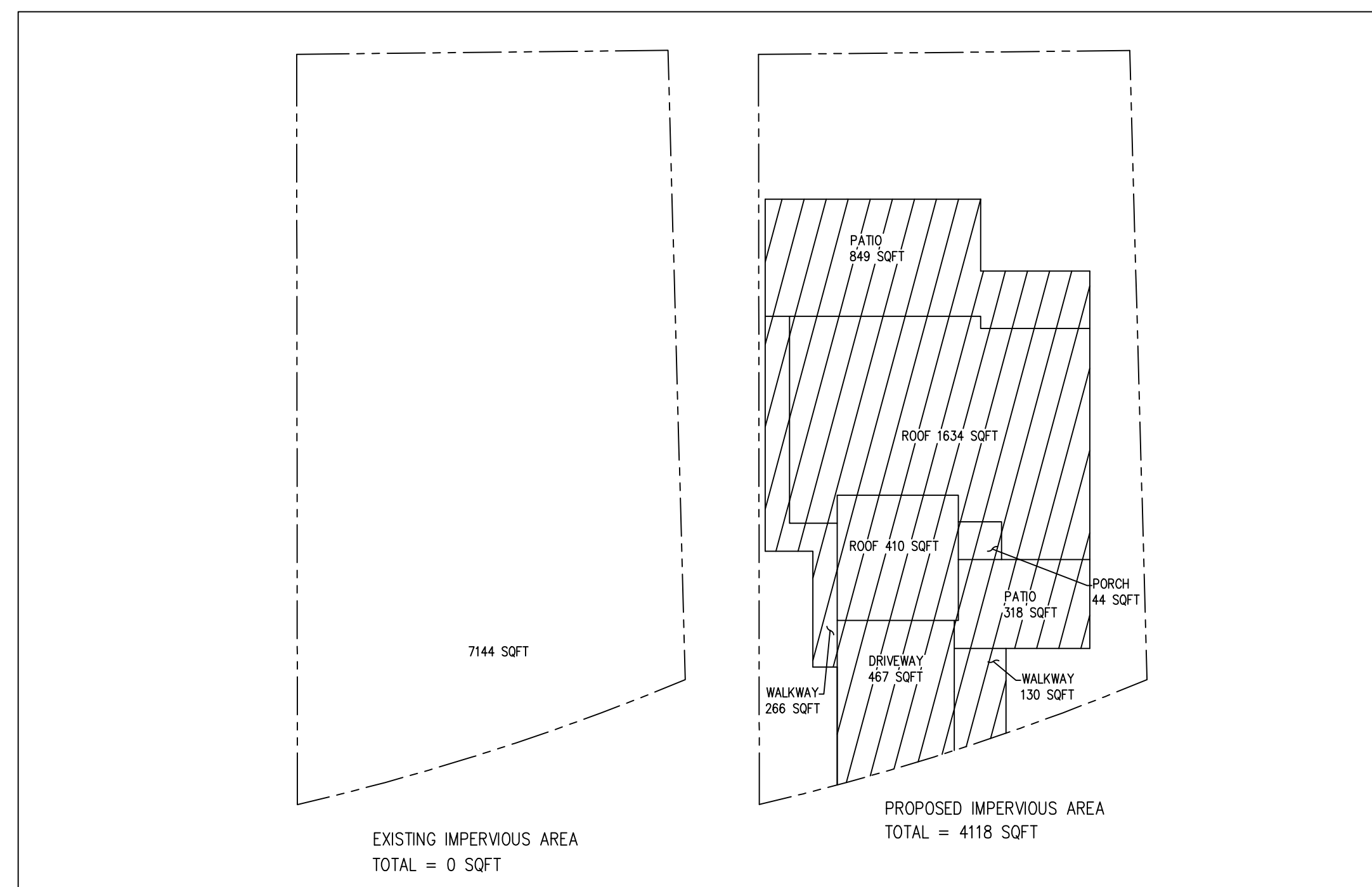


LOCATION MAP
N.T.S.

PROJECT SITE

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
F	F	FILL AREA LIMIT
C	C	CUT AREA LIMIT
102	102	CONTOUR
W	W	WATER LINE
SD	SD	STORM DRAIN PIPE (SOLID)
SS	SS	SANITARY SEWER PIPE
SUB	SUB	SUBDRAIN PIPE (PERFORATED)
OH e,T,TV	OH e,T,TV	OVERHEAD UTILITIES WITH POLE
G	G	GAS LINE
E	E	ELECTRIC LINE (UNDERGROUND)
JT	JT	JOINT TRENCH
SLV	SLV	STREET LIGHT VAULT
SSCO	SSCO	SANITARY SEWER CLEANOUT
●	●	SANITARY SEWER MANHOLE
⊙	⊙	STORM DRAIN MANHOLE
⊗	⊗	ELECTROLIER
WM	WM	WATER METER
○	○	TREE WITH TRUNK
x-x	x-x	6" WOODEN FENCE
x-102.23	102.23	SPOT ELEVATION
○	○	TREE PROTECTION FENCE
○	○	5' TALL CHAIN LINK
---	---	SWALE
→	→	DIRECTION OF FLOW IN PIPE
▣	▣	AREA DRAIN/ INLET
⇨	⇨	OVERLAND RELEASE PATH
→	→	GRADING DIRECTION
○	○	(E) TREE TO BE REMOVE
○-SD	○-SD	ROOF DOWN-SPOUT, CONNECTED TO STORM DRAIN SYSTEM



SHEET INDEX:

C-1	COVER SHEET/ NOTES
C-2	GRADING AND DRAINAGE PLAN
C-3	RETAINING WALLS & SUBDRAIN SYSTEM PLAN
C-4	DETAILS
C-5	EROSION CONTROL PLAN
C-6	CONSTRUCTION BMP'S

GEOTECHNICAL REVIEW:

GRADING AND DRAINAGE PLANS SHALL BE REVIEWED AND APPROVED BY THE PROJECT GEOTECHNICAL/ SOILS ENGINEER. GEOTECHNICAL/ SOILS ENGINEER TO PROVIDE AND FURNISH LETTER OF APPROVAL TO CITY.

DRAINAGE NOTES

- Surface water shall be directed away from all buildings into drainage swales, gutters, storm drain inlets and drainage systems.
- The intent of design is to provide separate and independent systems for over the surface run-off collection (including roof run-off) and subdrain collection system. The systems shall remain separate until reaching to point of day-light for subdrain. drainage system shall not be connected to subdrain pipes, or drainage pipes collecting water from subdrain pipes.

BASIS OF BEARINGS:

FOUND SURVEY MONUMENTS, RECORD INFORMATION WAS USED, PER RECORD MAP, BOOK (RSM):15 PAGE:13 WHICH IS FILED IN THE COUNTY OF SAN MATEO RECORDER'S OFFICE.

SITE BENCHMARK:

SURVEY CONTROL SET MAG NAIL ELEVATION=725.10' (NAVD 88 DATUM)

EARTHWORK TABLE

	FILL (CY)	CUT (CY)	IMPORT (CY)	EXPORT (CY)
BUILDING	0	256		
SITE	0	170		
TOTAL	0	426	0	426

NOTE:

- EARTHWORK QUANTITIES ON THIS TABLE ARE FOR INFORMATION ONLY. CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITY TAKE OFFS.

NOTICE TO CONTRACTORS

CONTRACTOR TO NOTIFY U.S.A. (UNDERGROUND SERVICE ALERT) AT 800-227-2600 A MINIMUM OF 2 WORKING DAYS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION AND DEPTH OF UNDERGROUND UTILITIES.



OWNER / DEVELOPER:

COVER SHEET

GRADING AND DRAINAGE PLANS
NEW SINGLE FAMILY HOUSE
0 TEMESCAL WAY, EMERALD HILLS, CA 94062
APN: 068-092-190

Revisions:



Saeid Razavi

Date: 04/14/2021
Scale: NTS
PREPARED BY: S,P
CHECKED BY: S,R
Job #: 220140

Sheet:

OWNER / DEVELOPER:

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GRADING AND DRAINAGE PLAN
GRADING AND DRAINAGE PLANS
NEW SINGLE FAMILY HOUSE
 0 TEMESCAL WAY, EMERALD HILLS, CA 94062
 APN: 068-092-190

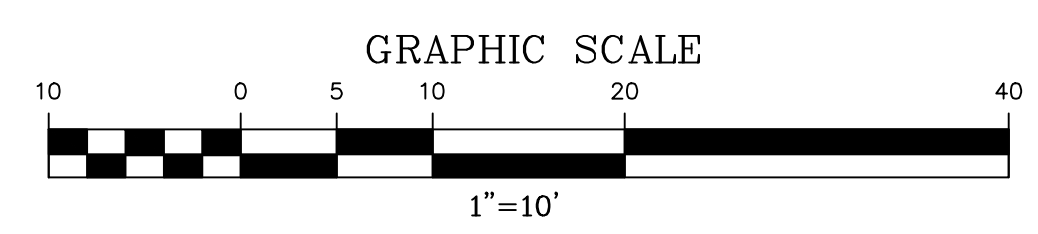
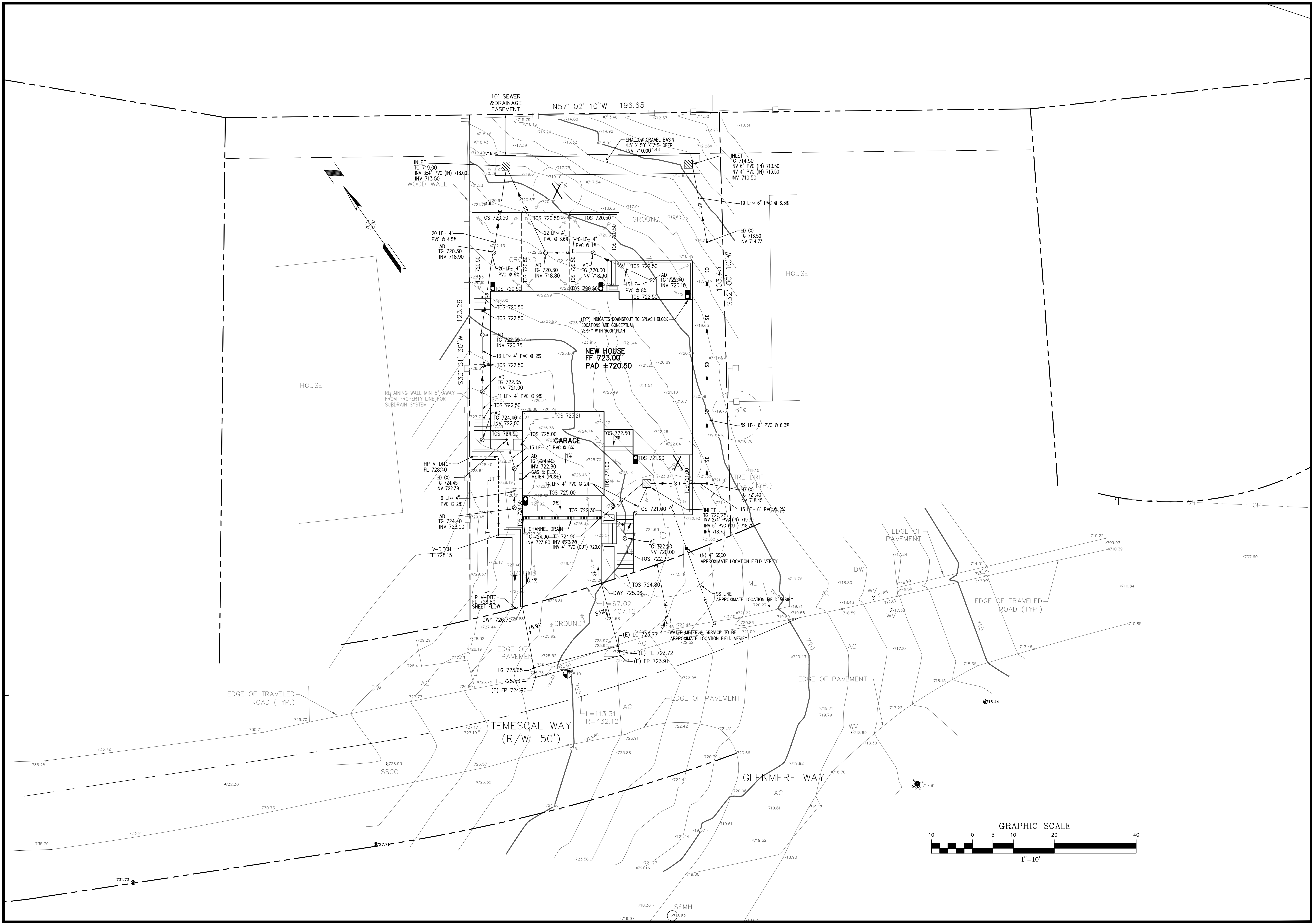
Revisions:



Saied Razavi

Date: 04/14/2021
 Scale: 1" = 10'
 PREPARED BY: S.P.
 CHECKED BY: S.R.
 Job #: 220140

Sheet: **2 OF 6**
C-2



OWNER / DEVELOPER:

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RETAINING WALLS AND SUBRAIN SYSTEM PLAN
GRADING AND DRAINAGE PLANS
NEW SINGLE FAMILY HOUSE
 0 TEMESCAL WAY, EMERALD HILLS, CA 94062
 APN: 068-092-190

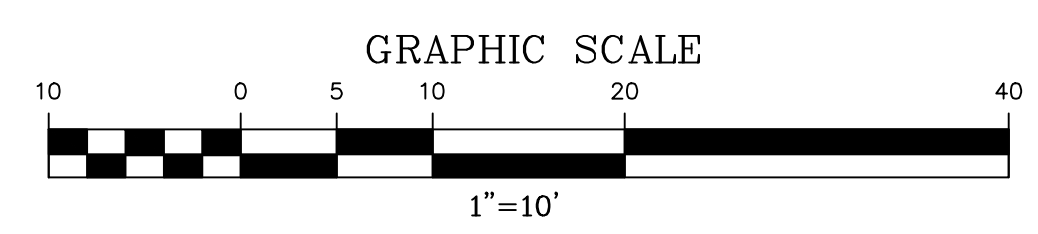
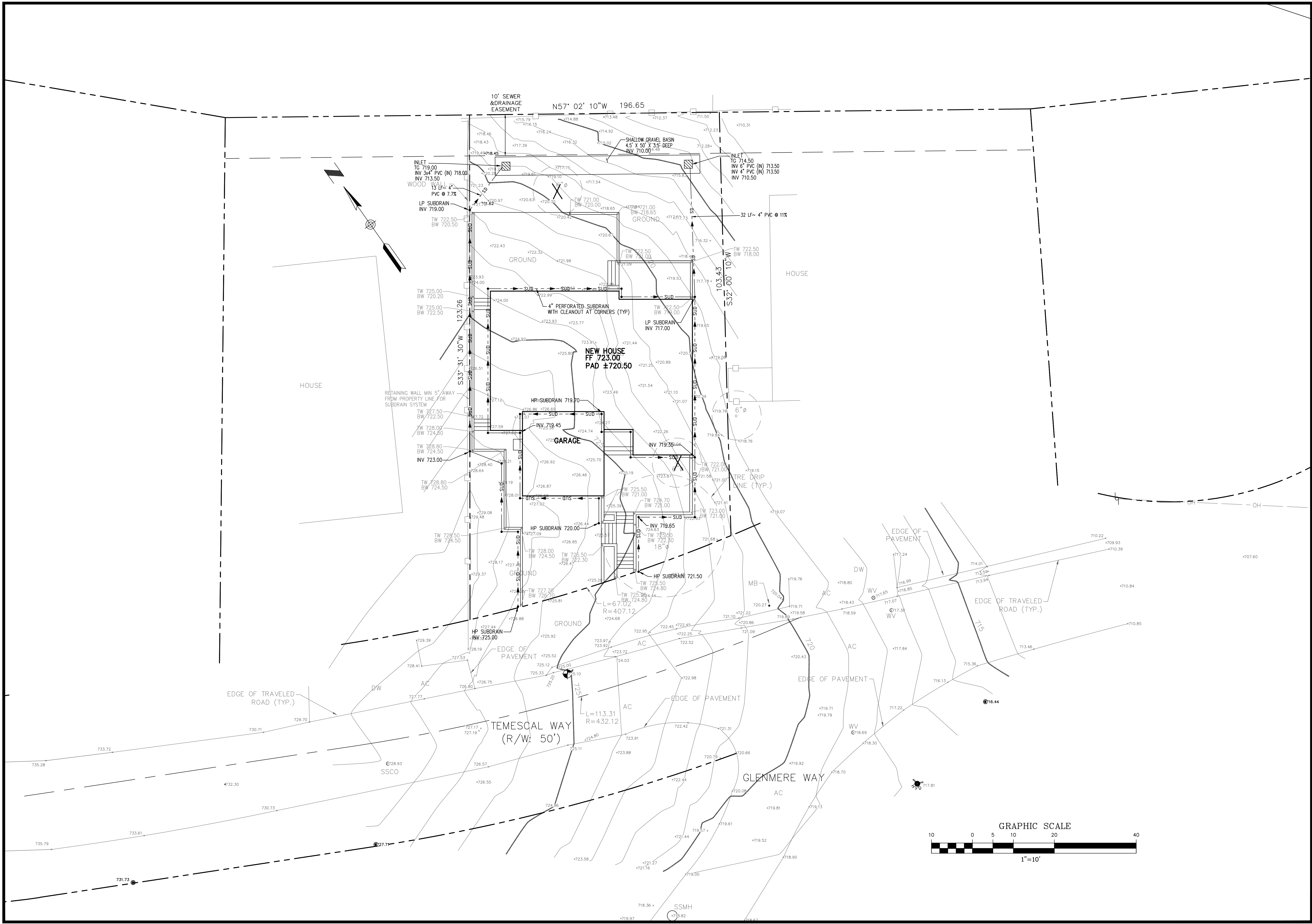
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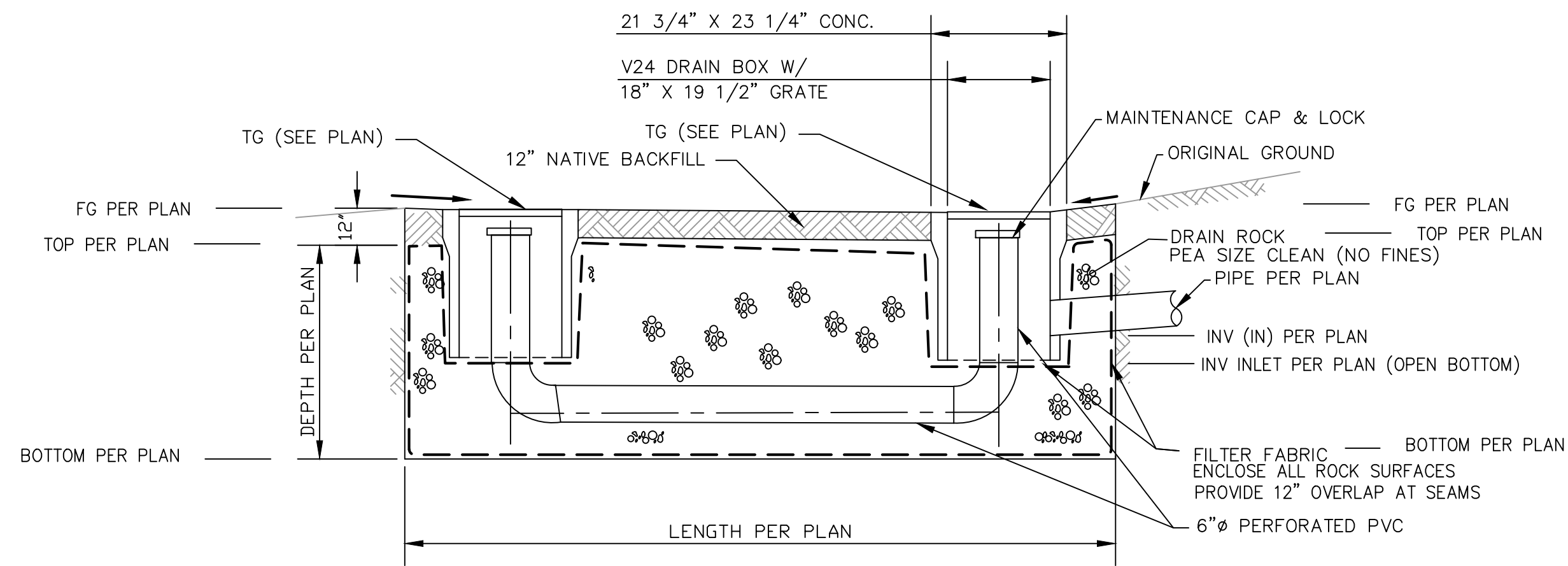


Saied Razavi

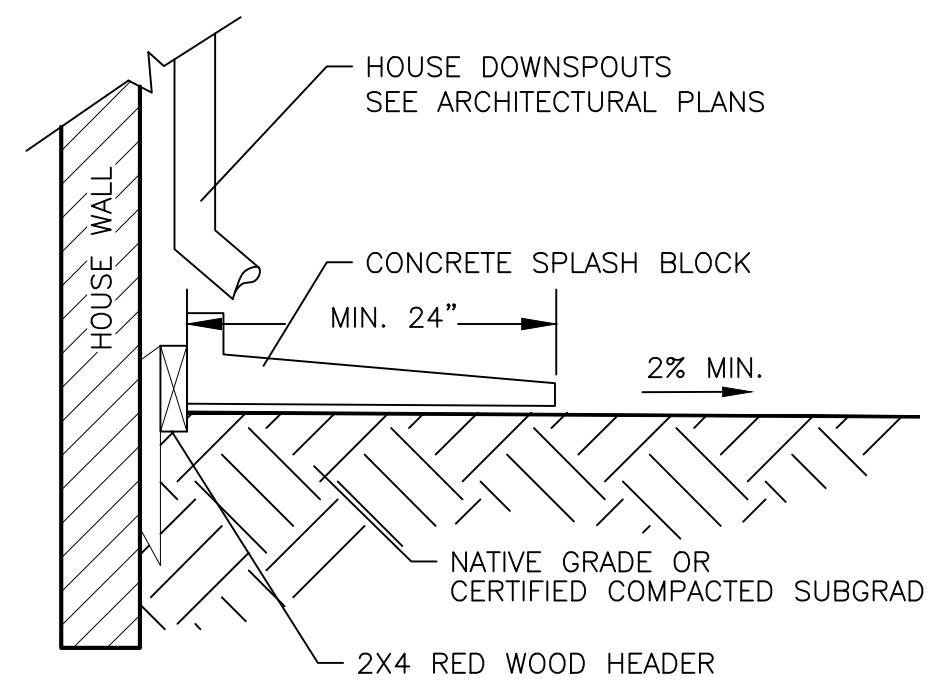
Date: 04/14/2021
 Scale: 1" = 10'
 PREPARED BY: S.P.
 CHECKED BY: S.R.
 Job #: 220140

Sheet: **3 OF 6**
C-3

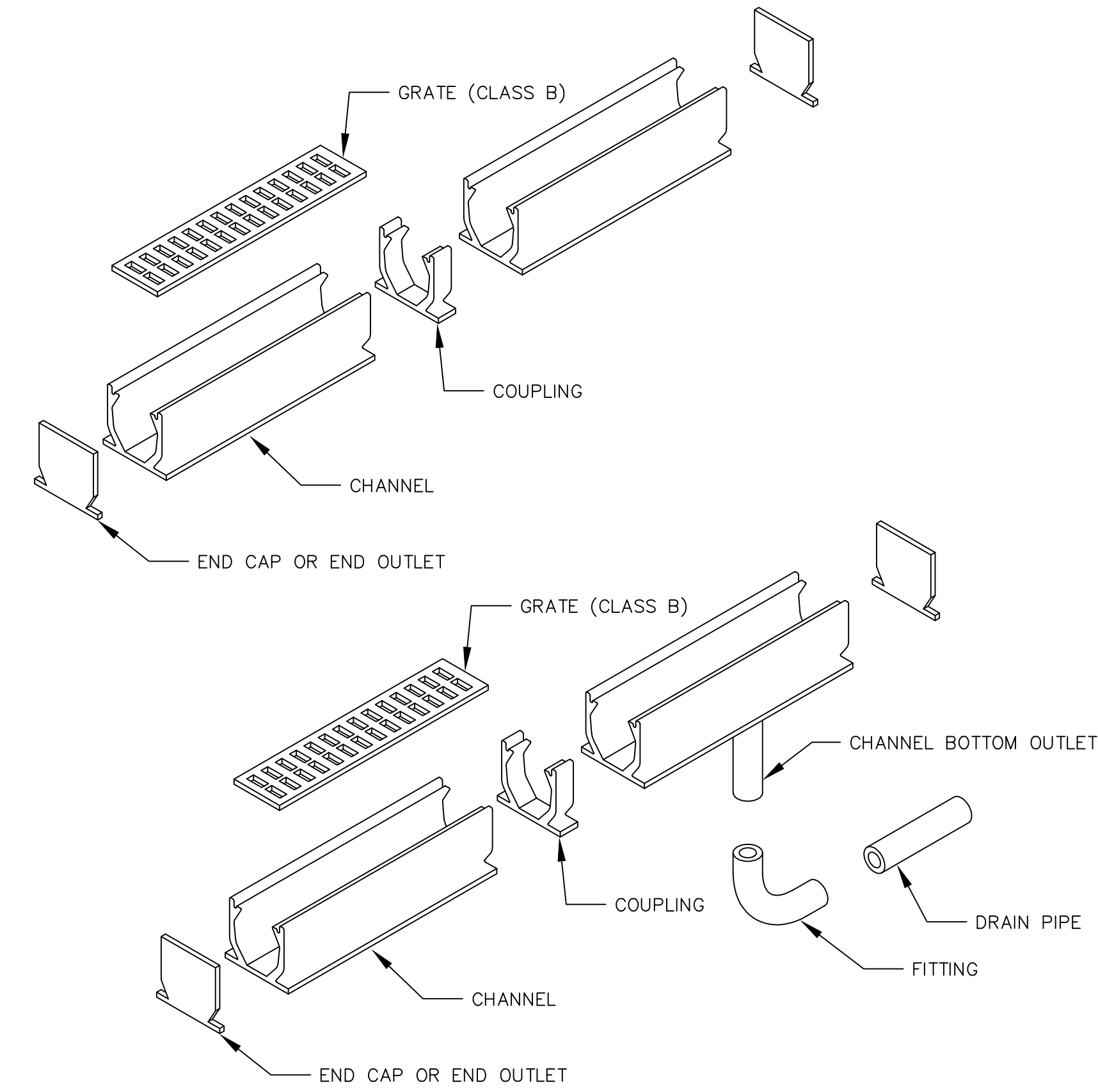




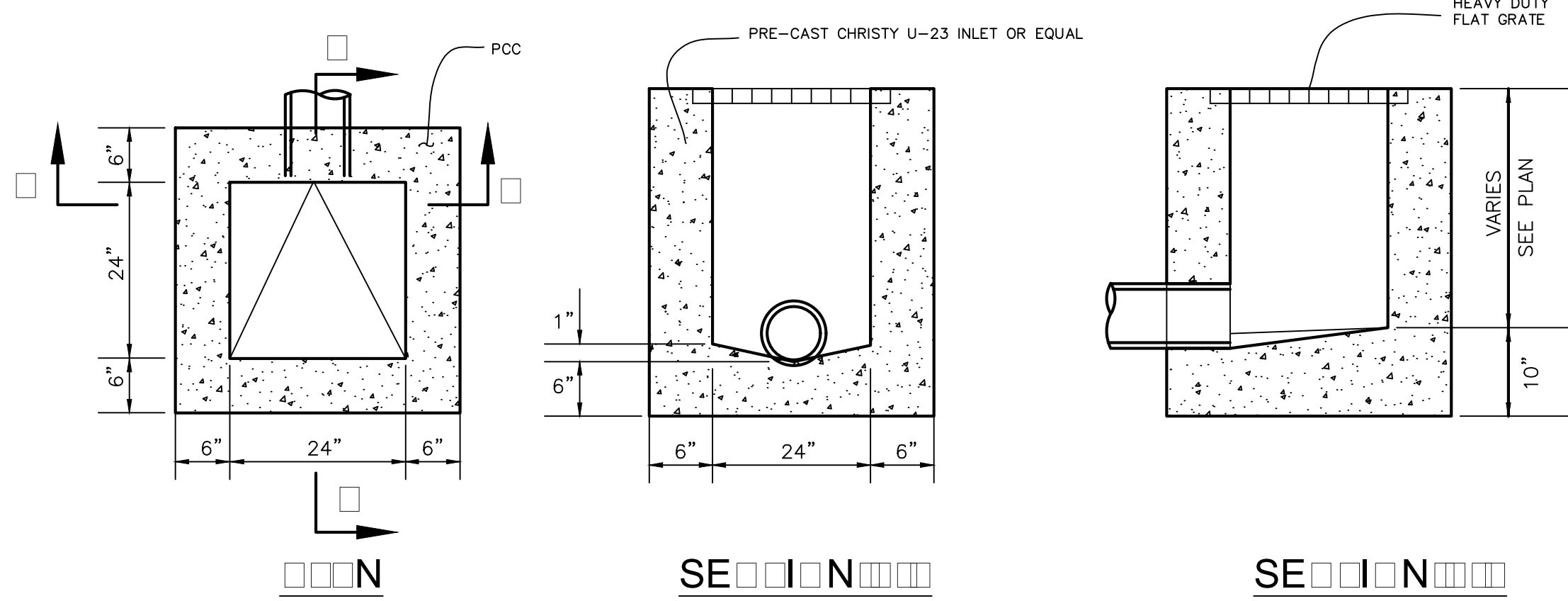
SHALLOW GRAVEL BASIN
ELEVATION VIEW- N.T.S



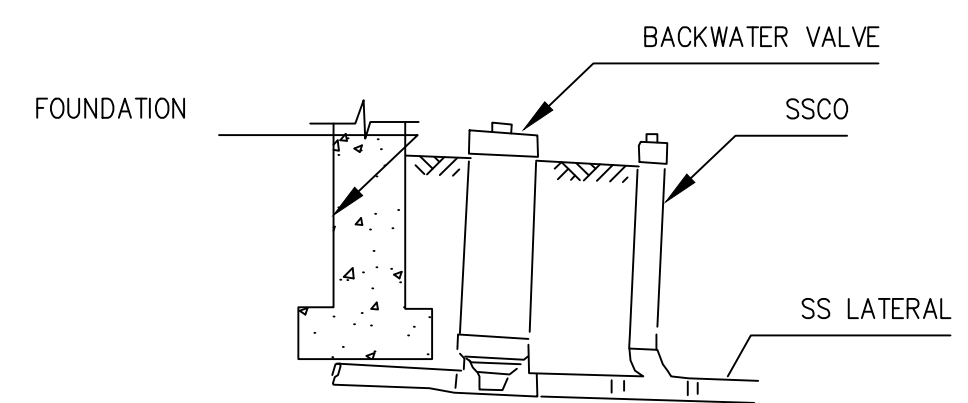
SPLASH BLOCK
N.T.S.



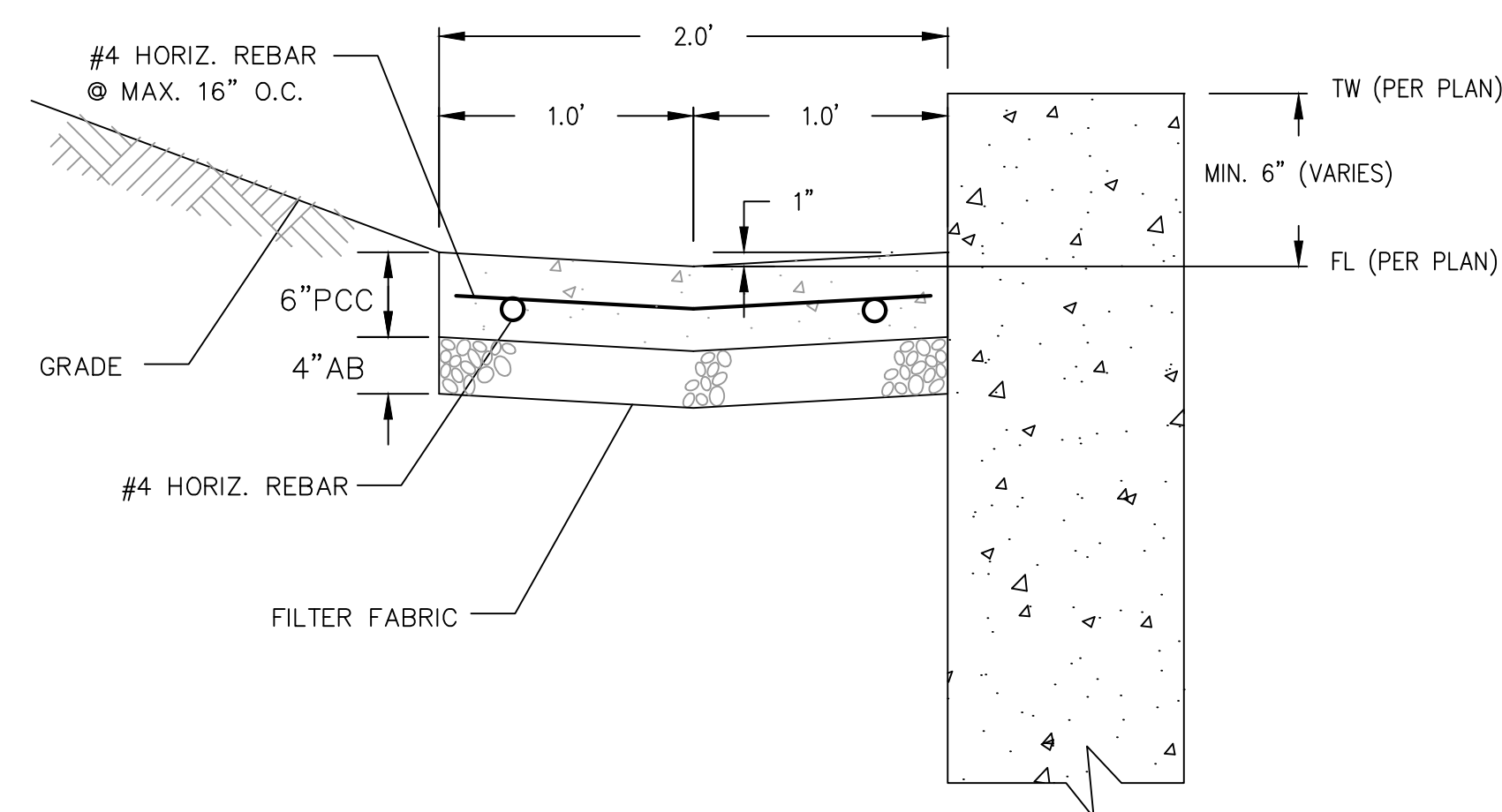
CHANNEL DRAIN TYPICAL DETAIL
N.T.S.



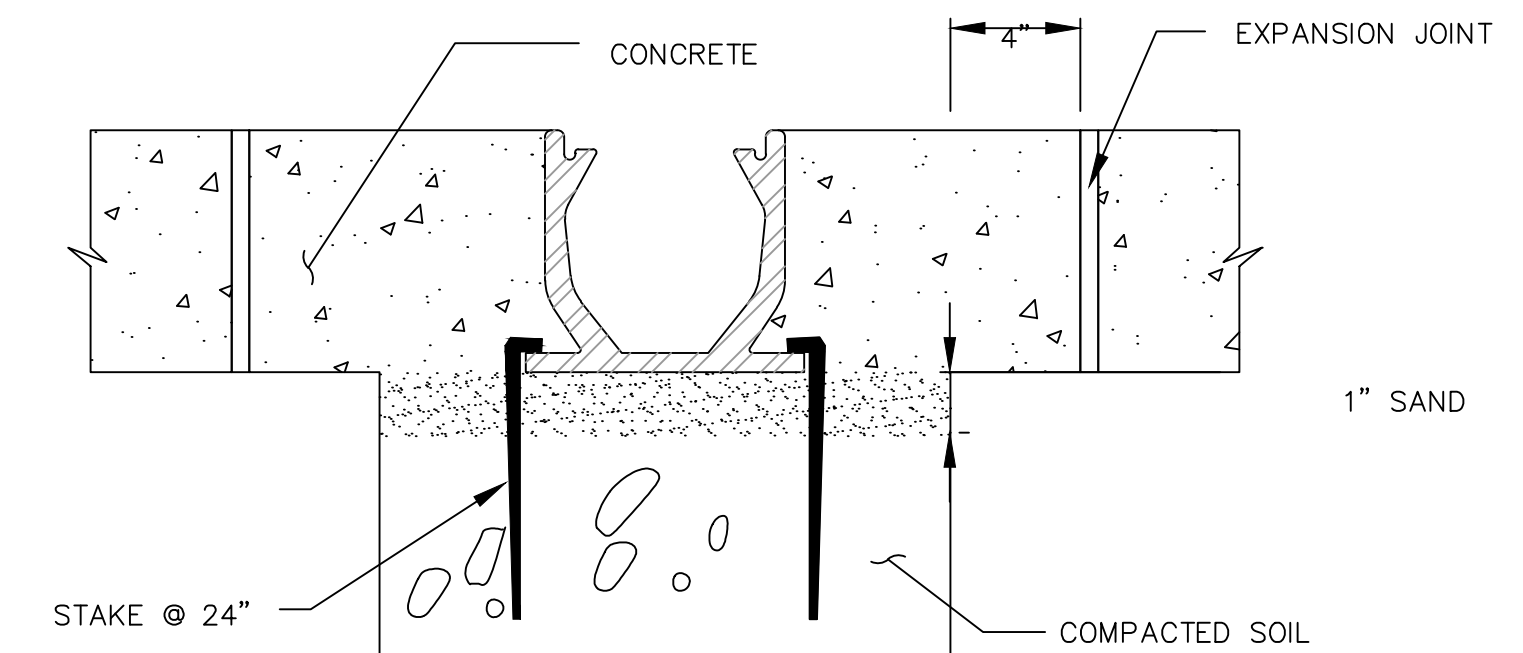
STORM DRAIN INLET
N.T.S.



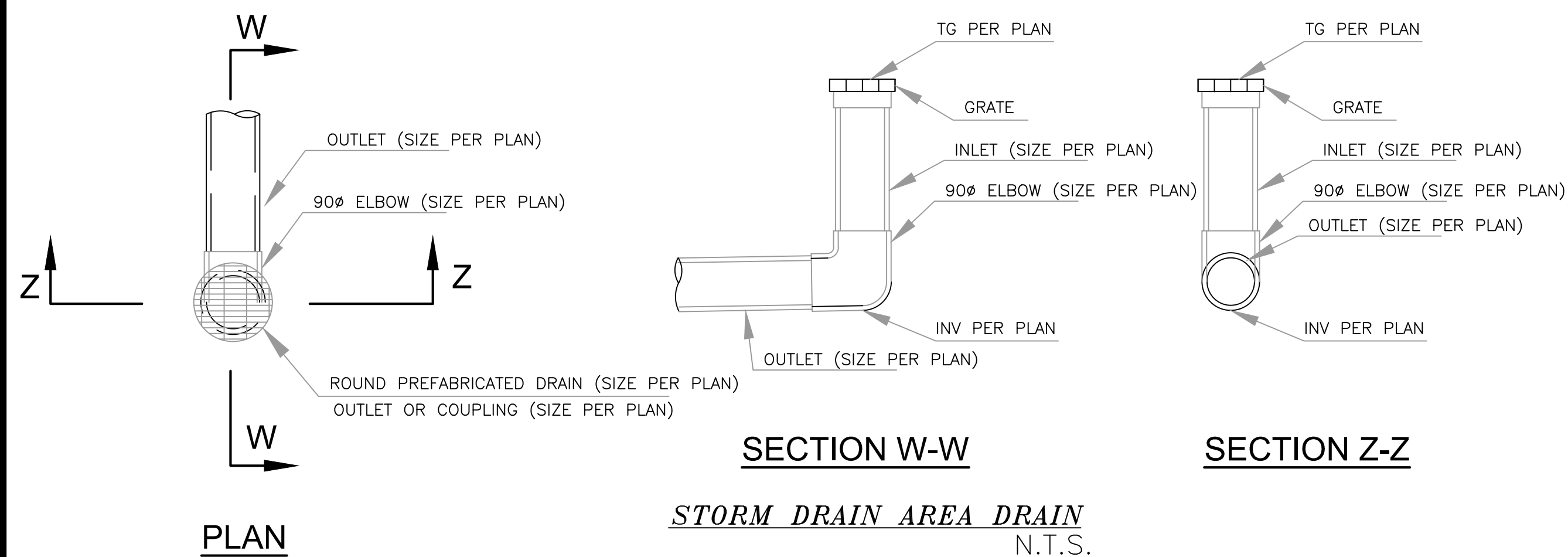
SANITARY SEWER BACKFLOW PREVENTOR DETAIL
N.T.S.



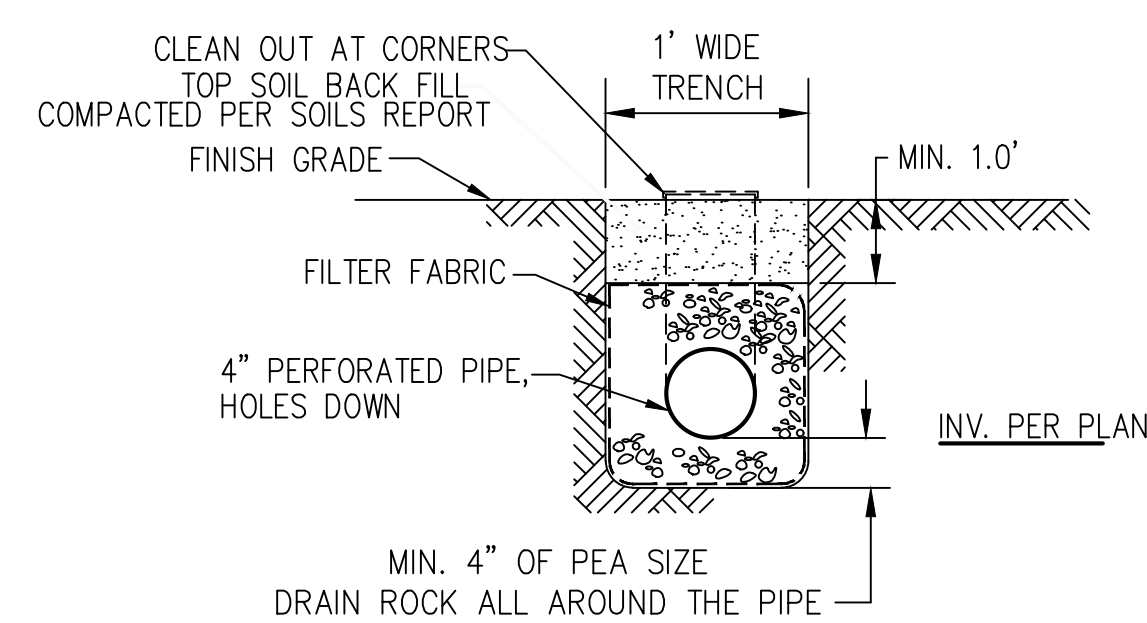
RETAINING WALL V-DITCH
N.T.S.



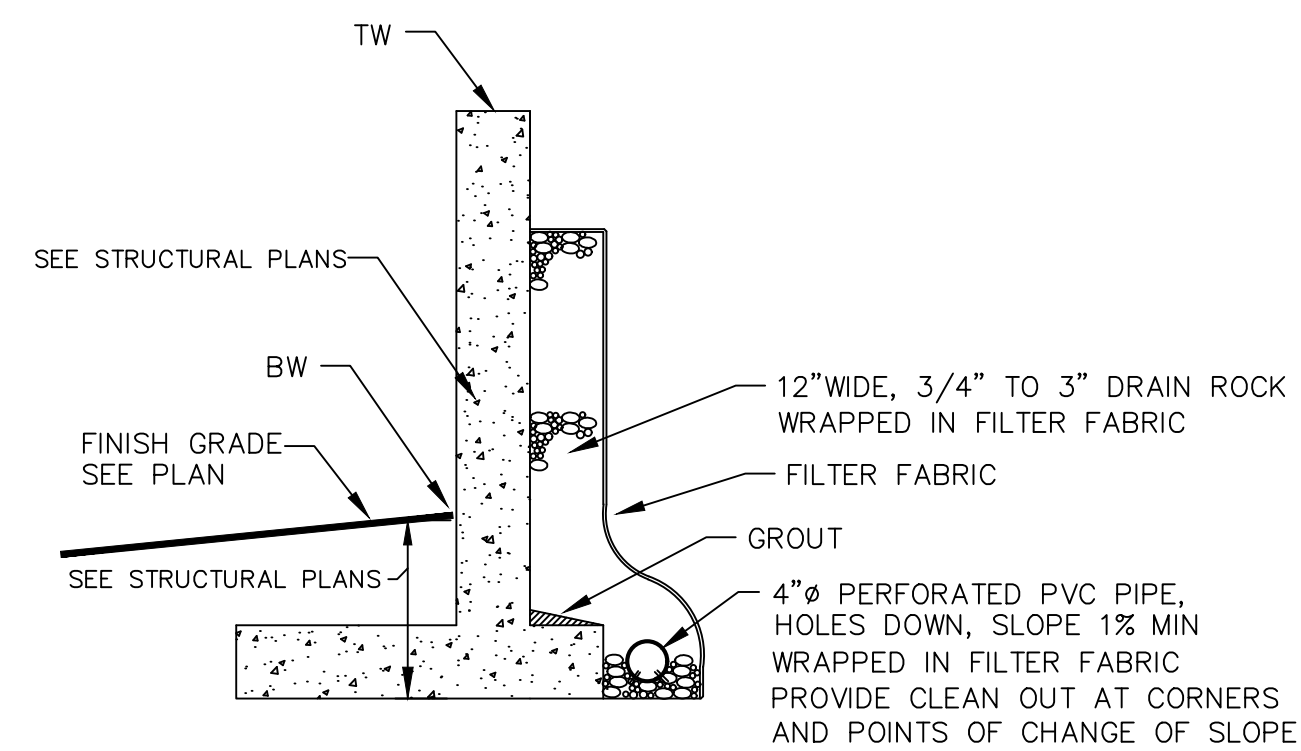
CHANNEL DRAIN TYPICAL DETAIL
N.T.S.



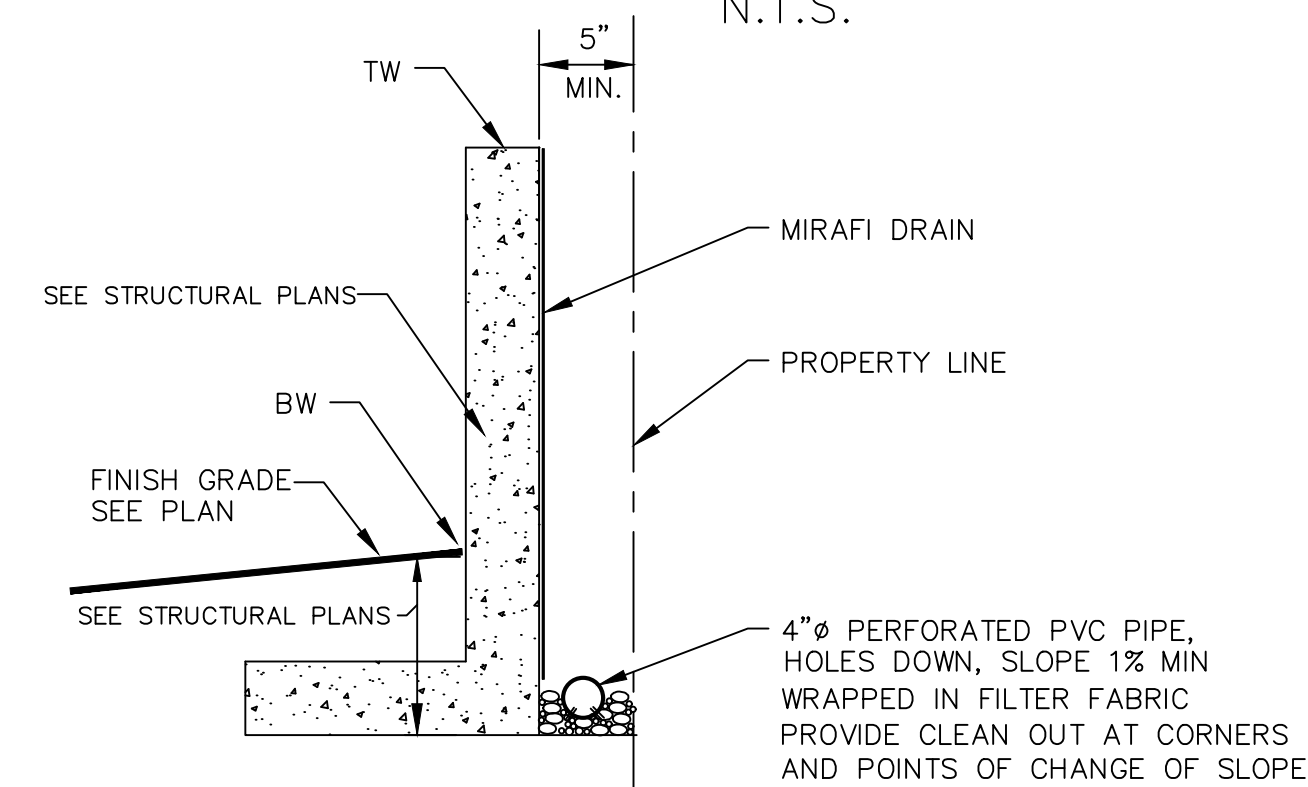
STORM DRAIN AREA DRAIN
N.T.S.



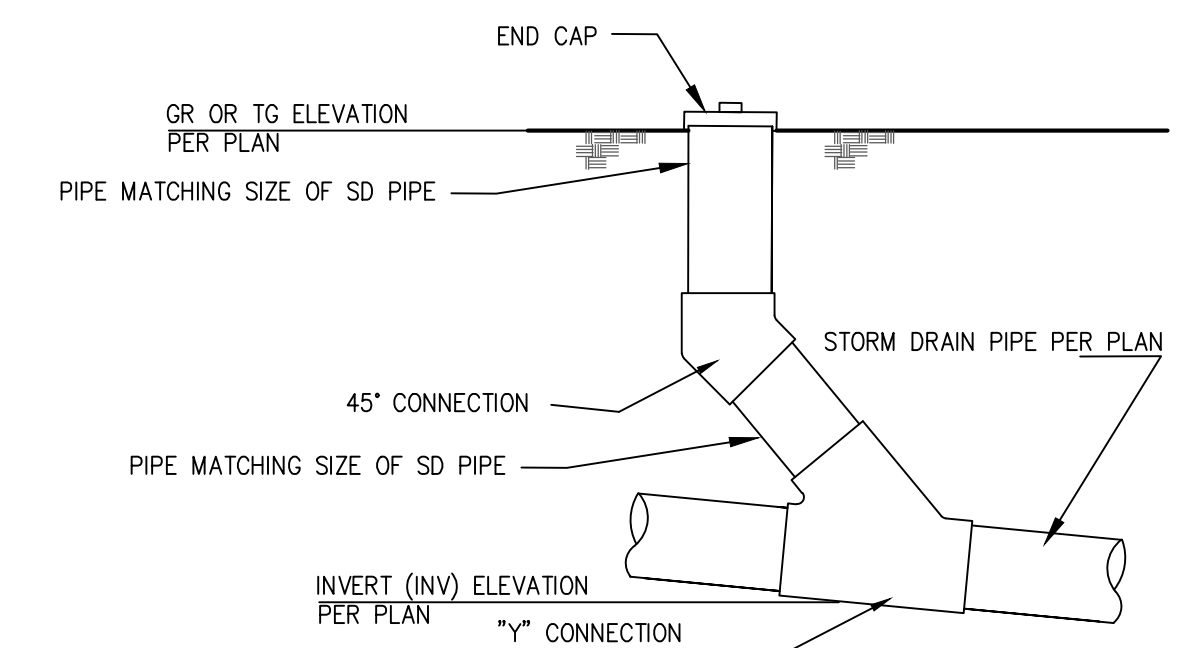
HOUSE SUBDRAIN DETAIL
ELEVATION VIEW- N.T.S



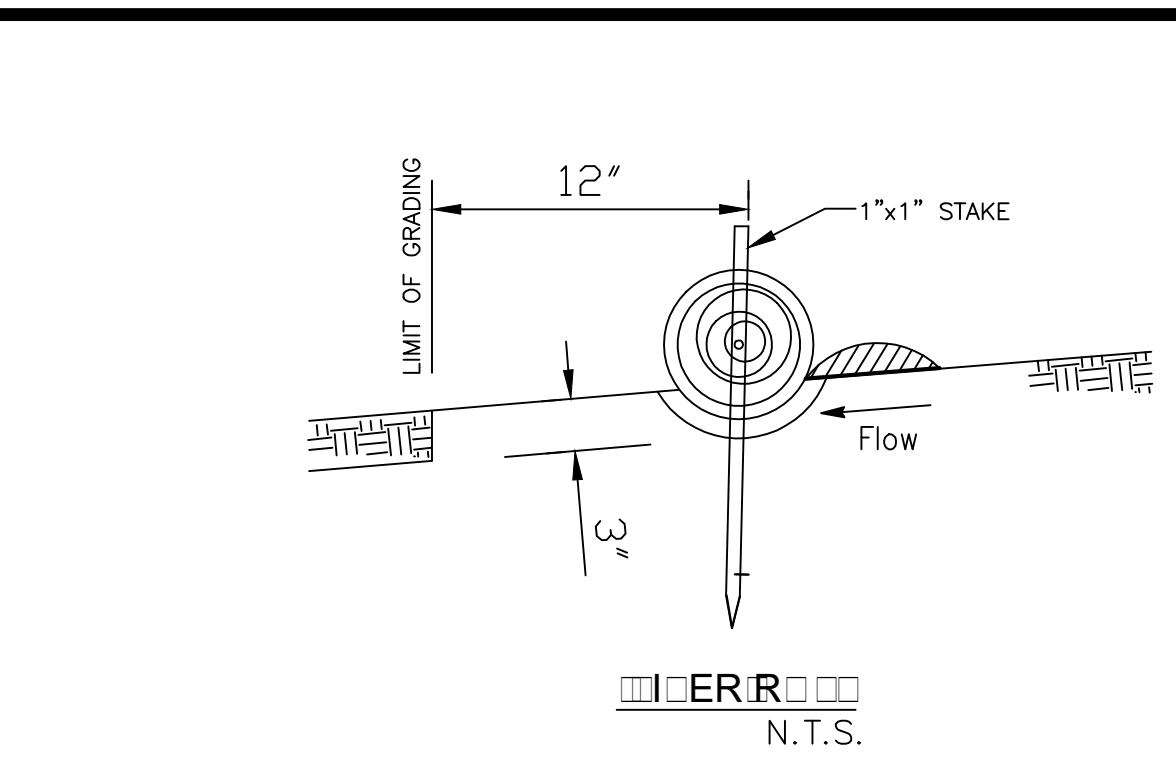
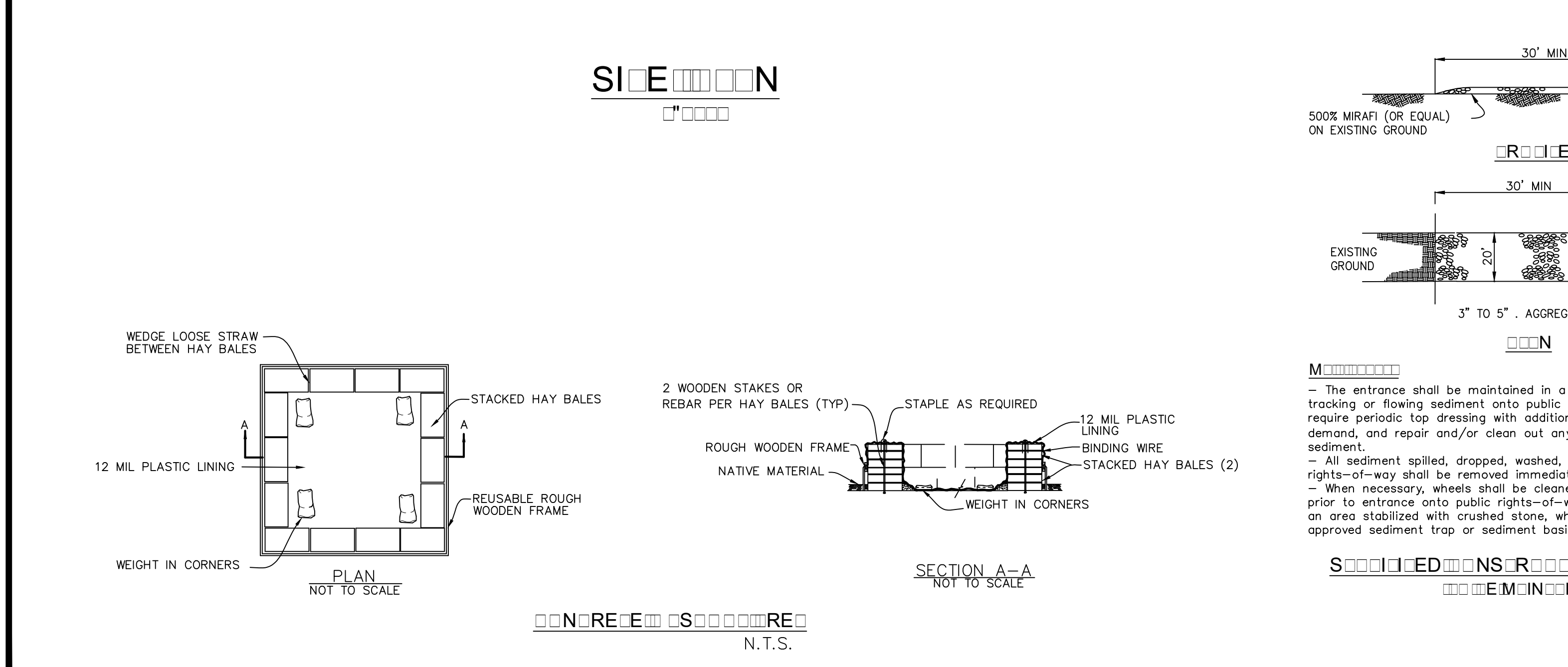
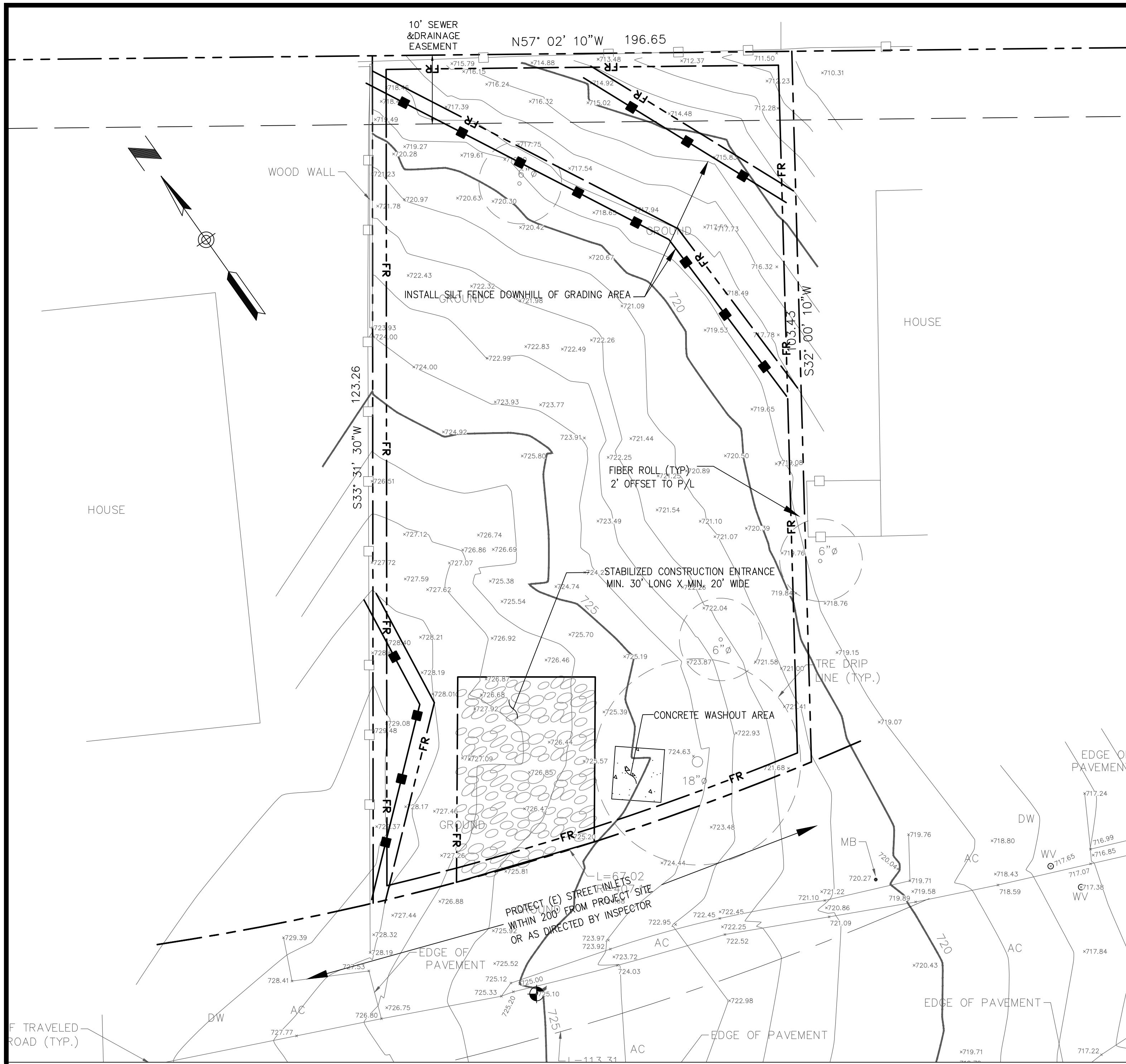
RETAINING WALL SUBDRAIN DETAIL
N.T.S.



RETAINING WALL SUBDRAIN DETAIL
N.T.S.

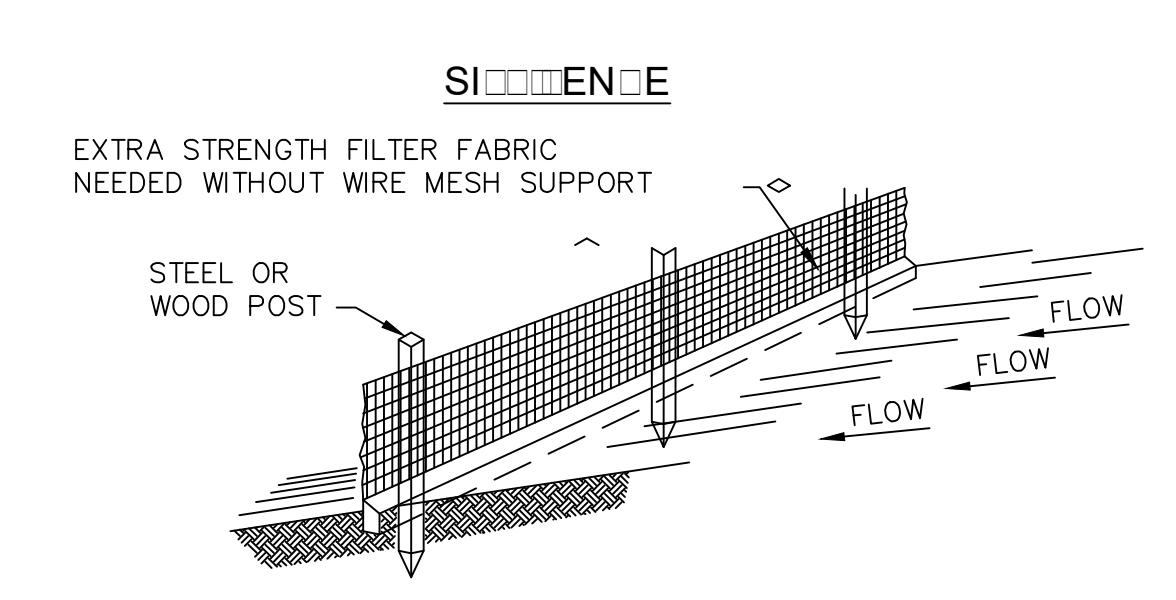


STORM DRAIN CLEANOUT DETAIL
N.T.S.



FIBER ROLL
N.T.S.

- Place fiber roll in key trench 3" deep and place excavated soil on uphill or flow side of the roll.
- On slopes and hillsides, fiber rolls shall be abutted at the ends and not overlapped. Place alternate stakes on both sides of the roll, every 6'.
- Install fiber roll 12" from limit of grading

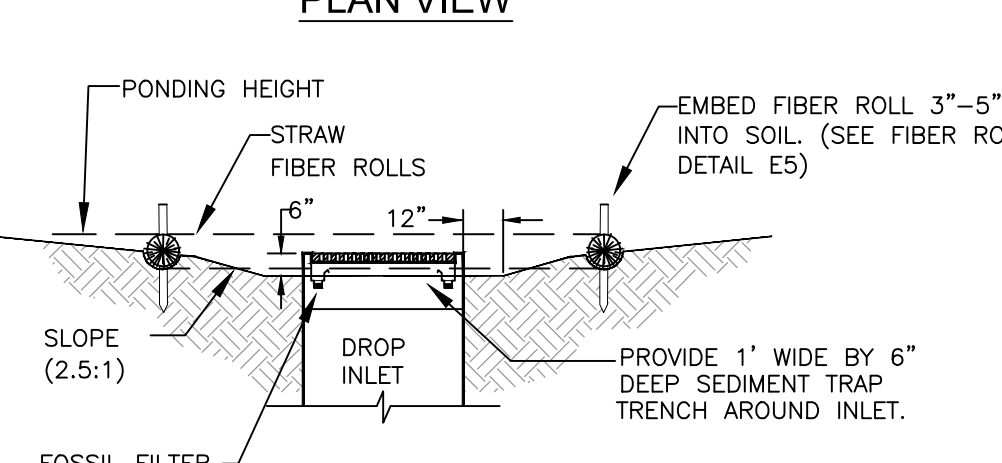
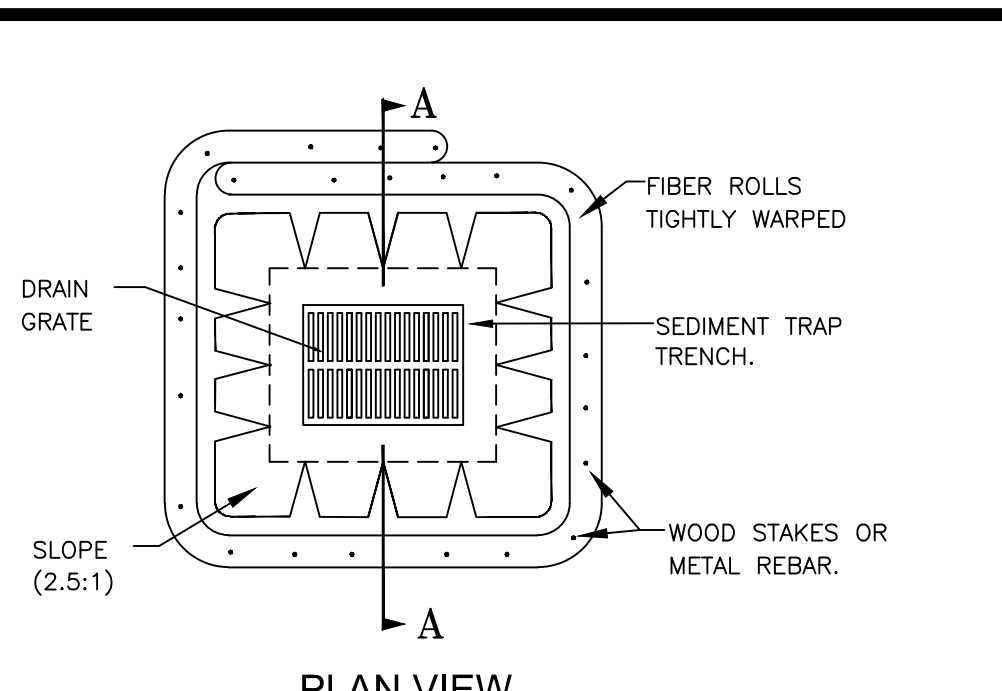


TRENCH WITH NATIVE BACKFILL **TRENCH WITH GRAVEL**

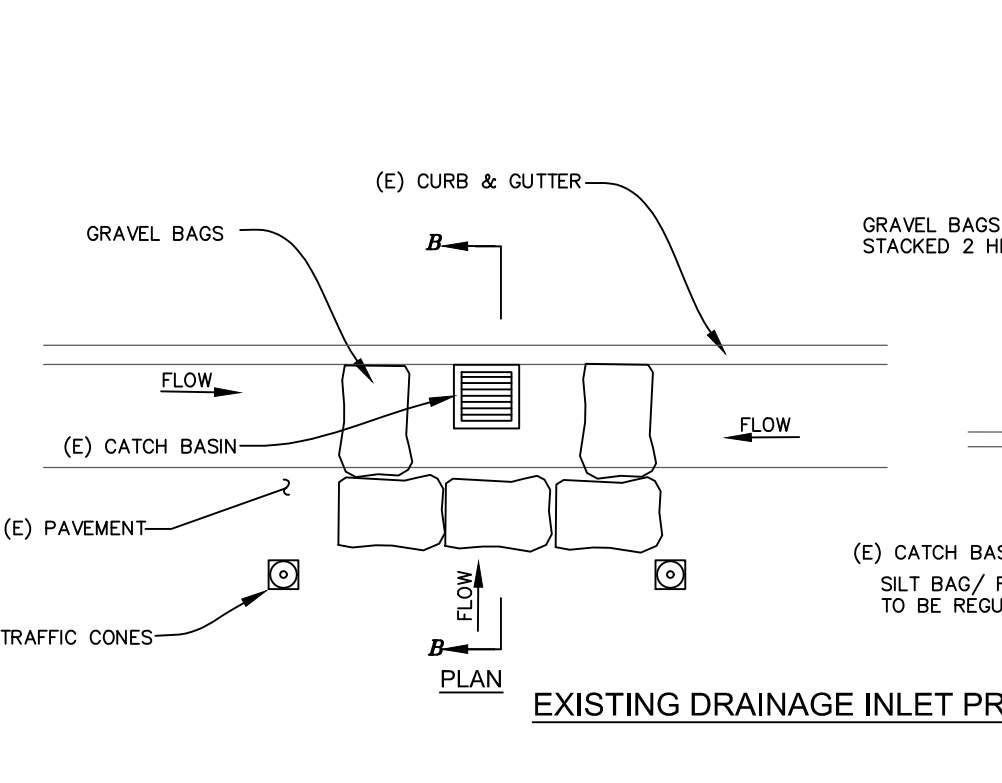
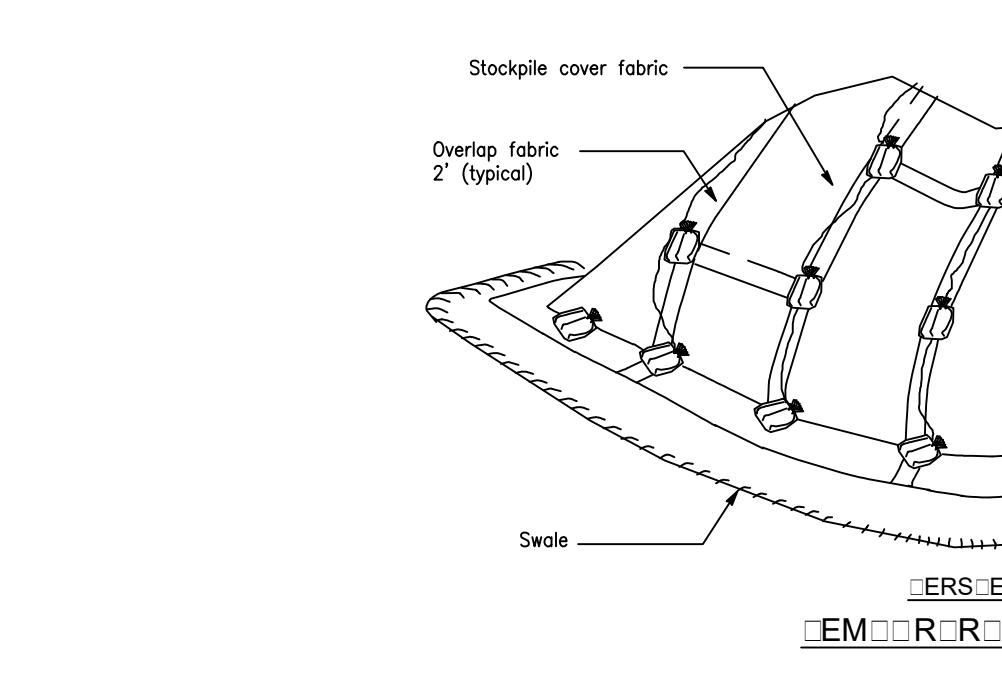
SILT FENCE MAINTENANCE:
 - Silt fence and filter barriers shall be inspected during and immediately after each rainfall, and at least daily during prolonged rainfall. Any required repairs shall be made immediately.
 - Should the fabric on a silt fence or filter barrier decompose or become ineffective during the time the fence or barrier is still necessary, the fabric shall be replaced promptly.
 - Sediment deposits shall be removed when deposits reach approximately one-third the height of the barrier.
 - Any sediment deposits remaining in place after the silt fence or filter barrier is no longer required shall be dressed to conform with the existing grade, prepared, and seeded.
 - Silt buildups must be removed when bulges develop in the fence regardless of depth of deposition.

EXISTING DRAINAGE INLET PROTECTION
N.T.S.

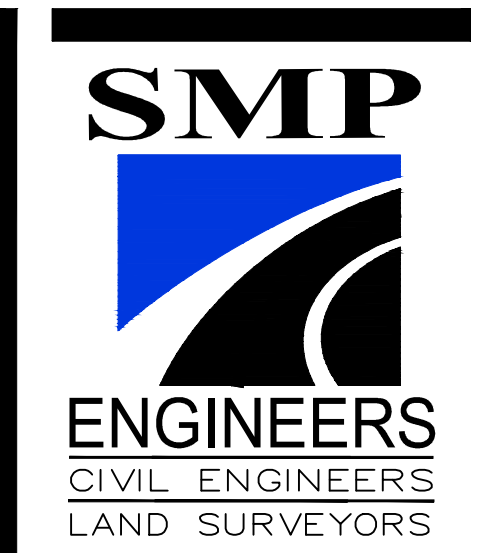
MAINTENANCE NOTES
 1. Reasonable care shall be taken when hauling any earth, sand, gravel, stone, debris, paper or any other substance over any public street, alley or other public place. Should any blow, spill, or track over and upon said public or adjacent private property, immediately remedy shall occur.
 2. Sanitary facilities shall be maintained on the site.
 3. During the rainy season, all paved areas shall be kept clear of earth material and debris. The site shall be maintained so as to minimize sediment laden runoff to any storm drainage systems, including existing drainage swales and water courses.
 4. Construction operations shall be carried out in such a manner that erosion and water pollution will be minimized. State and local laws concerning pollution abatement shall be complied with.
 5. Contractors shall provide dust control as required by the appropriate federal, state, and local agency requirements.
 6. With the approval of the city inspector, erosion and sediment controls may be removed after areas above them have been stabilized.



SECTION A-A
N.T.S.



NOTES:
 1. PLACE FIBER ROLLS AROUND THE INLET CONSISTENT WITH BASIN SEDIMENT BARRIER DETAIL ON THIS SHEET. FIBER ROLLS ARE TUBES MADE FROM STRAW BOUND W/ PLASTIC NETTING. THEY ARE APPROX. 8" DIA. AND 20 - 30 FT. LONG.
 2. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE FIBER ROLL IN A TRENCH, 3" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.
 3. THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY-PASSING THE INLET. EXCAVATION OF A BASIN ADJACENT TO THE DROP INLET OR A TEMPORARY DIKE ON THE DOWNSLOPE OF THE STRUCTURE MAY BE NECESSARY.
 4. FOSSIL FILTERS SHALL BE INCORPORATED IN ALL CATCH BASINS AND FIELD INLETS 24" AND LARGER AND SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS. FOSSIL FILTERS ARE AVAILABLE FROM KRISTAR ENTERPRISES INC., 422 LARKFIELD CENTER, SUITE 271, SANTA ROSA, CA 95403, PHONE (800) 579-8819.



1534 CAROB LANE
LOS ALTOS, CA 94024
TEL: (650) 941-8055
FAX: (650) 941-8755

OWNER / DEVELOPER:

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EROSION CONTROL PLAN
GRADING AND DRAINAGE PLANS
NEW SINGLE FAMILY HOUSE
0 TEMESCAL WAY, EMERALD HILLS, CA 94062
APN: 068-092-190



Revisions:

Date: 04/14/2021
 Scale: AS NOTED

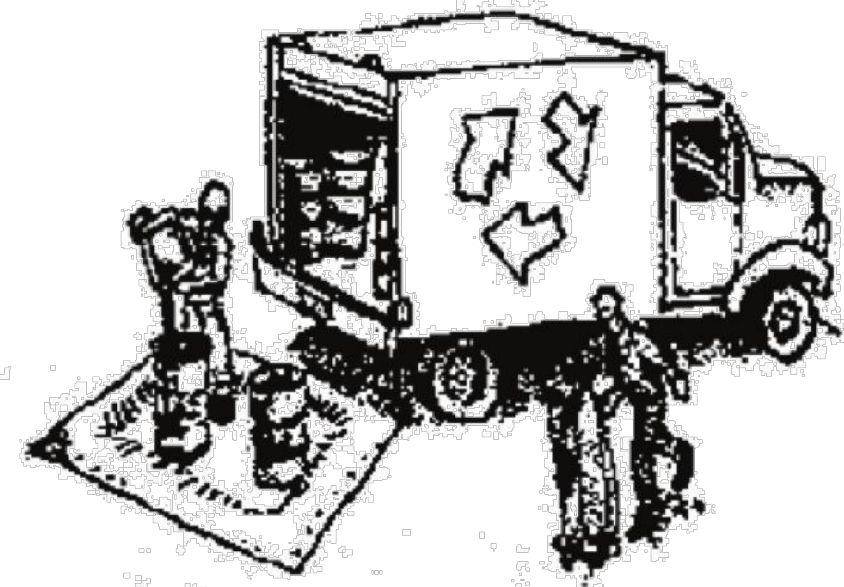
PREPARED BY: S.P.
 CHECKED BY: S.R.
 Job #: 220140

Sheet: 5 OF 6
C-5

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



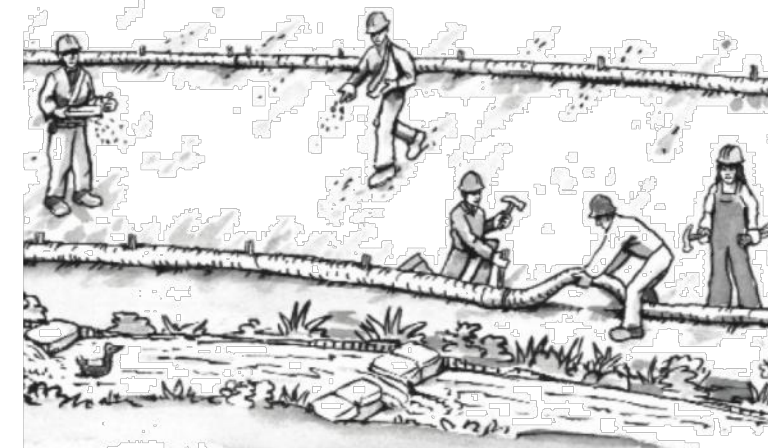
Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving

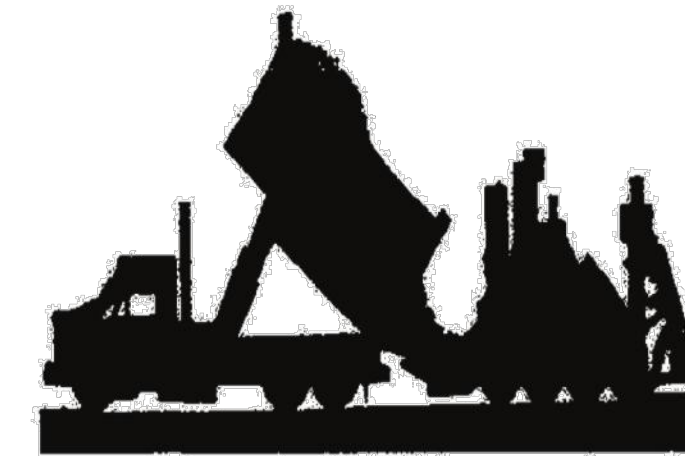


- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work

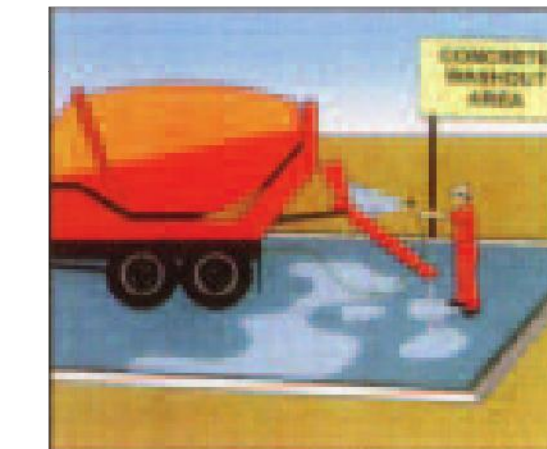


- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



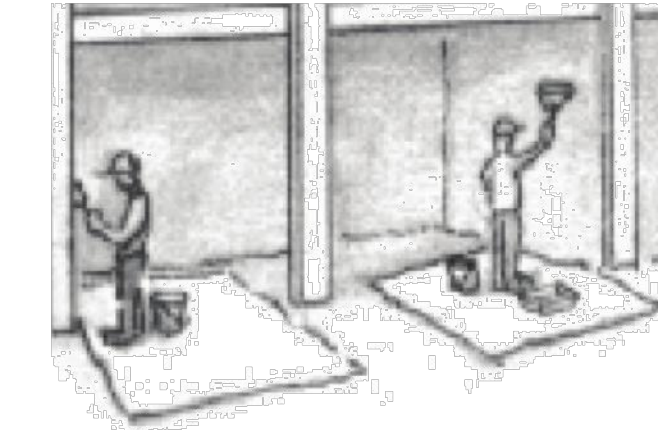
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

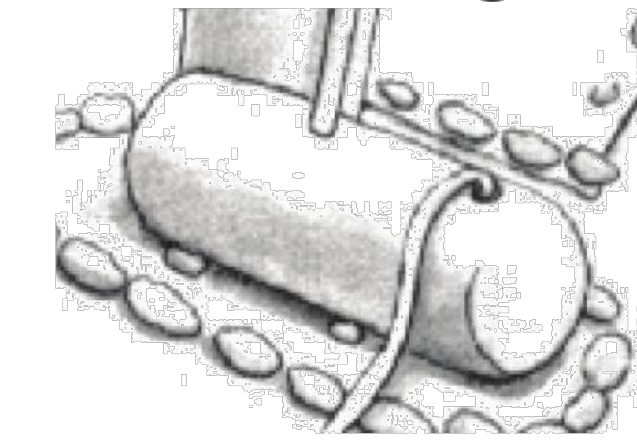
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!