

RECEIVED

PLN2019-00469

NOV 13 2019

San Mateo County
Planning Division



LOCATION MAP



VICINITY MAP

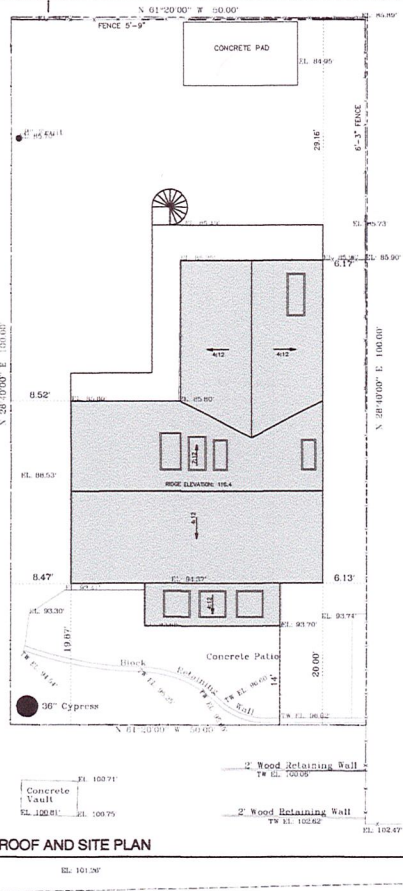
FITZ RESIDENCE
403 3RD STREET
MONTARA, CA 94037
APN 036-061-110

ARCHITECTURAL
DESIGNER

GARRITY DESIGN
BEVERLY R. GARRITY
BNGARRITY@COMCAST.COM
650-740-5822

Issue:

XX
13 NOV 2019
XX



ROOF AND SITE PLAN

SCALE: 1/8" = 1'-0"

BENCH MARK:
A 3/8" NAIL AND SHIMMER WAS SET IN THE PAVEMENT FOR THE DATUM POINT FOR THIS SURVEY. ELEVATION = 101.70 (ASSUMED DATUM)

**FITZ RESIDENCE
REMODEL**

**LOCATION:
403 3RD STREET
MONTARA, CA 94037**

**OWNER:
STEVE FITZ**

PROJECT DESCRIPTION

1. REPLACE 400 SF DECK OVER GARAGE WITH MASTER SUITE
2. ADD 284 SF MAIN LEVEL PERVIOUS DECKS (RMV 400SF IMPERVIOUS CO DECK)
3. ADD 100 SF W/NSHP ATTACHED TO GARAGE
4. REMOVE LEVEL 2 INTERIOR

PROJECT DATA

APN 036-061-110
ZONE R-1/5-17/0R/CO

	ALLOWED	EXISTING	CHANGE	PROPOSED
LOT SIZE	5,000 SF	5,000 SF		5,000 SF
LOT COVERAGE	1,750 SF	1,421 SF	28.4%	1,745 SF
F.A.R.	2,650 SF	2,065 SF	41%	2,565 SF
LOWER LEVEL		79 SF		79 SF
MAIN LEVEL		1,427 SF	400 SF	1,427 SF
UPPER LEVEL		559 SF		559 SF
GARAGE/W/NSHP		400 SF	100 SF	400 SF /100 SF
DECKS		400 SF	-156 SF	244 SF
SETBACKS:				
F.S.S.	20 FT MIN	20 FT		
R.S.S.	20 FT MIN	34.2 FT		
S.S.S.	5 FT MIN	6.2 FT		
E.S.S.	5 FT MIN	6.5 FT		
REAR	20 FT MAX	27.87 FT		

NOTES:
LOT COVERAGE = MAIN LEVEL + GARAGE + DECK(S)
FLOOR AREA RATIO (F.A.R.) = LOWER + MAIN LEVEL + UPPER LEVEL + GARAGE/W/NSHP
F.S.S. = COMBINED SET TOTAL, 10 FT MIN EAST STREET SIDE

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- A1.4 L1 & L2 FLOOR PLAN, PROPOSED CONDITIONS
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- A2.4 ELEVATIONS, EAST & WEST SIDE PROPOSED CONDITIONS
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LANDSCAPE
RENDERING

PROJECT TEAM

ARCHITECTURAL DESIGNER
BEVERLY R. GARRITY
ARCHITECTURAL DRAFTING
CLAIRE WATSON
SURVEYOR
PAT MCHULTY
CONTRACTOR

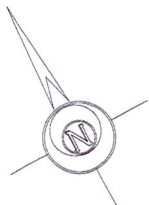
COVER PAGE

Scale: VARIES
Sheet

A0



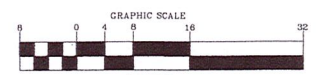
Survey Prepared for: Steve Fitz
 SITE ADDRESS: 403 3rd Street, Monterey
 LEGAL DESCRIPTION: Lot 4 Block 50
 Record Subdivision Book 4 at Page 29
 A.P.N. 036-061-110
 AREA: 5,000 SQ. FT. +/-



LEGEND

— Property Line
 - - - - - Fence
 - - - - - Edge of Pavement

- NOTES:**
- 1.) Topography shown shows existing site features at the time of the survey. Any Site Plan or Grading Plan is done by others.
 - 2.) Elevations shown hereon are based upon an Assumed Datum.
 - 3.) Trees are shown at the point which they enter the ground and the size shown is approximate diameter at breast height.
 - 4.) Dimensions shown to the building are to the face of the siding. The foundation is typically 0.17' more.



Joseph P. McNulty 1/5/18

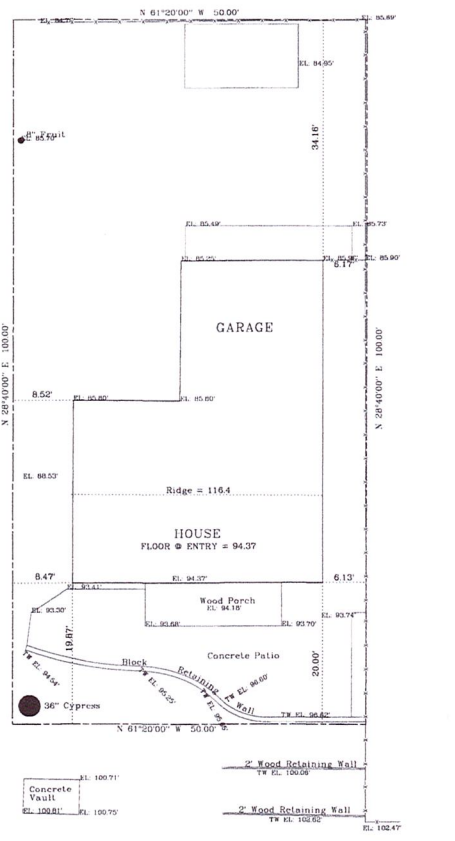
HOUSE LOCATION MAP

Prepared By:
 Pat McNulty
 Professional Land Surveyor
 1604 Francis Avenue
 Belmont, California 94002
 650-654-6460

Revised 1/5/18 Ridge Height

NOVEMBER 2014 JOB NO: 35-14

EAST AVENUE
 60' RIGHT OF WAY



3RD STREET
 60' RIGHT OF WAY

BENCH MARK:
 A MAC NAIL AND SHINER WAS SET IN THE PAVEMENT FOR THE DATUM POINT FOR THIS SURVEY. ELEVATION = 101.70 (ASSUMED DATUM)

FIRE HYDRANT
 UTILITY POLE

SANITARY SEWER MANHOLE
 RIM = 99.85

UTILITY POLE

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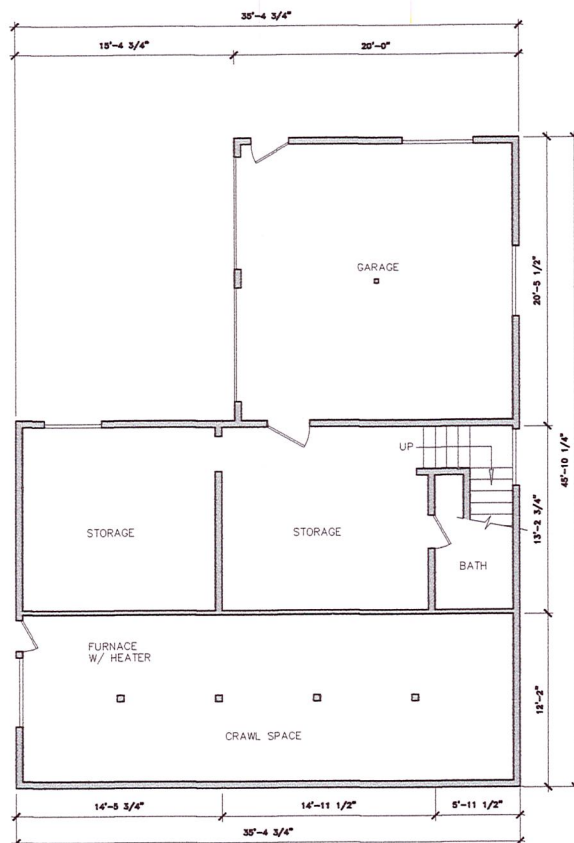
XX XX

BASEMENT FLOOR
PLAN, EXISTING
CONDITION

Scale: 1/4" = 1'0"

Sheet

A1.1



EXISTING BASEMENT FLOOR PLAN

1

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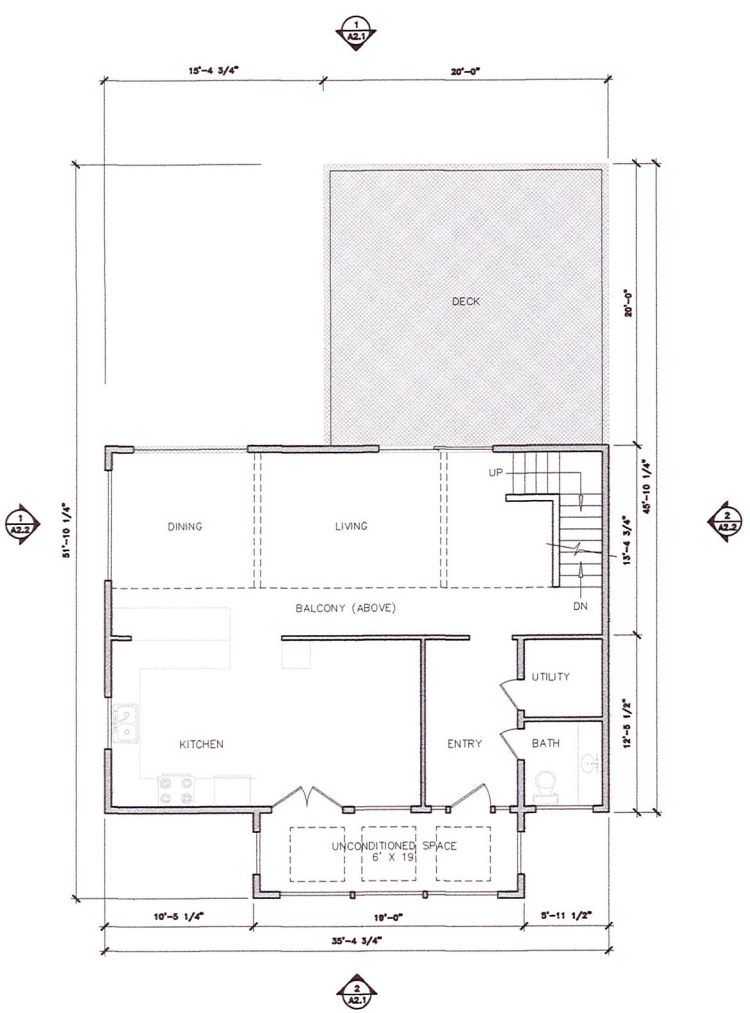
Issue:

 XX XX

L1 & L2 FLOOR PLAN,
 EXISTING
 CONDITIONS

Scale: 1/4" = 1'0"
 Sheet

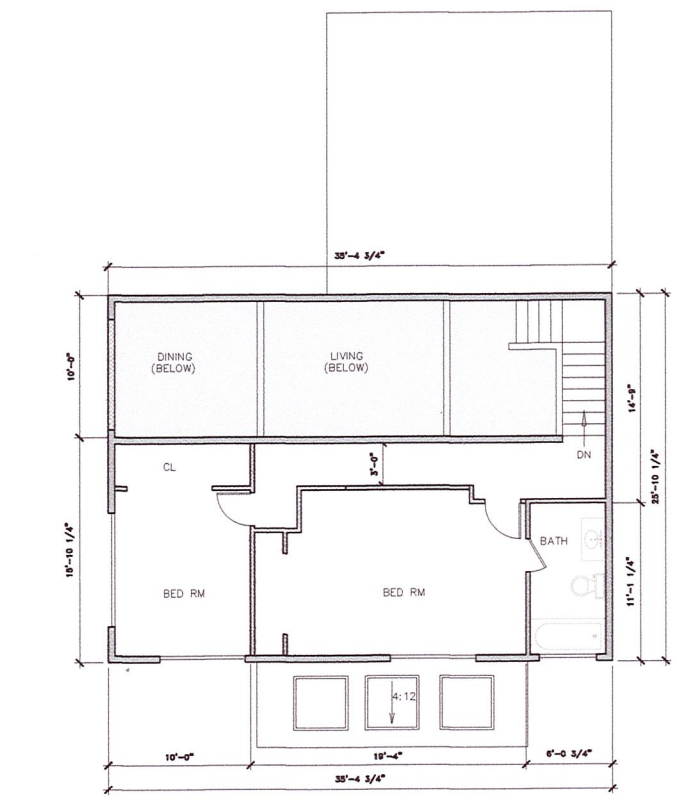
A1.2



EXISTING L1 FLOOR PLAN

TO BE DEMOLISHED

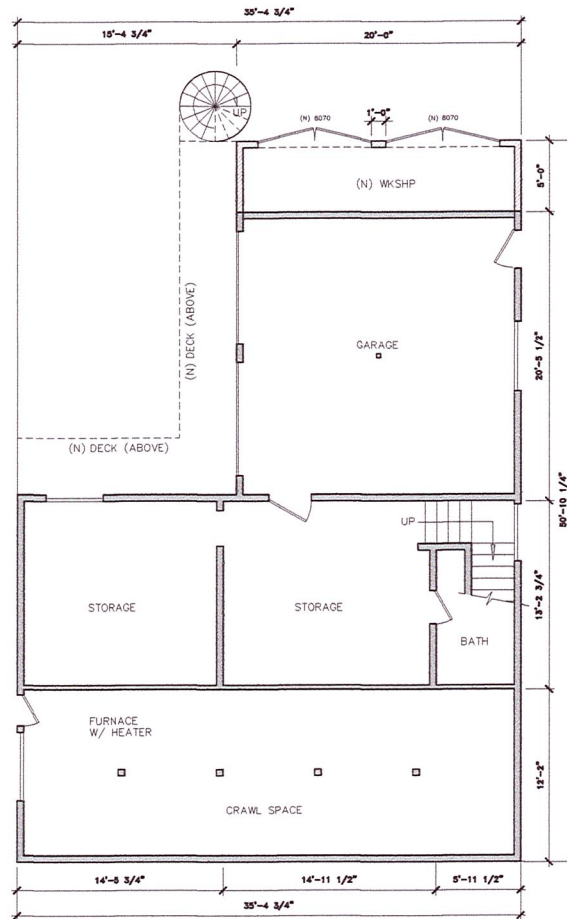
1



EXISTING L2 FLOOR PLAN

TO BE DEMOLISHED

2



PROPOSED BASEMENT FLOOR PLAN

 NEW WALLS

1

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Issue:

 XX _____ XX

BASEMENT FLOOR
 PLAN, PROPOSED
 CONDITIONS

Scale: 1/4" = 1'0"
 Sheet

A1.3



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Issue:

 XX _____ XX

L1 & L2 FLOOR PLAN,
 PROPOSED
 CONDITIONS

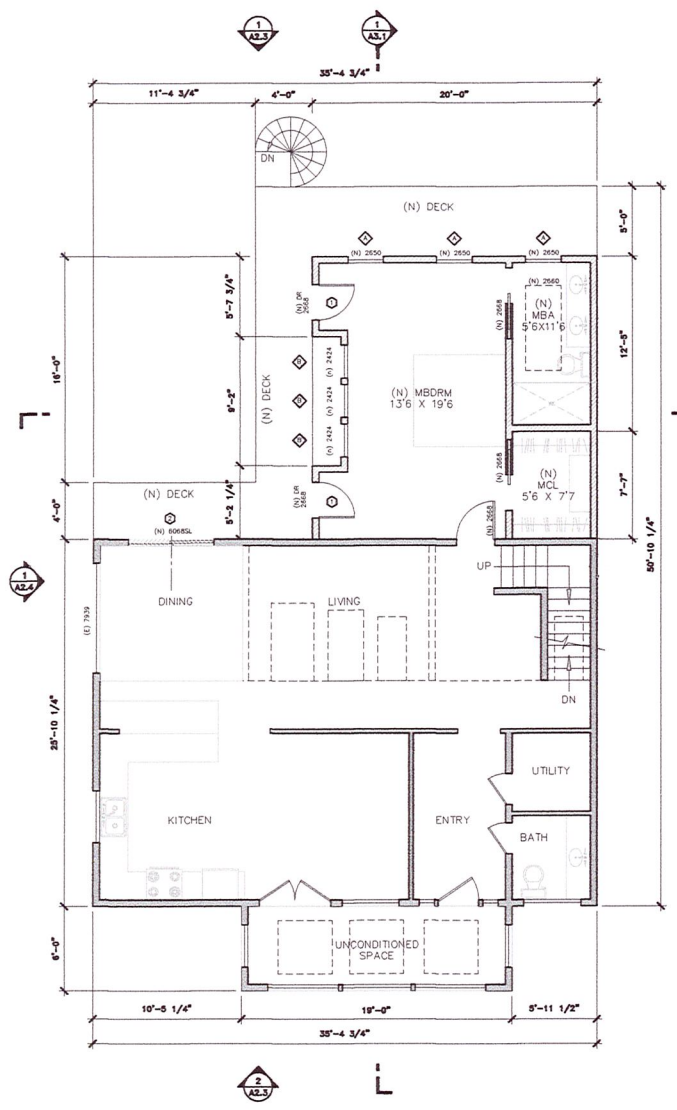
Scale: 1/4" = 1'0"
 Sheet

A1.4

WINDOW SCHEDULE				
NO.	SIZE	QTY	STYLE	MATERIAL
◇	2650	3	CSMT	ALL TO MATCH EXISTING. WHITE VINYL EXTERIOR. SKYLITES BRONZE EXTERIOR
◇	2424	3	AWING	
◇	7939/16	1	FIXED	
◇	3056	1	FIXED (SKYLITE)	
◇	2650	1	FIXED (SKYLITE)	
◇	2046	1	FIXED (SKYLITE)	
◇	2660	1	FIXED (SKYLITE)	

DOOR SCHEDULE				
NO.	SIZE	QTY	STYLE	
○	2668	2	SINGLE LITE	
○	6068	1	SLIDING	
○	2068	2	CLOSET	
○	3068	2 PR	CLOSET SLDG	

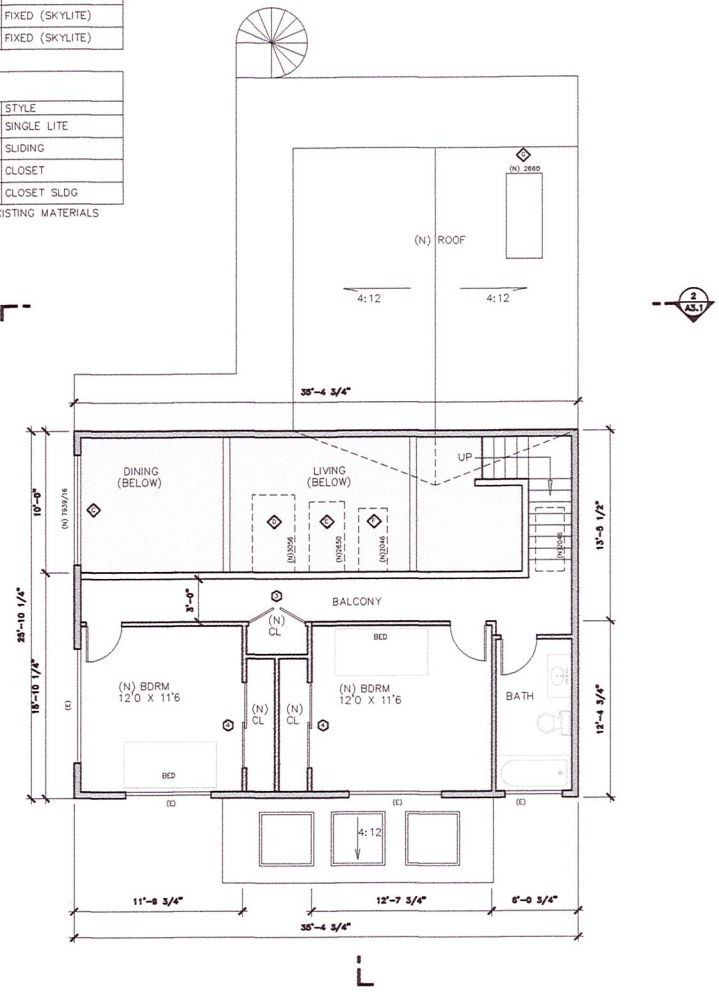
NOTE: ALL TO MATCH EXISTING MATERIALS AND COLORS



PROPOSED L1 FLOOR PLAN

NEW WALLS

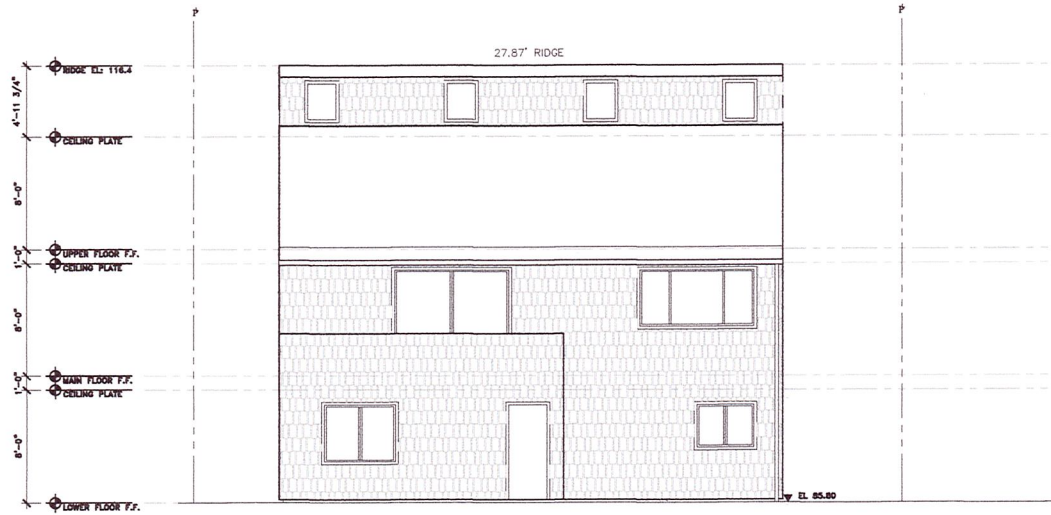
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PROPOSED L2 FLOOR PLAN

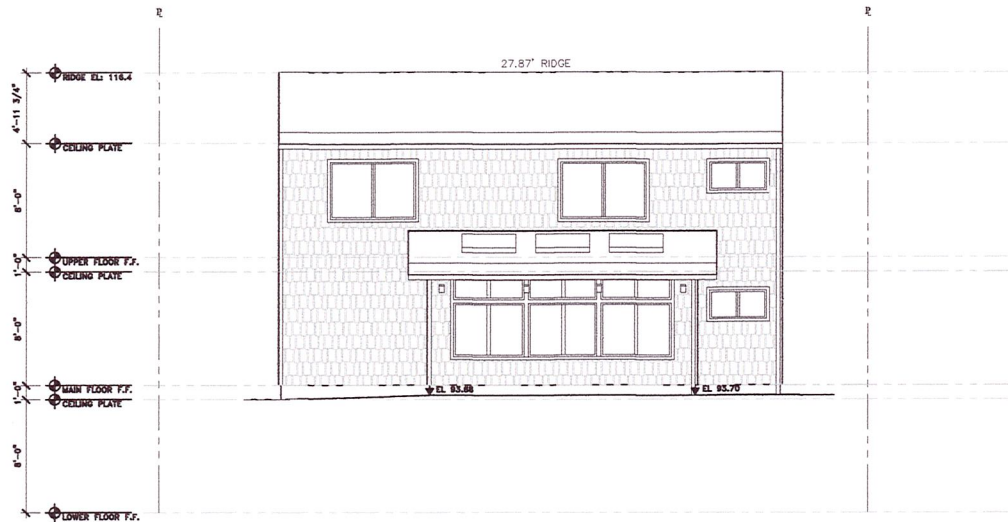
NEW WALLS

2



EXISTING ELEVATION - NORTH/REAR

1



EXISTING ELEVATION - SOUTH/FRONT

2

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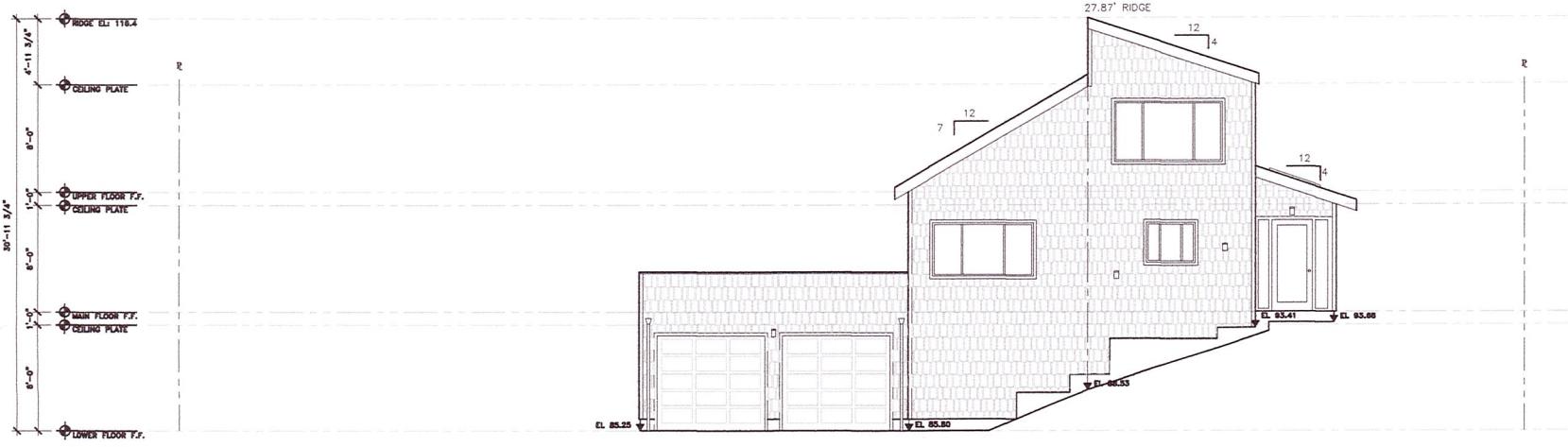
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ELEVATIONS
 NORTH/REAR &
 SOUTH/FRONT
 EXISTING
 CONDITIONS

Scale: 1/4" = 1'-0"
 Sheet

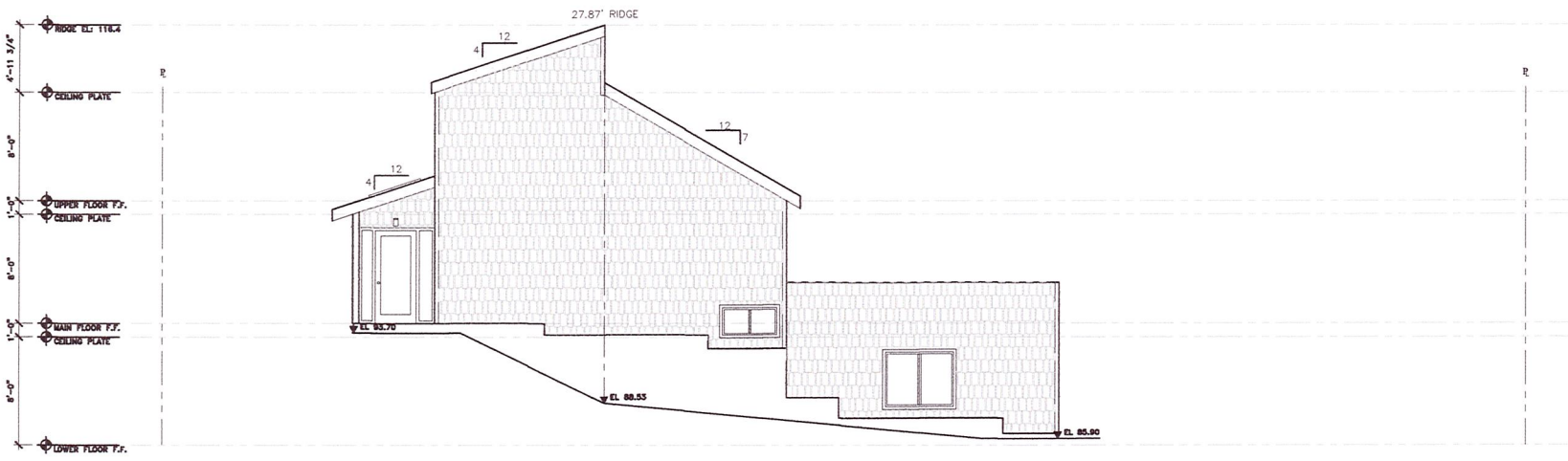
A2.1





EXISTING ELEVATION - WEST

1



EXISTING ELEVATION - EAST

2

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Issue:

XX XX

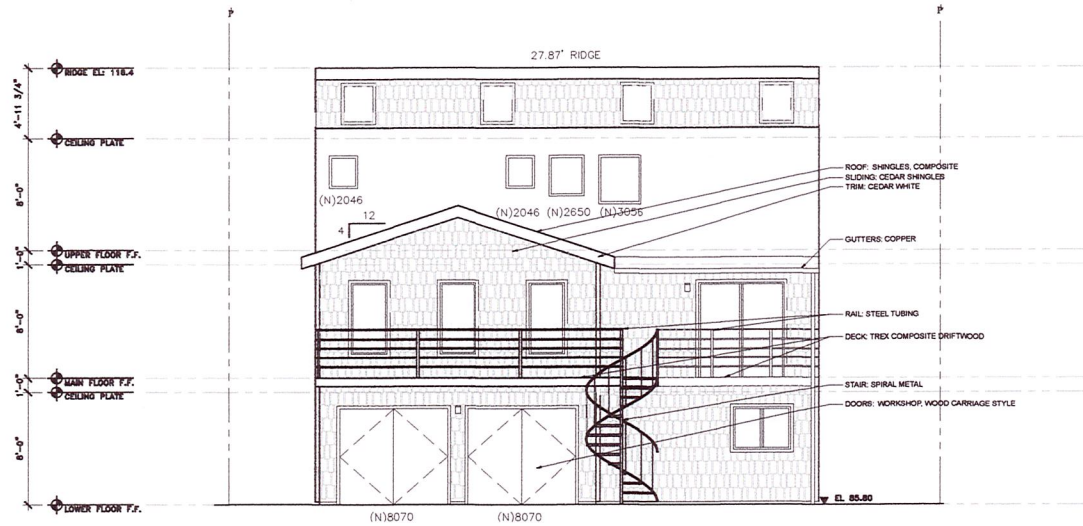
ELEVATION EAST &
 WEST EXISTING
 CONDITIONS

Scale: 1/4" = 1'-0"

Sheet

A2.2

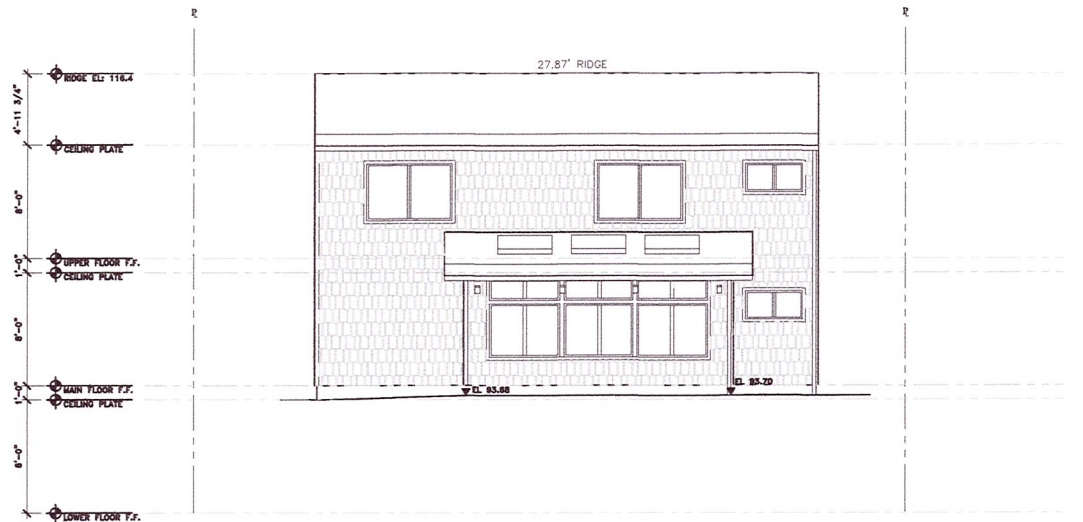




PROPOSED ELEVATION - NORTH/REAR

MATERIALS TO MATCH EXISTING

1



PROPOSED ELEVATION - SOUTH/FRONT

2

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Issue:

XX XX

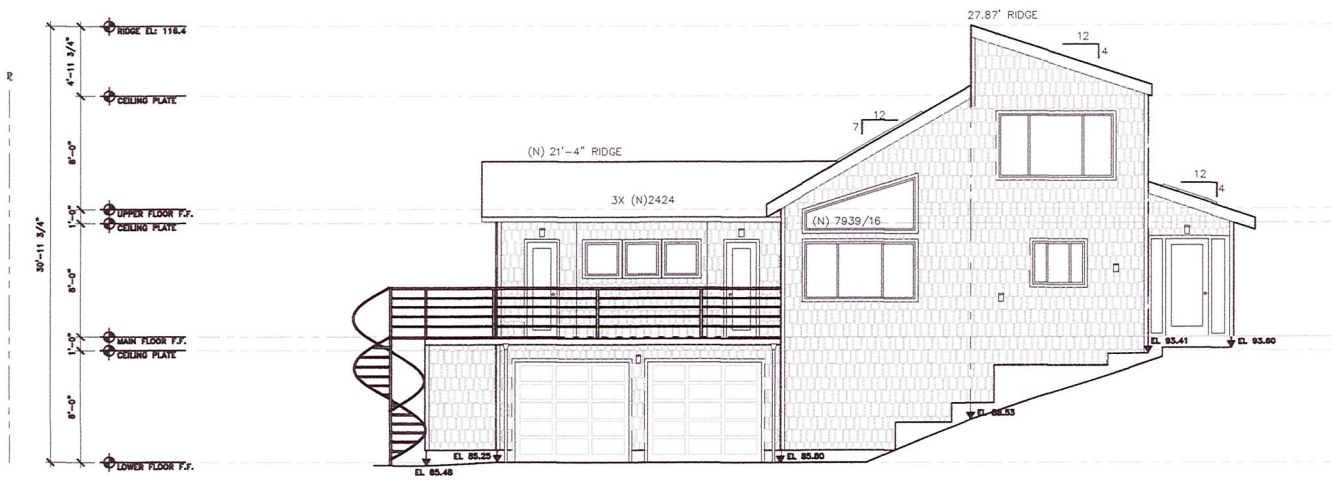
ELEVATION
 NORTH/REAR &
 SOUTH/FRONT
 PROPOSED
 CONDITIONS

Scale: 1/4" = 1'-0"

Sheet

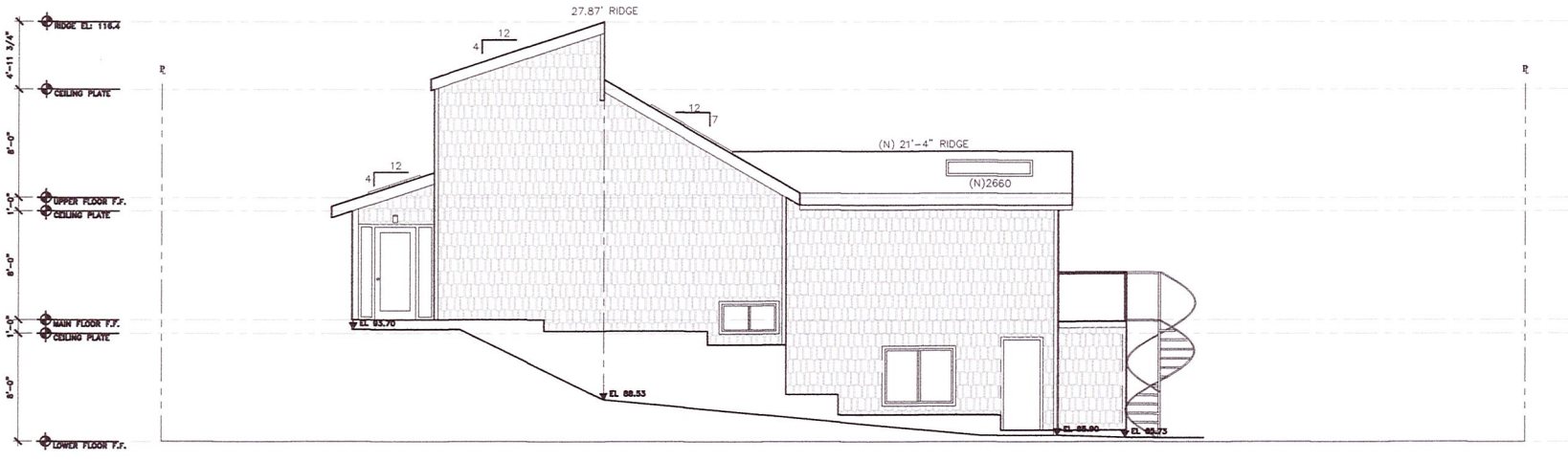
A2.3





PROPOSED ELEVATION - WEST

1



PROPOSED ELEVATION - EAST

2

FITZ RESIDENCE
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Issue:

 XX XX

ELEVATION EAST &
 WEST PROPOSED
 CONDITIONS

Scale: 1/4" = 1'-0"
 Sheet

A2.4



FITZ RESIDENCE
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 DESIGNER

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Issue:

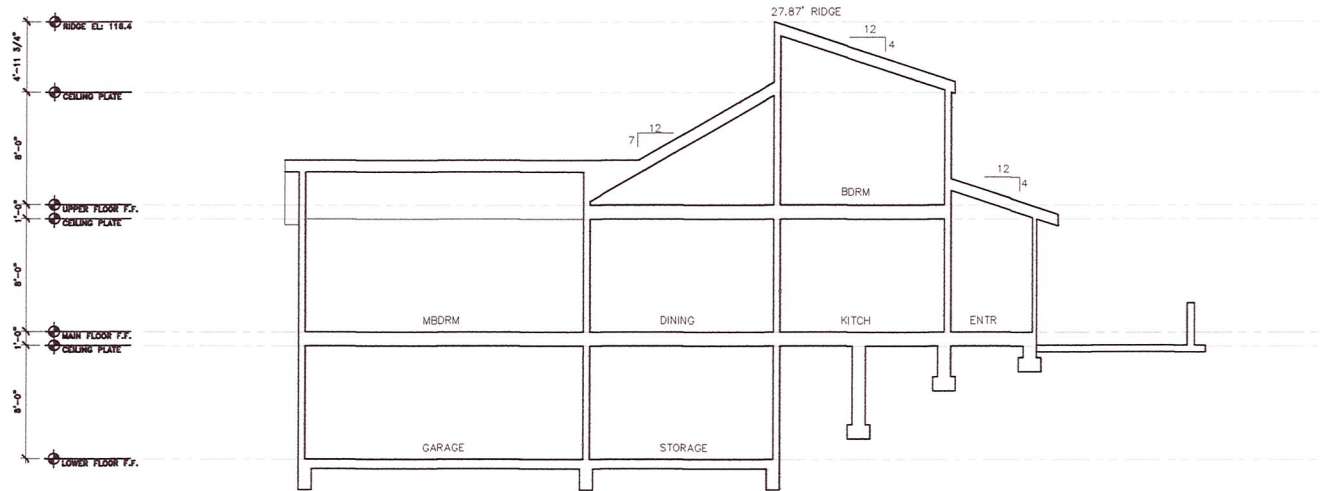
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SECTIONS

Scale: 1/4" = 1'0"

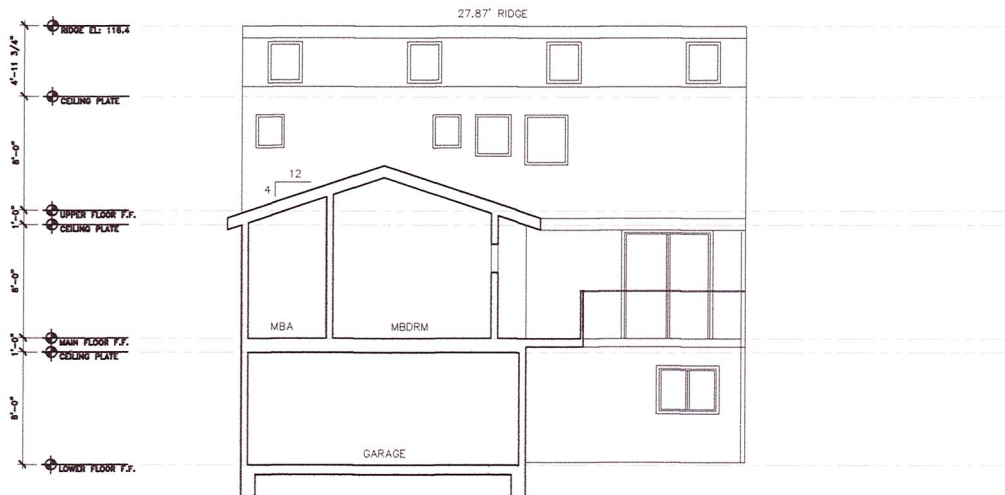
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A3.1



PROPOSED SECTION

1



PROPOSED SECTION

2



KEY EXISTING LANDSCAPE

- (A) CYPRESS TREE
- (B) ASPHALT PAPER ST
- (C) BASE ROCK DIVINY
- (D) NATIVE GRND CVP
- (E) CONCRETE
- (F) NATIVE GRND CVP
- (G) GARDEN BED
- (H) SILVER SHEEN ENGLISH LAUREL
- (I) R.R.TIE & COMPACTED GRANITE
- (J) CONCRETE PATIO
- (K) HYDRANGEA
- (L) POLY FERN
- (M) PITTOSPORUM

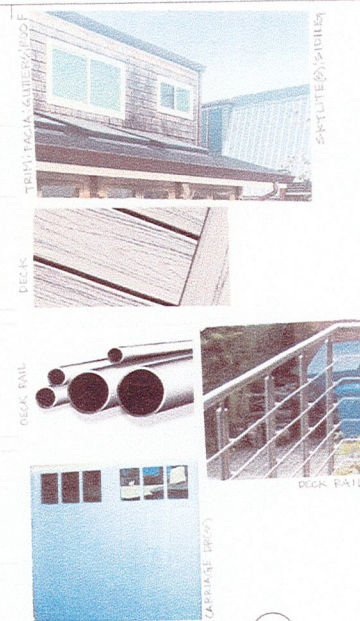
REV
30 OCT '19 BRG

B.R. GARRITY
GARRITY
DESIGN
650 740 5822

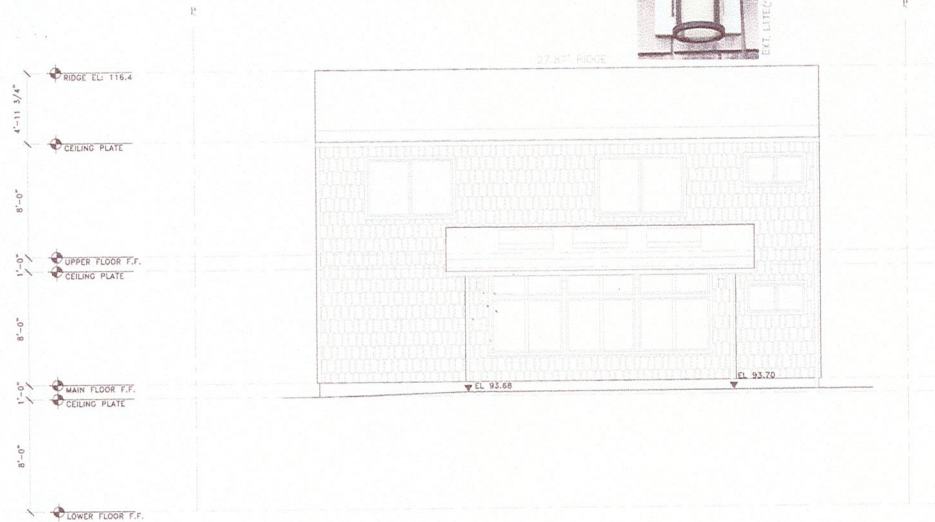
LANDSCAPE
EXISTING
APN 036 061 110

FITZ
403 3RD ST
MONTARA CA
94027

NOTE: EXISTING LANDSCAPE TO REMAIN



PROPOSED ELEVATION - NORTH/REAR
MATERIALS TO MATCH EXISTING



PROPOSED ELEVATION - SOUTH/FRONT

FITZ RESIDENCE
403 3RD STREET
MONTARA, CA 94037
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DESIGNER
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Issue	
xx	xx

ELEVATION
NORTH/REAR &
SOUTH/FRONT
PROPOSED
CONDITIONS
RENDERING

Scale: 1/4" = 1'-0"
Sheet

A2.3

