

Planning and Building Department

County Government Center ■ 455 County Center ■ Redwood City CA 94063
 Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

Application for Design Review by the County Coastside Design Review Committee

Permit #: PLN PLN2018-00265 Re-submit

Other Permit #: _____

1. Basic Information

Applicant:

Name: Thomas Robert Piller

Address: 13410 Warren Ave

East Garrison, CA Zip: 93933

Phone,W: 4086607210 H: _____

Email: trpiller@outlook.com

Owner (if different from Applicant):

Name: Thomas and Mary Piller

Address: 13410 Warren Ave

East Garrison, CA Zip: 93933

Phone,W: 4086607210 H: _____

Email: trpiller@outlook.com

Architect or Designer (if different from Applicant):

Name: _____

Address: _____ Zip: 93933

Phone,W: _____ H: _____ Email: _____

2. Project Site Information

Project location:

APN: 36151300

Address: (vacant land) EDISON WAY

Montara, CA Zip: 94037

Zoning: S17 Mid Coast

Parcel/lot size: (50' x 125') 6,250 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe): _____

3. Project Description

Project:

- New Single Family Residence: 2,190 sq. ft
- Addition to Residence: _____ sq. ft
- Other: _____

Describe Project:

2 STORY SINGLE FAMILY RESIDENCE
WITH ATTACHED GARAGE ON
VACANT LAND

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

Certificate of Exemption or Exclusion from a Coastal Development Permit

Permanent Record
Microfilming Required

Permit #: PLN _____

Permit #: BLD _____

1. Basic Information

Owner

Name: THOMAS & MARY PILLER

Address: 13410 WARREN AVE

EAST GARRISON

CALIF. Zip: 93933

Phone, W: H: (408) 660-7210

Email Address: TRPILLER@OUTLOOK.COM

Applicant

Name: THOMAS R. PILLER

Address: 13410 WARREN AVE

EAST GARRISON

CALIF. Zip: 93933

Phone, W: - H: (408) 660-7210 (cell)

Email Address: TRPILLER@OUTLOOK.COM

2. Project Information

Project Description:

CONSTRUCTION OF NEW SINGLE
FAMILY RESIDENCES AND
RELATED SITE IMPROVEMENTS
ON VACANT LAND

Assessor's Parcel Number(s):

036 - 151 - 300

Existing water source:

Utility connection _____

Well _____

Proposed water source:

Utility connection MWSD

Well _____

Staking of well location and property lines are required.

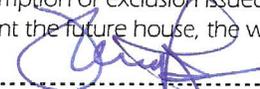
Provide site plan depicting location and all trees.

Will this require any grading or vegetation/tree removal? Yes No

If Yes, additional permits may be required. Such as: Tree Removal Permit, Grading Permit, Land Clearing Permit, Coastal Development Permit.

3. Signatures

We have reviewed this form as completed above and the basis for this exemption or exclusion. The information herein and the basis for exemption or exclusion are true and correct to the best of our knowledge and we hereby agree to carry out this project in accordance with the terms of the exemption/exclusion category selected on reverse. We also understand and agree that any exemption or exclusion issued for a water well and/or storage tank in the single family exclusion area will be invalidated in the event the future house, the well, and/or storage tank requires a variance.

 _____
Owner Date 6/29/2018

 _____
Applicant Date 6/29/2018

(Both Owner and Applicant must sign unless this Application for Exemption or Exclusion accompanies a Building Permit Application for which the Applicant is an agent for the Owner acceptable to the Building Inspection Section.)

Staff Use Only

4. Basis of Exemption or Exclusion

Use attached review sheet to determine basis of exemption and whether project qualifies. Review basis of exemption with applicant/owner and initial appropriate category below:

Initial

- A. Improvements to Existing Single Family Residence. [PRC 30610(a), CCAG 13250, ZR 6328.5(a)]
- B. Improvements to Existing Structure Other Than Single Family Residence or Public Works Facility. [PRC 30610(b), CCAG 13253, ZR 6328.5(b)]
- C. Existing Navigation Channel. [PRC 30610(c), ZR 6328.5(c)]
- D. Repair or Maintenance Activity. [PRC 30610(d), CCAG 13252, ZR 6328.5(d)]
- E. Single Family Residence Categorical Exclusion Area. [PRC 30610(e), CCAG 13240, AB 643, ZR 6328.5(e)]
- F. Agriculturally-Related Development Categorical Exclusion Area. [PRC 30610(e), CCAG 13240, ORDERS E-79-7 and E-81-1, ZR 6328.5(e)]
- G. Utility Connections. [PRC 30610(f), ZR 6328.5(f)]
- H. Replacement of Structures Following Disasters. [PRC 30610(g), ZR 6328.5(g)]
- I. Emergency Activities. [PRC 30611, ZR 6328.5(h)]
- J. Lot Line Adjustment. [ZR 6328.5(i)]
- K. Land Division for Public Recreation Purposes. [ZR 6328.5(l)]

5. Well Inspection - All Coastal Zone Areas

- Required Not Required

Inspection made by: _____ Date of Inspection: _____

Yes	No
<input type="checkbox"/>	<input type="checkbox"/> Removal of trees?
<input type="checkbox"/>	<input type="checkbox"/> If Yes, is tree removal permit included?
<input type="checkbox"/>	<input type="checkbox"/> Trimming of trees?
<input type="checkbox"/>	<input type="checkbox"/> Excessive removal of vegetation?
<input type="checkbox"/>	<input type="checkbox"/> Excessive grading? (If Yes, CDP is required)
<input type="checkbox"/>	<input type="checkbox"/> Erosion control plan required?

Approval of Permit is subject to the following: (check if applicable)

- Submittal and Approval of a Tree Removal Permit
- Submittal and Approval of a Grading Permit
- Submittal and Approval of an Erosion Control Plan
- Submittal and Approval of a Coastal Dev. Permit

6. Approval

I have reviewed the above-described project and have determined that it meets all criteria for the exemption/exclusion checked above.

Exemption/Exclusion is approved.

 Planning Department Date

Project is subject to the following condition(s) of approval: _____

7. Processing

- Fee collected
- Original Certificate of Exemption to Building Inspection file.
- Copies of Certificate of Exemption to:
 1. Applicant/Owner.
 2. Planning Department Exemption Binder.
- 3. Any relevant Planning or Building Inspection files.
- 4. California Coastal Commission, 45 Fremont Street, Suite 2000, San Francisco, CA 94105
- Update Permit*Plan Case Screen and Activities

Environmental Information Disclosure Form

Planning and Building Department

PLN 2018-00265 _____

BLD _____

Project Address: _____
 (vacant land) EDISON WAY _____
 Montara, CA 94037 _____
 Assessor's Parcel No.: 36 — 151 — 300 _____

 Zoning District: S-17, Mid Coast _____

Name of Owner: Thomas and Mary Piller _____
 Address: 13410 Warren Ave _____
 East Garrison, CA 93933 Phone: 4086607210 _____
 Name of Applicant: Thomas Robert Piller _____
 Address: 13410 Warren Ave _____
 East Garrison, Phone: 4086607210 _____

Existing Site Conditions

Parcel size: 6,250 sf _____

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). Vacant land. 10% slope across front of property and 5% slope diagonally front (high corner) to rear (low).

Vacant land. 10% slope across front of property and 5% slope diagonally front (high corner) to rear (low).

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
<input type="checkbox"/>	<input type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
<input type="checkbox"/>	<input type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? <u>4</u>
<input type="checkbox"/>	<input type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : <u>230</u> c.y. Fill: <u>10</u> c.y.
<input type="checkbox"/>	<input type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
<input type="checkbox"/>	<input type="checkbox"/>	g. Construction within a State or County scenic corridor?
<input type="checkbox"/>	<input type="checkbox"/>	h. Construction within a sensitive habitat?
<input type="checkbox"/>	<input type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
<input type="checkbox"/>	<input type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

4 eucalyptus trees are in the way of the new construction and need to be removed.

Required excavation within the building footprint for crawlspace and footings.

There is some minor grading required at the entry driveway.

2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u></p> <p>If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>b. <u>Land disturbance of 1 acre or more of area?</u></p> <p>If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) prior to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.</p>

Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

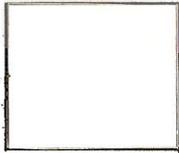
Signed:



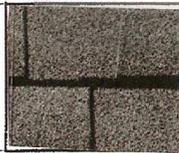
(Applicant may sign)

Date:

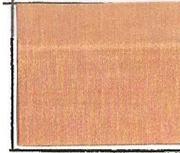
9/7/2018



WINDOWS
Milgard Factory Finish:
Color: SAND



ROOFING
ASPHALT COMPOSITION SHINGLES
Timberline HD Series:
Canadian Driftwood



FRONT DOOR
Douglas Fir - Stain finish

EXTERIOR WALL

VERT. SIDING, FASCIA, TRIM
GARAGE DOOR, SIDE DOORS,
PORCH POSTS, BEAMS, RAILS
Behr Paint: Snowy Pine PPU10-13



EXTERIOR WALL

STUCCO, HORIZONTAL SIDING
Behr Paint: Simply Sage PPU10-16



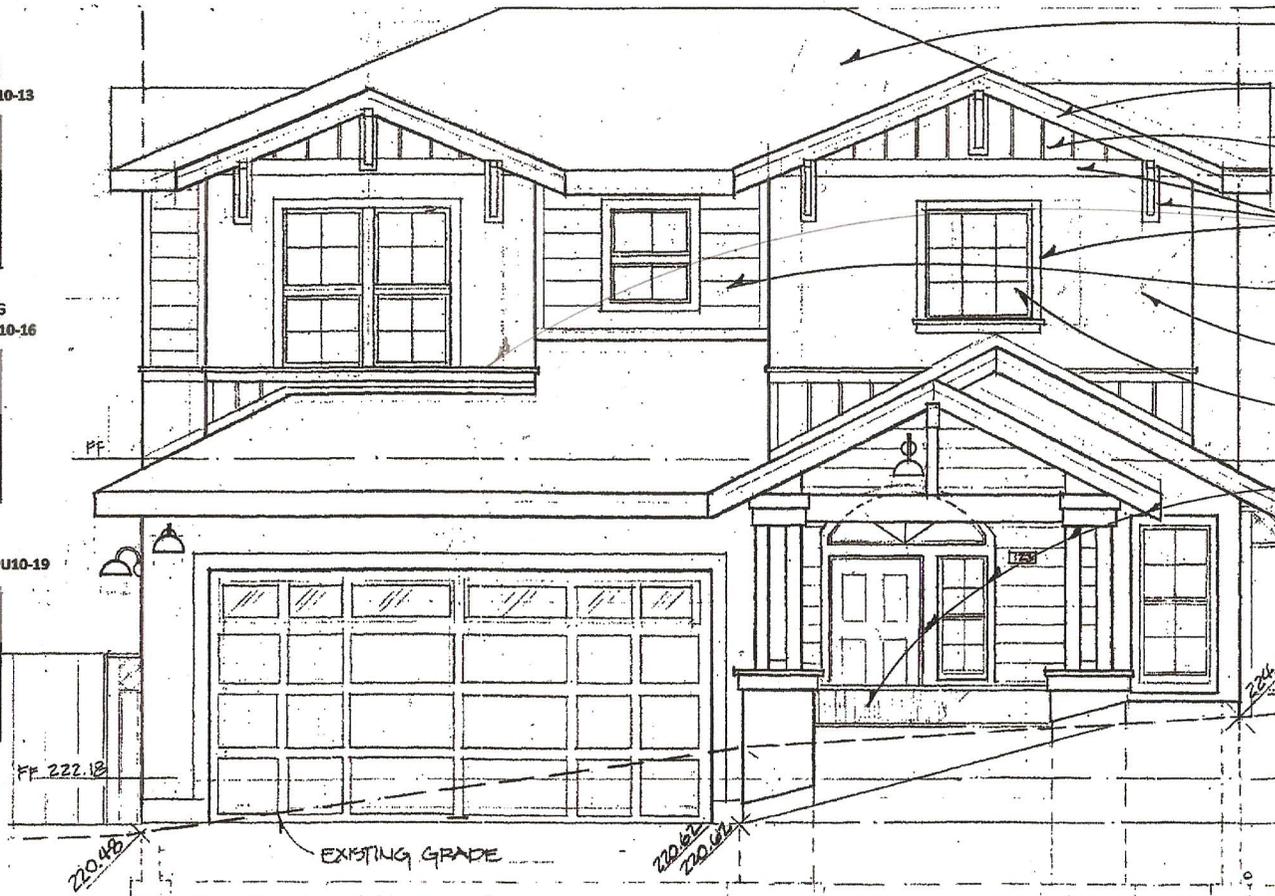
EXTERIOR WALL

BOARD & BATTEN SIDING
Behr Paint: Conifer Green PPU10-19



FENCE (Facing front)
PRIVACY LATTICE over
Picture Frame BRD on BRD

FENCE (Side yards)
Picture Frame BRD on BRD



ROOFING: Asphalt Composition Shingles
Timberline HD Series, Color: Canadian Driftwood

FASCIA - painted wood
Behr - Snowy Pine PPU10-13

EXTERIOR WALL (board & batten): painted Hardie board
Behr - Conifer Green PPU10-19

TRIM - painted Hardie Trim
Behr - Snowy Pine PPU10-13

EXTERIOR WALL (horz. siding): Painted Hardie board
Behr - Simply Sage PPU10-16

EXTERIOR WALL Cement Plaster - sand finish
Behr - Simply Sage PPU10-16

WINDOWS - Double Hung & casement: factory finish
Milgard Color: Sand

PORCH POSTS, BEAMS, TRIM, RAILING:
Painted Wood / Hardie board
Behr - Snowy Pine PPU10-13

FENCING: Picture Frame, board on board
Redwood - unfinished

EXTERIOR DOOR (front door): Douglas Fir
Natural Wood - stain

EXTERIOR DOOR (side & rear doors): Painted
Behr - Snowy Pine PPU10-13

GARAGE DOOR - painted metal
Behr - Snowy Pine PPU10-13

PRIMARY BUILDING ELEVATION

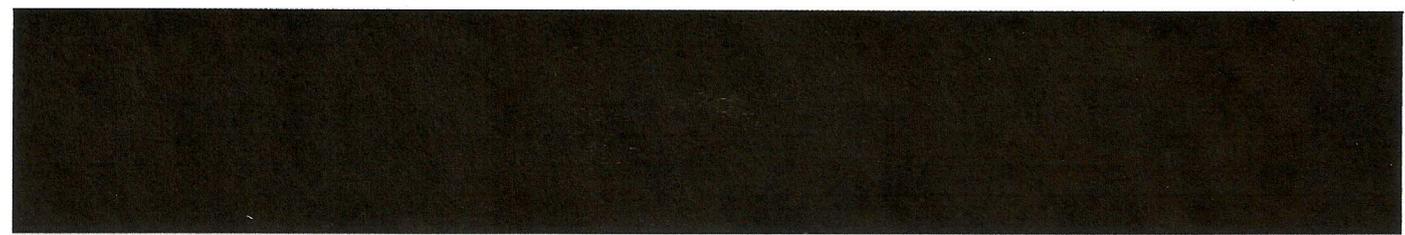
(vacant land) EDISON STREET, MONTARA, CA APN 036-151-300

EXTERIOR COLORS / MATERIALS

Designed By: Thomas Piller

Owner: Thomas & Mary Piller

APN 036-151-300 EDISON ST., MONTARA
EXTERIOR LIGHT FIXTURE
DESIGN HOUSE SP504 MASON DOWNLIGHT 8.4x11 INCH
COLOR: OIL RUBBED BRONZE



APN 036-151-300
PILLER
CDRC Submittal
MATERIALS / COLORS

ROOFING: Asphalt Composition Shingles
Timberline HD Series, Color: Canadian Driftwood



[Back to Search Results](#)



762 TRADITIONAL SHAKER



SERIES: [Traditional Exterior Doors](#)

TYPE: Exterior Traditional

APPLICATIONS: Can be used for a swing door, with barn track hardware, with pivot hardware, in a patio swing door or slider system and many other applications for the home's exterior.

Construction Type: Engineered All-Wood Stiles and Rails with Dowel Pinned Stile/Rail Joinery

Panels: 3/8" VG Flat Panel

Profile: Shaker Sticking

GET A QUOTE

If you are interested in receiving a quote from a dealer, please select the options below and click on the "Request Dealer Quote" below.

Rough opening needs to be 2" wider and 2 1/2" taller than your door.

WIDTH 2'6" ▼

HEIGHT 6'10" ▼

WOOD SPECIES Fir ▼

PANEL 3/8" Flat Pnl ▼

UPGRADES

UltraBlock Technology

REQUEST DEALER QUOTE

WHERE TO BUY

Similar Doors:

WHERE TO BUY

APPLICATIONS

STANDARD FEATURES

[Any Wood Species](#)

[Virtually Any Size](#)

UPGRADES



Find a Distributor Near You

Access my projects



Carriage House Collection
Change Collection

Model 306
Change Model



Customize

Select an option below

Door Size >

Color >

Window >

Glass >

Hardware >



My Selections

Door Size



Double 16' x 8'

Edit

Color



White Paint

Edit

Window



Apply to home photo



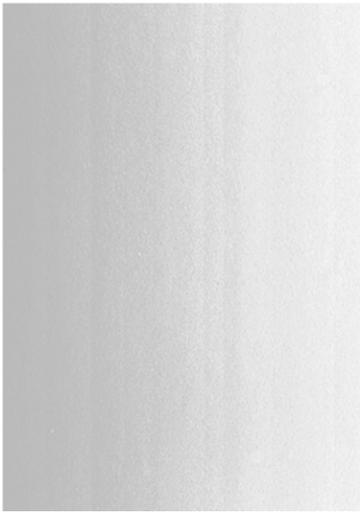
Send Feedback

Disclaimer: Actual products and colors may vary from the images displayed here.
We strongly recommend that you view actual product samples before making a final product/color selection.
If you are having difficulty with the site, please contact Chameleon Power at 866-380-9080 for assistance.

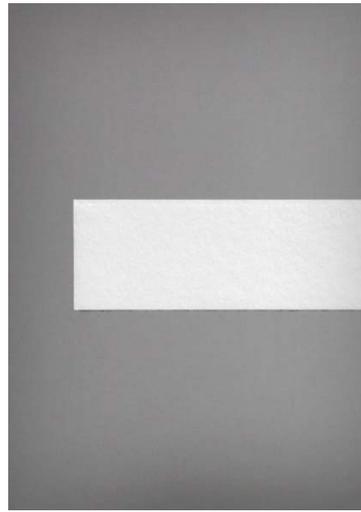
Overhead Door Near You
1-800-929-DOOR



HardiePlank® Lap Siding
SMOOTH



HardiePanel® Vertical Siding
SMOOTH



HardieTrim® Boards
BATTEN BOARDS

THICKNESS: 0.75"
WIDTHS: 2.5"



HardieTrim® Boards

5/4 SMOOTH

THICKNESS: 1"

WIDTHS: 11.25", 9.25", 7.25", 5.5", 4.5", 3.5"

APN 036-151-300
PILLER
CDRC Design Review Submittal
Materials: FENCING



FENCE (Side yards)

Picture Frame BRD on BRD



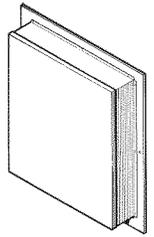
FENCE (Facing front)

PRIVACY LATTICE over
Picture Frame BRD on BRD



**BROAN 331H_600 CFM Kitchen Exhaust Fan_Roof Mount
Low Profile**

See following pages for installation instructions



FOR USE WITH RANGEMASTER HOODS AND ECLIPSE DOWNDRAFT VENTILATORS

READ AND SAVE THESE INSTRUCTIONS

WARNING

TO REDUCE THE RISK OF FIRE, ELECTRIC SHOCK, OR INJURY TO PERSONS, OBSERVE THE FOLLOWING:

1. Use this unit only in the manner intended by the manufacturer. If you have questions, contact the manufacturer at the address or telephone number listed in the warranty.
2. Before servicing or cleaning unit, switch power off at service panel and lock the service disconnecting means to prevent power from being switched on accidentally. When the service disconnecting means cannot be locked, securely fasten a prominent warning device, such as a tag, to the service panel.
3. Installation work and electrical wiring must be done by a qualified person(s) in accordance with all applicable codes and standards, including fire-rated construction codes and standards.
4. Sufficient air is needed for proper combustion and exhausting of gases through the flue (chimney) of fuel burning equipment to prevent backdrafting. Follow the heating equipment manufacturer's guideline and safety standards such as those published by the National Fire Protection Association (NFPA), and the American Society for Heating, Refrigeration and Air Conditioning Engineers (ASHRAE), and the local code authorities.
5. When cutting or drilling into wall, or ceiling, do not damage electrical wiring or other hidden utilities.
6. Ducted fans must always be vented to the outdoors.
7. To reduce risk of fire, use only metal ductwork.
8. This unit must be grounded.

CAUTION

1. For general ventilating use only. Do not use to exhaust hazardous or explosive material and vapors.
2. To avoid motor bearing damage and noisy and/or unbalanced impellers, keep drywall spray, construction dust, etc. off power unit.
3. Please read specification label on product for further information and requirements.
4. Electrical circuit, including speed control, (if used), must be rated 6 AMPS minimum for Model 332H or 3 AMPS minimum for Model 331H.

SPECIFICATIONS

MODEL	VOLTS	AMPS	CFM	DUCT SIZE
331H	120	2.4	600	10" DIA.
332H	120	5.7	900	10" DIA.

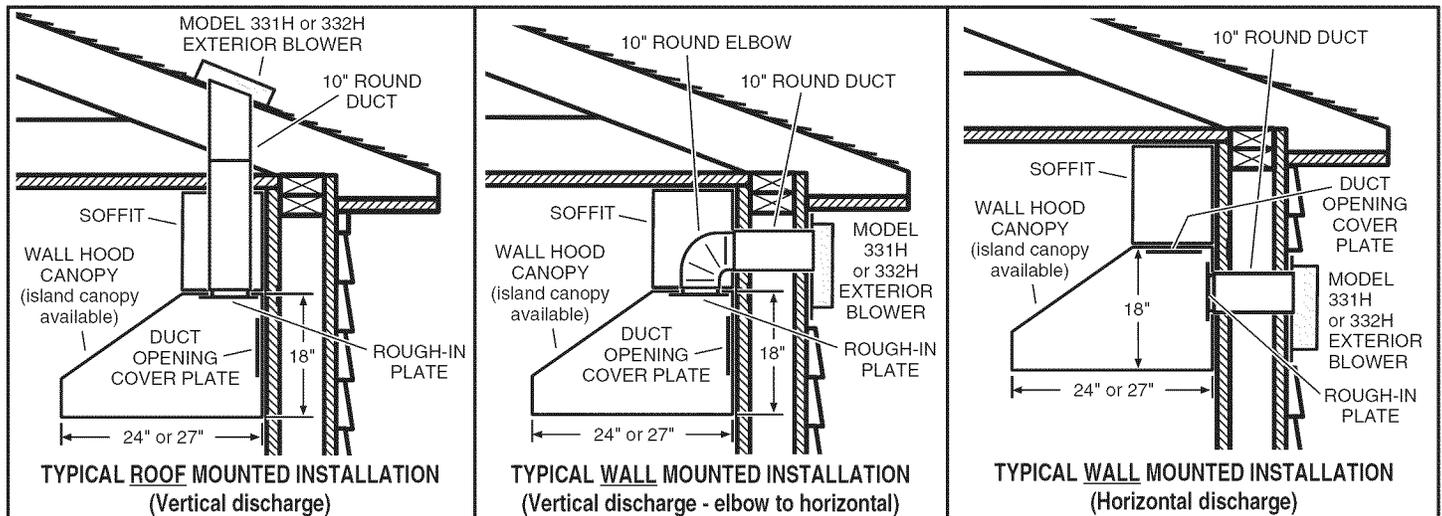
PLAN THE INSTALLATION

ALL INSTALLATIONS

1. Locate the blower so the length of the duct run and number of elbows and transitions needed are kept to a minimum.
Please note - when using blower with the Broan Eclipse Downdraft: The downdraft has a 3¼" x 10" discharge. Transitions are available to connect it to the 10" round inlet on this exterior-mounted blower.

2. Where possible, blower should be centered between wall studs or roof rafters.
3. Avoid pipes, wires, or other ductwork that may be running through the wall.
4. Be sure that there is enough space for any transitions that may be needed between the blower and the connecting ductwork.
5. For best performance, locate transitions nearest to ventilator (i.e. downdraft).

NOTE: Horizontal discharge requires relocation of the duct opening cover plate. See hood manual for instructions.

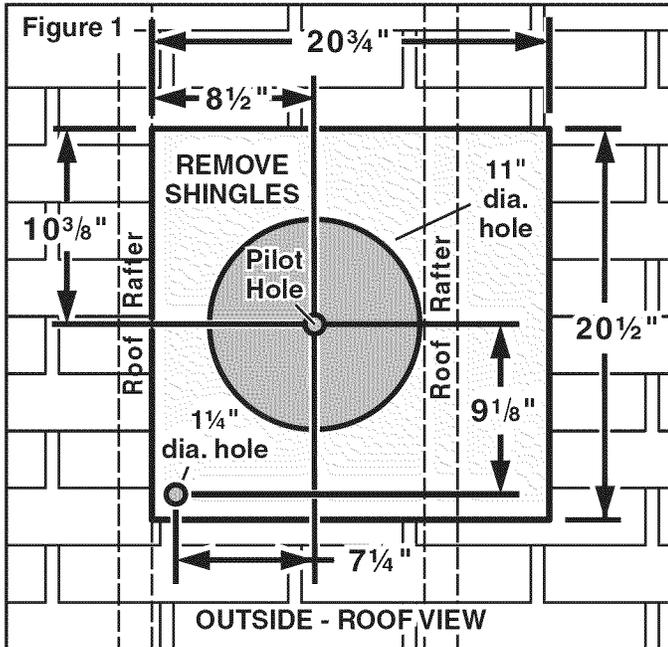


**INSTALLER: Leave This Manual With The Homeowner
HOMEOWNER: Use And Care Information On Page 3**

PREPARE THE INSTALLATION LOCATION

ROOF INSTALLATIONS

1. Locate the blower on the rear slope of the roof. Place it in a location to minimize duct run. The location should be free of obstacles (T.V. leads, electrical lines, etc.). Bear in mind, if the blower top is level with the roof peak, it will not be seen from the street. Keep this approximate location in mind as you work from within the attic.

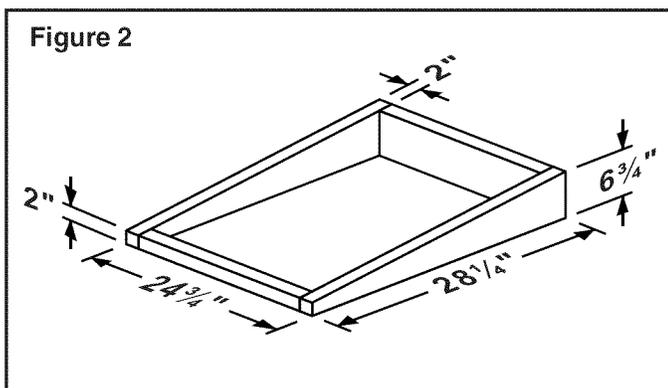


From inside the attic space:

2. Drill a **PILOT HOLE** up through the roof, 8½" from the *inside edge* of a **ROOF RAFTER**.

From outside - on the roof:

3. Measure and mark the 20¾" x 20½" rectangle. Cut and remove only the shingles inside this rectangle.
4. Measure and mark the 11" **DIAMETER HOLE** and the 1¼" **DIAMETER HOLE**. Cut these holes all the way through the roof.



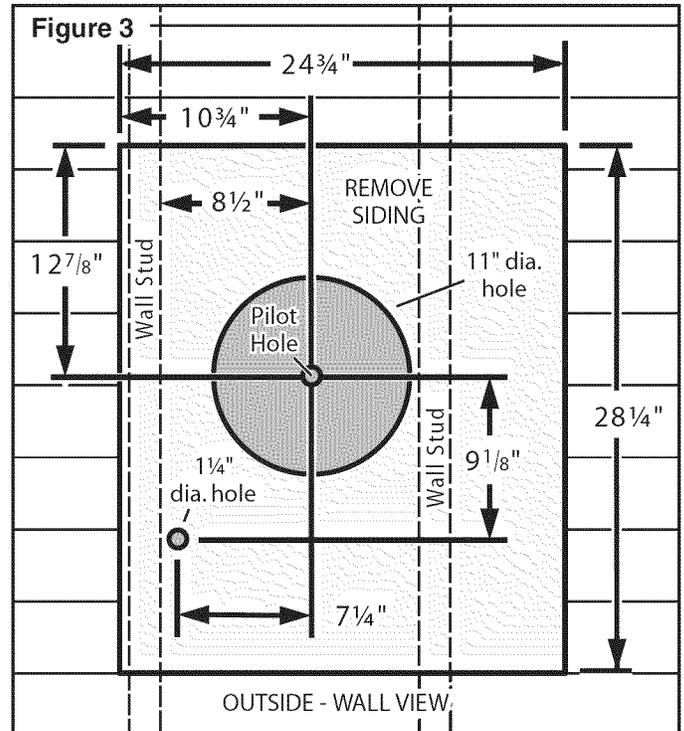
5. For flat roof installations, build a curb that will mount the blower at a minimum pitch of 2/12. See Figure 2. Discharge end of the blower should be pointed away from prevailing winds.

PREPARE THE INSTALLATION LOCATION

2

WALL INSTALLATIONS

1. Choose a position on the outside wall. Make sure that no wall studs, pipes or wires run through the opening area.



From inside the wall:

2. Drill a **PILOT HOLE** through the wall, 8½" from the *inside edge* of a **WALL STUD**.

From outside - on the wall:

3. Measure and mark the 25" x 29½" rectangle. Cut and remove only the siding inside this rectangle.
4. Measure and mark the 11" **DIAMETER HOLE** and the 1¼" **DIAMETER HOLE**. Cut these holes all the way through the wall.

PREPARE THE BLOWER

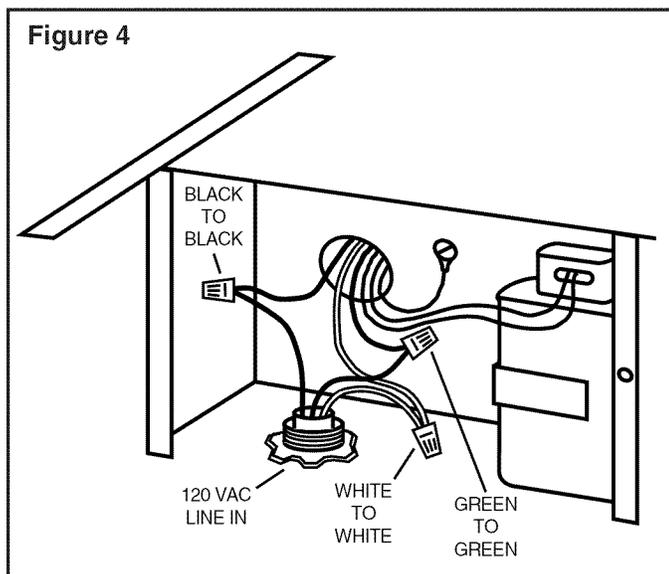
ALL INSTALLATIONS

1. Unpack the blower assembly.
2. Remove the cover and screws.
3. Remove and discard cardboard from blower wheel.
4. Remove the wiring box cover and screws.
5. Attach an appropriate CSA approved cable connector in the hole at the rear of the wiring box.

INSTALL THE BLOWER

ROOF INSTALLATIONS

1. Remove roofing nails from the upper 2/3 of the shingles around the cutout area and carefully lift the shingles to allow the back flashing sheet on the blower housing to fit under them.
2. Center the blower ring in the 11" diameter hole, making sure that the 1-1/4" diameter electrical wiring hole aligns with the hole in the wiring box.
3. Attach the blower to the roof with the six screws provided. All six holes in the back panel must be filled, or any moisture that may get inside the housing could leak into the house.
4. Using a good grade of roofing cement, seal all of the shingles around the housing and flashing sheet as well as the mounting screw heads.
5. Bring electrical wiring through the hole in the wiring box and secure it according to local codes.



6. Make the electrical connections with the proper connector for the type of wiring being used. Connect white to white, black to black, and the green or bare wire to green. See Figure 4.
7. Replace wiring box cover and screws. Do not pinch wiring under the cover.
8. Check for free movement of the damper before installing housing cover and screws.
9. Turn on power and check operation of the blower.

INSTALL THE BLOWER

3

WALL INSTALLATIONS

1. Place a large bead of caulk on the back side of the housing along the outer edge.
2. Center the blower ring in the 11" diameter hole, making sure that the 1-1/4" diameter electrical wiring hole aligns with the hole in the wiring box.
3. Attach blower to the wall with the six screws provided. All six holes in the back panel must be filled, or any moisture that may get inside the housing could leak into the house.
4. Using a good grade of caulk, seal all around the mounting screw heads.
5. Bring electrical wiring through the hole in the wiring box and secure it according to local codes.
6. Make the electrical connections with the proper connector for the type of wire being used. Connect white to white, black to black, and green or bare wire to green. See Figure 4.
7. Replace wiring box cover and screws. Do not pinch wiring under cover.
8. Check for free movement of the damper before installing housing cover and screws.
9. Turn on power and check operation of the blower.
10. Top and side flanges of the back plate may be covered with trim strips. Do not block grille opening at bottom with trim. It will adversely affect performance of the blower.

USE AND CARE

Disconnect electrical power supply and lock out service panel before cleaning or servicing this unit.

CLEANING

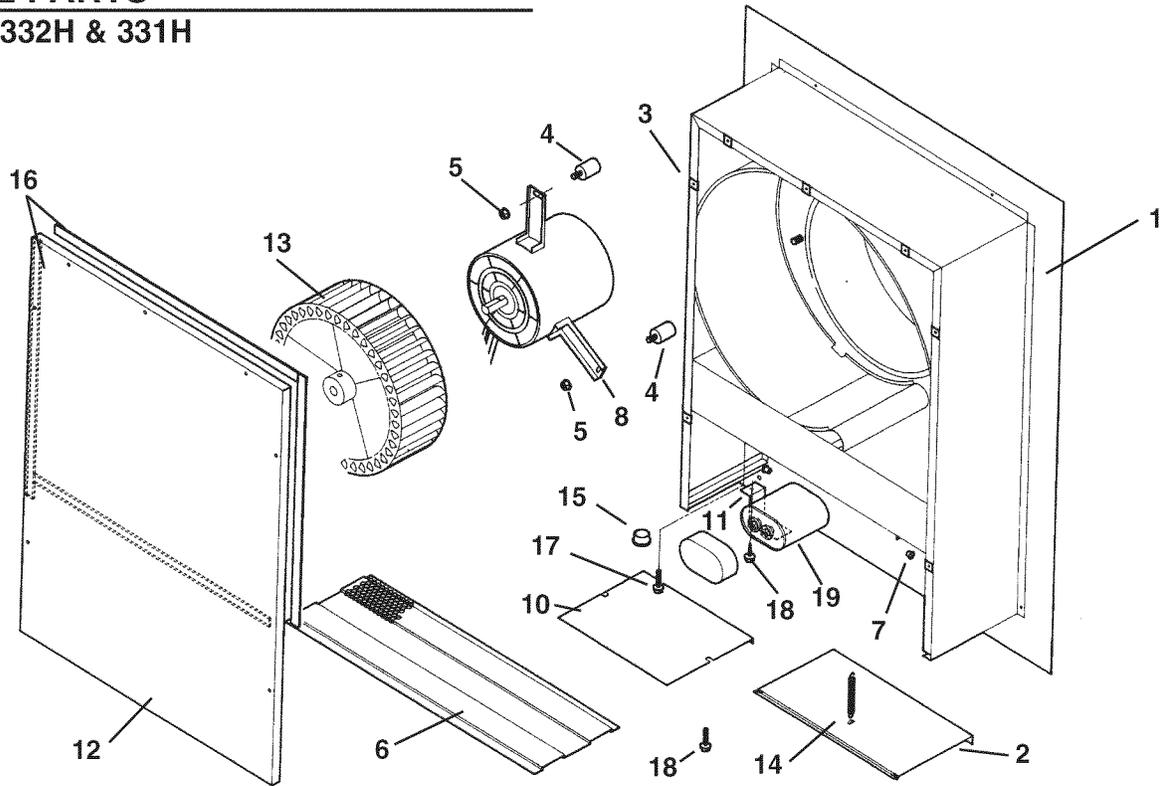
Remove cover and carefully vacuum blower and inside of housing. Be careful not to bend or otherwise damage blower wheel.

MOTOR LUBRICATION

The motor is permanently lubricated. Do not oil or disassemble motor.

SERVICE PARTS

MODELS 332H & 331H



KEY NO.	PART NO.	DESCRIPTION
1	97011795	Airbox Assembly
2	98008507	Damper
3	93260454	Sheet Metal Nut, #18-18 U-Type (7 req.)*
4	99100484	Isolator (3 req.)
5	99260477	Whiz Nut, 1/4" - 20 (3 req.)*
6	98008511	Grille
7	99100379	Heyco Damper (2 req.)
8	99080396	Motor W/Capacitor (Model 332)
	99080397	Motor W/Capacitor (Model 331)
10	98008509	Wiring Box Cover
11	98008588	Capacitor Clamp
12	98008510	Airbox Cover
13	99020263	Blower Wheel (Model 332)
	99020264	Blower Wheel (Model 331)
14	99140145	Damper Spring
15	99400055	Heyco
16	99100517	Foam Seal (4 req.)
17	99150471	Hex Screw, #10 - 32 x 1/2"*
18	99150535	Hex Screw, #8-16 x 3/8 (2 Req.)*
19	99271110	Capacitor 15 MFD

* Standard Hardware - May be purchased locally.
Always order replacement parts by Part No., not Key No.

BROAN-NUTONE ONE YEAR LIMITED WARRANTY

Broan-NuTone warrants to the original consumer purchaser of its products that such products will be free from defects in materials or workmanship for a period of one year from the date of original purchase. THERE ARE NO OTHER WARRANTIES, EXPRESS OR IMPLIED, INCLUDING, BUT NOT LIMITED TO, IMPLIED WARRANTIES OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE.

During this one-year period, Broan-NuTone will, at its option, repair or replace, without charge, any product or part which is found to be defective under normal use and service.

THIS WARRANTY DOES NOT EXTEND TO FLUORESCENT LAMP STARTERS AND TUBES. This warranty does not cover (a) normal maintenance and service or (b) any products or parts which have been subject to misuse, negligence, accident, improper maintenance or repair (other than by Broan-NuTone), faulty installation or installation contrary to recommended installation instructions.

The duration of any implied warranty is limited to the one-year period as specified for the express warranty. Some states do not allow limitation on how long an implied warranty lasts, so the above limitation may not apply to you.

BROAN-NUTONE'S OBLIGATION TO REPAIR OR REPLACE, AT BROAN-NUTONE'S OPTION, SHALL BE THE PURCHASER'S SOLE AND EXCLUSIVE REMEDY UNDER THIS WARRANTY. BROAN-NUTONE SHALL NOT BE LIABLE FOR INCIDENTAL, CONSEQUENTIAL OR SPECIAL DAMAGES ARISING OUT OF OR IN CONNECTION WITH PRODUCT USE OR PERFORMANCE. Some states do not allow the exclusion or limitation of incidental or consequential damages, so the above limitation or exclusion may not apply to you.

This warranty gives you specific legal rights, and you may also have other rights, which vary from state to state. This warranty supercedes all prior warranties.

To qualify for warranty service, you must (a) notify Broan-NuTone at the address or telephone number below, (b) give the model number and part identification and (c) describe the nature of any defect in the product or part. At the time of requesting warranty service, you must present evidence of the original purchase date.

Broan-NuTone LLC Hartford, Wisconsin
www.broan.com 800-558-1711
Broan-NuTone Canada Mississauga, Ontario
www.broan.ca 877-896-1119

NOTES:

San Mateo County Adopted Building Codes
 2016, v3 California Building Code, 2016 California Fire Code, 2016 California Mechanical Code, 2016 California Plumbing Code, 2016 California Electrical Code, 2016 California Residential Code, Title 24 (Part 2.5)

Fire Zone
 Fire Zone: per Cal Fire; LRA Hazard Severity Zone Map dated: November 24, 2008:
 Local Responsibility Area (LRA) - YES
 Very High Fire Hazard Severity Zone (VHFHS) - NO

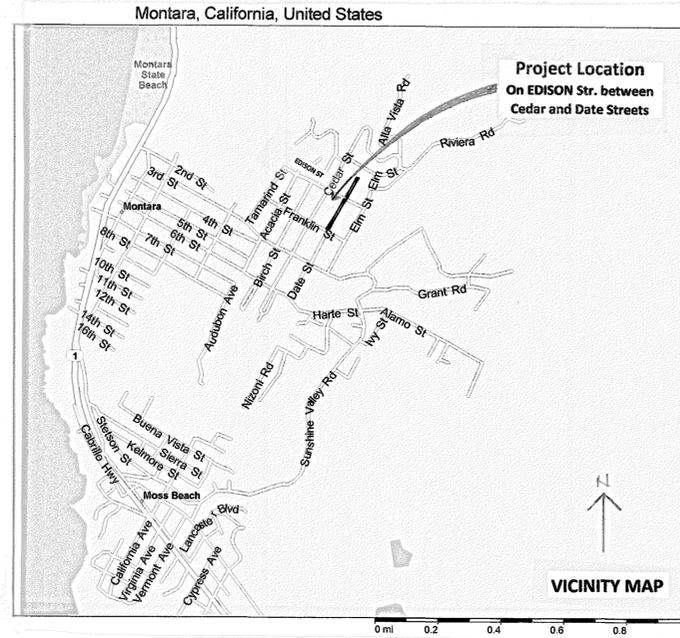
Coastside Fire Protection District
 1. Residential Sprinkler Specifications, Number DI-005, date 7/28/2015:
REQUIREMENTS SECTION

- A minimum of 3 spare sprinklers of each type (one for pilot heads), temperature rating, and orifice size plus approximate wrench shall be provided in a box located 5-6 feet above floor next to the system riser. Instructions on maintenance shall be provided to the building owner.
- Contractor shall install a remote inspector's test complete with an orifice the equivalent diameter as the smallest sprinkler head in the system. In addition, the test fixture shall be labeled with an approved sign stating: "Inspector's Test".
- The water flow switch shall be set to operate the alarm within 30-60 seconds after system activation and verified during the final inspection.
- Water flow switch and alarm shall be installed in conduit and on a dedicated circuit. Tie-in shall be after the house meter and before the main disconnect. Circuit breaker to read: "Fire Alarm" in red.
- The Coastside County / Montara Water and Sanitary District requires that the water supply for the sprinkler system be from a separate fire service line and water meter connected to their municipal water system.
- Sprinkler coverage shall be provided throughout the residence with the only exception being closets less than 24 square feet. Areas accessible for storage shall be protected.
- Furnace rooms and laundry rooms shall be sprinklered.
- Exterior sprinkler heads shall be corrosion resistant per NFPA 13-11.4.
- All valves shall have adequate clearances for grasping.
- Use manufacturer's specifications for installations near heat zones, slopes, obstructions, etc.
- All devices, combination of devices and equipment shall be approved or listed for the purposes for which they are intended. Manufacturer's specification sheets shall be made available.
- All attached garages shall be sprinklered.
- A Pilot head will be placed in the attic, near the attic access.
- A sprinkler head shall be mounted on a metal sprig above any attic access opening and where required by the authority having jurisdiction.
- An interior audible device shall be mounted in a central location audible from the master bedroom upon activation of the required flow switch.
- An exterior bell and interior audible device are required to be wired into the required flow switch on the fire sprinkler system. The bell, horn / strobe, and flow switch, along with the garage door opener are to be wired into a separate circuit breaker at the main electrical panel and labeled. The location of the required interior horn / strobe needs to be in a common area hallway audible from the master bedroom.

SUBMITTAL REQUIREMENTS:
 See Coastside Fire Protection District publication number DI-005, Residential Sprinkler Requirements dated 7/28/2015.
INSPECTIONS:
 See Coastside Fire Protection District publication number DI-005, Residential Sprinkler Requirements dated 7/28/2015; 1) underground flush, 2) above ground hydro, 3) Final fire system inspection.

ADDITIONAL NOTES:

- Premises Identification**
 Address numbers shall be internally illuminated and located to be plainly visible and legible from the street or road fronting the property.
 The size of the building address number shall be minimum 3/4" stroke by 4" high.
- Emergency Rescue Windows**
 Every sleeping room must have at least one operable window on the first three stories to permit emergency rescue. Emergency rescue "egress" window dimensions must meet or exceed a clear opening area of 5.7 sq. ft., clear opening width of 20" and clear opening height of 24".
- Stairway**
 Stairway clear width must be at least 36" wide and have a handrail located 34 - 38" above the nosing of the tread. The rise of the stair cannot be more than 8" and the run cannot be less than 9". The rise and run of the stairs must not deviate more than 3/8" for the entire flight of stairs. The stairway must have a vertical head clearance of at least 6'-8".
- Ventilation of Underfloor Crawl Space**
 Required ventilation shall be 1 sf of ventilation per 150 sf of underfloor sf, 1.5 sf for each 25 lf of wall. Vents shall be Vulcan Fire Safe Marin [or equal] with 1/16" mesh.
- Garage Ventilation**
 The garage shall be equipped with screened openings located within 6" of the floor. The clear area of the openings shall be not less than sixty (60) square inches per car stored in the garage.
 Vent size (14"x6") = .5833 sf per each vent.
 Garage: (2 cars x 60 sq. inch = 120 sq. inches; 0.833 of ventilation).
 0.83 sf / 0.583 sf = 1.43 "2 vents
 Vents shall be Vulcan Fire Safe Marin [or equal] with 1/16" mesh.
- Foundation Drainage**
 Grading shall be performed around the house so as to provide a slope away from the building with a minimum grade of 1/4" per 1' for a distance of at least 30" from the building.
 When the grade on the exterior edge of the building is higher than the grade beneath any portion of the building (west side and portions of north and south sides) foundation drainage pipe will be provided and will drain to a point lower than the interior grade of the building.
- San Mateo county Drainage Policy**
 Post-development peak flow (runoff) and velocity must be less than or equal to predevelopment peak flow and velocity in areas where there are no existing downstream storm drain systems. No additional runoff, caused by development, can cross property lines. In areas where there are existing storm drain systems, those systems must be of adequate size to accept the increased runoff, or, mitigation procedures must be taken. Mitigation procedures may include on-site storm drain detention or off-site storm drain improvements.
 To comply with County Policy, the applicant's civil engineer must submit a drainage report, hydrologic study, hydraulic calculations, and drainage improvement plans. (See Civil drawing C-1 included here-in).
- EV Infrastructure**
 Garage shall include EV charging infrastructure



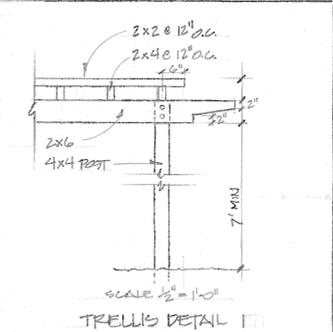
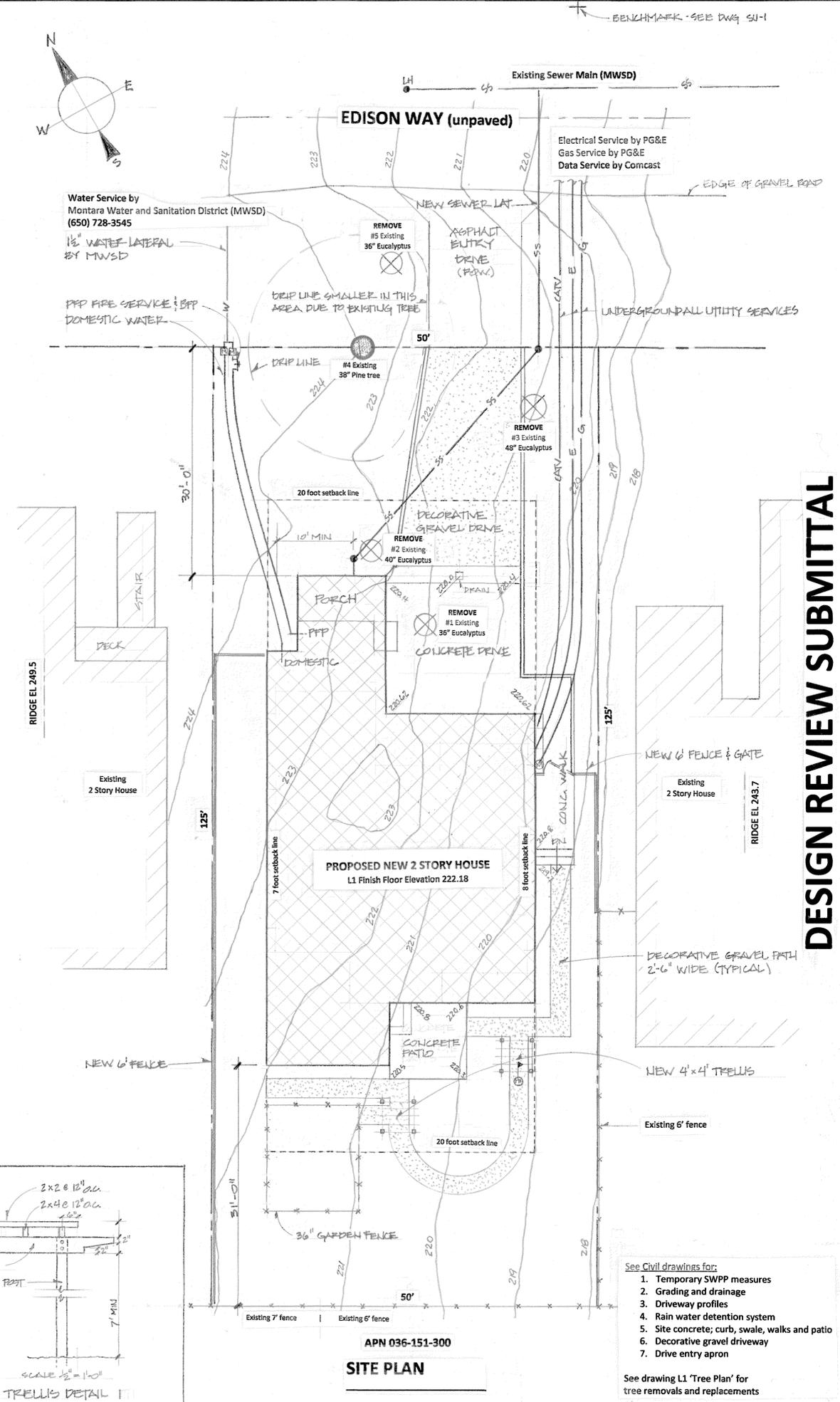
PROJECT INFORMATION

APN 036-151-300
ZONING DISTRICT: S-17 MIDCOAST
SETBACKS
 Minimum: 20 feet
 Proposed: 30 feet
FRONT
 Minimum: 20 feet
 Proposed: 30 feet
REAR
 Minimum: 20 feet
 Proposed: 31 feet
SIDE
 Combined Total 15 feet (minimum 5 feet)
 Proposed: 8 feet + 7 feet = 15 foot side setback total

PARCEL SIZE	COVERAGES	%	SF
(50' X 125') = 6,250 SF			
FOOTPRINT			
MAXIMUM ALLOWED		35.0 %	2,188 SF (0.35 X 6,250 = 2,187.5)
PROPOSED		27.0 %	1,692 SF (1,724 / 6,250 = 27.1)
L1 Livable			1,171 SF (16x8, 35x16.5, 14x21.5, 15.5x8, 10x4 = 1,171)
Garage			452 SF (21' x 21.5')
Porch			69 SF (11.5' x 6')
Total Footprint			1,692 SF
IMPERVIOUS HARDSCAPE			
MAXIMUM ALLOWED		10.0 %	625 SF (0.10 X 6,250 = 625)
PROPOSED		9.6 %	600 SF (600 / 6,250 = 0.096)
Drive			302 SF (17.5x17 + 2x5 - 1.5x4 = 301.5)
Curb / Swale			69 SF (28x5 + 29x5 + 2x20 = 68.5)
Walkway / Patio			229 SF (25x5 + 2x5 - 1x6 + 10x10 = 229)
Total Impervious			600 SF
PERVIOUS SURFACES			
PROPOSED			634 SF
Entry Drive (Decorative Gravel)			399 SF (16x12 + 28.5/2 = 399)
Paths (Decorative Gravel)			235 SF (22x3 + 94x2.5 = 235)
Total Pervious			634 SF
LANDSCAPE			
PROPOSED			3,324 SF
Planting / mulch (STANDARD LA)			3,156 SF (6250-1692 (less trellis)-600-634-168 = 3,156)
Vegetable Garden (SPECIAL LA)			168 SF (12x14 = 168)
Total			3,324 SF
SQUARE FOOTAGE			
MAXIMUM SF 'FAR' RATIO ALLOWED		53.0 %	3,313 SF (0.53 X 6,250 = 3,313)
PROPOSED		43.8 %	2,743 SF (2,743 / 6,250 = 0.438)
Livable			
L1		1,171 SF	16x8, 35x16.5, 14x21.5, 15.5x8, 10x4 = 1,171
L2		1,019 SF	30x12 - (2x8) + 30x12 + 11x32 - (1.5x3) - (1.5x16.5) + 4x10 + 4x5 - (4x12.5 stairs) = 1,018.75
Total Livable		2,190 SF	
Structure			
Livable		2,190 SF	(from above)
Garage		452 SF	(21' x 21.5' = 452)
Porch		69 SF	(11.5' x 6' = 69)
Trellis		32 SF	(4x4) x 2ea = 32)
Total Structure			2,743 SF

DRAWING INDEX

T1	TITLE PAGE, SITE PLAN, PROJECT INFO.	A4	DETAILS
SU-1	BOUNDARY & TOPOGRAPHY SURVEY	A5	WINDOW SCHEDULE, DOOR SCHEDULE
C-1	GRADING AND DRAINAGE	S1	STRUCTURAL NOTES
C-2	EROSION, SEDIMENT CONTROL, TREE PROTECT	S2	FOUNDATION PLAN, DETAILS
BMP	BEST MANAGEMENT PRACTICES	S3	FRAMING PLANS; LI-ROOF
C-3	SEWER PLAN	S4	STRUCTURAL DETAILS, SECTIONS
C-4	DOMESTIC WATER and PFP PLAN	FP1	FIRE SPRINKLER PLAN
C-5	DETAILS	P1	PLUMBING PLAN, FIXTURES
L	SOILS MANAGEMENT, STATEMENTS, TREE PRES.	M1	HEATING PLAN
L1	LANDSCAPE PLAN, TREE PLAN, INFO, NOTES	M2	TITLE 24 CALCULATIONS
L2	MWEO, H2O USE, HYDROZONES & IRR	E1	ELECTRICAL PLANS; L1-L2, SITE
A1	FLOOR PLANS, ROOF PLAN		
A2	FRONT / REAR ELEVATIONS, SECTIONS		
A3	SIDE ELEVATIONS		



DESIGN REVIEW SUBMITTAL

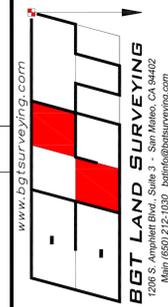
REVISIONS	BY
DR Submittal 07-18-2018	
DR Re-Submit 09-07-2018	
DR Re-Submit 09-28-2018	

TITLE SHEET / SITE PLAN
PILLER RESIDENCE
 VACANT LOT, EDISON STREET
 MONTARA, COUNTY OF SAN MATEO, CALIFORNIA

Project Designer: Thomas Piller
 Owner: Thomas & Mary Piller
 Survey: BGT Land Surveying
 Civil Engineer: Sigma Prime Geosciences, Inc.
 Geotechnical: Sigma Prime Geosciences, Inc.
 Structural Engineer: Brian Dotson

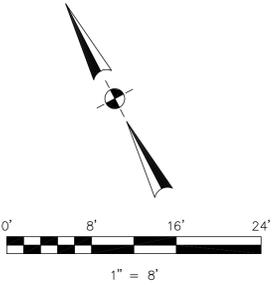
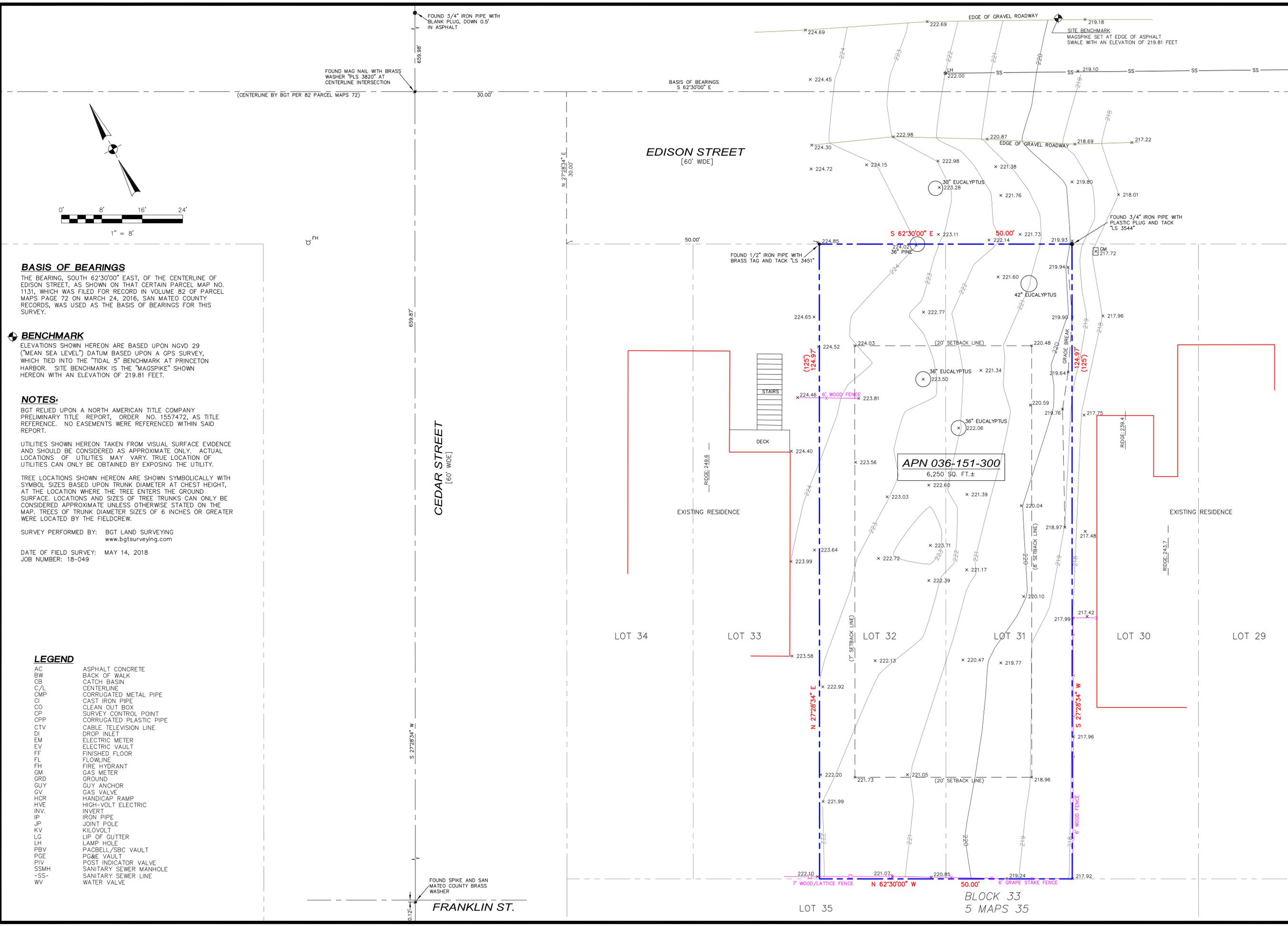
Date: 06-29-2018
 SCALE 1/8" = 1'-0"
 Drawn: PILLER
 Job:
 Sheet: **T1**
 Of: Sheets

See drawing L1 'Tree Plan' for tree removals and replacements



BOUNDARY AND TOPOGRAPHIC SURVEY
 LOTS 31-32, BLOCK 33, "AMENDED AND SUPPLEMENTAL MAP OF MONTARA" (BOOK 5 MAPS 35)
VACANT LOT, EDISON STREET
 MONTARA, COUNTY OF SAN MATEO, CALIFORNIA

Assessor Parcel Number:
 036-151-300
 Prepared For:
 THOMAS R PILLER
 13410 WARREN AVENUE
 EAST GARRISON, CA 93933
 Date: MAY 2018
 Scale: 1" = 8'
 Contour Interval: 1'
 Drawn by: LHL
 Revisions:
SU-1
 Job No. 18-049



BASIS OF BEARINGS

THE BEARING, SOUTH 62°30'00" EAST, OF THE CENTERLINE OF EDISON STREET, AS SHOWN ON THAT CERTAIN PARCEL MAP NO. 1131, WHICH WAS FILED FOR RECORD IN VOLUME 82 OF PARCEL MAPS PAGE 72 ON MARCH 24, 2016, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED UPON NGVD 29 ("MEAN SEA LEVEL") DATUM BASED UPON A GPS SURVEY, WHICH TIED INTO THE "TIDAL 5" BENCHMARK AT PRINCETON HARBOR. SITE BENCHMARK IS THE "MAGSPIKE" SHOWN HEREON WITH AN ELEVATION OF 219.81 FEET.

NOTES:

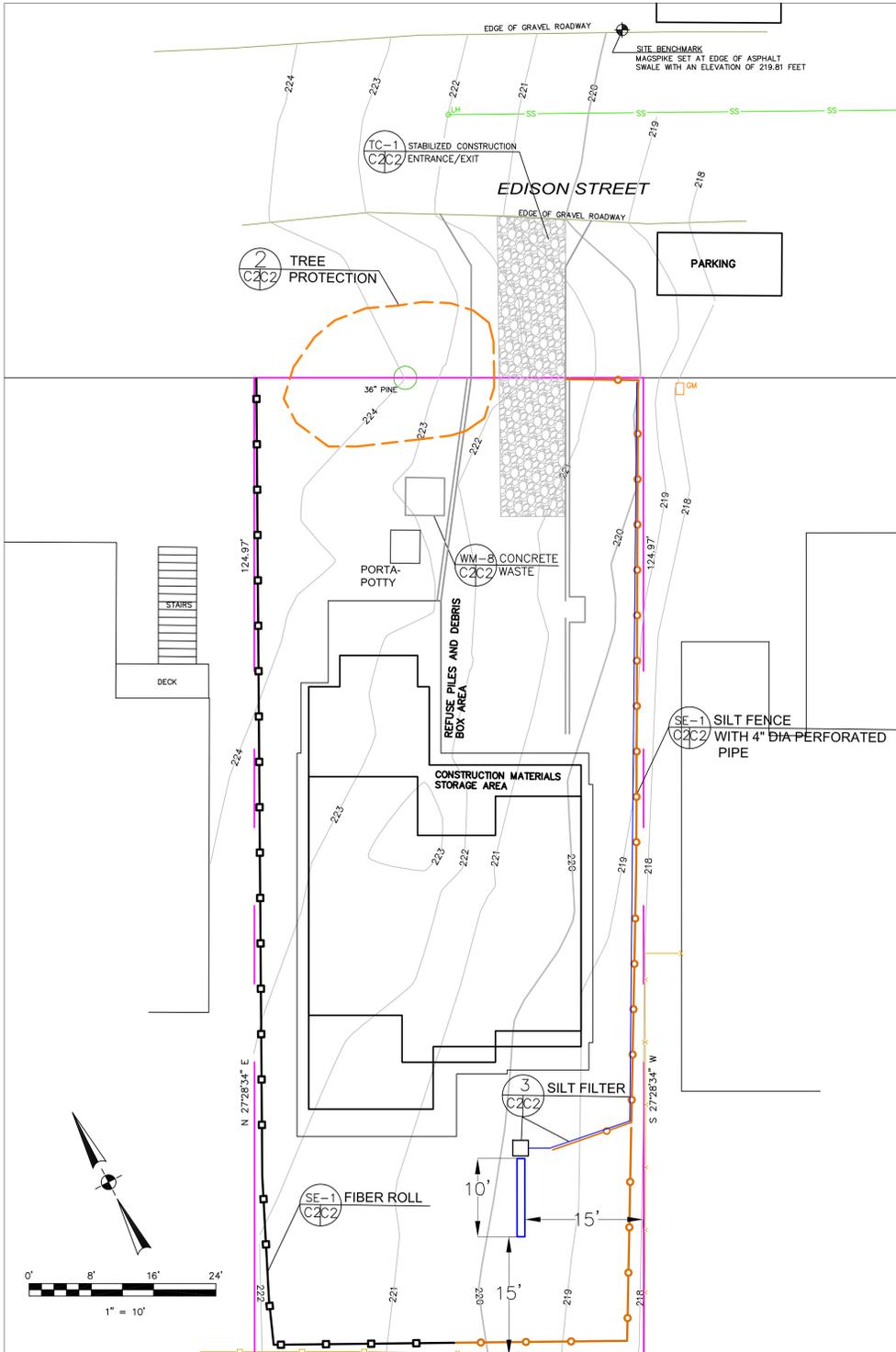
BGT RELIED UPON A NORTH AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT ORDER NO. 1557472, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT.
 UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.
 TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELDCREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING
 www.bgtlandsurveying.com

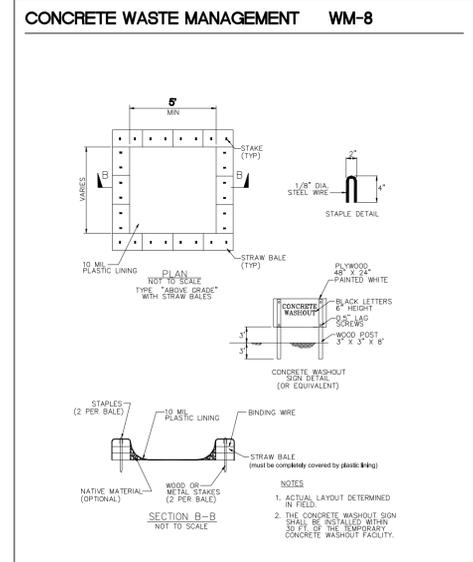
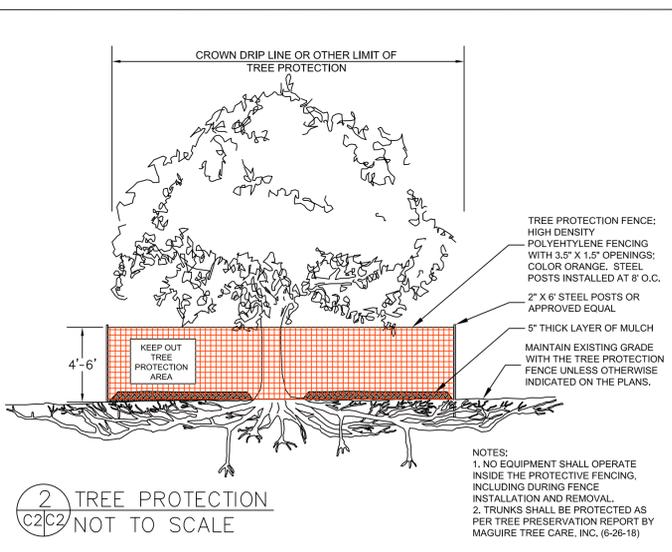
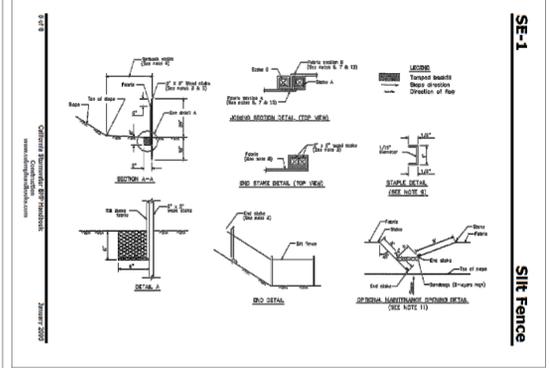
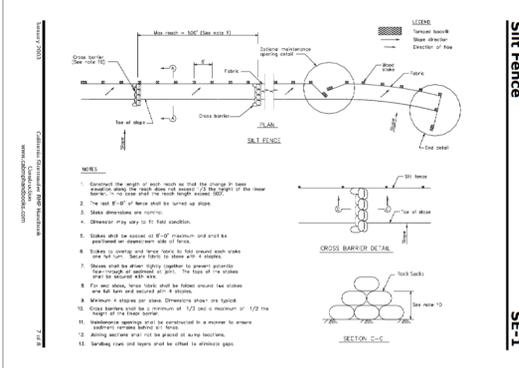
DATE OF FIELD SURVEY: MAY 14, 2018
 JOB NUMBER: 18-049

LEGEND

- AC ASPHALT CONCRETE
- BW BACK OF WALK
- CB CATCH BASIN
- C/L CENTERLINE
- CMP CORRUGATED METAL PIPE
- CI CAST IRON PIPE
- CO CLEAN OUT BOX
- CP SURVEY CONTROL POINT
- CPP CORRUGATED PLASTIC PIPE
- CTV CABLE TELEVISION LINE
- DI DROP INLET
- EM ELECTRIC METER
- EV ELECTRIC VAULT
- FF FINISHED FLOOR
- FL FLOWLINE
- FH FIRE HYDRANT
- GM GAS METER
- GRD GROUND
- GUY GUY ANCHOR
- GV GAS VALVE
- HCR HANDICAP RAMP
- HVE HIGH-VOLT ELECTRIC
- INV INVERT
- IP IRON PIPE
- JP JOINT POLE
- KV KILOVOLT
- LG LIP OF GUTTER
- LH LAMP HOLE
- PBV PACBELL/SBC VAULT
- PGE PG&E VAULT
- PIV POST INDICATOR VALVE
- SSMH SANITARY SEWER MANHOLE
- SS- SANITARY SEWER LINE
- WV WATER VALVE



- ### TREE PROTECTION NOTES
1. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE THROUGHOUT CONSTRUCTION PROCESS.
 2. TREE PROTECTION FENCES SHALL BE INSTALLED AS CLOSE TO DRIP LINES AS POSSIBLE.
 3. OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS.
 4. ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.
 5. ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.
 6. PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.



EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

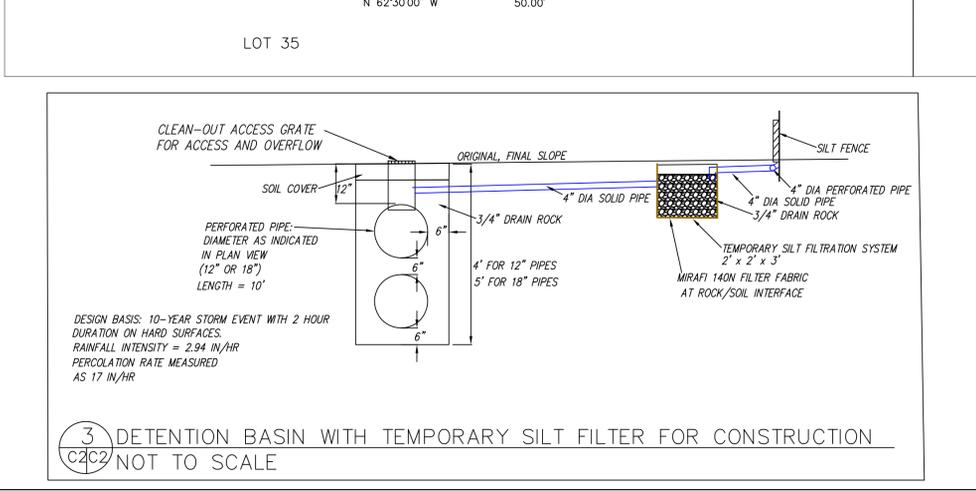
NAME: TOM PILLER

TITLE/QUALIFICATION: OWNER

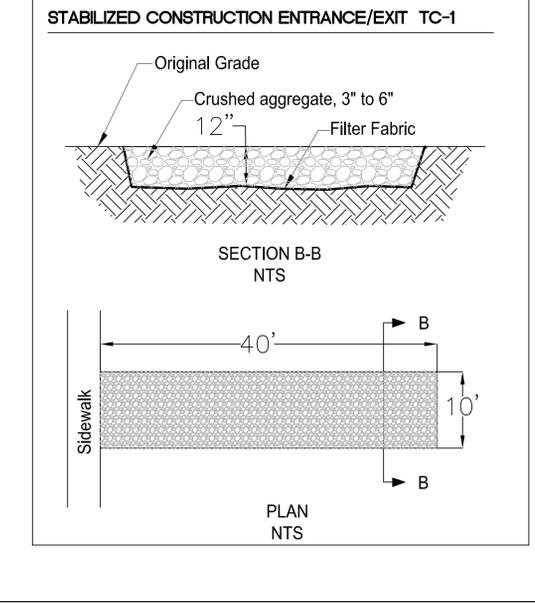
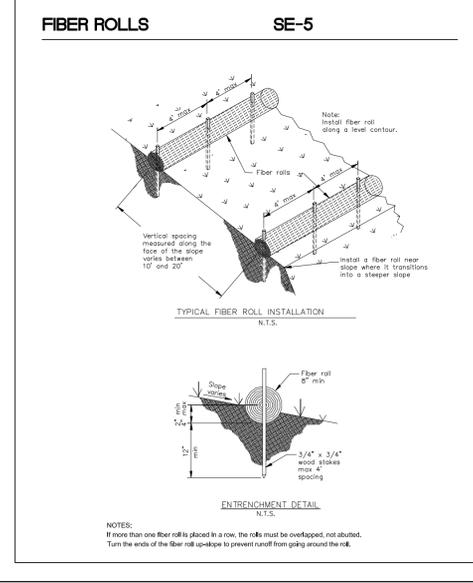
PHONE: 408-660-7210

PHONE:

E-MAIL: TRPILLER@OUTLOOK.COM



- ### EROSION CONTROL NOTES
1. GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 1 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
 2. NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
 3. ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
 4. ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HAUL.
 5. ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.
 6. ROCKED CONSTRUCTION ENTRANCE SHALL BE 40 FEET LONG BY 10 FEET WIDE AND CONFORM TO THE FOLLOWING:
 - A. THE MATERIAL FOR THE PAD SHALL BE 3 TO 6 INCH STONE.
 - B. PAD SHALL BE NOT LESS THAN 12" THICK.
 - C. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
 - D. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA THAT DRAINS TO THE CONCRETE WASHOUT AREA.
 7. CONCRETE WASHOUT AREA SHALL BE SURROUNDED BY A SINGLE LAYER OF SAND BAGS TO CONTAIN FLUIDS. CHANNEL INTO AREA SHALL BE CLEARED TO ALLOW TIRE DEBRIS (SEE NOTE 6.D. ABOVE).



EROSION AND SEDIMENT CONTROL AND TREE PROTECTION PLAN

PILLER PROPERTY
EDISON STREET
MONTARA
APN 036-151-300

DATE: 7-16-18
DRAWN BY: CMK
CHECKED BY: AZG
REV. DATE: 8-31-18
REV. DATE: 9-28-18
REV. DATE:

Sigma Prime Geosciences, Inc.
SIGMA PRIME GEOSCIENCES, INC.
332 PRINCETON AVENUE
HALF MOON BAY, CA 94019
(650) 728-3590
FAX 728-3593

REQUIRED PROFESSIONAL ENGINEER
CHARLES W. KISSICK
No. 62264
9-30-19
EXPIRES
CIVIL
STATE OF CALIFORNIA

SHEET
C-2



SAN MATEO COUNTYWIDE

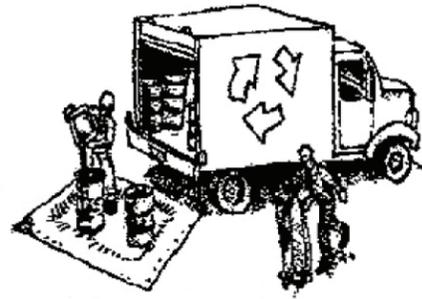
Water Pollution Prevention Program

Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



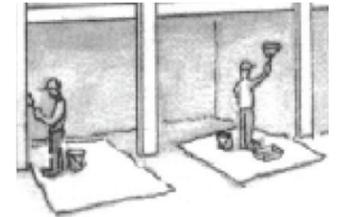
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

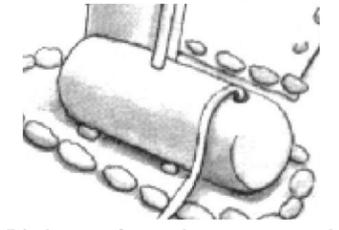
Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!



TREE PRESERVATION DURING CONSTRUCTION GUIDELINES

Prepared for: Tom Piller, APN 036-151-300, Edison St., Montara CA

Prepared by: Paul Maguire, Maguire Tree Care, Inc., ISA Certified Arborist #5204A, 650-574-0215, 8/26/2018, Rev 9/7/2018

ASSIGNMENT

I was asked to provide a brief letter outlining some preservation measures on one tree that will be left on an empty parcel while construction takes place.

Site Description:

The site is located in Montara, California. This is an empty parcel. Property is located on Edison Street, APN 036-151-300.

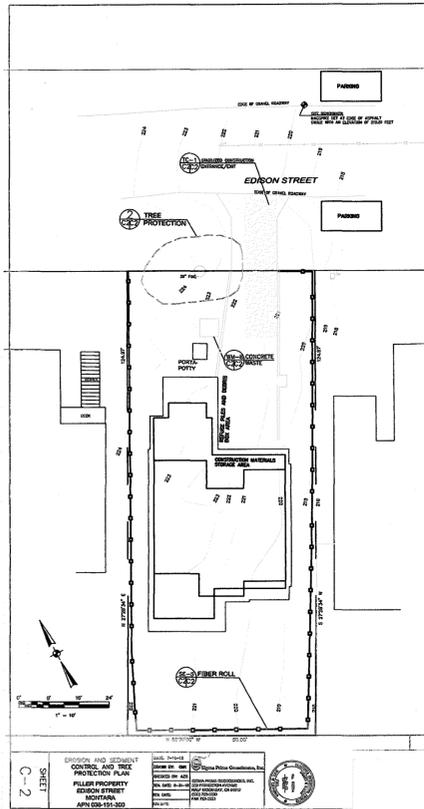
There are currently 5 trees on the property, but 4 of the trees will be removed. The one tree left standing will need to be protected during the construction of the new home.

Tree Description:

The tree that will be left on the property is a large, mature tree; Pinus radiata.

The following drawing C-2 shows the pine tree to remain and the location of the tree protection fencing.

Table with 3 columns: Species, Condition, Preserve. Row: Pinus radiata, Good/Fair, Yes.

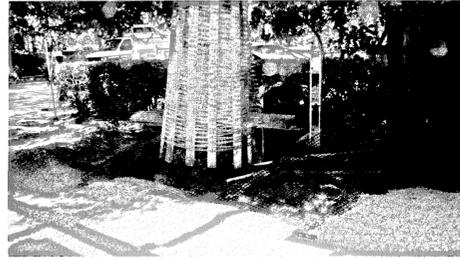


TREE PRESERVATION GUIDELINES

PROTECTION MEASURES TO BE TAKEN

TRUNK PROTECTION

The trunk of the tree needs to be well protected. The best method of doing this will be to place 2x4 lumber vertically around the trunk up to a height of 8'. Then, wrap the trunk with orange plastic fencing to secure the 2x4 in place.



The above image provides an example of using temporary metal fencing. Ideally, this should be placed as far away from the trunks as possible.

ROOT ZONE PROTECTION

Reducing compaction:

If possible, the area under the drip line of the tree should have a 2-3" layer of coarse wood chip mulch placed over the top. 3/4" plywood can then be laid over the top of the wood chip mulch.

Metal fencing can also be placed around the tree to box it in, creating an area that is off limits. Ideally, the fencing would be placed as far out from the trunks as possible giving more protection to the trees.

Cutting of roots:

More than likely some roots will need to be cut. Anywhere within the drip line of either tree that needs trenching or grading should be hand dug. Roots up to 3" in diameter can be cut cleanly with a sharp saw, but anything over 3" should be looked at by an ISA Certified Arborist.

Once the roots have been cut, they either need to be backfilled very quickly (a day or two at the most) or protected from the sun/air. If backfilling quickly is not possible, I recommend laying a triple thick layer of burlap over the faces of the cut roots and wetting it down a few times a day to keep the roots from drying out.

Reducing contamination in the root zone:

A common problem on construction sites where trees are trying to be protected is the dumping of material on the soil above the roots. Washing out of tools and equipment should not be done under the drip lines of the trees, and a designated wash out spot should be established.

Irrigating before, during and after the project:

As noted above, it would be wise to install soaker hoses under the wood chips that are placed over the root zones. Prior to any work being done on the site, I would suggest deeply watering the trees a few times. A good rule for deep watering would be to turn the water source on for 8 hrs at a time.

During the project, watering can be done as needed, particularly when the roots have been disrupted. After final completion of the project, supplemental watering can also be done.

ADDITIONAL THOUGHTS

Prior to any work taking place on the site, all contractors and sub contractors should be made aware of the tree protection guidelines laid out in this report. The successful outcome of the trees will only be possible if all parties involved on the project understand and follow the above guidelines.

If I can be of further assistance, please do not hesitate to call.

Respectfully, Paul Maguire, Maguire Tree Care, Inc., 650-574-0215

PROJECT LANDSCAPE INFORMATION

APN 036-151-300

Table with columns: Category, Sub-category, Area (SF). Includes PARCEL SIZE (50' X 125'), COVERAGE (HOUSE FOOTPRINT, IMPERVIOUS HARDSCAPE, PERVIOUS SURFACES, LANDSCAPE), and SUMMARY TOTALS.

LANDSCAPE NOTES & CERTIFICATIONS

Required Statements and Certification (Title 23, Chapter 2.7)

- 1. I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plans.
2. The final set of landscape and irrigation plans shall bear the signature of a licensed landscape architect, licensed landscape contractor, certified irrigation designer, licensed architect, licensed engineer, licensed land surveyor, or personal property owner.
3. A diagram of the irrigation plan showing hydrozones shall be kept with the irrigation controller for subsequent management purposes.
4. A certificate of completion shall be filled out and certified by either the designer of the landscape plans, irrigation plans, or the licensed landscape contractor for the project.
5. An irrigation audit report shall be completed at the time of final inspection.

NOTES:

- 6. 75% of landscape, excluding edibles and areas using recycled water, shall consist of plants that average a WUCOLS plant factor of 0.3 per WUCOLS plants database at http://ucanr.edu/sites/WUCOLS/
7. A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except creeping or rooting ground covers and vegetable garden.

Statement of Compliance:

I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package.

Signature of Thomas R. Piller, Owner / Applicant: Thomas R. Piller



PERRY LABORATORY HORTICULTURAL ADVISING AND TESTING

Tom Piller, Montara Soil, 06/29/18, Page 2

The pH value of this soil indicates it is moderately acid in reaction and is slightly higher than desirable for California Native plants. The low electrical conductivity reading indicates the levels of soluble salt are low. The fertility analysis shows low nitrogen and sulfate for this soil at this time. The levels of all other nutrients are in good ranges.

The sodium and chloride levels are low and should not cause toxicity problems. The low SAR and ESP values show that the sodium that is present should not cause a hazard to the soil structure.

The organic matter in this soil is satisfactory at this time. The free lime content in this soil is safely low. The mechanical analysis shows that this is a loam soil in texture and is satisfactory for a general landscape. A loam soil will have an infiltration rate of approximately 0.5 inches per hour.

Preplanting should include the following materials per 1000 sq. ft.:

Table with 2 columns: Material, Amount (lbs). Includes Soil sulfur (90% S), Nitroform (38-0-0), Potassium sulfate (0-0-50), Ferrous sulfate (31% Fe).

The above amendments should be incorporated thoroughly into the upper 6-8" of the soil profile.

If you have any questions, please feel free to contact me.

Respectfully submitted,

Clifford B. Low M.S.

424 AIRPORT BLVD WATSONVILLE, CA 95076 TELEPHONE: 831/722-5606 FAX: 831/722-5053 www.perrylaboratory.com

424 AIRPORT BOULEVARD WATSONVILLE, CA 95076 Telephone: 831/722-5606 Fax: 831/722-5053

June 29, 2018

PERRY LABORATORY HORTICULTURAL ADVISING AND TESTING Tom Piller 13410 Warren Avenue East Garrison, CA 93933

Soil Analyses

June 25, 2018

Chemical analyses on samples received:

Large table with multiple columns: Sample Identification, pH, Electrical Conductivity, ESP, SAR, Cation Exchange Capacity, etc. Includes sub-tables for Mechanical Analysis and Nutrient Analysis.

DESIGN REVIEW SUBMITTAL

REVISIONS table with columns: REVISIONS, BY, Date.

SOIL MANAGEMENT, CERTIFICATIONS, TREE PRESERVATION PILLER RESIDENCE VACANT LOT, EDISON STREET MONTARA, COUNTY OF SAN MATEO, CALIFORNIA

Project Designer: Thomas Piller Owner: Thomas & Mary Piller

Table with columns: Date, Scale, Drawn, Job, Sheet, Of.

SOIL MANAGEMENT REPORT

PLANT SELECTION						
WUCOLS - North Central Coastal Region						
WUCOLS = Water Use Classification Of Landscape Species						
N = Native						
G = grass						
Gc = ground cover						
P = perennial						
S = shrub						
T = tree						
V = vine						
Item	WUCOL	Botanical Name	Common Name	Water Use	sun	h x w
1	G N A	Muhlenbergia rigens	Deer grass	Low	sun	3x3
2	Gc N	Artemisia californica "Montara"	Montara sagebrush (David's Choice)	Low	sun	1x3
3	Gc N	Ceanothus maritimus "Frosty Dawn"	Frosty Dawn ceanothus	Low	sun / shade	2x4
4	Gc S N	Arctostaphylos edmundsii "Carmel Sur"	Carmel Sur manzanita (Bronze mat)	Low	sun	1x6
5	Gc S N	Arctostaphylos hookeri "Wayside"	Wayside manzanita	Low	sun / shade	3x8
6	Gc S N	Arctostaphylos "Pacific Mist"	Pacific Mist manzanita	Low	sun	2x6
7	Gc P N A	Salvia spathacea (shade) and cvs.	Hummingbird/pitcher sage	Low	sun / shade	2x4
8	P N A	Epilobium spp. (Zauschneria) and cvs.	California fuchsia	Low	sun / shade	1x3
9	P N	Erigeron glaucus	Beach aster (seaside daisy)	Low	sun	1x2
10	P N	Eriophyllum lanatum & cvs (siskiyou)	Woolly sunflower	Low	sun	1x2
11	P N	Monardella villosa	Coyote mint	Very Low	sun / shade	2x2
12	S N	Dendromecon harfordii	Island bush poppy	Low	sun	8x8
13	S N	Encelia californica	Brittle bush or coast sunflower	Low	sun	4x4
14	S N	Eriogonum parvifolium	Sea cliff buckwheat	Low	sun	2x2
15	S N	Frangula californica & (Rhamnus californica)	Coffeeberry (mound san bruno)	Low	sun / shade	6x6
16	S N	Gambelia speciosa & (Galvesia speciosa)	Island bush snapdragon	Low	sun / shade	4x4
17	S N	Mimulus aurantiacus (Diplacus arachnoideus)	Sticky monkey flower	Very Low	sun / shade	2x2
18	S N	Rhus integrifolia	Lemonade berry	Low	sun / shade	10x10
19	S N A	Salvia apiana	White sage	Very Low	sun	3x3
20	S N	Salvia leucophylla and cvs.	Purple sage	Low	sun	3x6
21	S N A	Ribes vibriifolium (shade)	Evergreen currant	Low	sun / shade	4x4
22	S N	Lonicera hispidula varicans	California wild honeysuckle	Low	sun / shade	10x10
23	V N	Vitis californica	California wild grape	Low	sun / shade	40x40
24	T S N	Ceanothus griseus "Ray Hartman"	Wild lilac	Low	sun / shade	15x15
25	S T N	Myrica californica (See Morella californica)	Pacific Wax Myrtle	Low	sun / shade	15x6
26	S T N	Sambucus spp.	Elderberry	Low	sun / shade	15x15

LANDSCAPE NOTES

- Soil amendments shall be thoroughly incorporated into the upper 6-8" of the soil profile in accordance with Perry Laboratory soil amendment report dated 6/29/2018 on landscape drawing 'L'.
- A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except creeping or rooting ground covers and vegetable garden.

PROJECT LANDSCAPE INFORMATION

APN 036-151-300

PARCEL SIZE (50' X 125') 6,250 SF

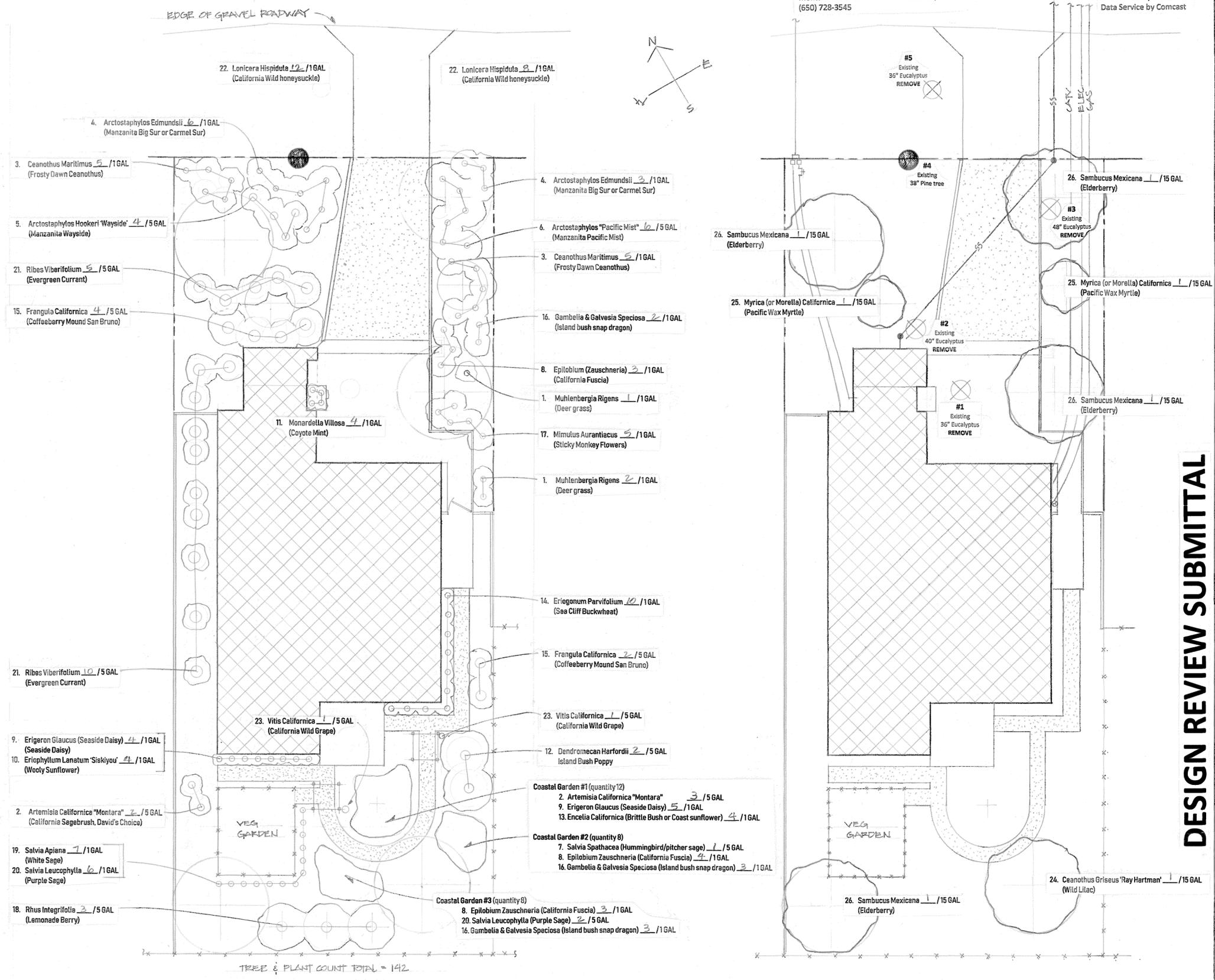
COVERAGE

HOUSE FOOTPRINT	
PROPOSED	1,692 SF
IMPERVIOUS HARDSCAPE	
PROPOSED	600 SF
Drive	302 SF
Curb / Swale	69 SF
Walkway / Patio	229 SF
Total Impervious	600 SF
PERVIOUS SURFACES	
PROPOSED	634 SF
Entry Drive (DG)	399 SF
Paths (Decorative Gravel)	235 SF
Total Pervious	634 SF
LANDSCAPE	
PROPOSED	3,324 SF
Planting / mulch (STANDARD LA)	3,156 SF
Vegetable Garden (SPECIAL LA)	168 SF
Total	3,324 SF
SUMMARY TOTALS	
PROPOSED	
New House Footprint	1,692 SF
Impervious Surfaces	600 SF
Pervious Surfaces	634 SF
Standard Planting Area (LA)	3,156 SF
Special Landscape Area (SLA)	168 SF
Total	6,250 SF

Tree Descriptions: See Maguire Tree Care, Inc. Report Dated 09.04.2018

The following table lists the trees that are currently standing on the parcel. The trees do not have tags on them, but they are numbered here starting from the back of the property towards the front.

Tree	DBH/Height	Species	Status	Health/Structure
1	36" x 100'	eucalyptus globulus	Remove	Good/Fair
2	40" x 100'	eucalyptus globulus	Remove	Good/Fair
3	48" x 100'	eucalyptus globulus	Remove	Good/Fair
4	38" x 100'	pinus radiata	Stay	Good/Fair
5	36" x 80'	eucalyptus globulus	Remove	Good/Fair



LANDSCAPE PLAN

TREE PLAN

DESIGN REVIEW SUBMITTAL

REVISIONS	BY
DR Submittal 07-18-2018	
DR Re-Submit 09-07-2018	
DR Re-Submit 09-26-2018	

LANDSCAPE & TREE PLAN
PILLER RESIDENCE
 VACANT LOT, EDISON STREET
 MONTARA, COUNTY OF SAN MATEO, CALIFORNIA

Project Designer: Thomas Piller
 Owner: Thomas & Mary Piller
 Planting Consultant: Annaloy Nickum, Wildscapes Garden Design

Date	06-29-2018
SCALE	1/8" = 1'-0"
Drawn	PILLER
Job	
Sheet	L1
Of	Sheets

PROJECT LANDSCAPE INFORMATION

APN 036-151-300

PARCEL SIZE (50' X 125') 6,250 SF

COVERAGE

HOUSE FOOTPRINT PROPOSED 1,692 SF

IMPERVIOUS HARDSCAPE PROPOSED 600 SF

PERVIOUS SURFACES PROPOSED 634 SF

LANDSCAPE PROPOSED 3,324 SF

SUMMARY TOTALS PROPOSED

New House Footprint 1,692 SF

Impervious Surfaces 600 SF

Pervious Surfaces 634 SF

Standard Planting Area (LA) 3,156 SF

Special Landscape Area (SLA) 168 SF

Total 6,250 SF

PLANT SELECTION

WUCOLS - North Central Coastal Region

WUCOLS = Water Use Classification Of Landscape Species

N = Native

G = grass

Gc = ground cover

P = perennial

S = shrub

T = tree

V = vine

Item	WUCOL	Botanical Name	Common Name	Water Use	sun	h x w
1	G N A	Muhlenbergia rigens	Deer grass	Low	sun	3x3
2	Gc N	Artemisia californica 'Montara'	Montara sagebrush (David's Choice)	Low	sun	1x3
3	Gc N	Ceanothus maritimus 'Frosty Dawn'	Frosty Dawn ceanothus	Low	sun/shade	2x4
4	Gc S N	Arctostaphylos edmundsii 'Carmel Sun'	Carmel Sun manzanita (Bronze mat)	Low	sun	1x6
5	Gc S N	Arctostaphylos hookeri 'Wayside'	Wayside manzanita	Low	sun/shade	3x8
6	Gc S N	Arctostaphylos 'Pacific Mist'	Pacific Mist manzanita	Low	sun	2x2
7	Gc P N A	Salvia spathacea (shade) and cvs	Hummingbird/pitcher sage	Low	sun/shade	2x4
8	P N A	Epiobium spp. (Zauschneria) and cvs.	California fuchsia	Low	sun/shade	1x2
9	P N	Erigeron glaucus	Beach aster (seaside daisy)	Low	sun	1x2
10	P N	Eriophyllum lanatum & cvs (siskiyou)	Woolly sunflower	Low	sun	1x2
11	P N	Monardella villosa	Coyote mint	Very Low	sun/shade	2x2
12	S N	Dendromacron hartfordii	Island bush poppy	Low	sun	6x8
13	S N	Eriocaulon californicum	Brittle bush or coast sunflower	Low	sun	3x4
14	S N	Eriogonum parvifolium	Sea cliff buckwheat	Low	sun	2x2
15	S N	Frangula californica & (Rhamnus californica)	Coffeeferry (mound san bruno)	Low	sun/shade	6x8
16	S N	Gambelia speciosa & (Galvesia speciosa)	Island bush snapdragon	Low	sun/shade	4x4
17	S N	Mimulus aurantiacus (Diplacus arachnoideus)	Sticky monkey flower	Very Low	sun/shade	2x2
18	S N	Rhus integrifolia	Lemonade berry	Low	sun/shade	10x10
19	S N A	Salvia apiana	White sage	Very Low	sun	3x3
20	S N	Salvia leucophylla and cvs.	Purple sage	Low	sun	3x6
21	S N A	Ribes viburnifolium (shade)	Evergreen currant	Low	sun/shade	4x4
22	V N	Lonicera hispidula vacillans	California wild honeysuckle	Low	sun/shade	10x10
23	V N	Vitis californica	California wild grape	Low	sun/shade	40x40
24	T S N	Ceanothus griseus 'Ray Hartman'	Wild lilac	Low	sun/shade	15x15
25	T S N	Myrica californica (See Morella californica)	Pacific Wax Myrtle	Low	sun/shade	15x5
26	T S N	Sambucus spp.	Elderberry	Low	sun/shade	18x15

MWEO PROJECT INFORMATION

Applicant Information:

Name: Thomas Pillier
 Phone: (408) 660-7210
 Address: 13410 Warren Ave, East Garbison, CA 93933
 Email: tpiller@outlook.com

Project

Site Address: (vacant land) Edison Street, Montara, CA 94037 (between Cedar and Date Streets on Edison)

Project Type (new dwelling, commercial, or rehab): new dwelling

Currently, this project does not include landscaping. I am aware that future landscape installations may be required to comply with the Model Water Efficient Landscape Ordinance (MWEO) requirements per California Code of Regulations, Title 23, Division 2, Chapter 2.7.

This project does incorporate landscaping. (Please provide the information below specific to the landscape area which will be completed as part of this project and specify the compliance method to be used):

Total Landscape Area (sq. ft.): 3,324 sq. ft. Turf Area (sq. ft.): 0 sq. ft.

Non-Turf Plan Area (sq. ft.): 3,156 sq. ft. Special Landscape Area (sq. ft.): 168 sq. ft.

Water Type (potable, recycled, well): potable

Name of water purveyor (if not served by private well): Montara Water and Sanitation District

Compliance Method

Performance (Items included in Performance Checklist is included on plans)

Prescriptive (Items included in Prescriptive Checklist is included on plans)

Signature

I certify the above information is correct and agree to comply with the requirements of the MWEO.

[Signature] Date: 6/29/2018
 Signature of property owner or authorized representative

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Hydrozone # (Planting Description)	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF*IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)*
Regular Landscape Areas							
zone 1 (front)	0.2	drip	0.81	0.25	1237	305.4	6382
zone 2 (side yard W)	0.2	drip	0.81	0.25	488	120.49	2518
zone 3 (side yard E)	0.2	drip	0.81	0.25	152	37.53	784
zone 4 (rear yard)	0.2	drip	0.81	0.25	1279	315.8	6598
					Totals	3156(A)	779.2(1997)
Special Landscape Areas							
vegetable garden				1	168	168	3510
					Totals	168(C)	168(D)
						ETWU Total	19792
						Maximum Allowed Water Allowance (MAWA)*	37847

Hydrozone #/Planting Description
 E.g. 1) front lawn
 2) low water use plantings
 3) medium water use planting

Irrigation Method
 overhead spray or drip

Irrigation Efficiency
 0.75 for spray head
 0.81 for drip

ETAF (Annual Gallons Allowed) = (Eto) / (0.62) [(ETAF x LA) / ((1-ETAF) x SLA)]
 where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

ETAF Calculations

Regular Landscape Areas	Total ETAF x Area	(B)	779
Total Area	(A)	3156	
Average ETAF	B + A	0.247	

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas	Total ETAF x Area	(B+D)	947
Total Area	(A+C)	3324	
Site-wide ETAF	(B+D) / (A+C)	0.285	

IRRIGATION REQUIREMENTS DURING LANDSCAPE ESTABLISHMENT

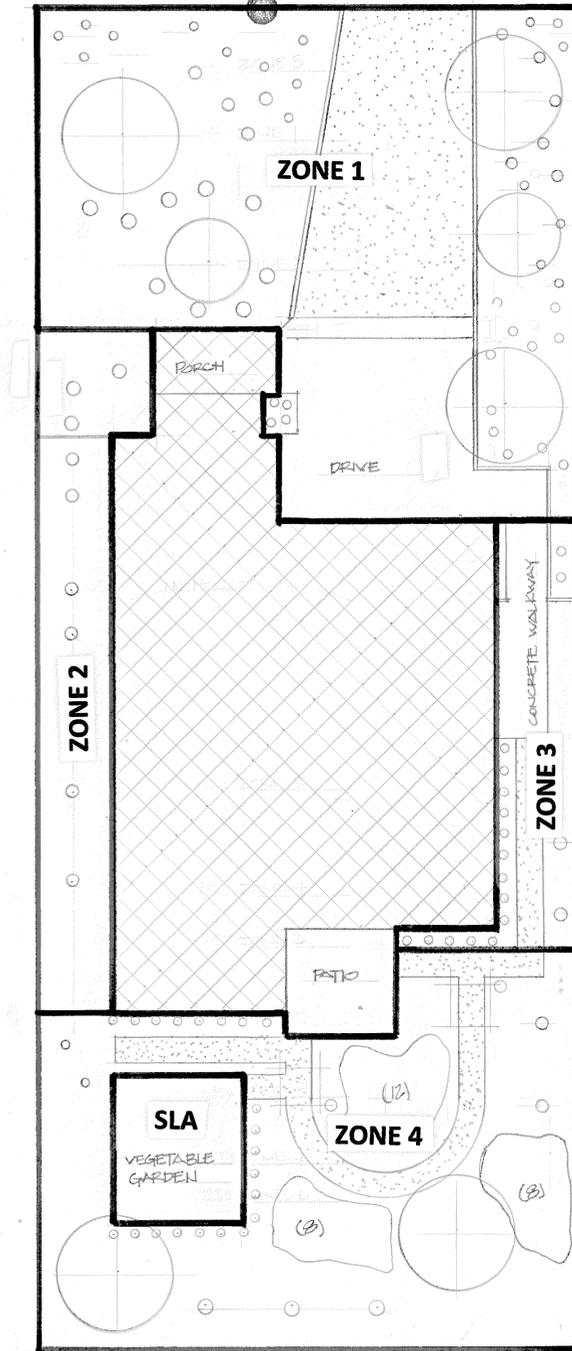
plant class	quantity	size	Irrigation data				water usage, Gallons								
			gals/hrs/ea	total gals/hrs	run time, hr/minutes	week	month	year	total						
off-site	20	L	off-site (street to P) hand water only			1	4.33	10	gal	10	43	8	340	gal	
zone 0 (front off-site)	41	L	4	2	8	15	1	4.33	82	gal	82	355	8	2,840	gal
zone 1 (front, trees)	5	L	0	2	12	15	1	4.33	15	gal	15	85	8	520	gal
zone 1 (front, VL plants)	12	VL	2	2	4	15	1	4.33	12	gal	12	52	8	416	gal
zone 2 (side VL)	10	L	4	2	8	15	1	4.33	20	gal	20	87	8	693	gal
zone 3 (side E)	14	L	4	2	8	15	1	4.33	28	gal	28	121	8	970	gal
zone 4 (rear, plants)	98	L	4	2	8	15	1	4.33	116	gal	116	502	8	4,018	gal
zone 4 (rear, trees)	2	L	8	2	12	15	1	4.33	6	gal	6	28	8	232	gal
Subtotal On-site SLA	142	L	6	2	12	15	1	4.33	6	gal	289	1,251	8	10,011	gal
veg garden SLA	80	L	1	2	2	15	1	4.33	40	gal	40	175	8	1,387	gal
Landscape totals											329	1425	8	11,398	gal

Hydrozone Information Table

- Zone 1 (Front Yard; Very Low + Low water plants and trees)
- Zone 2 (Side Yard West; Low water plants)
- Zone 3 (Side Yard East; Low water plants)
- Zone 4 (Rear Yard; Low water plants and trees)

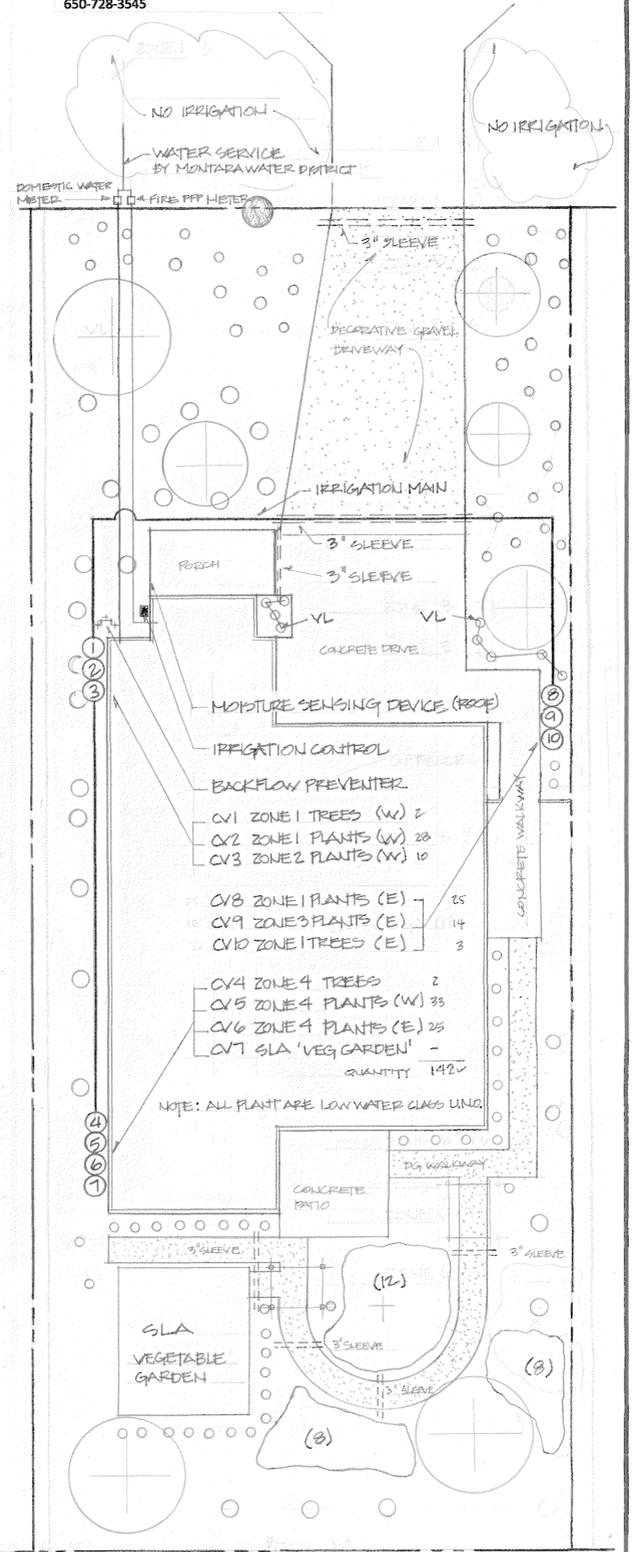
IRRIGATION NOTES Title 23, Chapter 2.7

- Pressure regulating devices are required if water pressure is below or exceeds the recommended pressure of the specified irrigation devices.
- Manual shut-off valves shall be required, as close as possible to the point of connection of the water supply, to minimize water loss in case of an emergency or routine repair.
- Check valves or anti-drain valves are required on all sprinkler heads where low point drainage could occur.
- Areas less than 10-feet in width in any direction shall be irrigated with subsurface of drip irrigation.
- Overhead irrigation shall not be permitted within 24-inches of any permeable surface.
- A diagram of the irrigation plan showing hydrozones shall be kept with the irrigation controller for subsequent management purposes.
- An irrigation audit report shall be completed at the time of final inspection.



HYDROZONE PLAN

Montara Water & Sanitation District
 P.O. Box 370131
 8888 Cabrillo Hwy
 Montara, CA 94037
 650-728-3545



IRRIGATION PLAN

REVISIONS

REVISIONS	BY
DR Submittal 07-18-2018	
DR Re-Submit 09-07-2018	
DR Re-Submit 09-28-2018	

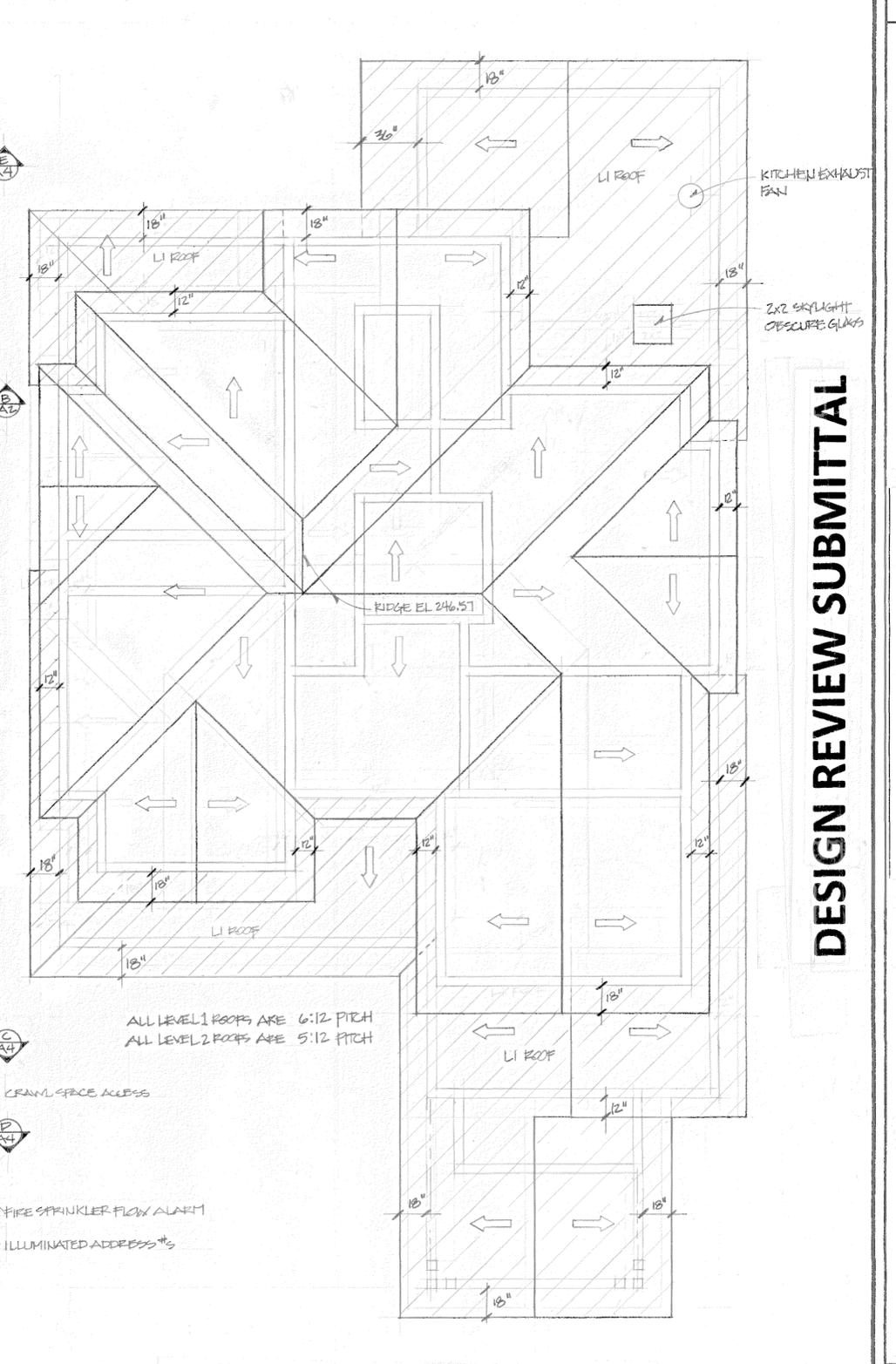
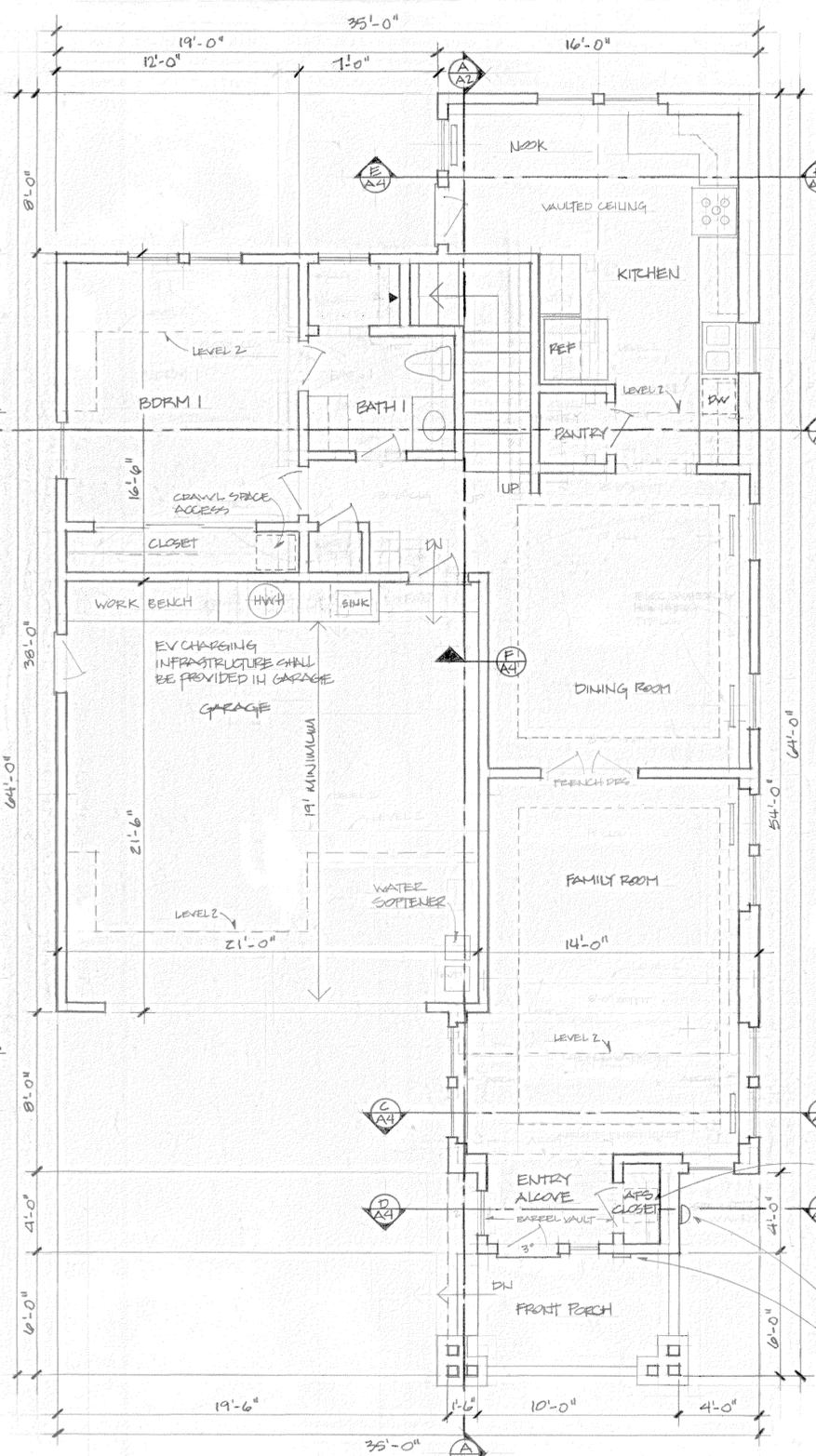
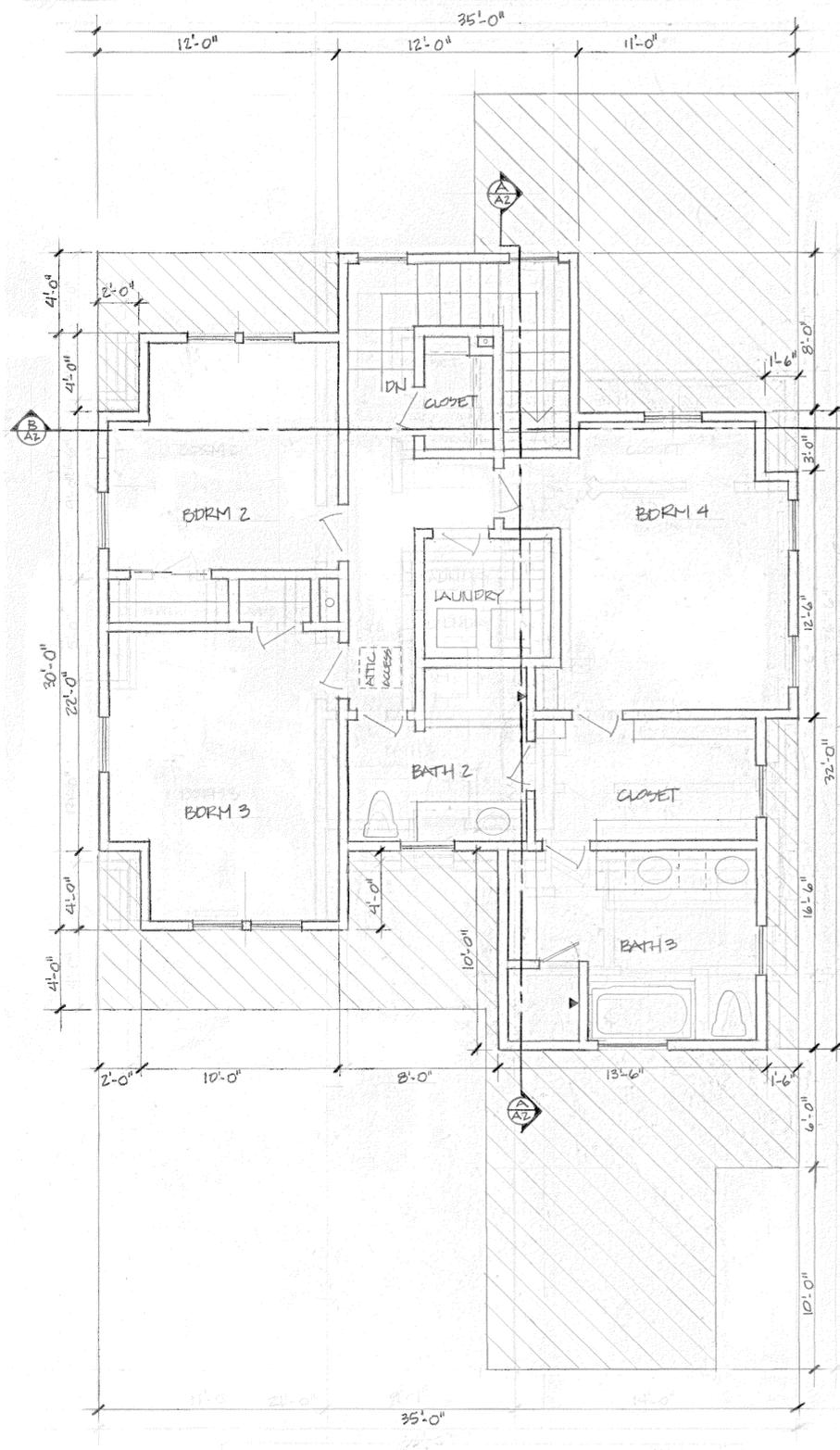
PROJECT INFO, MWEO, IRRIGATION PLAN
 PILLER RESIDENCE
 VACANT LOT, EDISON STREET
 MONTARA, COUNTY OF SAN MATEO, CALIFORNIA

Project Designer: Thomas Pillier
 Owner: Thomas & Mary Pillier

Date: 06-29-2018
 SCALE 1/8" = 1'-0"
 Drawn: PILLER
 Job:
 Sheet: L2
 Of: Sheets

SQUARE FOOT CALCULATION

Livable		
L1	1,171 SF	16x8, 35x16.5, 14x21.5, 15.5x8, 10x4 = 1,171
L2	1,018 SF	30x12 - (2x8) + 4x0.5 + 30x12 + 11x32 - (1.5x3) - (1.5x16.5) + 4x10 - (4x12.5 stairs) = 1,018.75
Total Livable	2,190 SF	
Structure		
Livable	2,190 SF	(from above)
Garage	452 SF	(21 x 21.5 = 452)
Porch	69 SF	(11.5 x 6 = 69)
Total Structure	2,711 SF	



DESIGN REVIEW SUBMITTAL

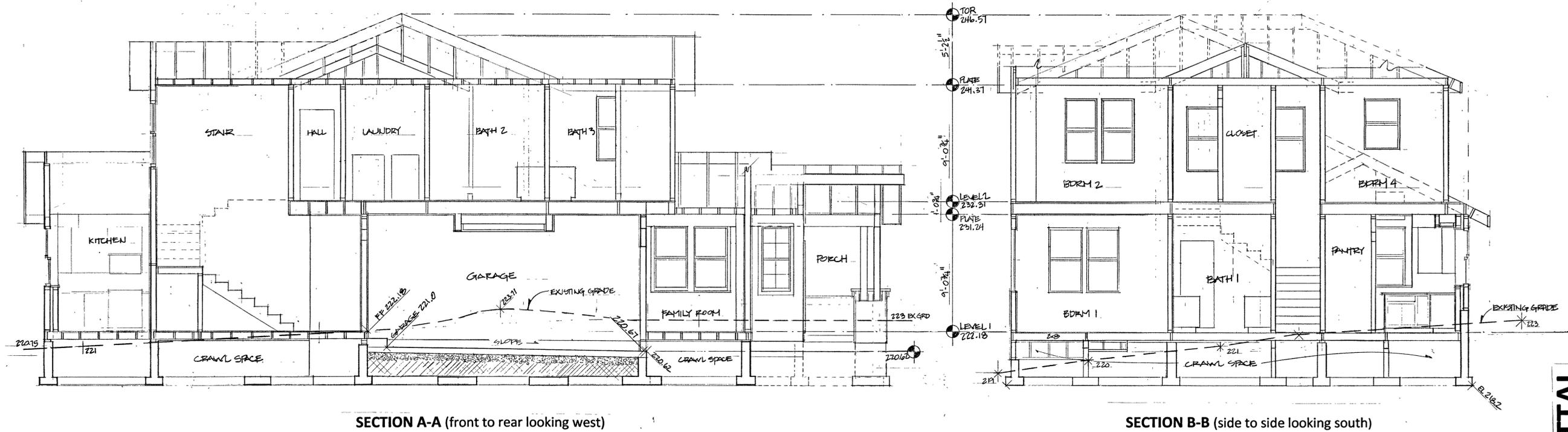
REVISIONS	BY
DR Submittal 07-18-2018	
DR Re-Submit 09-07-2018	
DR Re-Submit 09-28-2018	

FLOOR PLAN / ROOF PLAN
PILLER RESIDENCE
 VACANT LOT, EDISON STREET
 MONTARA, COUNTY OF SAN MATEO, CALIFORNIA

Project Designer: Thomas Piller
 Owner: Thomas & Mary Piller

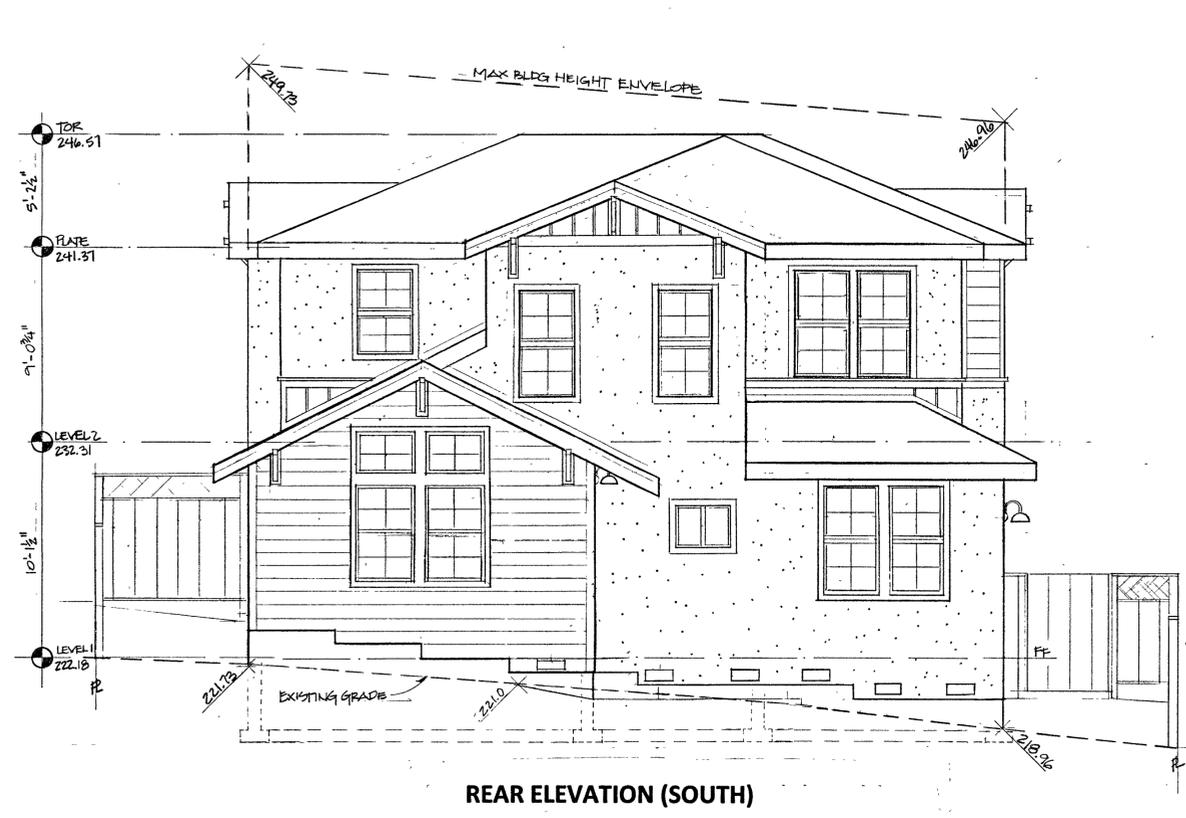
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 Of: Sheets

REVISIONS	BY
DR Submittal 07-18-2018	
DR Re-Submit 09-07-2018	
DR Re-Submit 09-28-2018	

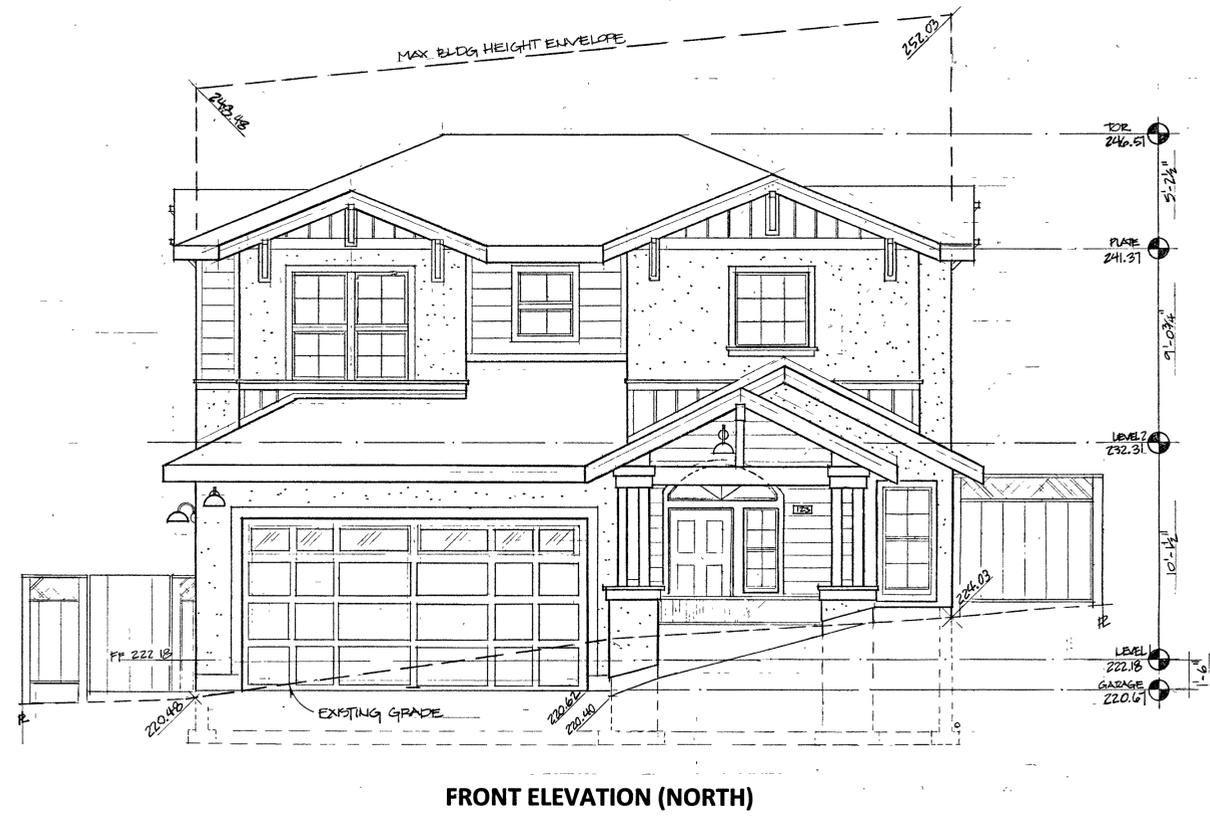


SECTION A-A (front to rear looking west)

SECTION B-B (side to side looking south)



REAR ELEVATION (SOUTH)



FRONT ELEVATION (NORTH)

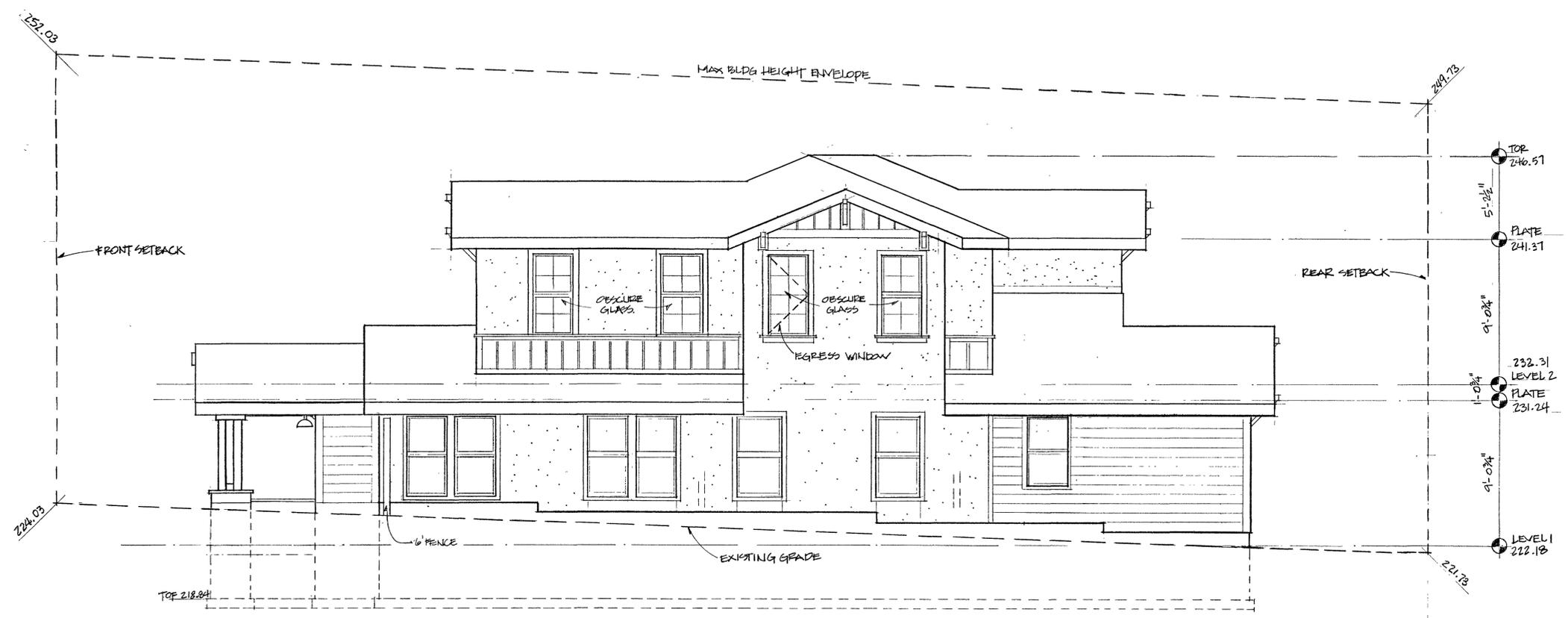
DESIGN REVIEW SUBMITTAL

ELEVATION / SECTION
PILLER RESIDENCE
 VACANT LOT, EDISON STREET
 MONTARA, COUNTY OF SAN MATEO, CALIFORNIA

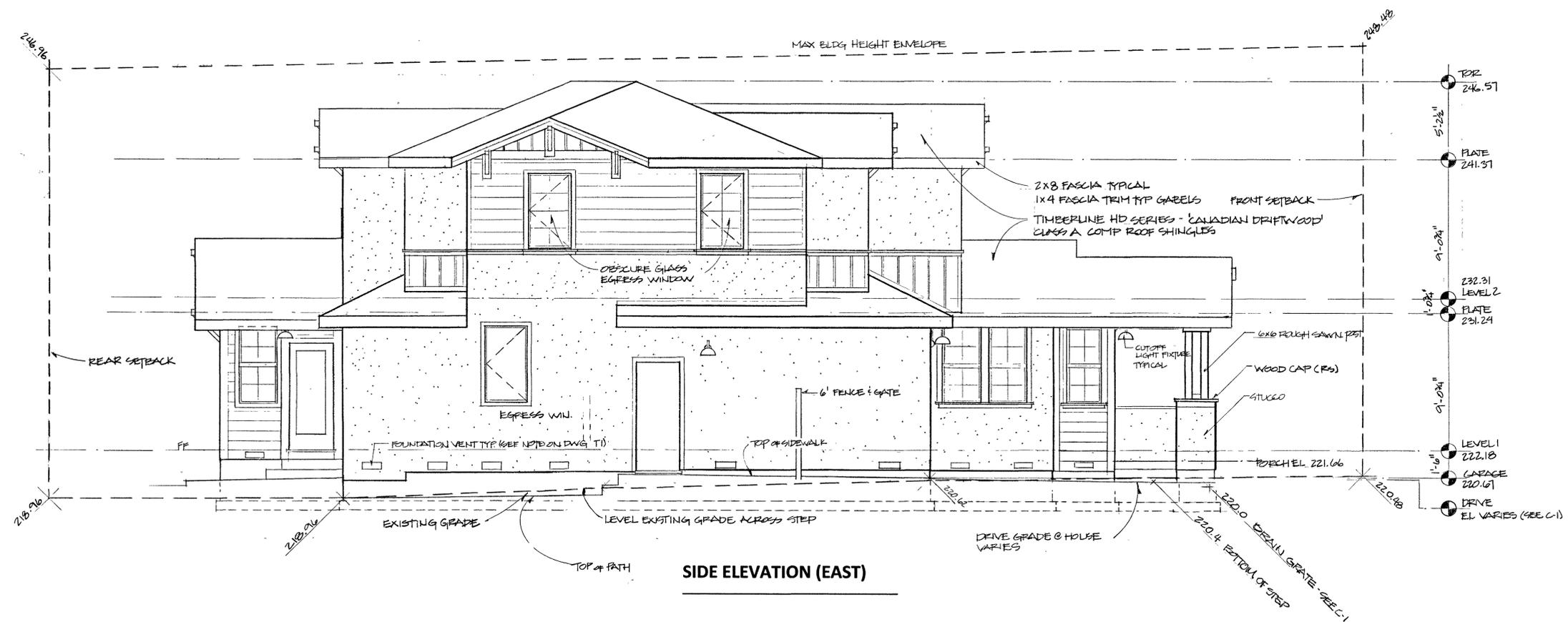
Project Designer: Thomas Piller
 Owner: Thomas & Mary Piller

Date: 06-29-2018
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 Drawn: PILLER
 Job:
 Sheet: **A2**
 Of: Sheets

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DR Submittal 07-18-2018	
DR Re-Submit 09-07-2018	
DR Re-Submit 09-28-2018	



SIDE ELEVATION (WEST)



SIDE ELEVATION (EAST)

MATERIAL LEGEND

	STUCCO - SAND FINISH
	BOARD & BATTEN 'HARDIE BOARD' SIDING
	HORIZONTAL LAP SIDING 'HARDIE BOARD'

DESIGN REVIEW SUBMITTAL

ELEVATION
PILLER RESIDENCE
 VACANT LOT, EDISON STREET
 MONTARA, COUNTY OF SAN MATEO, CALIFORNIA

Project Designer: Thomas Piller
 Owner: Thomas & Mary Piller

Date	06-29-2018
SCALE	1/4" = 1'-0"
Drawn	PILLER
Job	
Sheet	A3
Of	Sheets