

455 County Center, 2nd Floor • Redwood City CA 94063
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849
www.co.sanmateo.ca.us/planning

Planning Permit Application Form

PLN: _____

BLD: _____

Applicant: MOSHE PORTER

Mailing Address: 190 GATEWAY DR PACIFICA, CA

Zip: 94044

Phone, W: (858) 336 8096 #

E-mail Address: portermoshe@gmail.com FAX: _____

Name of Owner (1): MOSHE PORTER

Mailing Address: 190 GATEWAY DR

PACIFICA, CA

Zip: 94044

Phone, W: (858) 336-8096

H: _____

E-mail Address: portermoshe@gmail.com

Name of Owner (2): _____

Mailing Address: _____

Zip: _____

Phone, W: _____

H: _____

E-mail Address: _____

Project Location (address): 5th STREET

MONTARA, CA 94037

Assessor's Parcel Numbers: 036-067-290

Parcel/lot size: 5,000 SF (Square Feet)

Zoning: R/S-117

List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)

NEW 2-STORY, SINGLE FAMILY HOME WITH DETACHED 2-CAR CARPORT.

COMBINED AREA OF THE TWO STRUCTURES = 1668sf THE CARPORT IS IN THE BACK OF THE LOT AND THE HOME IN THE FRONT.

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):

THE SITE IS COVERED IN NATURAL TALL GRASS AND HAS SOME SHRUBS (16'-18') TALL IN THE BACK. THE SITE HAS AN INCLINE OF ABOUT 6' AT THE FRONT AND THEN SLOPES UP TOWARDS THE BACK FOR THE REST OF THE SITE. ~~THE ONLY BUILT STRUCTURES ON THE PROPERTY ARE A WELL AND A SMALL FENCE (SEE SURVEY).~~

Describe Existing Structures and/or Development:

THE ONLY BUILT STRUCTURES ON THE PROPERTY ARE A WELL AND A SMALL FENCE IN THE BACK OF THE SITE (N). (SEE SURVEY).

Planning and Building Department

County Government Center ■ 455 County Center ■ Redwood City CA 94063
Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

Application for Design Review by the County Coastside Design Review Committee

Permit #: PLN _____

Other Permit #: _____

1. Basic Information

Applicant:

Name: MOSHE PORTER

Address: 190 GATEWAY DR

Zip: 94044

Phone, W: 858 336 8096 H: _____

Email: portermoshe@gmail.com

Owner (if different from Applicant):

Name: _____

Address: _____

Zip: _____

Phone, W: _____ H: _____

Email: _____

Architect or Designer (if different from Applicant):

Name: _____

Address: _____ Zip: _____

Phone, W: _____ H: _____ Email: _____

2. Project Site Information

Project location:

APN: 036-067-290

Address: 000 5th STREET MONTARA, CA

Zip: 94037

Zoning: R/S-17

Parcel/lot size: 5,000 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe): _____

3. Project Description

Project:

- New Single Family Residence: 1668 sq. ft
- Addition to Residence: _____ sq. ft
- Other: _____

Describe Project:

NEW 2-STORY, SINGLE FAMILY HOME WITH DETACHED 2-CAR CARPORT ON VACANT, LEGAL PARCEL.

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish <small>(If different from existing, attach sample)</small>	Check if matches existing
a. Exterior walls	<u>4" Vertical wood siding (Thermory)</u>	<u>Ash (natural)</u>	<input type="checkbox"/>
b. Trim	<u>Painted aluminum</u>	<u>Sarsaparilla PPG: 1018-7</u>	<input type="checkbox"/>
c. Windows	<u>Painted/cooked aluminum</u>	<u>Hunting leaves PPG: 1123-7</u>	<input type="checkbox"/>
d. Doors	<u>Wood</u>	<u>Concrete grey PPG: 7023</u>	<input type="checkbox"/>
e. Roof	<u>Painted/cooked aluminum</u>	<u>Sarsaparilla PPG: 1018-7</u>	<input type="checkbox"/>
f. Chimneys	<u>Ø</u>	<u>Ø</u>	<input type="checkbox"/>
g. Decks & railings	<u>Ø</u>	<u>Ø</u>	<input type="checkbox"/>
h. Stairs	<u>Ø</u>	<u>Ø</u>	<input type="checkbox"/>
i. Retaining walls	<u>Concrete</u>	<u>Unfinished</u>	<input type="checkbox"/>
j. Fences	<u>4" vertical wood (Thermory)</u>	<u>Ash (natural)</u>	<input type="checkbox"/>
k. Accessory buildings	<u>4" vertical wood siding (Thermory)</u>	<u>Ash (natural)</u>	<input type="checkbox"/>
l. Garage/Carport	<u>4" vertical wood siding (Thermory)</u>	<u>Ash (natural)</u>	<input type="checkbox"/>

5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

- (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner:

Applicant: _____

Date: 05/17/2020

Date: _____

Certificate of Exemption or Exclusion from a Coastal Development Permit

Permanent Record
Microfilming Required

Permit #: PLN _____
Permit #: BLD _____

1. Basic Information

Owner
Name: Moshe Porter
Address: 190 Gateway Dr., Pacifica, CA
Zip: 94044
Phone, W: (858) 336-8096 H:
Email Address: porter.moshe@gmail.com

Applicant
Name: _____
Address: _____
Zip: _____
Phone, W: _____ H: _____
Email Address: _____

2. Project Information

Project Description:
New 2-story single family
home with detached 2-car
carport on vacant, legal parcel.

Existing water source:
 Utility connection _____
 Well to be abandoned _____

Proposed water source:
 Utility connection _____
 Well _____

Assessor's Parcel Number(s):
036 - 067 - 290
- -
- -

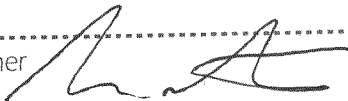
Staking of well location and property lines are required.

- Provide site plan depicting location and all trees.
- Will this require any grading or vegetation/tree removal? Yes No

If Yes, additional permits may be required. Such as: Tree Removal Permit, Grading Permit, Land Clearing Permit, Coastal Development Permit.

3. Signatures

We have reviewed this form as completed above and the basis for this exemption or exclusion. The information herein and the basis for exemption or exclusion are true and correct to the best of our knowledge and we hereby agree to carry out this project in accordance with the terms of the exemption/exclusion category selected on reverse. We also understand and agree that any exemption or exclusion issued for a water well and/or storage tank in the single family exclusion area will be invalidated in the event the future house, the well, and/or storage tank requires a variance.

Owner  Date 05/17/2020 Applicant _____ Date _____

Staff Use Only

4. Basis of Exemption or Exclusion

Use attached review sheet to determine basis of exemption and whether project qualifies. Review basis of exemption with applicant/owner and initial appropriate category below:

Initial

- | | |
|--|--|
| <p><input type="checkbox"/> A. Improvements to Existing Single Family Residence. [PRC 30610(a), CCR13250, ZR 6328.5(a)]</p> <p><input type="checkbox"/> B. Improvements to Existing Structure Other Than Single Family Residence or Public Works Facility. [PRC 30610(b), CCR13253, ZR 6328.5(b)]</p> <p><input type="checkbox"/> C. Existing Navigation Channel. [PRC 30610(c), ZR 6328.5(c)]</p> <p><input type="checkbox"/> D. Repair or Maintenance Activity. [PRC 30610(d), CCR13252, ZR 6328.5(d)]</p> <p><input type="checkbox"/> E. Single Family Residence Categorical Exclusion Area. [PRC 30610(e), CCR13240, AB 643, ZR 6328.5(e)]</p> | <p><input type="checkbox"/> F. Agriculturally-Related Development Categorical Exclusion Area. [PRC 30610(e), CCR13240, ORDERS E-79-7 and E-81-1, ZR 6328.5(e)]</p> <p><input type="checkbox"/> G. Utility Connections. [PRC 30610(f), ZR 6328.5(f)]</p> <p><input type="checkbox"/> H. Replacement of Structures Following Disasters. [PRC 30610(g), ZR 6328.5(g)]</p> <p><input type="checkbox"/> I. Emergency Activities. [PRC 30611, ZR 6328.5(h)]</p> <p><input type="checkbox"/> J. Lot Line Adjustment. [ZR 6328.5(i)]</p> <p><input type="checkbox"/> K. Land Division for Public Recreation Purposes. [ZR 6328.5(l)]</p> |
|--|--|

5. Well Inspection - All Coastal Zone Areas

- Required Not Required

Inspection made by: _____ Date of Inspection: _____

Yes	No
<input type="checkbox"/>	<input type="checkbox"/> Removal of trees?
<input type="checkbox"/>	<input type="checkbox"/> If Yes, is tree removal permit included?
<input type="checkbox"/>	<input type="checkbox"/> Trimming of trees?
<input type="checkbox"/>	<input type="checkbox"/> Excessive removal of vegetation?
<input type="checkbox"/>	<input type="checkbox"/> Excessive grading? (If Yes, CDP is required)
<input type="checkbox"/>	<input type="checkbox"/> Erosion control plan required?

Approval of Permit is subject to the following: (check if applicable)

- Submittal and Approval of a Tree Removal Permit
- Submittal and Approval of a Grading Permit
- Submittal and Approval of an Erosion Control Plan
- Submittal and Approval of a Coastal Dev. Permit

6. Approval

I have reviewed the above-described project and have determined that it meets all criteria for the exemption/exclusion checked above.

Exemption/Exclusion is approved.

.....
 Planning Department _____ Date _____

Project is subject to the following condition(s) of approval:

7. Processing

- | | |
|--|---|
| <p><input type="checkbox"/> Fee collected</p> <p><input type="checkbox"/> Original Certificate of Exemption to Building Inspection file.</p> <p><input type="checkbox"/> Copies of Certificate of Exemption to:
 1. Applicant/Owner.
 2. Planning Department Exemption Binder.</p> | <p>3. Any relevant Planning or Building Inspection files.</p> <p>4. California Coastal Commission, 45 Fremont Street, Suite 2000, San Francisco, CA 94105</p> <p><input type="checkbox"/> Update Permit*Plan Case Screen and Activities</p> |
|--|---|

Application for a Grading Permit

455 County Center, 2nd Floor - Redwood City CA 94063
Mail Drop: PLN 122 TEL (650) 363-4161 FAX (650) 363-4849

- Land Clearing
- Grading

Applicant's Name: MOSHE PORTER

Primary Permit #: _____

Companion Page

Please fill out the general Planning Permit Application Form and this form when applying for a Grading Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

Land Clearing Operator

Name: _____

Address _____

Zip: _____

Phone: _____

License #: _____

◆ Area to be cleared: _____ sq. ft.

◆ Average slope of area to be cleared: _____

◆ Type of vegetation to be removed: _____

◆ Disposal Site: _____

◆ Purpose of removal: _____

The land clearing plans must show:

- (1) Property lines.
- (2) Location of area to be cleared.

- (3) Existing structures
- (4) Erosion control measures.

Grading Operator

Name: _____

Address: _____

Zip: _____

Phone: _____

License #: _____

Geotechnical Consultant

Name: SIGMA PRIME GEOSCIENCES, INC.

Address: 332 PRINCETON AVENUE

HALF MOON BAY, CA ~~94019~~

Zip: 94019

Phone: (650) 728-3590

License #: _____

Civil Engineer

Name: SIGMA PRIME GEOSCIENCES, INC.

Address: 332 PRINCETON AVENUE

HALF MOON BAY, CA

Zip: 94019

Phone: (650) 728-3590

License #: 62264

♦ Engineer's estimate of the quantity of materials to be moved:

cut: 390 cubic yards

fill: 0 cubic yards

Depth of cut: ft.

Depth of fill: ft.

The grading plans, 24"x36", prepared and signed by a civil engineer shall contain the following:

- (1) All of the proposed uses for which the proposed grading is necessary.
- (2) Boundary lines of the site.
- (3) If there is a proposed subdivision, each lot or parcel of land into which the site is proposed to be divided.
- (4) The location of any existing buildings, structures, easements or underground utilities on the property where the work is to be performed and the location of any buildings or structures on adjacent land within 50 feet of the proposed work.
- (5) Accurate contours showing the topography of the existing ground extending at least 10 feet outside all boundary lines of the project site.
- (6) Elevations, locations, extent and slope of all proposed final grading shown by contours. Location of any rock disposal areas, buttress fills, subdrains, or other special features to be included in the work.
- (7) A statement of the quantities of material to be excavated and/or filled and the amount of such material to be imported to, or exported from, the site.

♦ Haul site:

♦ Purpose of grading:

TO ALLOW FOR CONFORMING DRIVEWAY FOR NEW SINGLE FAMILY RESIDENCE
TO ALLOW FOR PAD OF HOUSE AND CARPORT ON NEW SINGLE FAMILY RESIDENCE.

♦ List Assessor's parcel numbers of any adjacent property owned by the owner or applicant, now or in the past:

036 - 067 - 290

(8) Location and nature of known or suspected soil or geologic hazard areas.

(9) Specifications, cross-sections, profiles, elevations, dimensions and construction details based on accurate field data.

(10) Construction details for roads, watercourses, culverts, bridges and drainage devices, retaining walls, gabion walls, cribbing, dams, and other improvements existing or to be constructed, together with supporting calculations and maps.

(11) Approximate boundaries of any areas with a history of flooding.

(12) Location, width, direction or flow and approximate location of top and toes of banks or any watercourse.

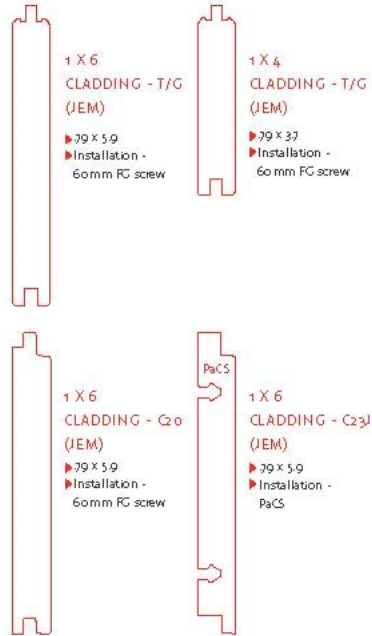
(13) General location and character of vegetation covering the site, including all trees proposed to be removed and all trees 12" dbh within 20 feet of the area to be disturbed.

(14) Name and registration number of the registered California civil engineer under whose direction the grading plan is prepared.

Narrative of conformation to Design Review standards

The scale of the home fits into the style of the neighborhood, which mainly consists of two-story single-family homes. The placement of the building on the site is designed to complement the scale and the rhythm of the neighborhood as well as minimize light obstruction to the neighboring home's windows and maintain their privacy. The mass of the building is broken up in keeping with the neighborhood style. The articulations at the northeast and southwest corners of the building serve to add visual interest and reduce the apparent mass. The home is modern yet warm and understated, so it complements the Montara style. The garage is set back from the street to minimize its presence. The entry is clearly defined and central to the home's design. The windows are placed to minimize exposure between neighboring homes. The natural Ash wood siding and Green coated aluminum windows are chosen to reflect and emphasize Montara's green spaces. Landscaping consists primarily of native, drought-resistant plants in a natural arrangement. The gravel portion of the driveway enhances the plan aesthetically and reduces surface runoff.

White Ash Cladding



Our Benchmark Series

18



Siding @ exterior



< Back

Hippopotamus PPG0994-4



Hippopotamus is a midtone, warm, cloudy gray with a slate undertone. It is a perfect paint color for surrounding lighter gray walls. Pair it with dark woods.

REQUEST A COLOR CARD

FIND IN STORE

 Save 40% on paint at PPG Paint Stores.

SHADES



ACCENT



TRIM & CEILING



Paint color @ front door



[< Back](#)

Sarsaparilla

PPG1018-7



Sarsaparilla is a dark, gray, rusty brown with a chocolate undertone. It is a perfect paint color to add warmth to any room, especially a small bathroom. Pair it with warm woods and muted hues.

REQUEST A COLOR CARD

BUY ONLINE

FIND IN STORE

 Save 40% on paint at PPG stores.

SHADES



ACCENT



TRIM & CEILING



Paint color @ roof and trim



[< Back](#)

Rustling Leaves

PPG1123-7



Rustling Leaves is a dark, shaded, toad green with an ivy undertone. It is a perfect paint color for a man-cave or den. Pair it with plum accents and off-white trim.

REQUEST A COLOR CARD

BUY ONLINE

FIND IN STORE

 Save 40% on paint at PPG stores.

SHADES



ACCENT



TRIM & CEILING



Paint color @ windows and back door

RECEIVED

July 21, 2020

San Mateo County Planning Division



NEW SINGLE FAMILY HOME 538 5TH ST, MONTARA CA

DRAWINGS PREPARED BY:
MOSHE PORTER
190 GATEWAY DR.
PACIFICA, CA 94044
P: 858 336 8096
E: portermoshe@gmail.com

REV	DATE	DESCRIPTION
1	05/20/2020	Planning Issuance
2	07/16/2020	Revision 1

SHEET INDEX

Sheet Number	Sheet Name	Planning Issuance
A0.01	COVER SHEET	•
A1.01	SITE PLAN	•
A1.11	FLOOR PLANS	•
A1.12	ROOF PLAN	•
A3.01	EXTERIOR ELEVATIONS	•
A3.02	EXTERIOR ELEVATIONS	•
A4.01	SECTIONS	•
A5.01	RENDERS	•
A10.02	AREA PLANS	•
A10.03	MANUFACTURER BROCHURES	•
L.01	LANDSCAPE PLAN	•
L.02	MWLO CHECKLIST	•
I.01	IRRIGATION PLAN	•
C.01	GRADING AND DRAINAGE PLAN	•
C.02	EROSION AND SEDIMENT CONTROL PLAN	•
SV.01	SITE SURVEY	•

GENERAL NOTES

- ALL DETAILS, MATERIALS, FINISHES AND ASSEMBLIES ARE NOT NECESSARILY SHOWN. THESE FINAL FINISH DETAILS INCLUDING CASEWORK AND INTERIOR MATERIAL SELECTIONS WILL BE COORDINATED BY THE OWNER.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE, APPLICABLE EDITIONS, AND ALL OTHER PERTINENT CODES, LAWS AND REQUIREMENTS OF THE LOCAL BUILDING OFFICIALS, WHETHER OR NOT SPECIFICALLY SHOWN ON THESE DOCUMENTS. THESE DOCUMENTS ARE NOT INTENDED TO SHOW EVERY DETAIL OF CONDITION. MANY DETAILS IN RESIDENTIAL CONSTRUCTION ARE BUILT ACCORDING TO PROFESSIONAL CONSTRUCTION PRACTICES, AND ARE THEREFORE NOT DETAILED IN THESE DOCUMENTS. CONTACT MOSHE PORTER IF CONDITIONS OR OTHER CIRCUMSTANCES REQUIRE CHANGES IN THE WORK SHOWN, OR REQUIRE CLARIFICATION. ALL WORK SHALL BE DONE IN A HIGH QUALITY MANNER ACCORDING TO THE PREVAILING STANDARDS OF THE INDUSTRY FOR EACH TRADE.
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, SUPERVISION AND CLEAN-UP TO ACCOMPLISH ALL OF THE WORK SHOWN, INCLUDING ALL WARRANTIES AND INSTRUCTIONS, TO PROVIDE A COMPLETE WORKING INSTALLATION, AND TO LEAVE THE OWNER WITH AN APPROVED PRODUCT.
- CONTRACTOR SHALL ASSUME COMPLETE AND SOLE RESPONSIBILITY FOR MEANS AND METHODS OF CONSTRUCTION AND FOR ALL SAFETY MEASURES TO PROTECT ALL PROPERTY PERSONNEL AND THIRD PARTIES FROM DAMAGE OR INJURY. THIS RESPONSIBILITY SHALL BE CONTINUOUS AND NOT SOLELY DURING WORKING HOURS. CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS MOSHE PORTER AND RELATED ENGINEERS FROM ANY CLAIMS OF LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF HIS WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF MOSHE PORTER AND RELATED ENGINEERS.
- THESE DOCUMENTS DO NOT CONTAIN PROVISIONS FOR THE HANDLING OR REMOVAL OF ANY HAZARDOUS MATERIALS. SHOULD ANY SUCH MATERIALS BE SUSPECTED OR ENCOUNTERED, SPECIALISTS SHALL BE CALLED IN TO MAKE RECOMMENDATIONS.
- PROVIDE ALL MANDATORY FEATURES REQUIRED BY THE T-24 ENERGY CODE, INCLUDING WEATHER-STRIPPING, BUILDING INSULATION, PIPE INSULATION, LIGHTING, AND APPLIANCE MEASURES, AND OTHER FEATURES REQUIRED BY TITLE 24 OR OTHER STATE, FEDERAL, OR LOCAL CODES.
- NO PERSON SHALL ERECT (INCLUDING EXCAVATION AND GRADING), DEMOLISH, ALTER, OR REPAIR ANY BUILDING OR STRUCTURE OTHER THAN BETWEEN THE HOURS PERMITTED BY THE LOCAL JURISDICTION.

ABBREVIATIONS

@ #	AT NUMBER	S SB SF	SOUTH SETBACK SQUARE FEET OR SQUARE FOOT
A.F.F. APPROX	ABOVE FINISHED FLOOR APPROXIMATE	SH SHIT SPEC	SHOWER HEAD SHEET SPECIFICATION
BLDG. B.O.	BUILDING BOTTOM OF	SQ SS STL STOR	SQUARE SANITARY SEWER STEEL STORAGE
CL CLG CLST COL CONC CONT	CENTERLINE CEILING CLOSET COLUMN CONCRETE CONTINUOUS	TBD TO TOC TOP TOS TOW TP TYP	TO BE DETERMINED TOP OF TOP OF CURB TOP OF PLATE TOP OF SUBFLOOR TOP OF WALL TOP OF PAVEMENT TYPICAL
DBL DEG DIA DIM DN DR DS DW DWG	DOUBLE DEGREES DIAMETER DIMENSION DOWN DOOR DOWNSPOUT DISHWASHER DRAWING	UON W OR WC WD WH WNDW	UNLESS OTHERWISE NOTED WEST, WASHER, WATER, WITH WATER CLOSET WOOD WATER HEATER WINDOW
(E) ELEC ELEV ENG EQPT EXT	EXISTING EAST ELECTRICAL ELEVATION ENGINEER EQUIPMENT EXTERIOR		
FAR FD FF FIN FL FT	FLOOR AREA RATIO FLOOR DRAIN FINISHED FLOOR FINISH FLOOR FOOT OR FEET		
GALV GC GL	GALVANIZED GENERAL CONTRACTOR GLASS		
HT	HEIGHT		
INT	INTERIOR		
LT	LIGHT		
MAX MECH MIN MISC MTL	MAXIMUM MECHANICAL MINIMUM MISCELLANEOUS METAL		
N (N) N/A NA NIC NR NSF NTS	NORTH NEW NOT APPLICABLE NOT AVAILABLE NOT IN CONTRACT NON-RATED NET SQUARE FEET NOT TO SCALE		
OC OD	ON CENTER OUTSIDE DIAMETER OR OVERFLOW DRAIN OPPOSITE		
OPP			
PL PLYWD PT	PLATE OR PROPERTY LINE PLYWOOD POINT OR PRESSURE TREATED		
R RD REF REV RM RO	RADIUS ROOF DRAIN REFRIGERATOR REQUIRED REVISION ROOM ROUGH OPENING		

PLANNING DATA

PROJECT ADDRESS: 0000 5TH ST MONTARA, CA 94037
 APN NUMBER: 036-067-290
 ZONING DISTRICT: R / S-17

BUILDING CODE DATA

TYPE OF OCCUPANCY: R3/U
 CONSTRUCTION TYPE: V-B
 BEARING AND NONBEARING WALLS (LESS THAN 5' FROM PROPERTY LINE): 1-HOUR
 OPENINGS NOT PERMITTED LESS THAN 3' FROM PROPERTY LINE.
 NUMBER OF STORIES: 2

ALL WORK TO CONFORM TO 2019 CRC, CBC, CFC, CPC, CMC, CEC, 2019 CALIFORNIA ENERGY CODE AND 2019 CGBC.

CALGREEN CONSTRUCTION REQ.

- * CONTRACTOR SHALL PROVIDE, AT THE TIME OF FINAL INSPECTION, AN OPERATION AND MAINTENANCE MANUAL TO THE OWNER OR OCCUPANT. ADDRESSING ITEMS 1 THROUGH 10 IN CALGREEN SECTION 4.410.1.
- * PER CALGREEN SECTION 4.408.2, CONTRACTOR SHALL PROVIDE AND SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN, DIVERTING A MINIMUM OF 65% WASTE GENERATED AT THE SITE TO RECYCLE OR SALVAGE, TO THE BUILDING DEPARTMENT. THE FOLLOWING INFORMATION SHALL BE PROVIDED IN THE PLAN:
 - IDENTIFY MATERIALS TO BE RECYCLED, REUSED, OR SALVAGED
 - SPECIFY IF MATERIALS WILL BE SORTED ON SITE OR MIXED FOR TRANSPORTATION
 - IDENTIFY THE DIVERSION FACILITY(IES) TO BE USED
 - IDENTIFY CONSTRUCTION METHODS TO BE USED TO LIMIT WASTE GENERATION
 - SPECIFY THAT THE RIGHT AMOUNT OF MATERIALS DIVERTED ARE TO BE CALCULATED BY WEIGHT OR VOLUME
 - * AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED.
 - * PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, AND CONDUITS AT THE EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS.
 - * COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION.
 - * ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.
 - * PAINTS, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
 - * AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS. VERIFICATION OF COMPLIANCE SHALL BE PROVIDED.
 - * CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.
 - * MINIMUM OF 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SECTION 4.504.4.
 - * PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD, AND HARDWOOD PLAYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.
 - * INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS.
 - * CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE.
 - * EACH BATHROOM SHALL BE MECHANICALLY VENTILATED WITH AN ENERGY STAR EXHAUST FAN, AND FAN MUST BE CONTROLLED BY A HUMIDITY CONTROL.
 - * DUCT SYSTEMS SHALL BE SIZED, DESIGNED, AND EQUIPMENT SELECTED PER SECTION 4.507.2. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.

PROJECT INFORMATION

LOT SIZE (BASED ON COUNTY RECORD): 4989.00 SF
 MAX ALLOWED LOT COVERAGE: 35%
 PROPOSED LOT COVERAGE: 1195.14 SF / 4989.00 SF = 23.9%
 TOTAL LANDSCAPED AREA: 1213.02 SF
 MAX ALLOWED ADDITIONAL IMPERVIOUS SURFACES: 10% OF BUILDING SITE
 PROPOSED ADDITIONAL IMPERVIOUS SURFACES: 246.00 SF / 5000 SF = 4.92%
 TOTAL IMPERVIOUS SURFACES: 1195.14 SF + 246.00 SF = 1441.14 SF
 LEVEL 1 FLOOR AREA: 643.70 SF
 LEVEL 2 FLOOR AREA: 520.40 SF
 COVERED ENTRY AREA: 36.00 SF
 MAX ALLOWED BUILDING FLOOR AREA: 0.53 - ((5000 - 4989) x 0.0002) x 4989 = 2,633 SF
 PROPOSED BUILDING FLOOR AREA: 1164.10 SF
 MAXIMUM F.A.R.: 2,633 / 5,000 = **0.52**
 PROPOSED F.A.R.: 611.70 + 502.02 + 520.40 + 33.17 = 1667.29 SF / 5000.00 SF = **0.33**
 MAX ALLOWABLE ACCESSORY STRUCTURE AREA: 1,000 SF
 PROPOSED ACCESSORY STRUCTURE AREA: 501.08 SF
 MAX ALLOWABLE REAR YARD COVERAGE: 30%
 PROPOSED REAR YARD COVERAGE: 19.5%

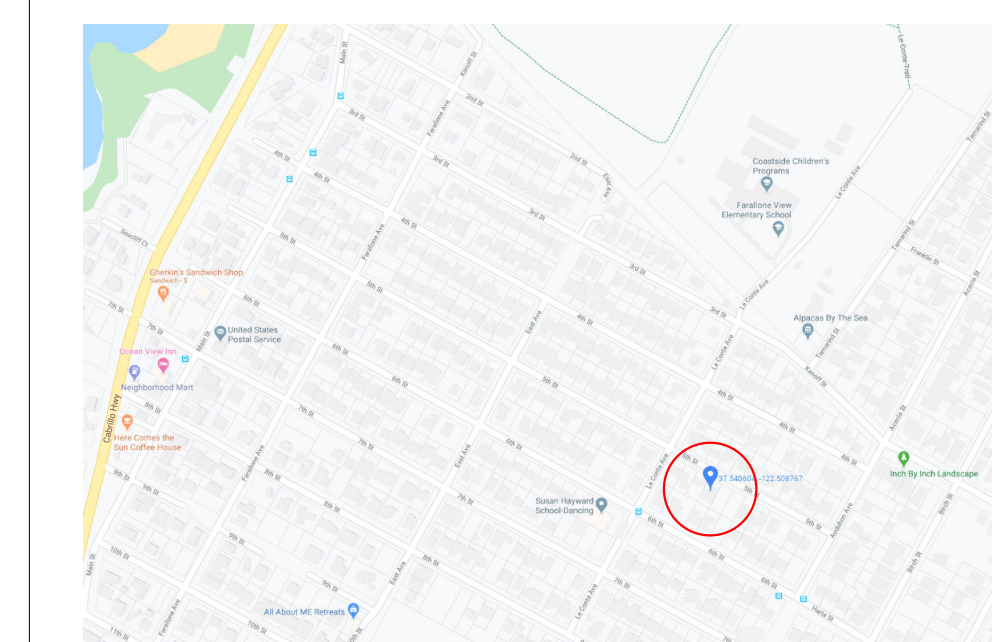
PROJECT SCOPE

NEW TWO-STORY, SINGLE FAMILY HOME WITH DETACHED 2-CAR CARPORT ON VACANT, LEGAL PARCEL

PROJECT DIRECTORY

APPLICANT / OWNER / DRAFTING / DESIGN: MOSHE PORTER / ADANYA LUSTIG 858 336 8096
 SURVEYOR: CHARLES TOCCI 510 409 1237
 GEOTECHNICAL ENGINEER: CHARLES KISSICK 650 728 3590
 CIVIL ENGINEER: CHARLES KISSICK 650 728 3590

LOCATION MAP



MOSHE PORTER
190 GATEWAY DR. PACIFICA, CA 94044
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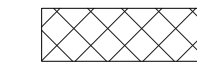
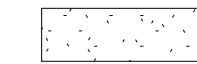
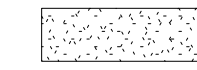
5th Street House

APN - 036-067-290

COVER SHEET

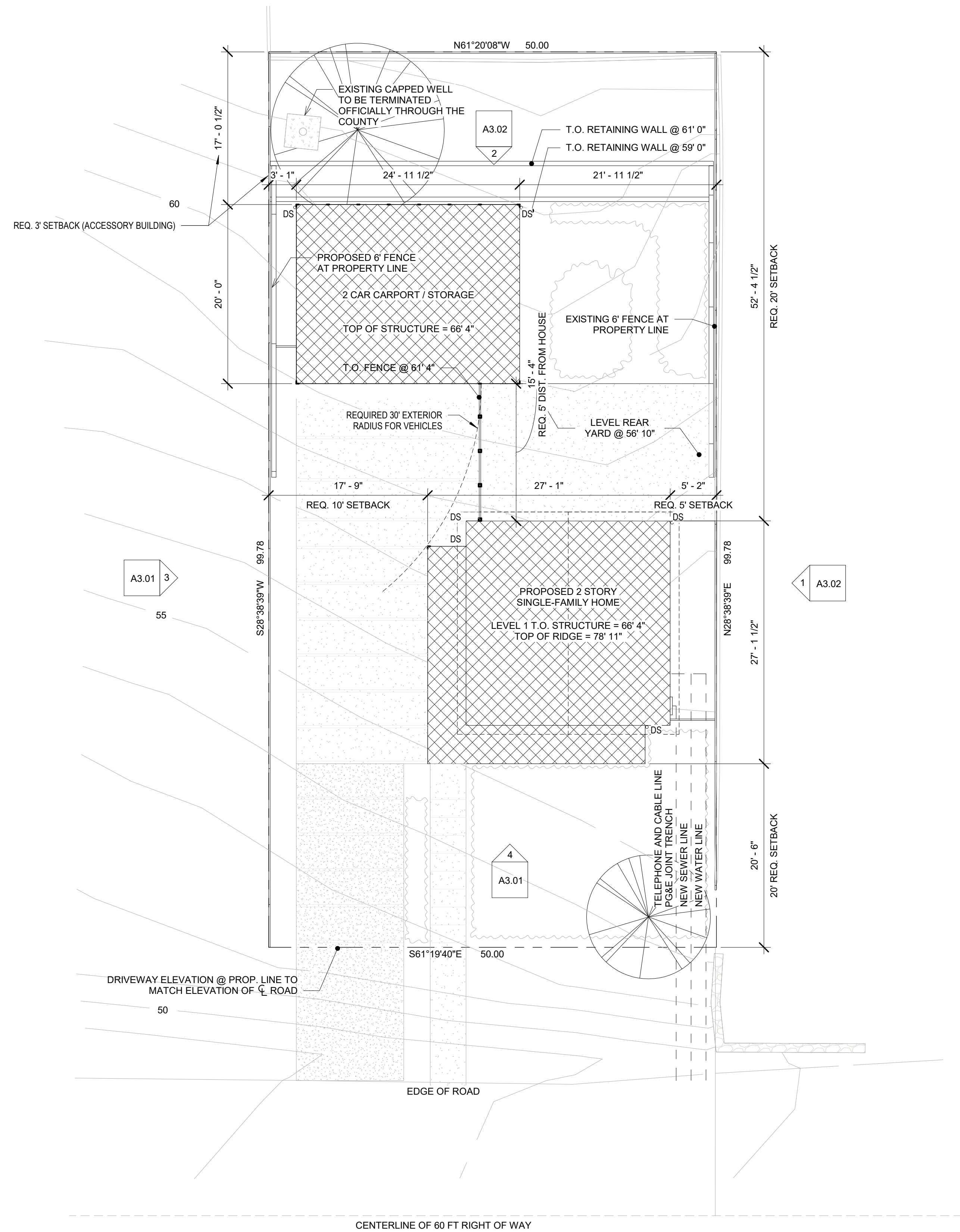
A0.01

LEGEND

-  NEW PROPOSED BUILDING FOOTPRINT
-  PERVIOUS PAVING @ DRIVEWAY, ENTRY PATH AND REAR YARD
-  CONCRETE DRIVEWAY

GENERAL NOTES

1. NEW PG&E JOINT TRENCH: IF TRENCH NEEDS TO EXTEND ONTO THE PROPERTY, OWNER WILL BE REQUIRED TO RECORD EASEMENT THROUGH COUNTY ASSESSOR DEPARTMENT.
2. ALL ROOF WATER SHALL BE COLLECTED FROM DOWNSPOUTS AND OTHER ON-SITE DRAINAGE AND DRAINED INTO LANDSCAPE.
3. LANDSCAPE AND HARDSCAPE SURROUNDING HOUSE SHALL DRAIN AWAY FROM THE STRUCTURE AT A MIN 2% SLOPE.
4. ASSUMED SANITARY SEWER LINE AT STREET. IF SEWER LINE DOES NOT EXIST UNDER STREET, CONNECTION WILL BE MADE AT NEAREST JUNCTION.
5. CARPORT (DETACHED ACCESSORY BUILDING) SETBACK MAY BE 3' FROM PROPERTY LINE DUE TO ITS LOCATION IN THE REAR OF THE SITE AND A GREATER THAN 5' SEPARATION FROM THE HOUSE.



1 Site Plan
1/8" = 1'-0"

REV	DATE	DESCRIPTION
1	05/20/2020	Planning Issuance
2	07/16/2020	Revision 1

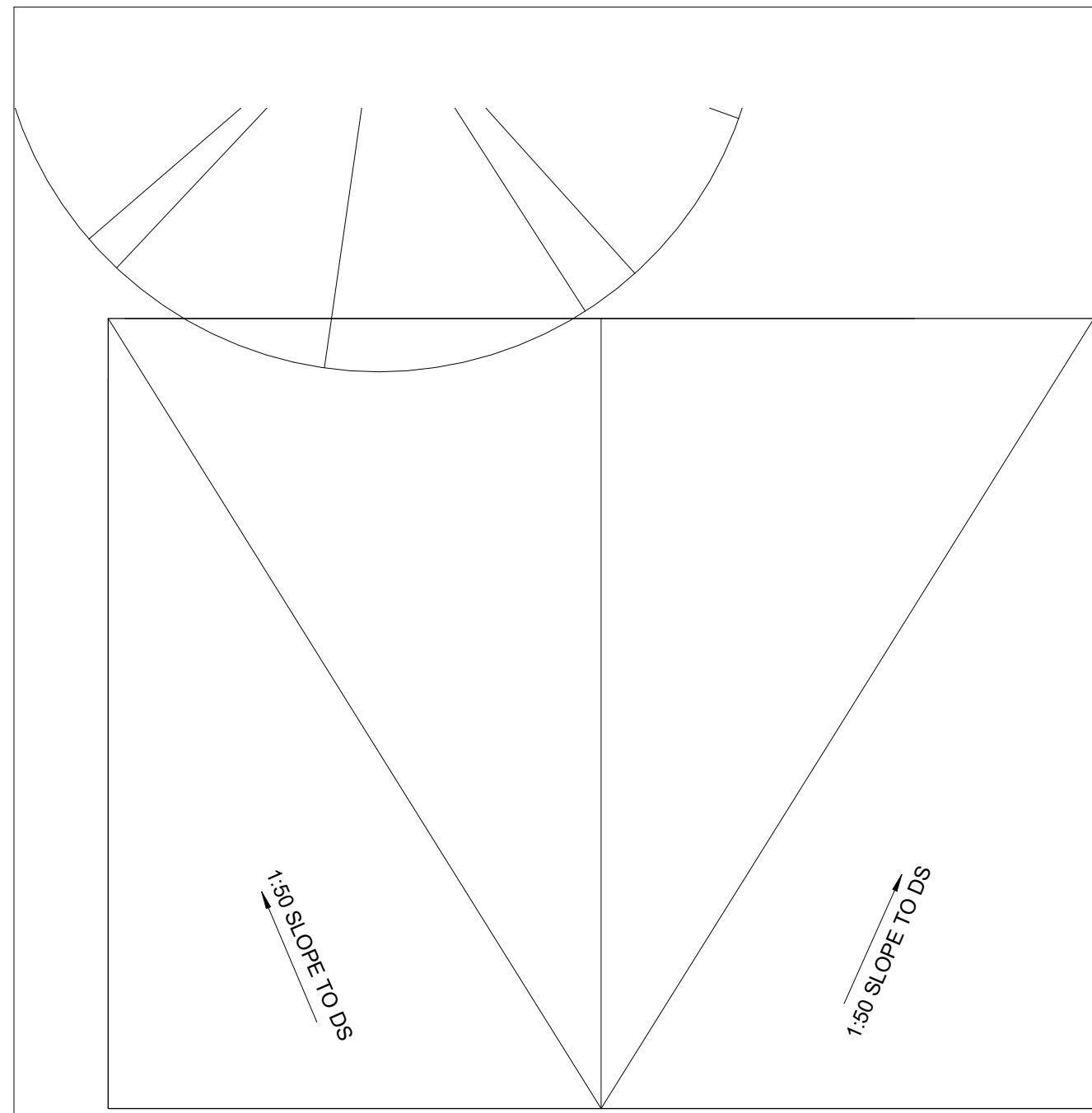
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5th Street House

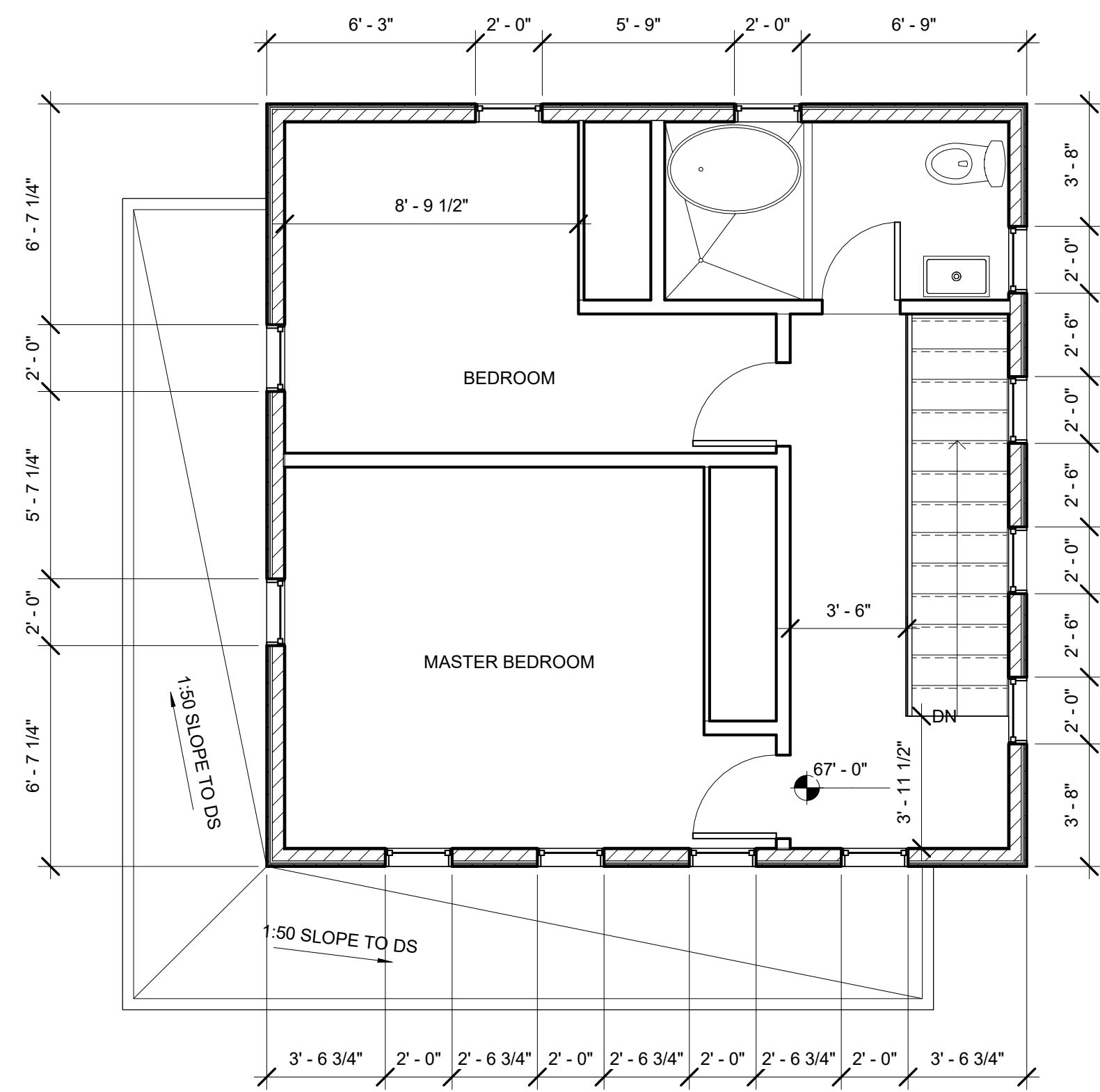
APN - 036-067-290

SITE PLAN

A1.01

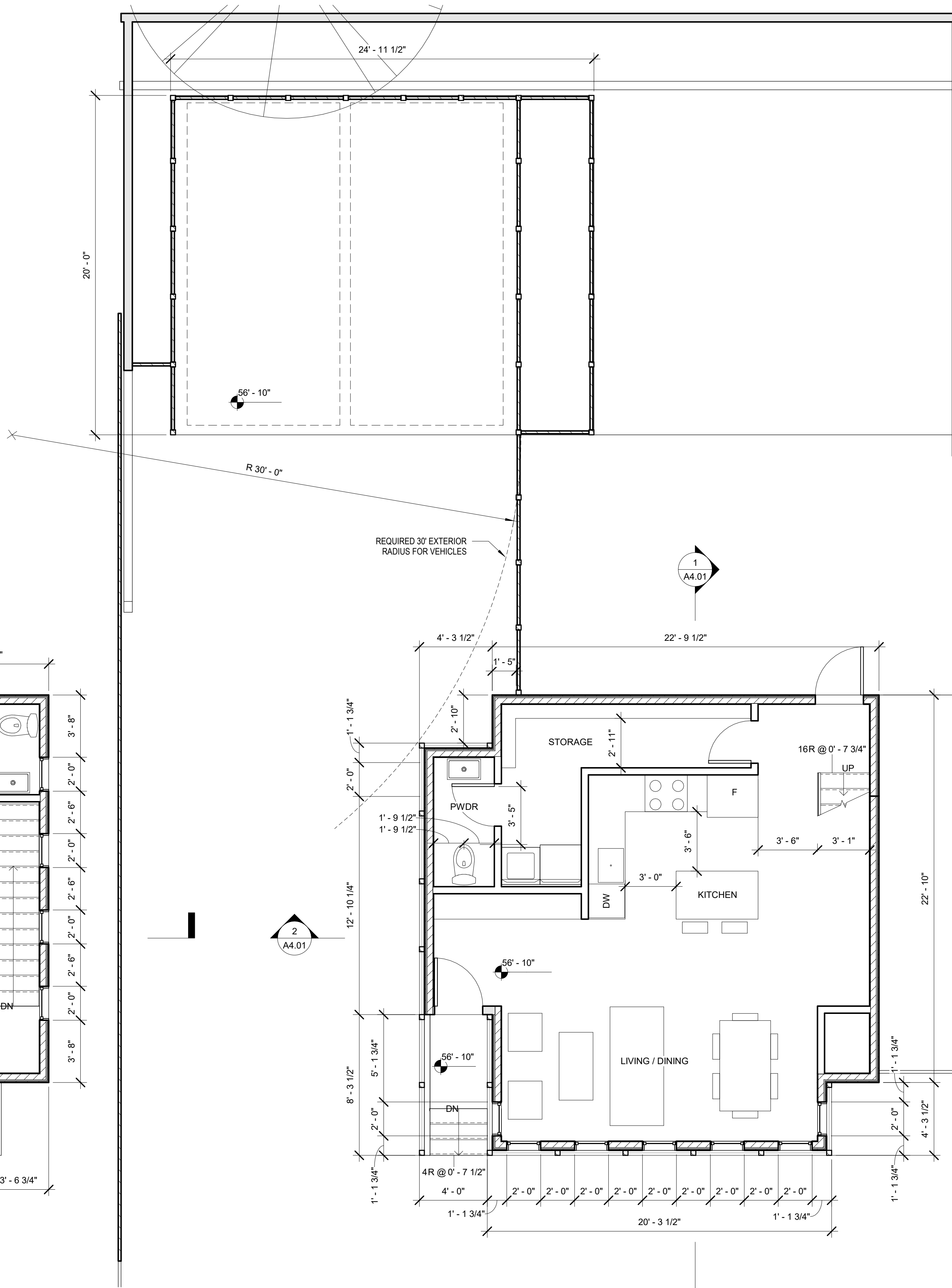


2
A4.01



2 LEVEL 2 F.F.
1/4" = 1'-0"

1
A4.01



1 B.O. ENTRY STAIR
1/4" = 1'-0"

GENERAL NOTES

1. AT LEAST ONE WINDOW IN EACH BEDROOM SHALL MEET THE FOLLOWING REQUIREMENTS:
 - MIN. 5.7 SF IN OVERALL SIZE
 - MIN. 24" CLEAR OPENING HEIGHT
 - MIN. 20" CLEAR OPENING WIDTH
 - SILL A MAX. OF 44" ABOVE FINISHED FLOOR
2. PLUMBING FIXTURES SHALL MEET THE FOLLOWING REQUIREMENTS:
 - MAX FLOW RATE OF SHOWERHEADS SHALL BE 2.0 GPM
 - MAX FLOW RATE OF LAVATORY FAUCETS SHALL BE 1.2 GPM
 - MAX FLOW RATE OF KITCHEN FAUCETS SHALL BE 1.8 GPM
 - ALL TOILETS SHALL BE MAX 1.28 GPF
3. FOR FLOOR AREA CALCULATIONS SEE A10.02

DRAWINGS PREPARED BY:

MOSHE PORTER
190 GATEWAY DR.
PACIFICA, CA 94044
P: 858 336 8096
E: portermoshe@gmail.com

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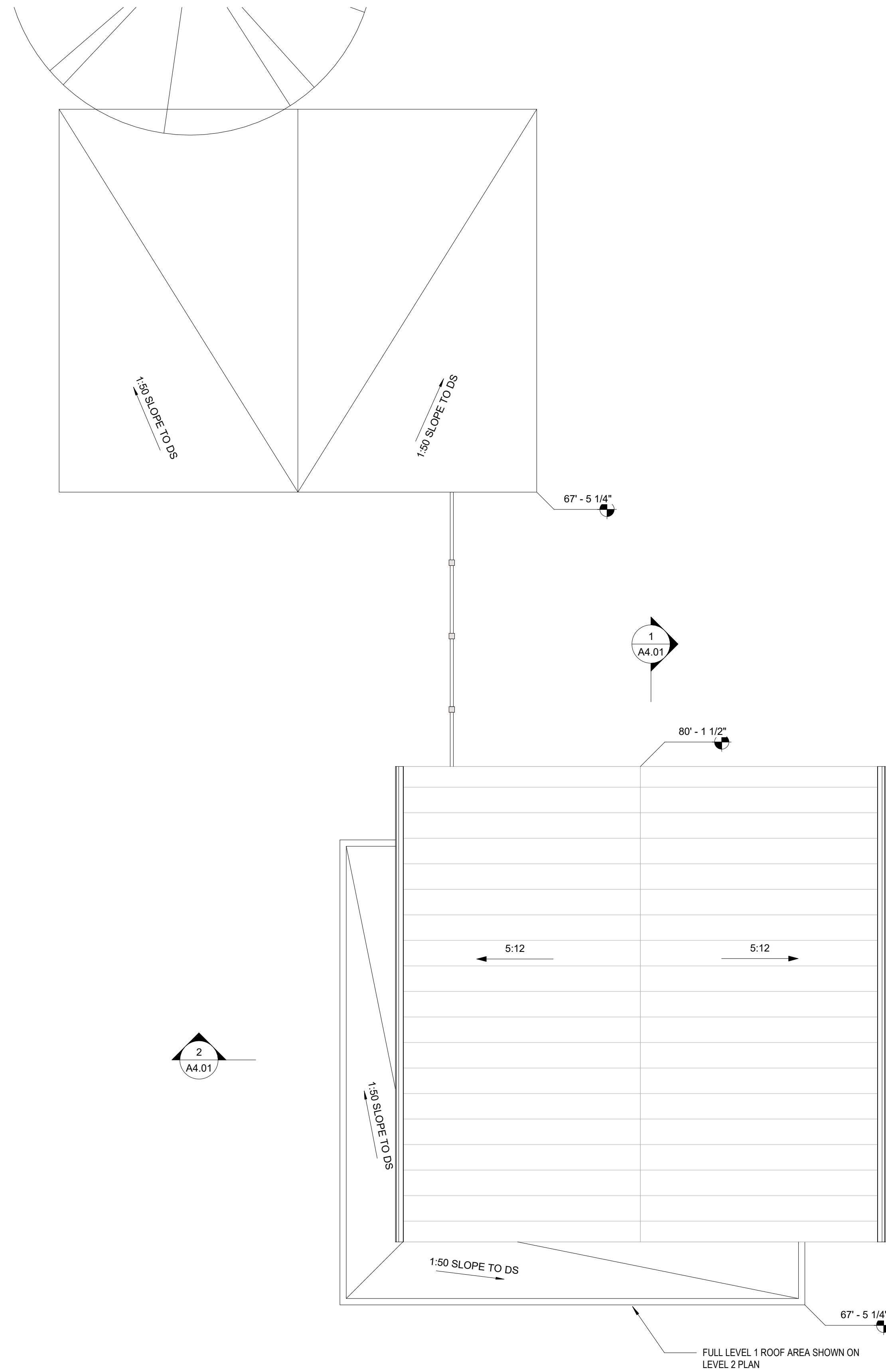
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5th Street House

APN - 036-067-290

FLOOR PLANS

A1.11



① LEVEL 2 T.O.P.
1/4" = 1'-0"

DRAWINGS PREPARED BY:

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5th Street House

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ROOF PLAN

A1.12

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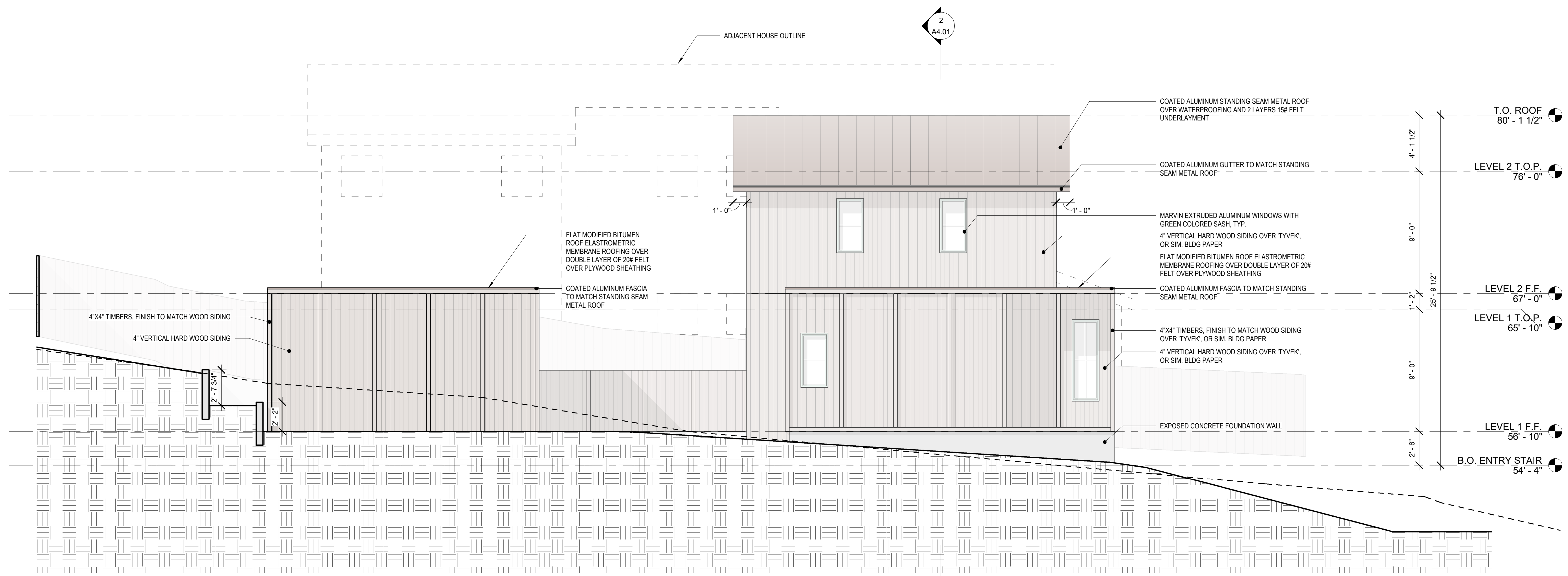
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5th Street House

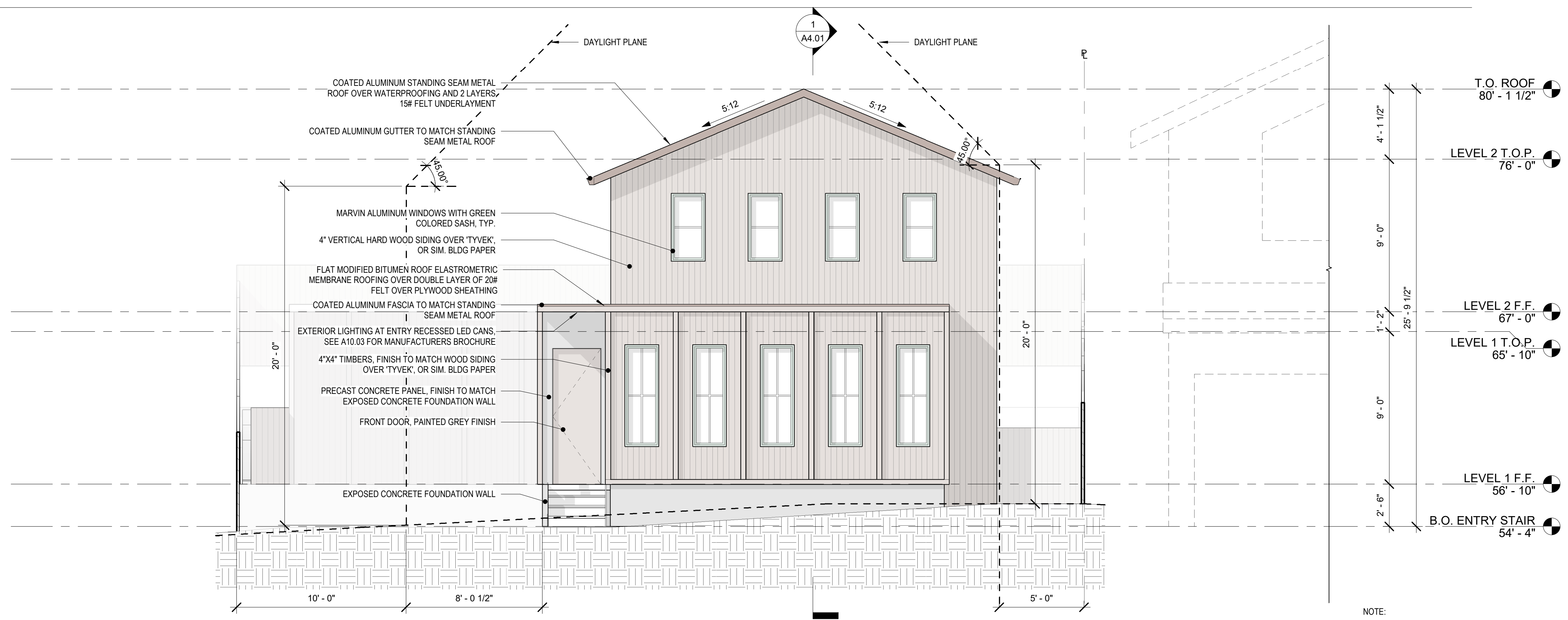
APN - 036-067-290

EXTERIOR ELEVATIONS

A3.01



3 East Elevation
1/4" = 1'-0"



4 South Elevation
1/4" = 1'-0"

NOTE:
1. SEE A10.03 FOR MANUFACTURERS BROCHURES OF ALL EXTERIOR MATERIALS

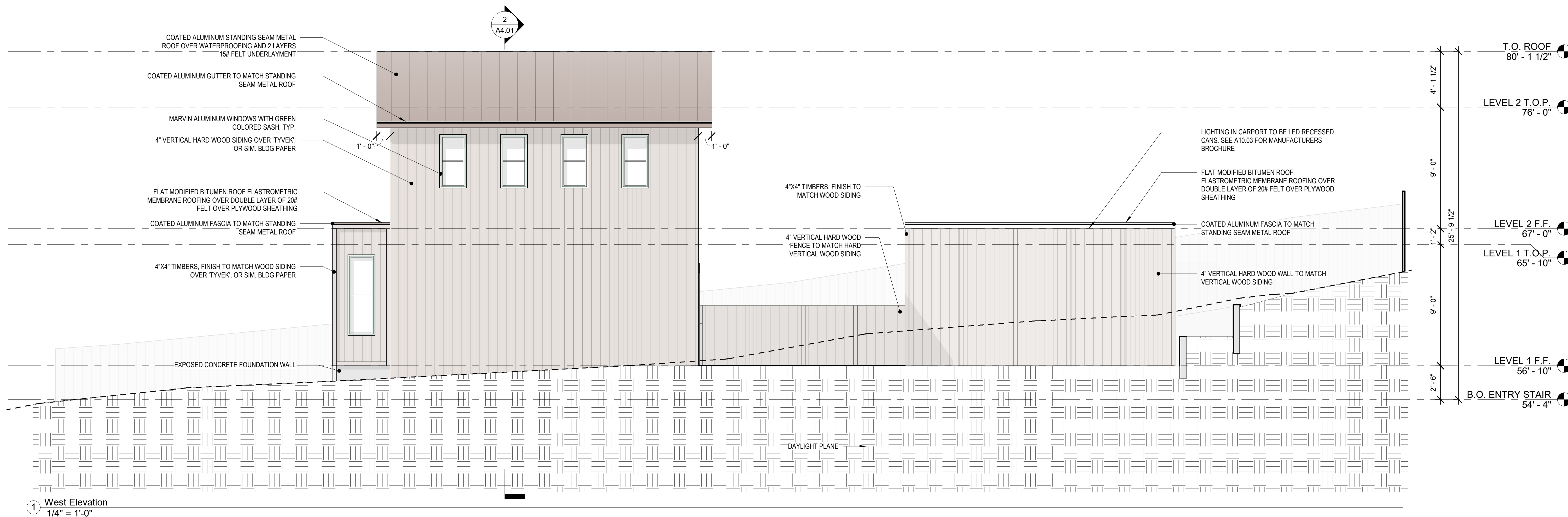
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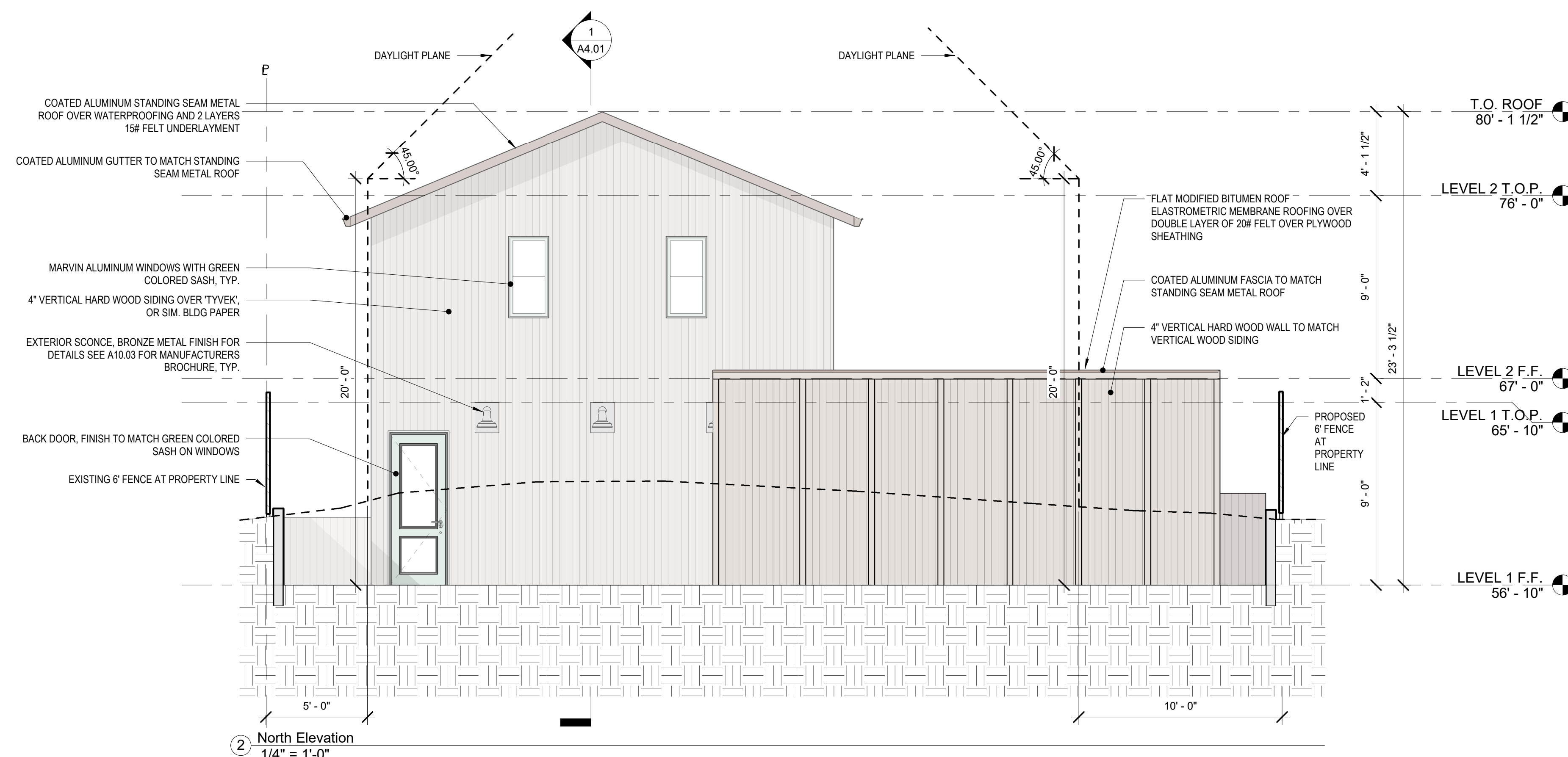
5th Street House

APN - 036-067-290

EXTERIOR ELEVATIONS

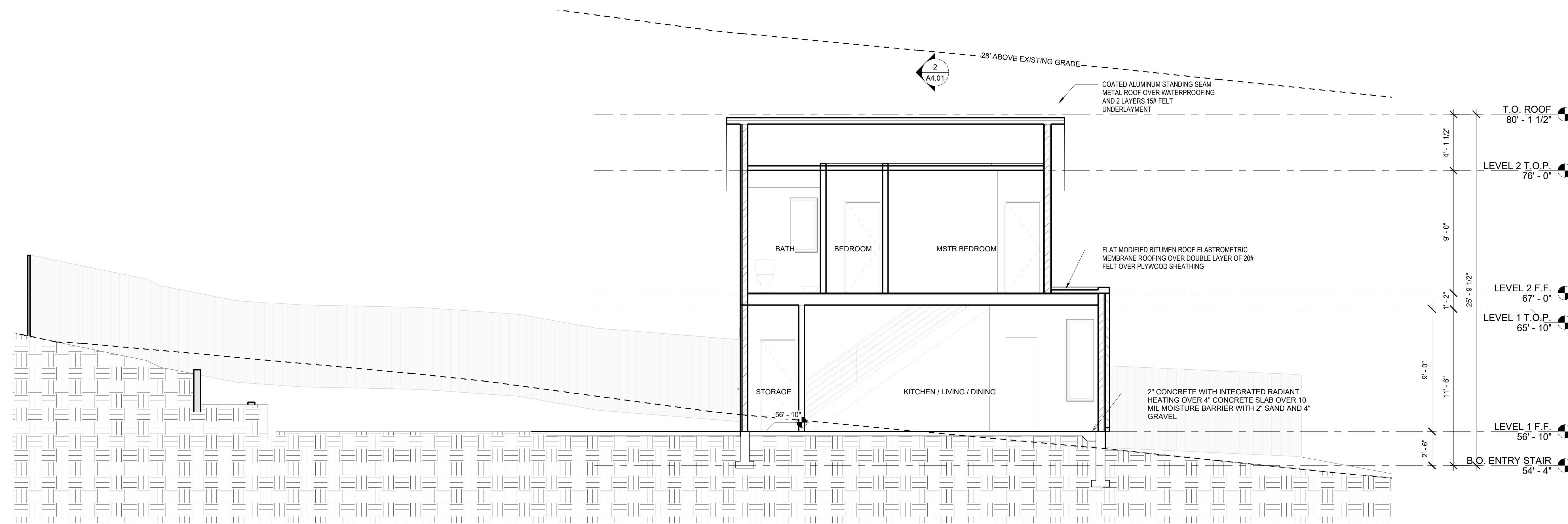


① West Elevation
1/4" = 1'-0"

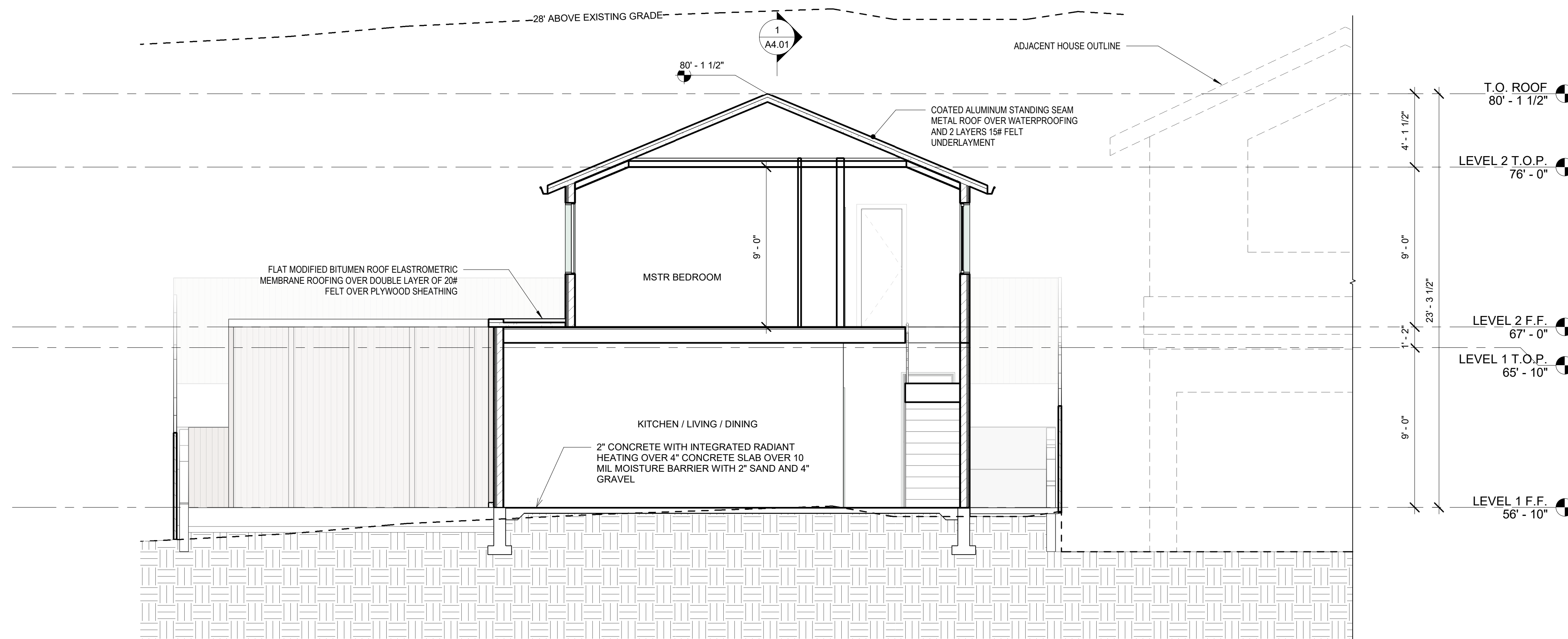


② North Elevation
1/4" = 1'-0"

NOTE:
1. SEE A10.03 FOR MANUFACTURERS BROCHURES OF ALL EXTERIOR MATERIALS



1 NS SECTION
1/4" = 1'-0"



2 EW SECTION
1/4" = 1'-0"

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5th Street House

APN - 036-067-290

SECTIONS



View from 5th Street looking West



View from 5th Street looking East



View from 5th Street looking South

DRAWINGS PREPARED BY:

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5th Street House

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RENDERS

A5.01

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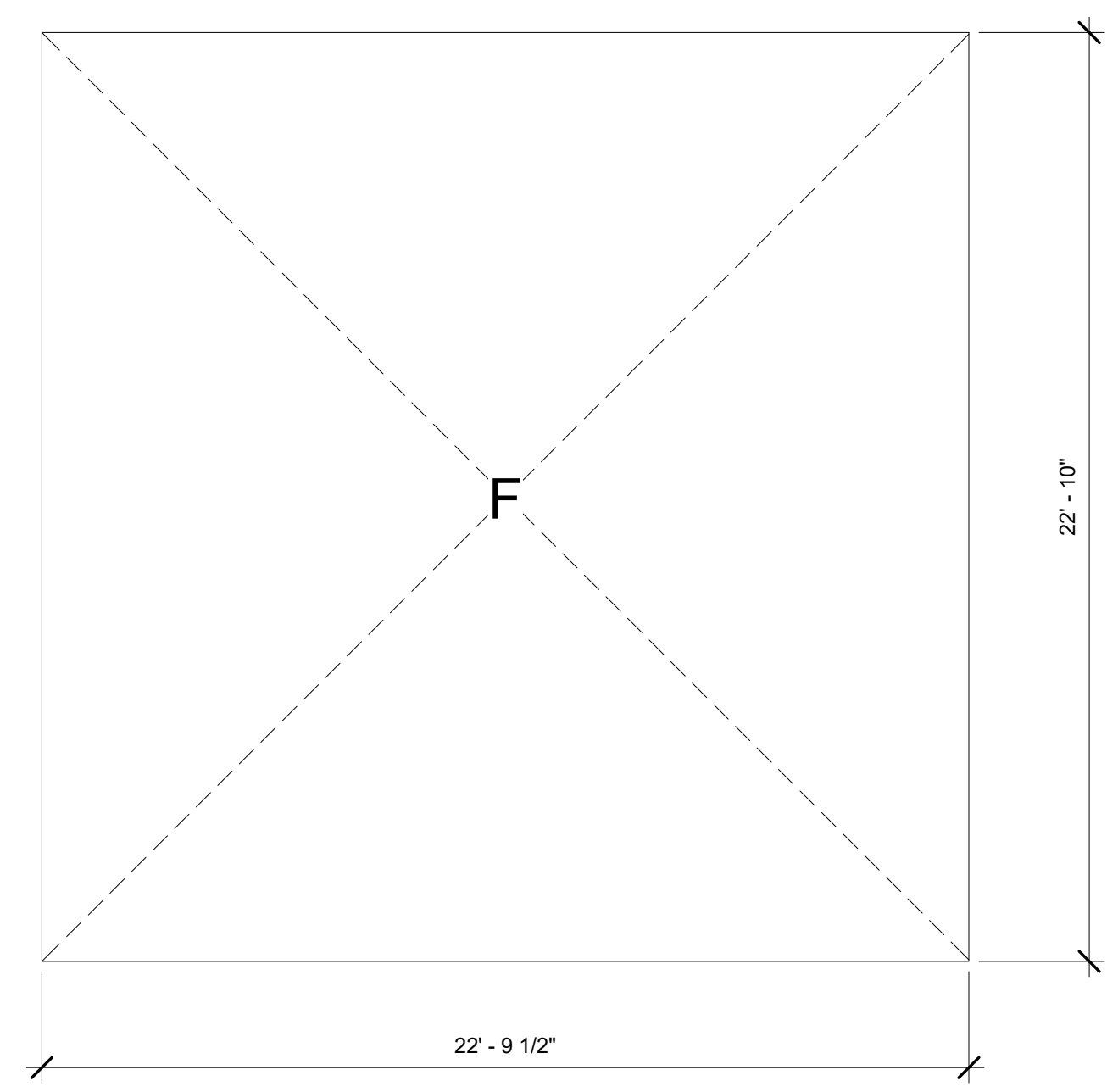
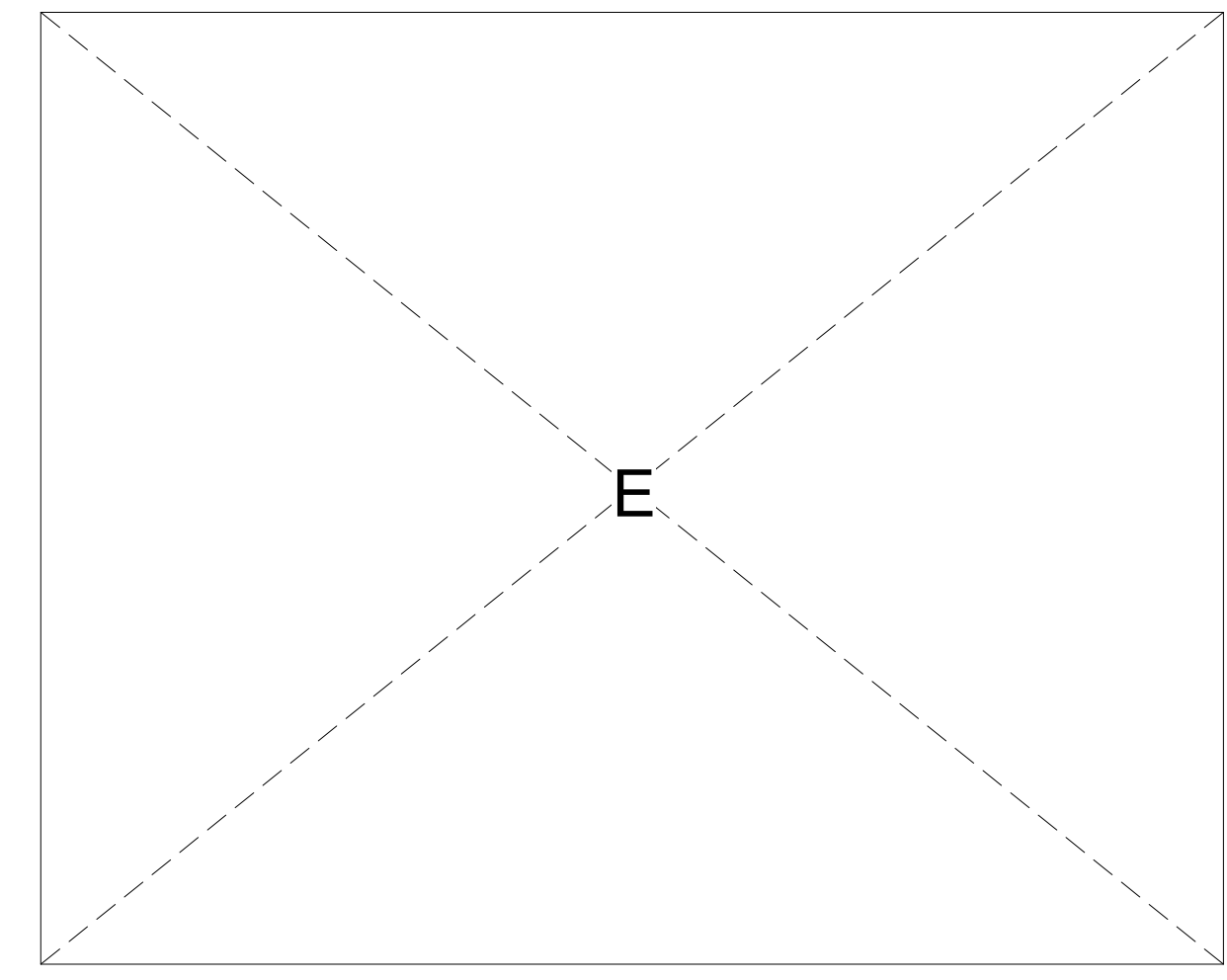
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PROPOSED FIRST FLOOR AREA:

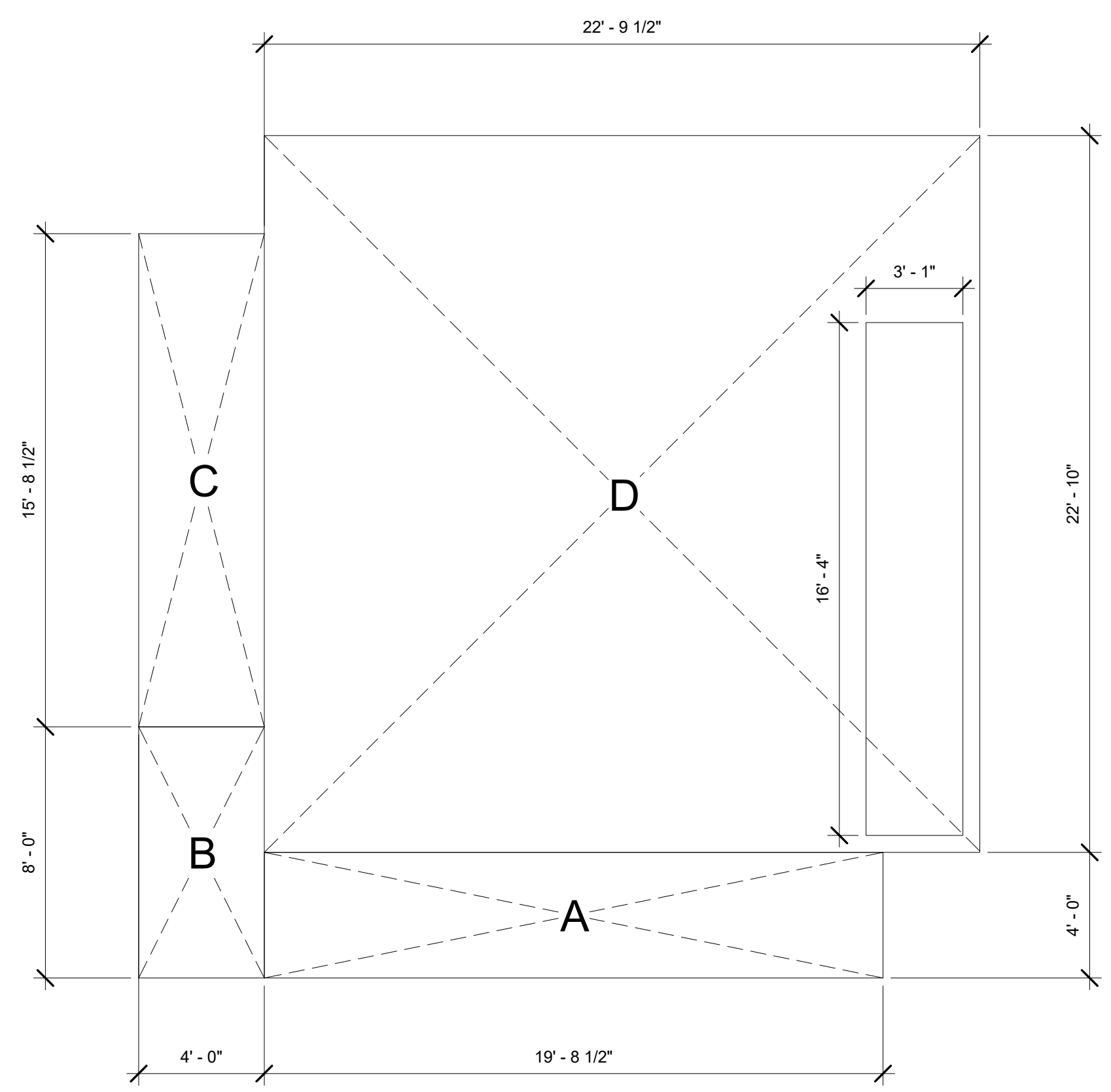
A	19'-8.5" x 4'-0"	=	78.83SF
B	4'-0" x 8'-0"	=	32.00SF
C	4'-0" x 15'-9.5"	=	62.83SF
D	22'-9.5" x 22'-10"	=	520.40SF
(ACCESSORY STRUCTURE) E	20'-8" x 24'-3.5"	=	501.08SF
TOTAL L1 AREA		=	694.06SF
STAIR AREA		=	- 50.36SF
			643.70SF

PROPOSED SECOND FLOOR AREA:

F	22'-9.5" x 22'-10"	=	520.40SF
TOTAL L2 AREA		=	520.40SF



① L2 Area Plan
 1/4" = 1'-0"



② L1 Area Plan
 1/4" = 1'-0"

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5th Street House

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AREA PLANS

A10.02

GAF RUBEROID ENERGY CAP™

HW Plus Granule FR Membrane

Formerly RUBEROID® EnergyCap™ SBS HeatWeld™ Plus FR



Description
RUBEROID® EnergyCap™ HW Plus Granule FR Membrane is a membrane with a factory-applied premium, heavy-duty, fire-retarding modified bitumen membrane and a factory-applied layer of TOPOCOAT™ EnergyCote™ Elastomeric Coating. RUBEROID® EnergyCap™ HW Plus Granule FR Membrane is manufactured to stringent GAF specifications. Its core is a strong, heavyweight, resilient non-woven polyester mat that is coated with fire-resistant SBS polymer modified asphalt and surfaced with extra-fine mineral granules and TOPOCOAT™ EnergyCote™ Elastomeric Coating.

Uses
RUBEROID® EnergyCap™ HW Plus Granule FR Membrane is designed for new roofing and reroofing applications where long-term roof system performance is specified.

- Advantages**
System guarantees are available for up to 20 years.*
Cost effective—The installed cost of RUBEROID® EnergyCap™ HW Plus Granule FR Membrane is much less than installing a reflective coating on top of a standard white granule membrane.
Light weight—Installed premium roof systems weigh less than 3 pounds per square foot (14.6 kg/m²).
Resilient—RUBEROID® EnergyCap™ HW Plus Granule FR Membrane's heavyweight polyester mat core allows it to resist spills and tears due to its pliability and elongation characteristics.
Durable—Specially formulated modified asphalt gives RUBEROID® EnergyCap™ HW Plus Granule FR Membrane lasting performance.
RUBEROID® EnergyCap™ HW Plus Granule FR Membrane is manufactured by GAF, a company with over 125 years in the roofing business.

This product meets or exceeds the following ASTM D6164, Types I & II, Grade G, minimum requirements:

Property	Test Method	Value
Tensile Strength @ 0°F, (lb/in)	ASTM D6147	100 min
Elongation @ 0°F, (%)	ASTM D6147	20 min
Low Temperature Flexibility, (°F)	ASTM D6147	0°F max (-18°C)
Tear Strength, (lb) @ 73°F (23°C)	ASTM D6147	70 min
Dimensional Stability, (%)	ASTM D6147	1.0 max

Advantages (Continued)
• RUBEROID® EnergyCap™ HW Plus Granule FR Membrane is available in highly reflective brilliant white only.
*See applicable guarantee for complete coverage and restrictions.

Applicable Standards
Meets ASTM D6164, Types I & II, Grade G
ASTM E903, ASTM E408
ENERGY STAR® Qualified (U.S. Only)
ULULC Listed

Product Specifications (nominal)

Property	Value
Roll Size	1 square (108.1 gross sq. ft.) (10.04 m²)
Roll Length	32.75' (9.98 m)
Roll Width	39.625' (11.0 m)
Approx. Roll Weight	108 lb (49 kg)
Product Thickness	0.165" (4.19 mm)
Emissivity*	
Initial	0.82
Aged	0.80
Reflectivity*	
Initial	0.75
Aged	0.60
SRI (Solar Reflective Index)	
Initial	91
Aged	70

*Note: The emissivity and reflectance values published are those required for Title 24 compliance as listed by CalEPA. For verification or other reference and air balance code requirements, different calculations may be used resulting in different values. All EnergyCap products meet LEED® requirements. Please contact Technical Services at 1-800-961-9811 for assistance and additional information.

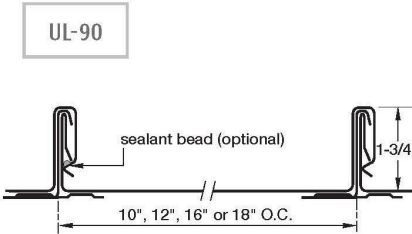
©2016 GAF 8/16
gaf.com • 1-800-ROOF-411

SNAP-CLAD PANEL

MATERIALS

.032 aluminum	24 gauge steel
.040 aluminum	22 gauge steel

SPECS
10", 12", 16" or 18" O.C. 1-3/4" High



PRODUCT FEATURES

- Architectural/structural panel
- Hi-rain corrective leveled
- Factory-applied sealant available
- Continuous interlock
- Labor-saving one-piece design
- Stiffener beads upon request
- Striations upon request
- Factory eave notching available
- 30-year-non-prorated finish warranty
- Maximum factory-produced panel length is 64' (check w/factory for longer lengths)

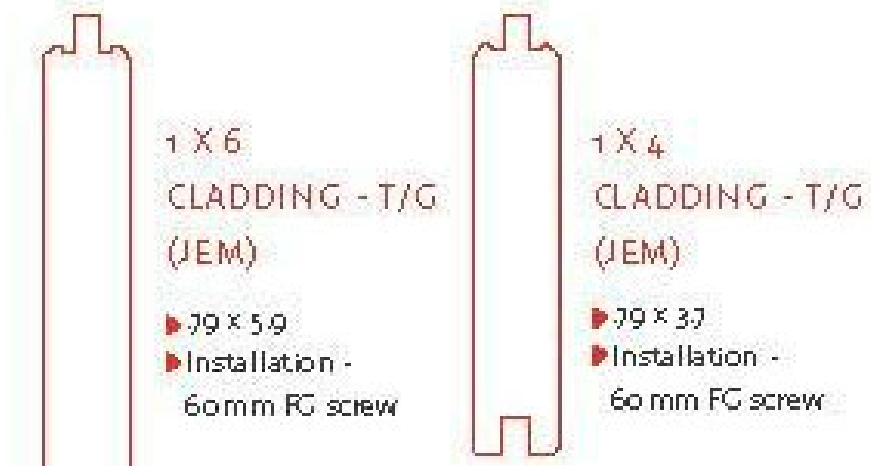
UL CLASSIFICATION

- UL-580 Class 90 wind uplift
- UL-1897 wind uplift
- UL-790 Class A fire rated
- UL-263 fire resistance rated

Note: UL 90 is available on steel panels up to 18" on center and on aluminum panels up to 10" on center.

PAC-CLAD 800 PAC CLAD | PAC-CLAD.COM ©2017 Petersen Aluminum Corporation

White Ash Cladding



Our Benchmark Series

18



This is the Tempold Yorkville Design Center, Toronto, ON. Photographed by Casey Smith.

DRAWINGS PREPARED BY:
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FLAT ROOFING

PRODUCT SPECIFICATIONS
4 in LED Slim Color Changing Recessed Kit

Commercial Electric™

SKU# 91276
SKU# 1003532009

SPECIFICATIONS

Model Number	91276
SKU	1003532009
OSMID	306079668
Power	9 W
AC Voltage, Frequency	120V, 60 Hz
Color Temp. (nom.)	3000K/4000K/5000K
Operation Temp.	-13°F - 113°F
CRI	90
Lumen Output (lm)	540 lm
Dimming	YES
Lifetime Rating	L70/S5000hrs
Efficacy	62 lm/watt

ADVANTAGES

- 60 Watt Equivalent
- 50,000 Hours of Continuous Use
- 5 Year Warranty
- Slim design allows for installing on almost any shallow ceiling application
- Dimming to 10% Without Buzzing or Flickering
- IC Rated for Direct Contact with Insulation
- 90 CRI Provides High Color Quality
- Adjust Color of Light with Integrated Switch: Soft White (3000K), Bright White (4000K), Daylight (5000K)

PACKAGING

Weight (±0.5 lb)	0.84 lbs
Size (L x W x H) (±0.1 in)	5.05 in x 5.05 in x 0.50 in
Box Dimensions	5.71 in x 3.15 in x 5.59 in
Gross Weight	1.1 lbs
ETPC	068219912768

DIMMER LIST

LUTRON			COOPER	
DLCL-RS2PH-W	DVCL-RS2PH-W	SLV-RS0P-WH	DL00P-C2	
DTL-RS2PH-W	DR-RS0P-WH	LDR-RS0P-WH		
DVCL-RS2PH-W	DR-RS0P-WH	DVCL-RS2PH-WH		
MCL-DP15M-W	TD-RS0P-WH	DVCL-RS0P-WH	9874	
TD-RS0P-WH	TD-RS0P-WH	LD-RS0P-WH	9811	
TDCL-RS2PH-W	TD-RS0P-WH	MPS-SH-150W-W	9893	
TR00P-WH	TD-LT	MVCL-DR00-WH	9872	
TR-RS0P-WH	DVCL-RS2PH-WH	PS-TR00P-WH		

INCLUDED IN BOX

- LED Downlight (1)
- Remote Junction Box(1)
- Hole Template (1)

NEW CONSTRUCTION RETROFIT MOUNT

APPLICATIONS
Suitable for Wet Locations

Contact Information 1-877-527-0313 - WWW.HOMEDEPOT.COM

EXTERIOR LIGHTING @ ENTRY AND CARPORT

PITCHED ROOFING

thegreatoutdoors
by MINOR+LAWRY

Item # 71253-79-L UPC Code: 747396105819
Product Family Name: Harbison
Category: OUTDOOR WALL MOUNT
Certification: 3187291

Notes:

Image File Name: 71253-79-L.jpg

MEASUREMENTS

Dimension	Min Overall	Max Overall
Width	12.5	15.5
Height	9.75	15.5
Adjustable Height	Yes	No

LAMPING

No. of Bulbs	Light Type	Rated Life Hours	Protocoll Included	BulbLED Included
1	LED	30000	No	Y
Max Bulb Wattage	LED MODULE	91	Yes	Y
Initial Lumens	2700	91	1050.0	694.7

SHIPPING

Material	Carton Height	Carton Length
14.38	11.38	17.5
Carton Weight	1.657	Small Package Shippable: Yes
Master Pack Width	Master Pack Height	Master Pack Length
Master Pack Weight	Master Cubic Feet	Multi-Pack: Master Pack: 1 1

SHADE / GLASS

Description:	Material:
Part No.:	Quantity:
Width:	Height:
Length:	

LED

Wet Location

ETL Intertek

WARNING: Handling this product can expose you to chemicals including lead, which is known to the State of California to cause cancer and birth defects or other reproductive harm. Wash hands with soap and water after installing, handling, cleaning or otherwise touching this product. For more information go to: www.P65Warnings.ca.gov.

For additional information, please contact Customer Care: 1-800-221-7977 | Product depicted on this spec sheet is protected by United States Federal and/or State laws including US Patent, Trademark and/or Copyright and unfair competition laws. Unauthorized reproduction or use carries severe legal penalties.

Rev 06.24.2020 02:00 AM

EXTERIOR LIGHTING @ REAR YARD

EXTERIOR CLADDING

Sarsaparilla PPG1018-7

REQUEST A COLOR CARD

BUY ONLINE FIND IN STORE

Save 40% on paint at PPG stores.

SHADES

ACCENT TRIM & CEILING

Paint Color @ Roof and Trim

Hippopotamus PPG094-4

REQUEST A COLOR CARD

BUY ONLINE FIND IN STORE

Save 40% on paint at PPG Paint Stores.

SHADES

ACCENT TRIM & CEILING

Paint Color @ Front Door

Rustling Leaves PPG1123-7

REQUEST A COLOR CARD

BUY ONLINE FIND IN STORE

Save 40% on paint at PPG stores.

SHADES

ACCENT TRIM & CEILING

Paint Color @ Windows and Back Door

5th Street House

MANUFACTURER BROCHURES

A10.03

GENERAL NOTES:

1. THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
2. INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, BUILDING, OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, INSTALL EACH BOX AN EQUAL DISTANCE FROM THE WALK, CURB, BUILDING, OR LANDSCAPE FEATURE AND PROVIDE 12" BETWEEN BOX TOPS. ALIGN THE SHORT SIDE OF RECTANGULAR VALVE BOXES PARALLEL TO WALK, CURB, BUILDING, OR LANDSCAPE FEATURE.
3. VALVE LOCATIONS SHOWN ARE DIAGRAMMATIC. INSTALL IN SHRUB/GRASS AREAS.
4. FLUSH AND ADJUST IRRIGATION OUTLETS AND NOZZLES FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ONTO WALKS, ROADWAYS, AND/OR BUILDINGS. SELECT THE BEST DEGREE OF THE ARC AND RADIUS TO FIT THE EXISTING SITE CONDITIONS AND THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH CONTROL ZONE.
5. LOCATE EMITTER OUTLETS ON UPHILL SIDE OF PLANT OR TREE.
6. WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES, USE CAUTION TO AVOID INJURY TO TREES AND TREE ROOTS. EXCAVATE BY HAND IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR. BACK FILL TRENCHES ADJACENT TO TREE WITHIN TWENTY-FOUR (24) HOURS. WHERE THIS IS NOT POSSIBLE, SHADE THE SIDE OF THE TRENCH ADJACENT TO THE TREE WITH WET BURLAP OR CANVAS.
7. NOTIFY LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.
8. IRRIGATION DEMAND: REFER TO PLANS.
9. PIPE SIZING SHOWN ON THE DRAWINGS IS TYPICAL. AS CHANGES IN LAYOUT OCCUR DURING STAKING AND CONSTRUCTION THE SIZE MAY NEED TO BE ADJUSTED ACCORDINGLY.
10. PIPE THREAD SEALANT COMPOUND SHALL BE RECTOR SEAL #5.
11. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR CHANGES IN THE IRRIGATION LAYOUT DUE TO OBSTRUCTIONS NOT SHOWN ON THE IRRIGATION DRAWINGS SUCH AS LIGHTS, FIRE HYDRANTS, SIGNS, ELECTRICAL ENCLOSURES, ETC.
12. WHEN WORK OF THIS SECTION HAS BEEN COMPLETED AND SUCH OTHER TIMES AS MAY BE DIRECTED, REMOVE ALL TRASH, DEBRIS, SURPLUS MATERIALS AND EQUIPMENT FROM SITE.
13. ONE BUBBLER SYMBOL IS SHOWN AT TREES FOR GRAPHIC CLARITY ONLY. INSTALL MINIMUM TWO BUBBLERS AT EACH TREE. INSTALL REQUIRED NUMBER OF BUBBLERS AS DETAILED.
14. IRRIGATION EQUIPMENT MAY BE SHOWN WITHIN HARDSCAPE FOR GRAPHIC CLARITY ONLY. INSTALL ALL IRRIGATION EQUIPMENT WITHIN PLANTED AREAS. IRRIGATION PIPE AND WIRE CROSSING BENEATH HARDSCAPE SURFACES SHALL BE CONTAINED WITHIN SLEEVING OR SCHEDULE 40 PVC CONDUIT. SLEEVING SIZE SHALL BE A MINIMUM OF TWO TIMES THE AGGREGATE DIAMETER OF ALL PIPES CONTAINED WITHIN SLEEVE. PROVIDE VERTICAL SWEEP FOR ALL ELECTRICAL CONDUIT ON EACH SIDE OF HARDSCAPE AND TERMINATE ENDS AT 12" MINIMUM DEPTH AND 12" FROM HARDSCAPE SURFACE.
15. UNSIZED LATERAL LINE PIPING LOCATED DOWN STREAM OF 1" PIPING SHALL BE 3/4" IN SIZE (TYP.)
16. SIZING OF LATERAL PIPE SHALL BE AS FOLLOWS:

.75"	0-6GPM
1"	7-12GPM
1.25"	13-20GPM
17. SIZING OF LATERAL PIPE FOR DRIPLINE (12" O.C. GRID WITH 0.6 GPH OR LESS EMITTERS) SHALL BE AS FOLLOWS:

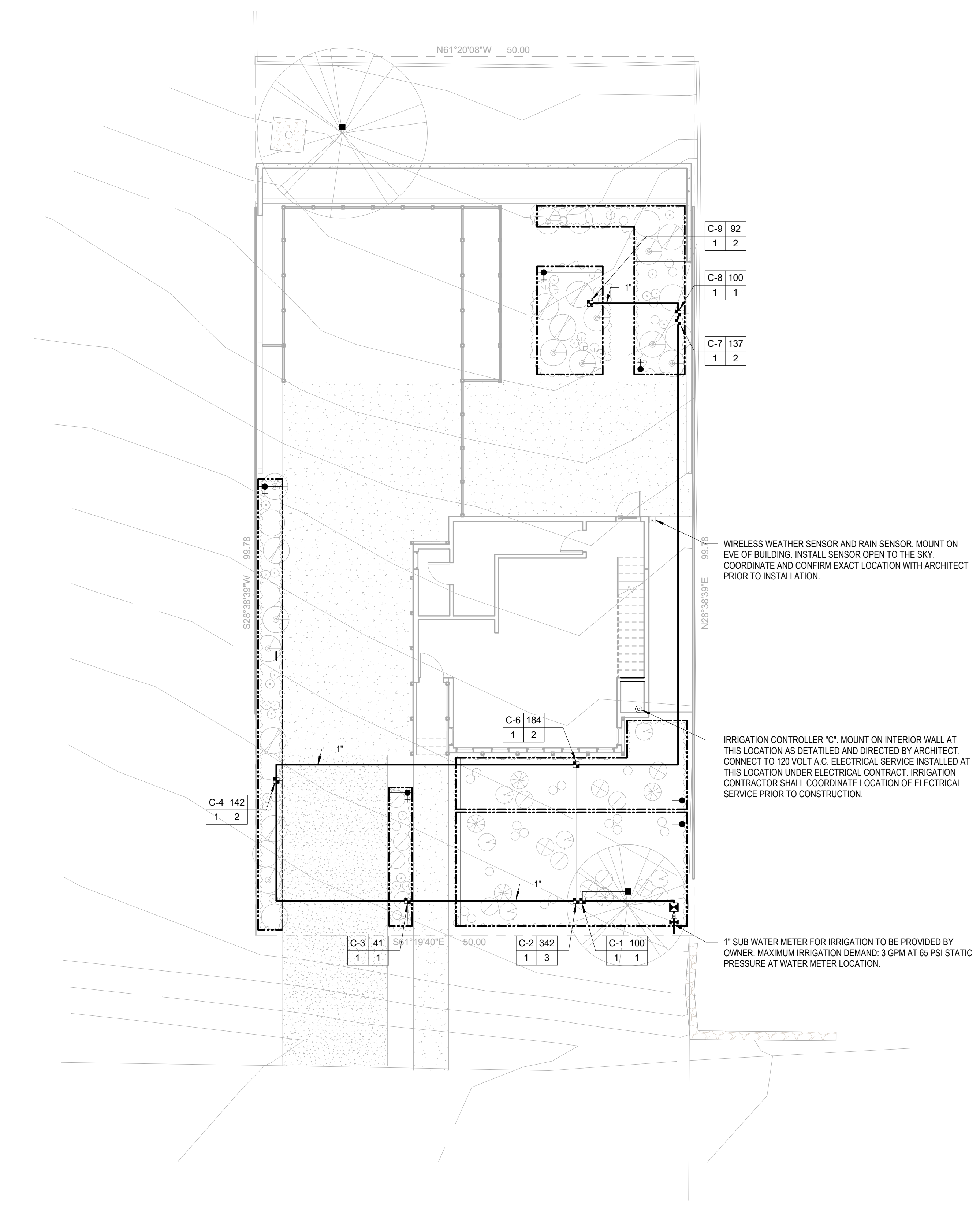
.75"	0-500FT
1"	501-1100FT
1.25"	1101-2000FT
1.5"	2001-3000FT

LEGEND:

SYMBOL	MODEL NUMBER	DESCRIPTION	NOZZLE GPM	OPERATING PSI	OPERATING RADIUS (FT)
■	RGP-212	TORO DL-2000 DRIP RINGS AT TREES	0.5	30	DRIP
●+	FCH-H-FIPT	TORO FLUSH VALVE			
■	DZK-700-1-MF	TORO REMOTE CONTROL VALVE (DRIP ZONES)			
▶	T580-A	NIBCO BALL VALVE (LINE SIZE)			
⊠	375XL-1"	WILKENS REDUCED PRESSURE BACKFLOW ASSEMBLY			
⊠	1"	BADGER RECORDALL WATER METER INSTALL ON DOWNSTREAM SIDE OF BACKFLOW ASSEMBLY			
⊙	EVO-ID12-SC	TORO 12 STATION EVOLUTION CONTROLLER IN A WALL MOUNTED ENCLOSURE. USE IN CONJUNCTION WITH A WIRELESS WEATHER SENSING SYSTEM.			
⊠	375XL-1"	TORO ET WEATHER SENSING SYSTEM. AUTOMATICALLY GATHERS ON-SITE WEATHER INFORMATION AND CALCULATES WATER REQUIREMENTS AND WATERING SCHEDULES.			
<p>CONTROLLER AND STATION NUMBER</p> <p>AREA (SQ. FT.)</p> <p>FLOW (GPM)</p> <p>REMOTE CONTROL VALVE SIZE (IN INCHES)</p>					
MAIN LINE:		1" THROUGHOUT: 1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 18" COVER			
LATERAL LINE:		3/4" AND LARGER: 1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 12" COVER			
DRIP ZONE:		TORO DL2000 SERIES DRIPLINE WITH LOC-EZE FITTINGS, PART #RGP-212 TUBING TO BE INSTALLED ON-GRADE IN A 12" O.C. GRID ACCORDING TO DETAILS. MINIMUM PIPE SIZE OF PVC LATERAL LINE WITHIN DRIP AREAS TO BE 1". EXTEND PVC HEADERS TO THE ENDS OF ALL DRIP ZONES TO BALANCE FLOW.			

MWEO SHORT FORM PRESCRIPTIVE COMPLIANCE NOTES:

1. AUTOMATIC WEATHER-BASED OR SOIL-MOISTURE BASED IRRIGATION CONTROLLERS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM.
2. PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
3. MANUAL SHUT-OFF VALVES SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.
4. AREAS LESS THAN 10-FEET IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY.
5. FOR NON-RESIDENTIAL PROJECTS WITH LANDSCAPE AREAS OF 1000 SF OR MORE, PRIVATE SUB METER(S) TO MEASURE LANDSCAPE WATER USE SHALL BE INSTALLED.
6. AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
7. UNLESS CONTRACTED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1000SF OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.



1 Irrigation Plan
1/8" = 1'-0"

DRAWINGS PREPARED BY:

MOSHE PORTER
190 GATEWAY DR.
PACIFICA, CA 94044

P: 858 336 8096
E: portermoshe@gmail.com

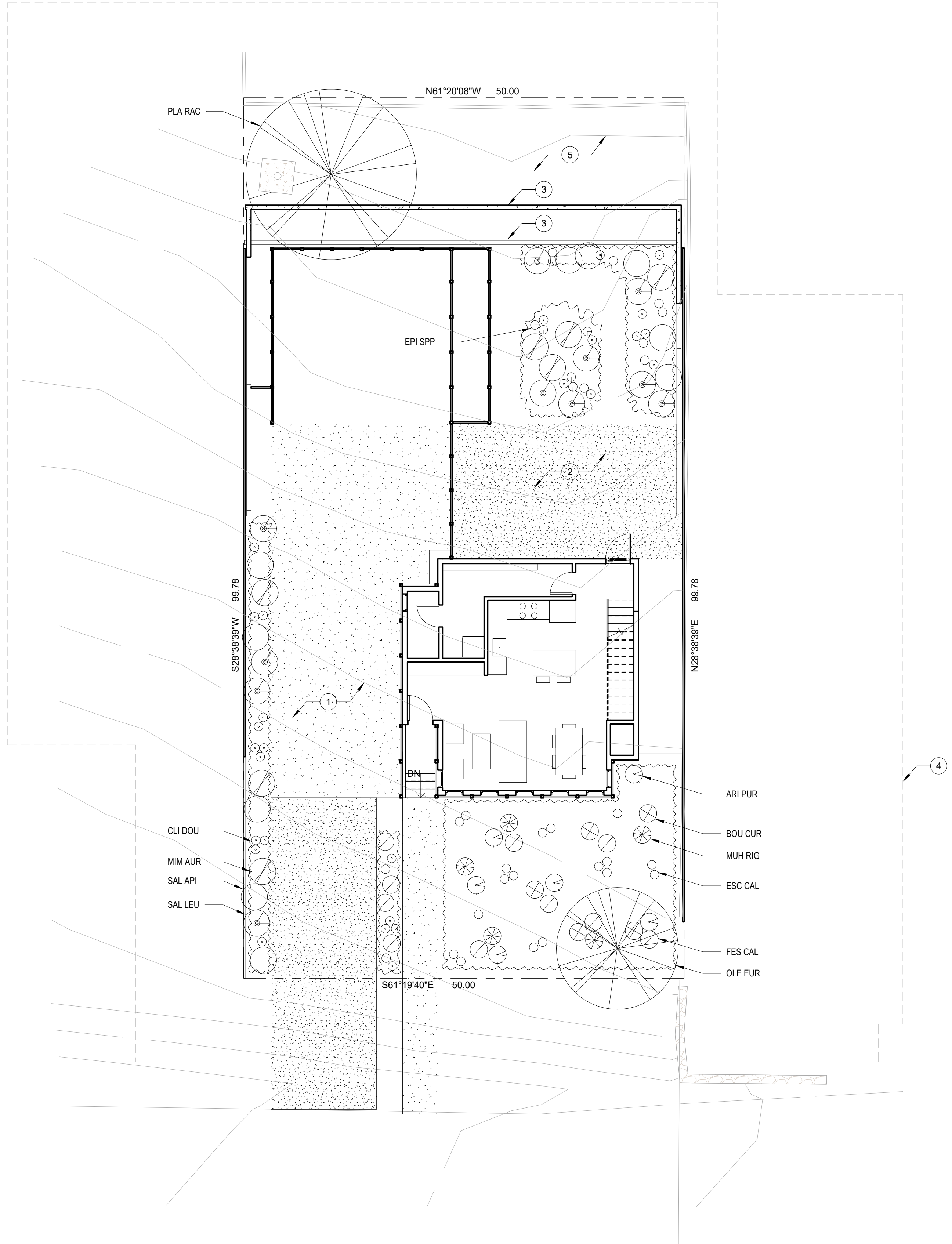
REV	DATE	DESCRIPTION
1	05/20/2020	Planning Issuance
2	07/16/2020	Revision 1

MOSHE PORTER
190 GATEWAY DR. PACIFICA, CA 94044
All construction, regardless of details on plans, shall comply with the 2019 California Building Code, 2019 California Residential Code, 2019 California Plumbing Code, 2019 California Mechanical Code, 2019 California Electrical Code, 2019 Green Building Standards, and 2019 California Building Energy Standards.

5th Street House
APN - 036-067-290

IRRIGATION PLAN

1.01



MWLO SHORT FORM PRESCRIPTIVE COMPLIANCE NOTES:

1. A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
2. UNLESS CONTRAINDICATED BY A SOILS TEST, COMPOST AT THE RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.

COASTSIDE FIRE PROTECTION DISTRICT NOTES:

1. A FUEL BREAK OF DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES, EXISTING AND NEW, TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. THIS IS NEITHER A REQUIREMENT NOR AN AUTHORIZATION FOR THE REMOVAL OF LIVING TREES.
2. TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP 6 FEET ABOVE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10 FEET TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY.
3. REMOVE THAT PORTION OF ANY EXISTING TREES, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5 FEET OF ANY STRUCTURE. MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD.

GENERAL NOTES:

1. TREES NOTED ON SURVEY ARE SHRUBS AND ARE TO BE REMOVED. NO TREES ARE LOCATED ON EXISTING PROPERTY.
2. REFER TO CIVIL DWGS FOR GRADING, DRAINAGE, AND STORMWATER.
3. NO TURF IS TO BE PLANTED

LANDSCAPE INFORMATION:

TOTAL LANDSCAPE AREA: 1227.06 SF
 NEW AND REHABILITATED LANDSCAPE AREA: 1227.06 SF
 TURF AND PLANT MATERIAL AREA: 1227.06 SF
 PROJECT TYPE: NEW DWELLING
 WATER SUPPLY TYPE: POTABLE WATER FROM MONTARA WATER AND SANITARY DISTRICT

PLANT LIST:

ABBREV.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	WUCOLS		SUNSET ZONE	MISC. NOTES & REQUIREMENTS
					RATING	FACTOR		
TREES								
OLE EUR	Olea Europea	Olive Tree	1	15 G.C.	Very Low	0.1	11-24	Average Spread: 30'-50', California Native
PLA RAC	Platanus racemosa	California Sycamore	1	15 G.C.	Moderate	0.5	14-24	Average Spread: 40'-70', California Native
SHRUBS								
SAL LEU	Salvia leucophylla	Purple Sage	9	5 G.C.	Low	0.2	14-17	California Native
SAL API	Salvia apiana	White Sage	10	5 G.C.	Very Low	0.1	13-24	California Native, Arboretum All-Star
MIM AJR	Mimulus aurantiacus	Sticky Monkeyflower	7	5 G.C.	Very Low	0.1	14-24	California Native
PERENNIALS								
EPI SPP	Epilobium spp. (Zauschneria)	California Fuchsia	6	1 G.C.	Low	0.2	14-24	California Native, Arboretum All-Star
CLI DOU	Clinopodium douglasii	Yerba Buena	32	1 G.C.	Low	0.2	14-24	California Native
ESC CAL	Eschscholzia californica	California Poppy	28	1 G.C.	Very Low	0.1	1-24	California Native
ORNAMENTAL GRASSES								
ARI PUR	Aristida purpurea	Purple Three-awn	6	1 G.C.	Low	0.2	3-24	California Native
FES CAL	Festuca californica	California Fescue	13	1 G.C.	Low	0.2	14-24	California Native, Arboretum All-Star
BOU CUR	Bouteloua curtipendula	Sideoats Grama	5	1 G.C.	Very Low	0.1	17-21	California Native, Arboretum All-Star
MUH RIG	Muhlenbergia rigens	Deer Grass	5	1 G.C.	Low	0.2	4-24	California Native, Arboretum All-Star

1. WUCOLS AVERAGE FOR PROJECT: [(0.1 x 51) + (0.2 x 73) + (0.5 x 1)] / 125 PLANTS = 0.161

LEGEND:

- SHRUB AND GROUNDCOVER AREA
- PROPOSED TREES

PLANT MATERIAL SPECIES ARE DROUGHT TOLERANT NATIVE OR NON-INVASIVE PLANT SPECIES (AS DEFINED BY THE CALIFORNIA INVASIVE PLANT COUNCIL). DROUGHT TOLERANCE IS AS DEFINED IN "PLANTS AND LANDSCAPES FOR SUMMER-DRY CLIMATES OF THE SAN FRANCISCO BAY REGION" BY THE EAST BAY MUNICIPAL UTILITY DISTRICT.

KEY NOTES:

- 1 DRIVEWAY--SEE CIVIL DRAWINGS
- 2 PERVIOUS GRAVEL PATIO, SEE ARCH DRAWINGS
- 3 RETAINING WALL, SEE CIVIL DRAWINGS
- 4 30' DEFENSIBLE SPACE - (FUEL BREAK) FOR THIS PROJECT WOULD EXTEND BEYOND THE PROPERTY LINE.
 PROPOSED TREES WILL NOT OVERHANG OR TOUCH THE PROPOSED RESIDENCE.
 ALL PROPOSED PLANTING TO BE IRRIGATED. PROPOSED PLANT SPECIES NOT HIGHLY COMBUSTIBLE.
 PROPOSED MATERIALS DIRECTLY ADJACENT TO THE PROPOSED RESIDENCE ARE IRRIGATED PLANTING, OR PAVING.
- 5 EXISTING PLANTING TO REMAIN

DRAWINGS PREPARED BY:

MOSHE PORTER
 190 GATEWAY DR.
 PACIFICA, CA 94044
 P: 858 336 8096
 E: portermoshe@gmail.com

REV	DATE	DESCRIPTION
1	05/20/2020	Planning Issuance
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MOSHE PORTER
 190 GATEWAY DR. PACIFICA, CA 94044
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5th Street House
 LANDSCAPE PLAN
 APN - 036-067-290

1 Landscape Plan
 1/8" = 1'-0"

**MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELo)
SHORT FORM PRESCRIPTIVE COMPLIANCE**

Applicant Information:

Name: Moshe Porter
 Phone: (858) 336-8096
 Address: 190 Gateway Drive, Pacifica, CA 94044
 Email: portermoshe@googlemail.com

Project

Site Address: 000 Fifth Street, Montara CA 94037
 Project Type (new dwelling, commercial, or rehab): New dwelling

This project does incorporate landscaping equal to or less than 2500 sq ft and will be using this form to identify prescriptive requirements which will be included as part of the landscape project. (Please provide the information below specific to the landscape area and identify the location on the plans each design measure can be found using the LANDSCAPE WATER EFFICIENCY (MWELo) APPENDIX - D CHECKLIST on page two):

Total Landscape Area (sq. ft.): 1213.2 Turf Area (sq. ft.): 0


Non-Turf Plan Area (sq. ft.): 1213.2 Special Landscape Area (sq. ft.): 0

Water Type (potable, recycled, well): potable

Name of water purveyor (If not served by private well): Montara Water and Sanitary District

Signature

I certify the above information is correct and agree to comply with the requirements of the MWELo.


 Signature of property owner or authorized representative


05/17/2020
 Date

**LANDSCAPE WATER EFFICIENCY (MWELo) APPENDIX - D CHECKLIST
(Can only be used when aggregate landscape areas are 2,500 square feet or less)**

Landscape Parameter	Design Measures	Location on Plans
Compost	Incorporate compost at a rate of at least four (4) cubic yards per 1,000 sq. ft. to a depth of 6 inches into landscape area (unless contra-indicated by a soil test).	L.01
Plant Water Use	Residential: Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water. Non-residential: Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 100% of the plant area excluding edibles and areas using recycled water.	L.01
Mulch	A minimum 3-inch layer of mulch should be applied on all exposed soil surfaces of planting areas, except in areas of turf or creeping or rooting groundcovers.	L.01
Turf	Total turf area shall not exceed 25% of the landscape area. Turf is not allowed in non-residential projects.	L.01
	Turf (if utilized) is limited to slopes not exceeding 25% and is not used in parkways less than 10 feet in width. Turf, if utilized in parkways is irrigated by sub-surface irrigation or other technology that prevents overspray or runoff.	L.01
Irrigation System	Irrigation controllers use evapotranspiration or soil moisture data and utilize a rain sensor.	I.01
	Irrigation controller programming data will not be lost due to an interruption in the primary power source.	
	Areas less than 10 feet in any direction utilize sub-surface irrigation or other technology that prevents overspray or runoff. A private landscape submeter is installed at non-residential landscape areas of 1,000 sq. ft. or more.	

Signature

I agree to comply with the requirements of the prescriptive compliance option of the MWELo per Appendix D.


 Signature of property owner or authorized representative

05/17/2020
 Date

Note

For the purposes of this for landscape area includes all the planting areas, turf areas, and water features in a landscape design plan subject to the Maximum Applied Water Allowance calculation. The landscape area does not include footprints of buildings or structures, sidewalks, driveways, parking lots, decks, patios, gravel or stone walks, other pervious or non-pervious hardscapes, and other non-irrigated areas designated for non-development (e.g., open spaces and existing native vegetation).

DRAWINGS PREPARED BY:
 MOSHE PORTER
 190 GATEWAY DR.
 PACIFICA, CA 94044
 P: 858 336 8096
 E: portermoshe@gmail.com

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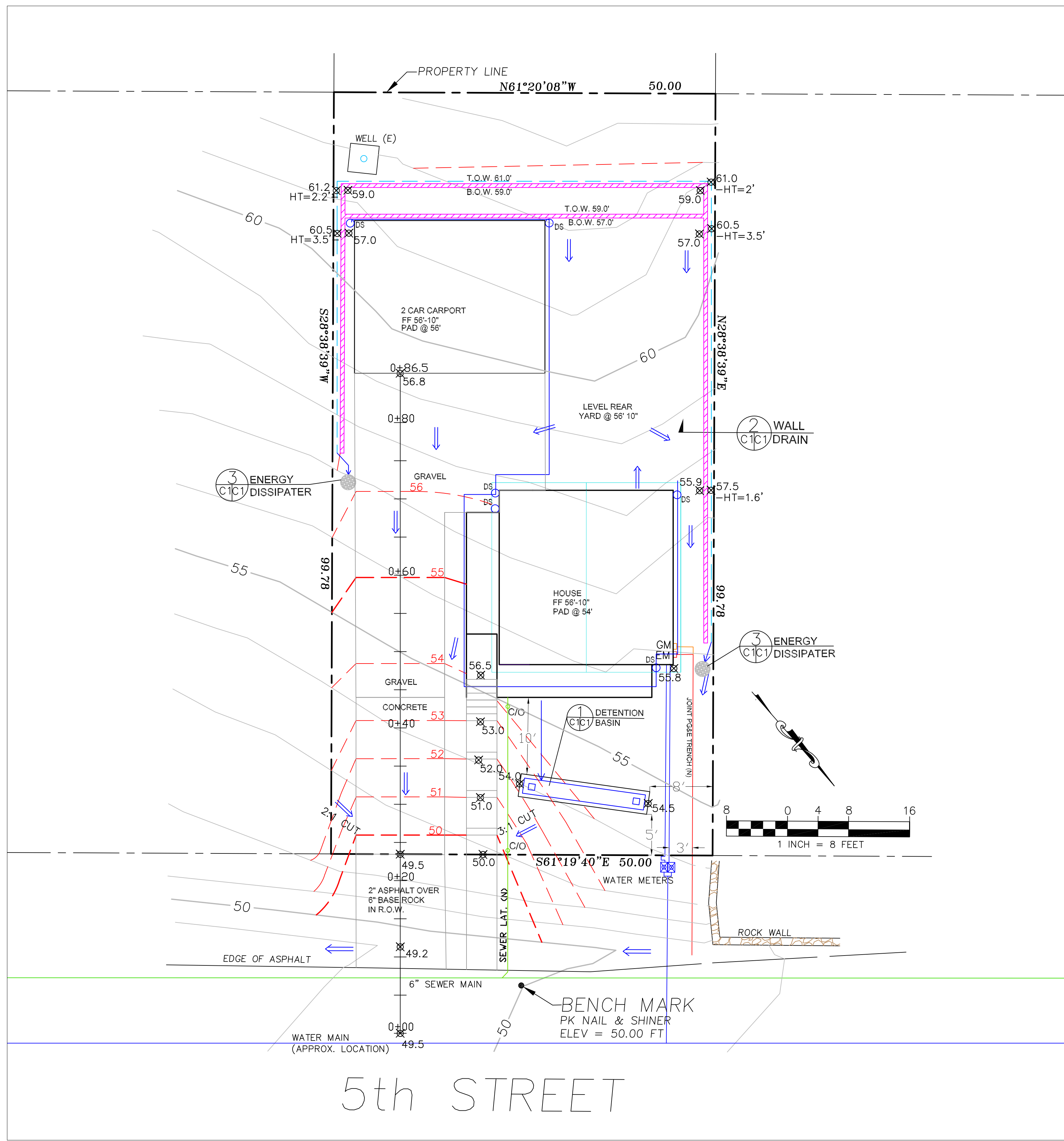
MOSHE PORTER
 190 GATEWAY DR. PACIFICA, CA 94044
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5th Street House

APN - 036-067-290

MWELo CHECKLIST

L.02



LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED SPOT ELEVATION
- ENERGY DISSIPATER - PER DETAIL 3
- D/S DOWNSPOUT
- 4" MIN SOLID DRAIN PIPE
- 4" MIN PERFORATED DRAIN PIPE

GENERAL NOTES

1. PLANS PREPARED AT THE REQUEST OF: MOSHE PORTER, OWNER
2. TOPOGRAPHY BY G. TOCCI, SURVEYED FEBRUARY, 2020.
3. THIS IS NOT A BOUNDARY SURVEY.
4. ELEVATION DATUM ASSUMED.
5. THE GEOTECHNICAL REPORT: **GEOTECHNICAL STUDY: PORTER PROPERTY, 5TH STREET MONTARA, APN 036-067-290**; DATE: PENDING, BY SIGMA PRIME GEOSCIENCES, INC, PROJECT NO. 20-123 SHALL BE RETAINED ON THE CONSTRUCTION SITE. THE GEOTECHNICAL ENGINEER OF RECORD IS SIGMA PRIME GEOSCIENCES, INC, ASSOCIATES, WITH THE CONTACT NUMBER (650)-728-3590. THE CONTRACTOR MUST NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
6. STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUB-GRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND PHONE NUMBER (650-306-8405 EXT 181) TO SCHEDULE COUNTY DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

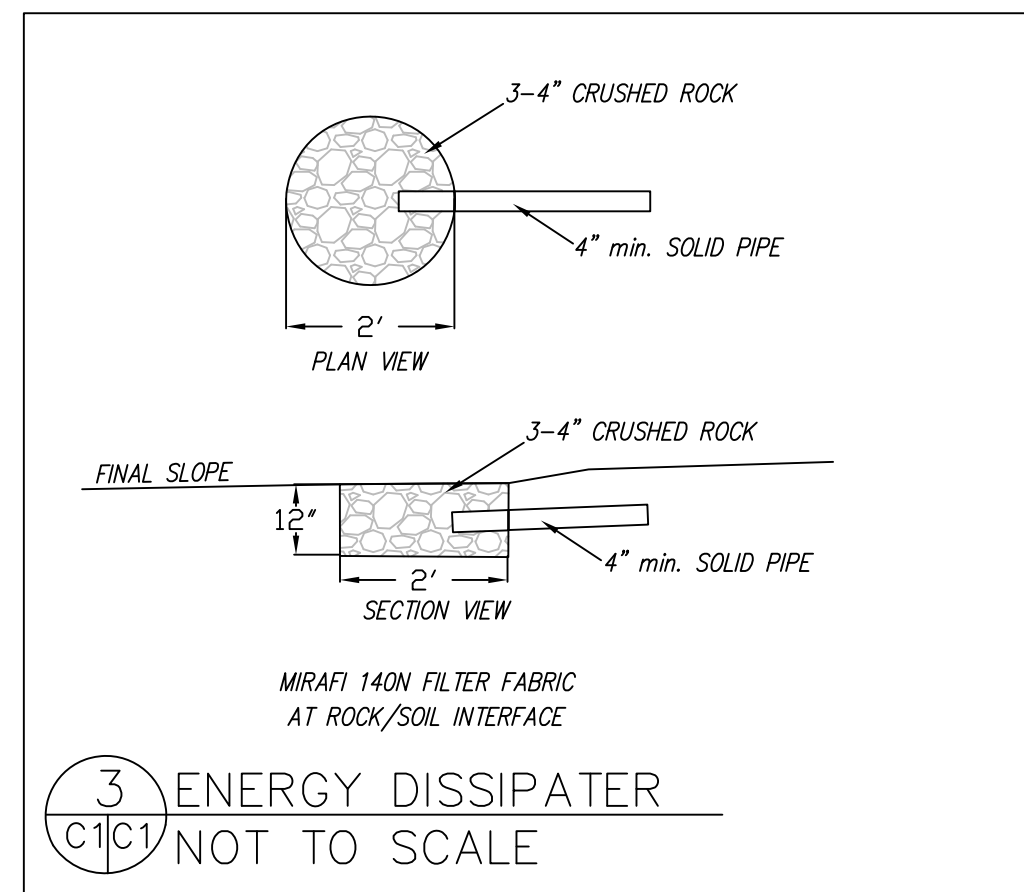
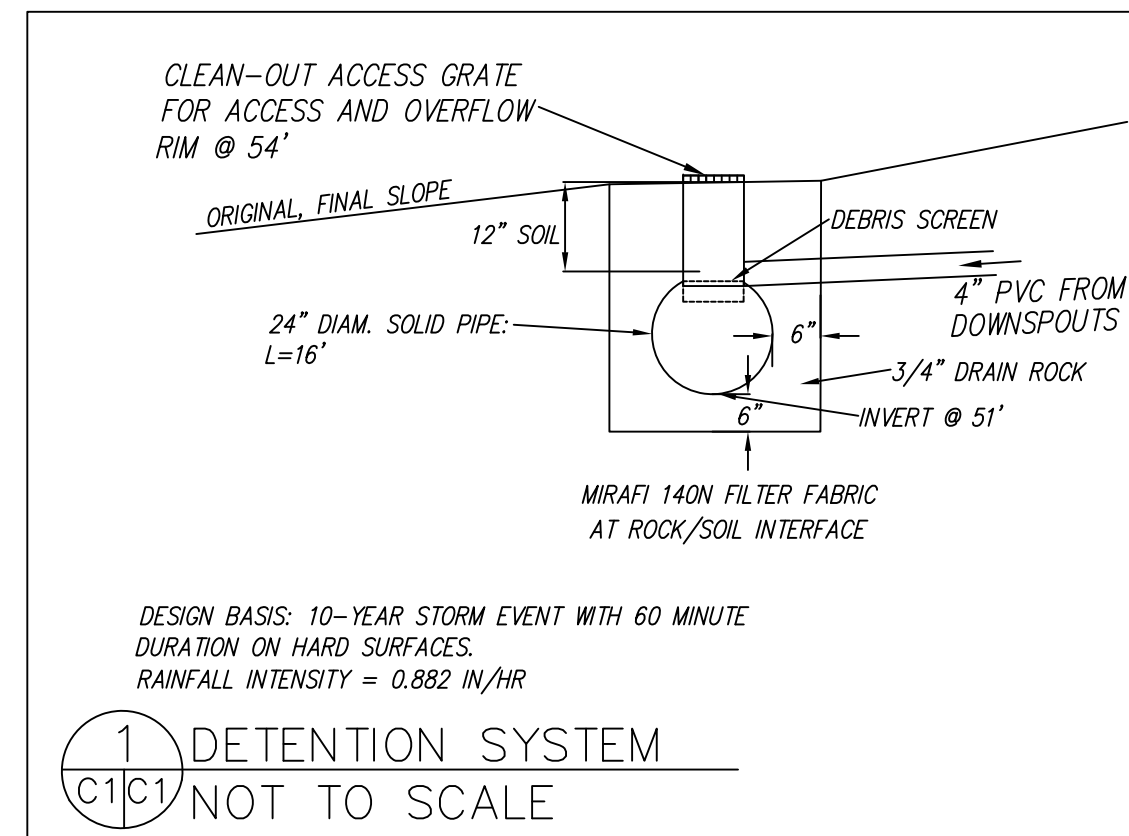
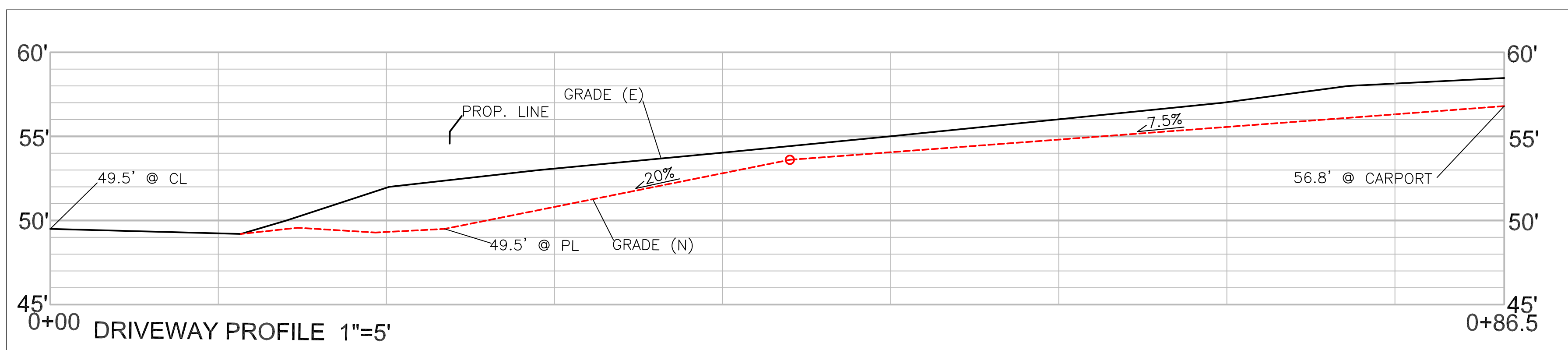
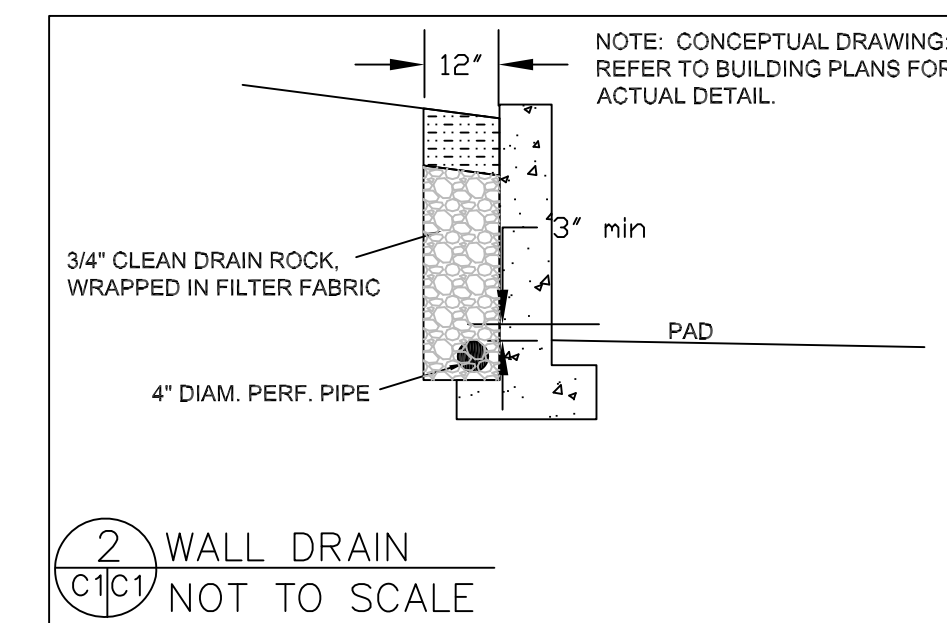
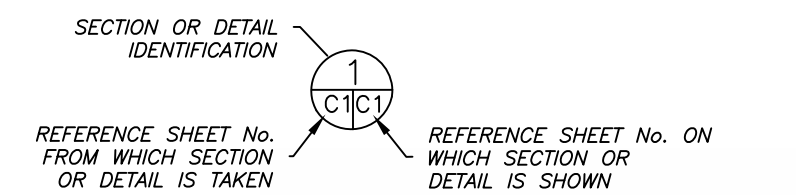
DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
2. ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN.
3. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN AND ENERGY DISSIPATORS TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

GRADING NOTES

- CUT VOLUME : 390 CY
 FILL VOLUME: 0 CY
- VOLUMES ABOVE ARE APPROXIMATE.
- THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.
- ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
- ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

SECTION AND DETAIL CONVENTION



DATE: 7-21-20	DRAWN BY: CMK	Sigma Prime Geosciences, Inc.		
	CHECKED BY: AZG	SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 728-3590 FAX 728-3593		
REV. DATE:	REV. DATE:	REV. DATE:	REV. DATE:	REV. DATE:
GRADING AND DRAINAGE PLAN		PORTER PROPERTY 5TH STREET MONTARA APN 036-067-290		
SHEET		C-1		

GENERAL EROSION AND SEDIMENT CONTROL NOTES

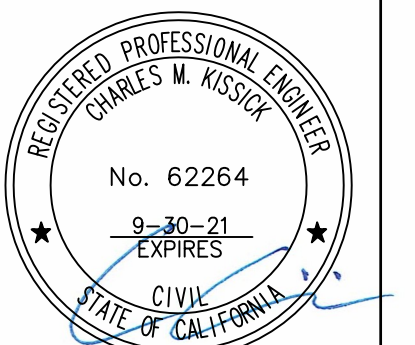
FIBER ROLL
INSTALL AT LOCATIONS SHOWN.
AFIX AS SHOWN IN DETAIL SE-5

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- There are no trees or driplines on the site.

EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: MOSHE PORTER
TITLE/QUALIFICATION: OWNER
PHONE: 858-338-8096
PHONE:
E-MAIL: PORTERMOSHE@GMAIL.COM

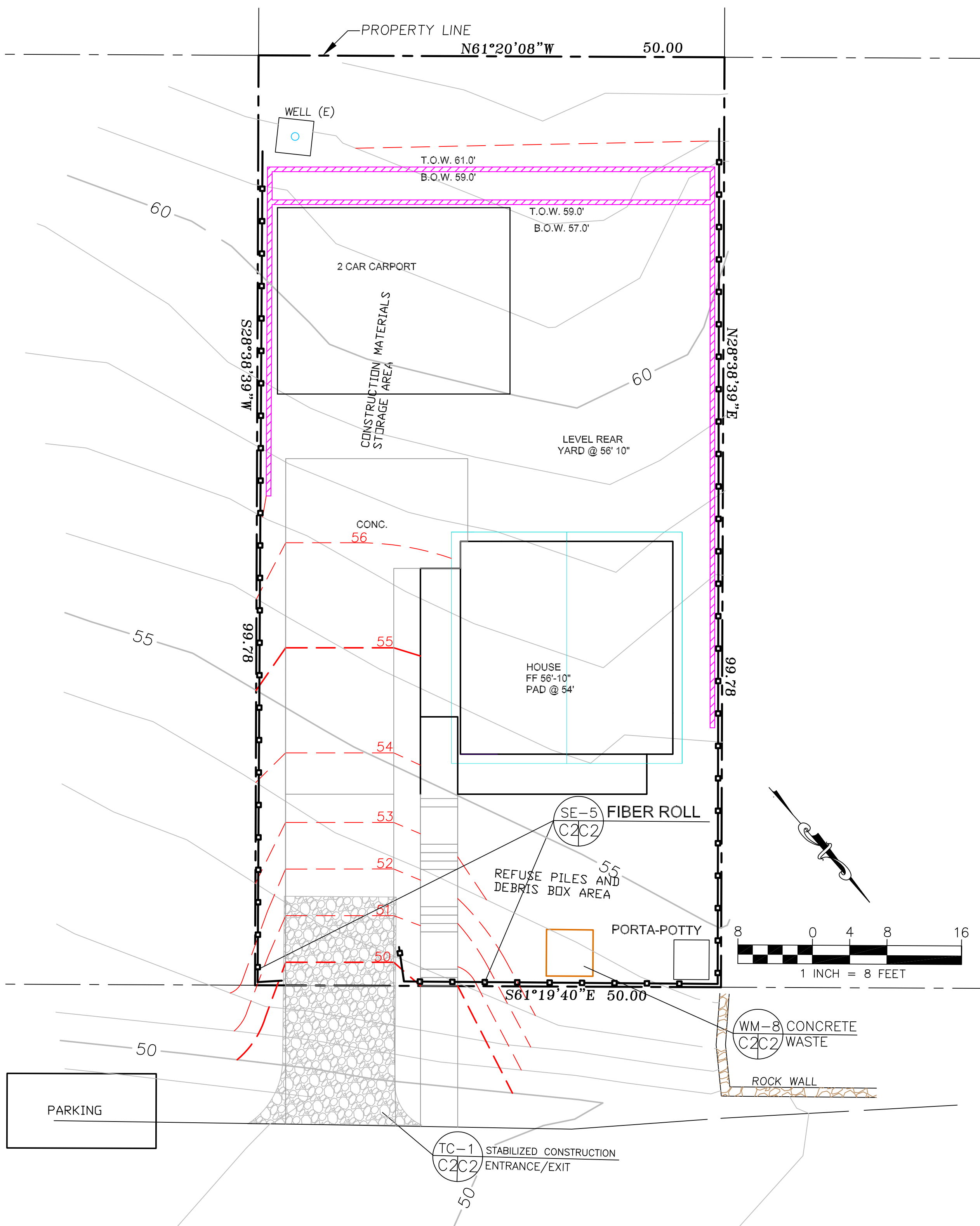


Sigma Prime Geosciences, Inc.
SIGMA PRIME GEOSCIENCES, INC.
332 PRINCETON AVENUE
HALF MOON BAY, CA 94019
(650) 726-5580
FAX 726-5585

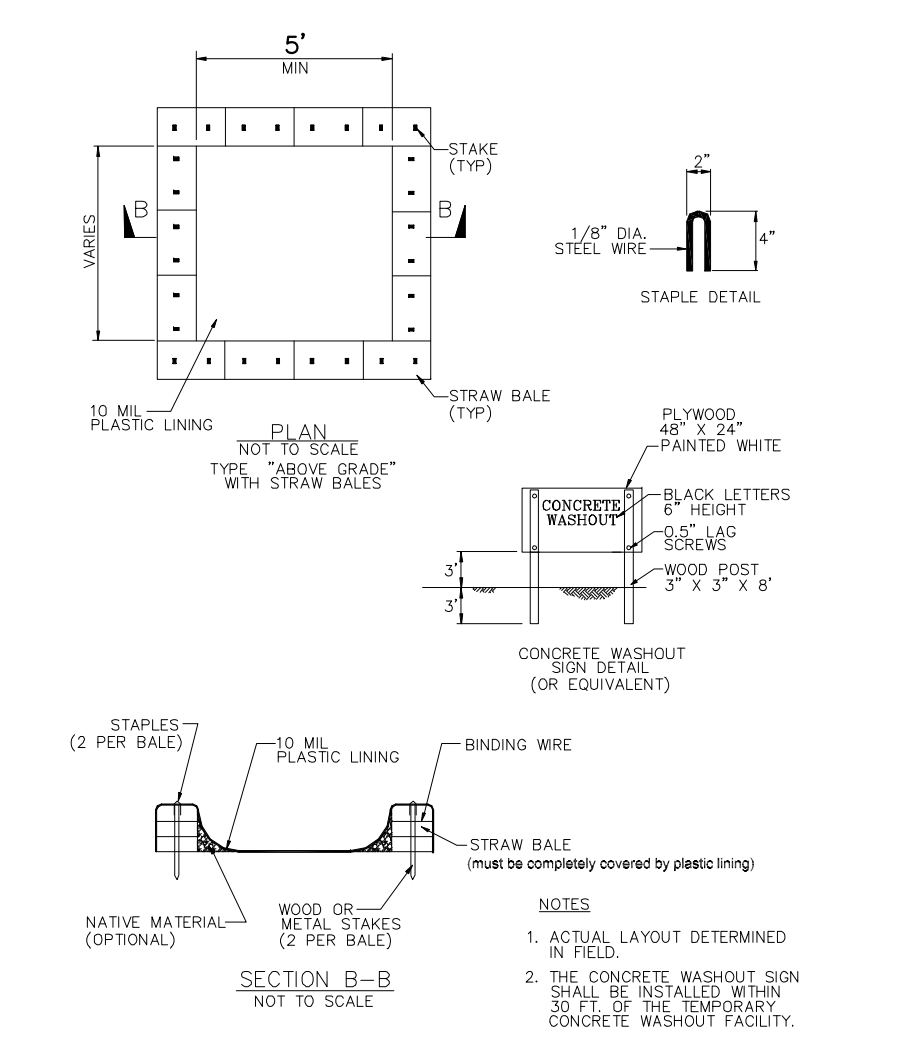
DATE: 7-21-20
DRAWN BY: CMK
CHECKED BY: AZG
REV. DATE:
REV. DATE:
REV. DATE:

EROSION AND SEDIMENT CONTROL PLAN
PORTER PROPERTY
5TH STREET
MONTARA
APN 036-067-290

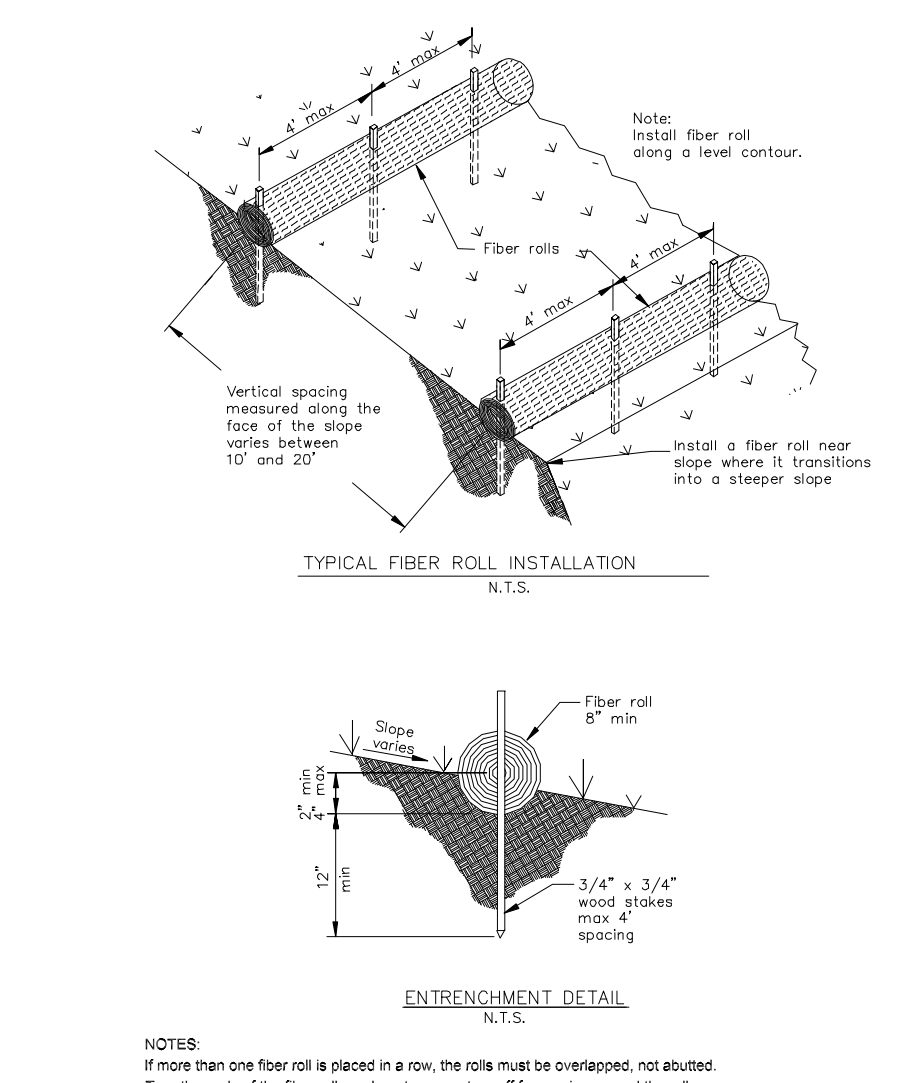
SHEET
C-2



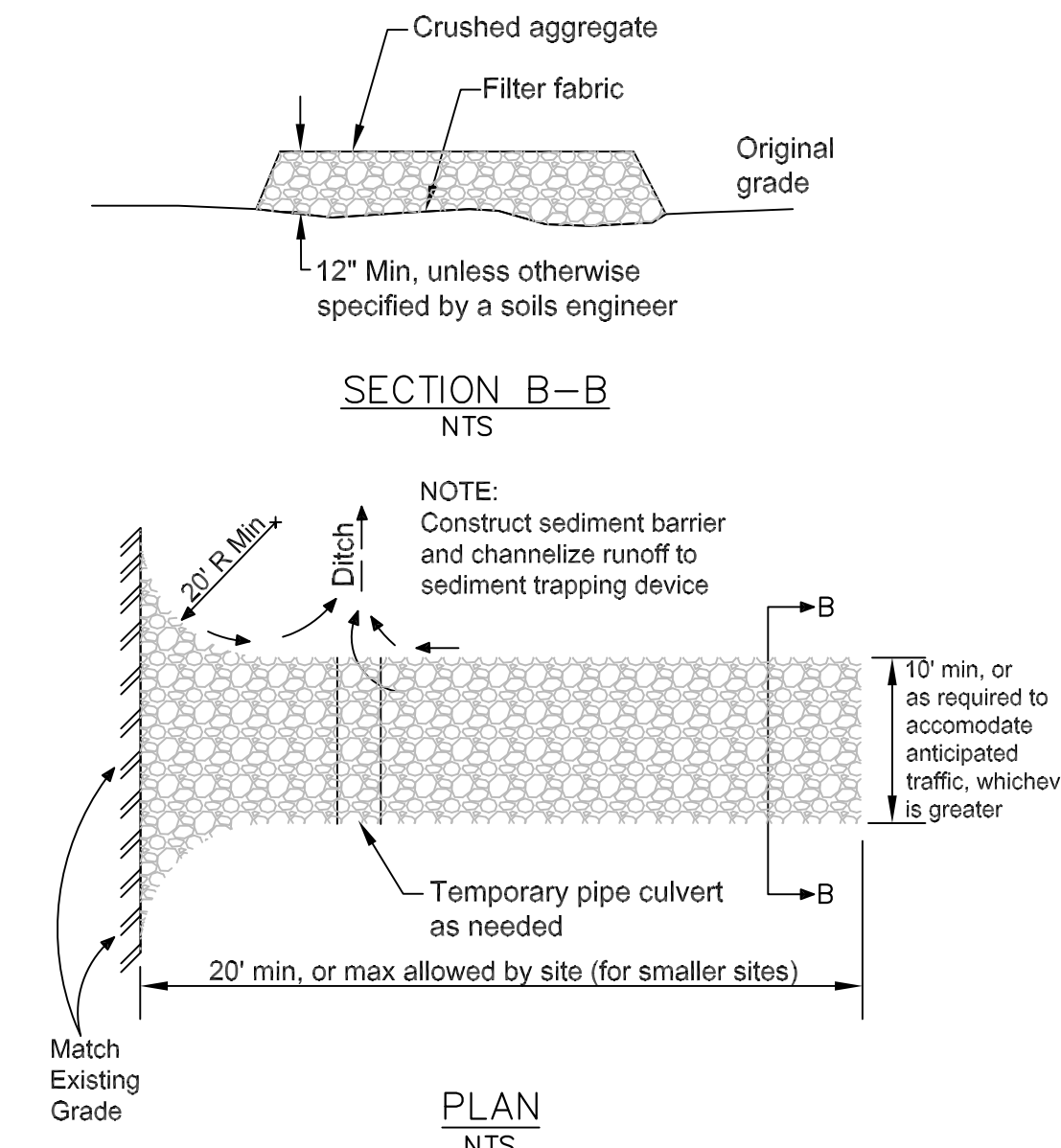
CONCRETE WASTE MANAGEMENT WM-8



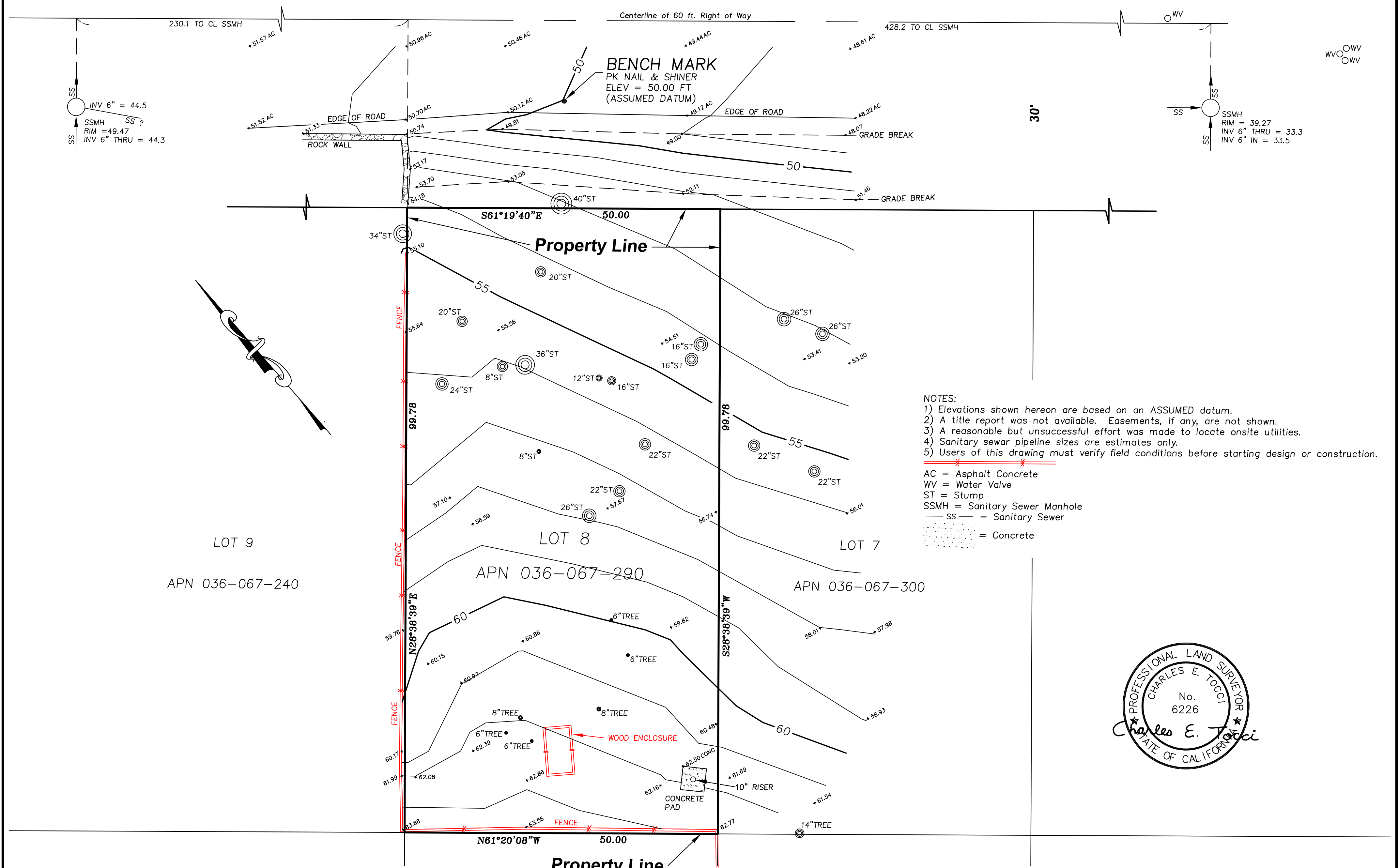
FIBER ROLLS SE-5



STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1

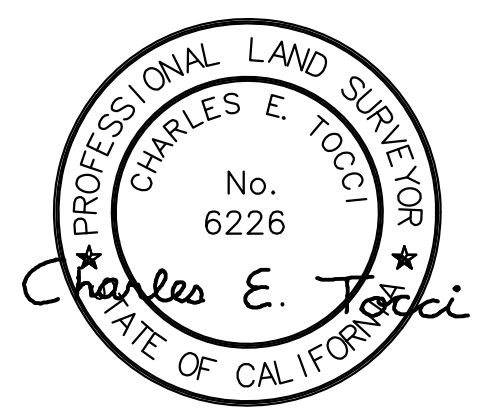


5th STREET (60 ft. wide)



- NOTES:**
- 1) Elevations shown hereon are based on an ASSUMED datum.
 - 2) A title report was not available. Easements, if any, are not shown.
 - 3) A reasonable but unsuccessful effort was made to locate onsite utilities.
 - 4) Sanitary sewer pipeline sizes are estimates only.
 - 5) Users of this drawing must verify field conditions before starting design or construction.

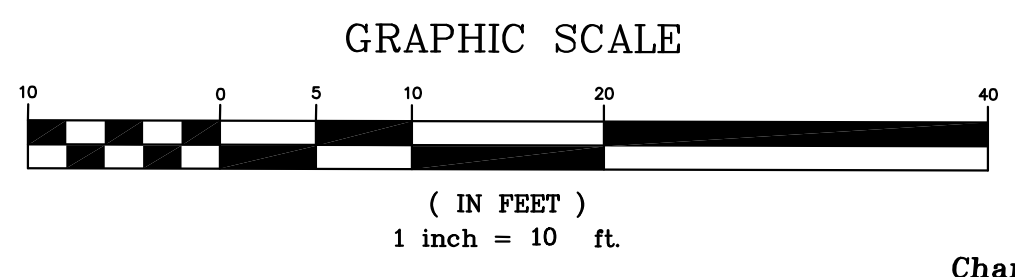
AC = Asphalt Concrete
 WV = Water Valve
 ST = Stump
 SSMH = Sanitary Sewer Manhole
 — ss — = Sanitary Sewer
 = Concrete



LOT 9
 APN 036-067-240

LOT 8
 APN 036-067-290

LOT 7
 APN 036-067-300



Charles Tocci Licensed land Surveyor Tel 510-409-1237

JOB NAME: 200106		DRAWN BY: CT	CHECKED BY: CT
LOT 8 BLOCK 56 RSM 4/29		SCALE: 1"=10'	
Filed April 16, 1906		DATE: February 11, 2020	
APN 036-067-290		DWG NUMBER	SHEET
Unincorporated San Mateo County, California		200106-5	1 OF 1
EXHIBIT MAP			