

0.11 0 0.06 0.11 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:3,561



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THIS MAP IS NOT TO BE USED FOR NAVIGATION

Planning and Building Department

County Government Center ■ 455 County Center ■ Redwood City CA 94063
Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

Application for Design Review by the County Coastside Design Review Committee

Permit #: PLN 2017-00064

Other Permit #: _____

1. Basic Information

Applicant:

Name: Vincent Armando
Address: P.O. Box 278
Belmont, CA Zip: 94002
Phone, W: 415-860-4527 H: 650-585-3434
Email: V.A.Armando@sc.com

Owner (if different from Applicant):

Name: _____
Address: _____
Zip: _____
Phone, W: _____ H: _____
Email: _____

Architect or Designer (if different from Applicant):

Name: _____
Address: _____ Zip: _____
Phone, W: _____ H: _____ Email: _____

2. Project Site Information

Project location:

APN: 037-284-190
Address: 594 Ramon Ave.
Moss Beach Zip: 94038
Zoning: R 1/S 105/6H/DR/DO
Parcel/lot size: 10,035 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe): _____

3. Project Description

Project:

- New Single Family Residence: 2400 sq. ft
- Addition to Residence: _____ sq. ft
- Other: _____

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

Describe Project:

New construction
300 2.5 Bath
2 story
Attached 2 car garage

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish	Check if matches existing
		(If different from existing, attach sample)	
a. Exterior walls	Cedar & stone (skirting)	clear	<input type="checkbox"/>
b. Trim	wood	white	<input type="checkbox"/>
c. Windows	vinyl	white	<input type="checkbox"/>
d. Doors	wood	Red	<input type="checkbox"/>
e. Roof	comp	grey	<input type="checkbox"/>
f. Chimneys	cedar	clear	<input type="checkbox"/>
g. Decks & railings	wood	clear	<input type="checkbox"/>
h. Stairs	wood	white	<input type="checkbox"/>
i. Retaining walls	N/A		<input type="checkbox"/>
j. Fences	N/A		<input type="checkbox"/>
k. Accessory buildings	N/A		<input type="checkbox"/>
l. Garage/Carport	wood	Red	<input type="checkbox"/>

5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

- (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner: Vincent Aranda Applicant: _____

Date: 2/22/17 Date: _____

Application for a Coastal Development Permit

Companion Page

Applicant's Name: Armando

Primary Permit #: PUN2017-00064

1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Coastal Development Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

2. Basic Information

Does the owner or applicant own any adjacent property not listed?

Yes No

If yes, list Assessor's Parcel Number(s):

Have you or anyone else previously applied to either the County of San Mateo or the California Coastal Commission for a Coastal Development Permit for this or a similar project at this location?

Yes No

If yes, explain (include date and application file numbers).

3. Materials and Finish of Proposed Buildings or Structures

Note: By completing this section you do not need to file a separate application for Design Review Approval.

Fill in Blanks:	Material	Color/Finish	Check if matches existing
a. Exterior Walls	<u>Cedar & Stone</u>	<u>Natural/clear</u>	<input type="checkbox"/>
b. Trim	<u>wood</u>	<u>white</u>	<input type="checkbox"/>
c. Roof	<u>comp</u>	<u>grey</u>	<input type="checkbox"/>
d. Chimneys	<u>cedar</u>	<u>clear</u>	<input type="checkbox"/>
e. Accessory Buildings	<u>N/A</u>		<input type="checkbox"/>
f. Decks/Stairs	<u>Redwood</u>	<u>e/cr</u>	<input type="checkbox"/>
g. Retaining Walls	<u>N/A</u>	<u>—</u>	<input type="checkbox"/>
h. Fences	<u>N/A</u>	<u>—</u>	<input type="checkbox"/>
i. Storage Tanks	<u>N/A</u>	<u>—</u>	<input type="checkbox"/>

4. Project Information

Does this project, the parcel on which it is located or the immediate vicinity involve or include:

- | | Yes | No |
|--|--------------------------|-------------------------------------|
| a. Demolition of existing housing units?
(If yes, give value of owner-occupied units or current monthly rent of rental units in explanation below.) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b. Creeks, streams, lakes or ponds? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c. Wetlands (marshes, swamps, mudflats)? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d. Beaches? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e. Sand Dunes? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f. Sea cliff, coastal bluffs or blufftops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| g. Ridgetops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| h. Pampas Grass, invasive brooms or Weedy Thistle? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| i. Removal of trees or vegetation? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| j. Grading or alteration of landforms? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| k. Landscaping? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| l. Signs? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| m. Phone or utility line extensions or connections, either above or below ground (explain which)? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| n. Areas subject to flooding? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| o. Development on slopes 30% or steeper? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

- | | | |
|--|--------------------------|-------------------------------------|
| p. Between the sea and the nearest public road? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| q. Existing or proposed provisions for public access to the shoreline? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| r. Public or commercial recreation facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| s. Visitor-serving facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| t. Existing or proposed public trail easements? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Explain all Yes answers below. Indicate whether the item applies to the project itself, the parcel on which it is located, or the immediate vicinity (attach additional sheets if necessary):

5. Staff Use Only

California Coastal Commission Jurisdiction

A. Does the Proposed Project Involve:

- A subdivision, Certificate of Compliance Type B, Use Permit, or Planned Agricultural District Permit?
 Yes No
- Construction or grading within 100 feet of a stream or wetland?
 Yes No
- A parcel located between the sea and the first public through road paralleling the sea; 300 feet from the inland extent of any beach or mean high tide line if there is no beach; or within 300 feet of the top of the seaward face of a coastal bluff?
 Yes No

Yes to any one of the above means that the Coastal Development Permit is appealable to the Coastal

Commission; a public hearing is always required.

B. Does the proposed project involve lands below the mean high tide line and lands where the public trust may exist? (See "Post CCP Certification Permit and Appeal Jurisdiction Map).

Yes No

Yes to above means that the California Coastal Commission retains permit jurisdiction over all or part of the proposed project. A Coastal Development Permit from that agency is required.

Reviewed by: _____

Environmental Information Disclosure Form

PLN 2017-00064
 BLD _____

Project Address: San Ramon Avenue

Name of Owner: Vignar Amato
 Address: PO Box 278 Belmont 94022 Phone: 415-860-4527

Assessor's Parcel No.: 037-284-190

Name of Applicant: see above

Zoning District: R 1/5105/6A/DE/CO

Address: _____
 Phone: _____

Existing Site Conditions

Parcel size: 14,025

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation).

N/A

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
	<input checked="" type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : _____ c.y. Fill: _____ c.y.
	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

Signature required on reverse →

2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
	<input checked="" type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?
Please explain any "Yes" answers:		

3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
	<input checked="" type="checkbox"/>	a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u> If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
	<input checked="" type="checkbox"/>	b. <u>Land disturbance of 1 acre or more of area?</u> If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <u>prior</u> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed:



Date:

2/22/12

(Applicant may sign)

GENERAL NOTES

- The intent of these drawings is to show all necessary items to complete this structure. Typical details & notes within these drawings apply to similar conditions, unless noted otherwise. All work & construction shall comply with all applicable building codes, regulations, and safety requirements. For items, methods, and/or materials not shown, the minimum requirements of the current uniform building code, uniform mechanical code, uniform plumbing code, national electric code, and all other local state and municipal codes and ordinances shall govern.
- HZR Architectural Design is not responsible for fabrication, erection and/or safety. The contractor shall comply with all safety regulations.
- The contractor shall hold harmless, indemnify and defend the owner, designer, engineer, and his consultants, and each of their officers and employees from all liability claims, losses, or damages arising or said to arise from the performance of work described herein.
- While every attempt has been made to avoid mistakes in the preparation of these plans, the maker cannot guarantee against human error, therefore, the dimensions and specifications of these plans shall be verified by the owner/contractor prior to the commencement of construction, and any discrepancies shall be brought to the attention of HZR Architectural Design.
- These plans have been drawn to comply with the clients specifications, and any changes made to them after prints are made shall be done at the clients expense.
- All work shall be the best of their respective types, and contractors shall be responsible for observance of all state, county, and local building codes.
- Fire, vandalism, and theft insurance by owner, public liability, and workman's compensation insurance by contractor.
- The job shall be left broom clean, with windows and fixtures washed, and all debris removed by contractor.
- The contractor shall give the designer 48 hrs. notice minimum when site observations are necessary.
- Any and all engineering and survey work required in connection with this project shall be by separate contract between owner/contractor and the engineer of his choice.
- When discrepancies arise between engineering specifications and architectural specifications, the engineer's specifications shall govern.
- These plans, specifications, details, and designs are the sole property of HZR Architectural Design. Construction is limited to a one time use on the property named herein. These pages may not be displayed, copied, or used in any way without the express written permission of HZR Architectural Design.

SUGGESTIONS

No construction material, equipment, portable toilets, trash containers, or debris shall be placed in the right-of-way.

A trash container shall be maintained on site at all times and debris in site which could otherwise blow away, shall be regularly collected and placed in the container.

All construction debris (wood scraps and other debris, which cannot blow away) shall be piled within the property lines of the project in a neat and safe manner.

The project shall have a signature viewable from the public street that indicates the hours of construction as: Mon-Fri. from 7:30 AM to 6:00 PM Saturday from 9:00 AM to 5:00 PM, or as indicates on the Building Permit.

Excavations cuts exceeding 5 feet typically require a Dosh permit. All excavations must conform to applicable OSHA and CAL-OSHA requirements. Contact California Department of Occupational Safety and Health (DOSH) for information about required permits. DOSH's office (510) 794-2521

ABBREVIATIONS

&	AND	HW.D.	HARDWOOD
>	ANGLE	HORIZ.	HORIZONTAL
@	STEP	HOUR	HOUR
CL	AT	HT.	HEIGHT
o	CENTERLINE	HVAC.	HEATING, VENTILATING, AIR-CONDITIONING
#	DIAMETER OR ROUND ROUND OR NUMBER	HSL	HORIZONTAL SLIDER
(E)	EXISTING	INSL.	INSULATION
A.B.	ANCHOR BOLT	INT.	INTERIOR
ABV.	ABOVE	INT.	INTERIOR
ACOUS.	ACOUSTICAL	MAX.	MAXIMUM
ADJ.	ADJUSTABLE	M.A.	MEDICINE CABINET
AFF.	ABOVE FINISH FLOOR	MECH.	MECHANICAL
AGGR.	AGGREGATE	MEMB.	MEMBRANE
ALUM.	ALUMINUM	MFR.	MANUFACTURING
APPROX.	APPROXIMATE	MFR.	MANUFACTURER
ARCH.	ARCHITECT	MIN.A.	MINIMUM
ASPH.	ASPHALT	MISC.	MISCELLANEOUS
AWN.	AWNING	N	NORTH
BD.	BOARD	NUM.	NUMBER
BLDG.	BUILDING	N.T.S.	NOT TO SCALE
BLK.	BLOCK	O.V.	OVER
BLKG.	BLOCKING	O.C.	ON CENTER
BLT.	BOLT	OPN.G.	OPENING
BM.	BEAM	OPP.	OPPOSITE
BOT.	BOTTOM	PL	PLATE
CAB.	CABINET	PLAM.	PLASTIC LAMINATE
CER.	CERAMIC	PLAS.	PLASTER
C.G.	CORNER GUARD	PLYWD.	PLYWOOD
C.L.	CENTER LINE	PLUMB.	PLUMBING
CL.	CLOSET	PL	PROPERTY LINE
CLG.	CAULKING	PR	PAIR
CLK.G.	CLOSET	P.T.	POINT
CLO.	CLOSET	PREFAB.	PREFABRICATED
CLF.	CLEAR	R.	RISER
C.O.	CASED OPENING	RAD.	RADIUS
COL.	COLUMN	REF.	REFRIGERATOR
CONC.	CONCRETE	REIN.	REINFORCED
CONN.	CONNECTION	REQD.	REQUIRED
CONT.	CONTINUOUS	RM.	ROOM
CSMT	CARPENT	R.O.	ROUGH OPENING
DBL	DOUBLE	RWD.	REDWOOD
DEPT.	DEPARTMENT	S.	SOUTH
D.F.	DRINKING FOUNTAIN	SCS	SECTION
DET.	DETAIL	SEC.	SECTION
DIA.	DIAMETER	SQ.FT.	SQUARE FEET
DIM.	DIMENSION	SHLV.	SHelves
DISP.	DISPENSER	SH	SINGLE HUNG
DL	DIVIDED LIGHT	SHWR.	SHOWER
D.W.	DOWN	SHT.	SHEET
DR.	DOOR	SIM.	SIMILAR
DS.	DOWNSPROUT	STOR.	STORAGE </td
(E)	EXISTING	STRUC.	STRUCTURAL
E.J.	EXPANSION JOINT	SUSP.	SUSPENDED
ELEV.	ELEVATION	S.S.D.	SEE STRUCTURAL DRAWINGS
ELEC.	ELECTRICAL	T.B.	TORNEL BAR
ELEV.	ELEVATOR	TEL	TELEPHONE
EMER.	EMERGENCY	T&G	TONGUE AND GROOVE
ENCL.	ENCLOSED	T.O.P.	TOP OF PARAPET
EQ.	EQUAL	T.O.W.	TOP OF WALL
EQPT.	EQUIPMENT	T.P.D.	TOILET PAPER
EXT.	EXTERIOR	F.A.	FIRE ALARM
F.A.	FIRE ALARM	T.V.	TELEVISION
F.D.	FLOOR DRAIN	TYP.	TYPICAL
FDN.	FOUNDATION	U.O.N.	UNLESS OTHERWISE NOTED
FIN.	FINISH	VERT.	VERTICAL
F.O.C.	FACE OF CONCRETE	W.	WEST
F.O.W.	FACE OF WALL	WJ	WITH
F.O.S.	FACE OF STUDS	WD.	WOOD
FRMG.	FRAMING	W.H.	WATER HEATER
F.S.	FULL SIZE	W/O	WITHOUT
FTG.	FOOTING	WP	WATERPROOF
FUR.	FURRING		
FLT.	FUTURE		
GALV.	GALVANIZED		
GL.	GLASS		
GYP.	GYP.SUM.		
H.B.	HOSE BIBB		
HDR.	HEADER		

CODE REFERENCE

THE FOLLOWING CODES SHALL APPLY TO WORK REQUIRED BY THIS PROJECT

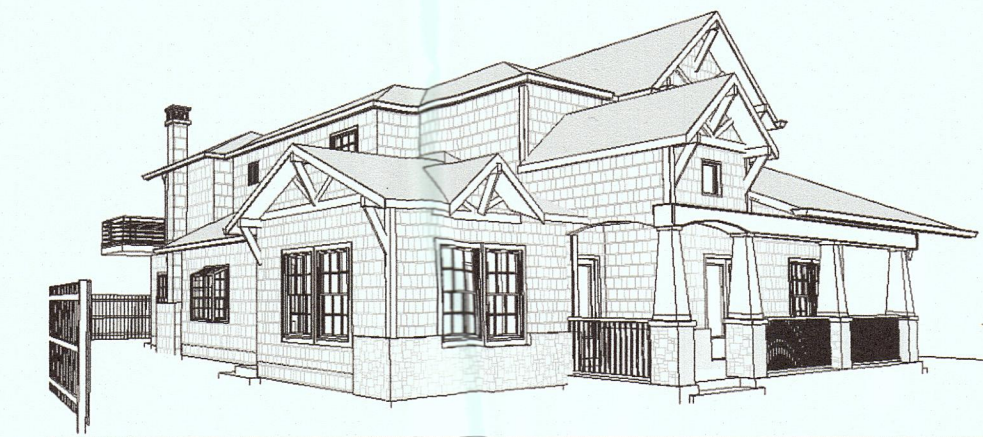
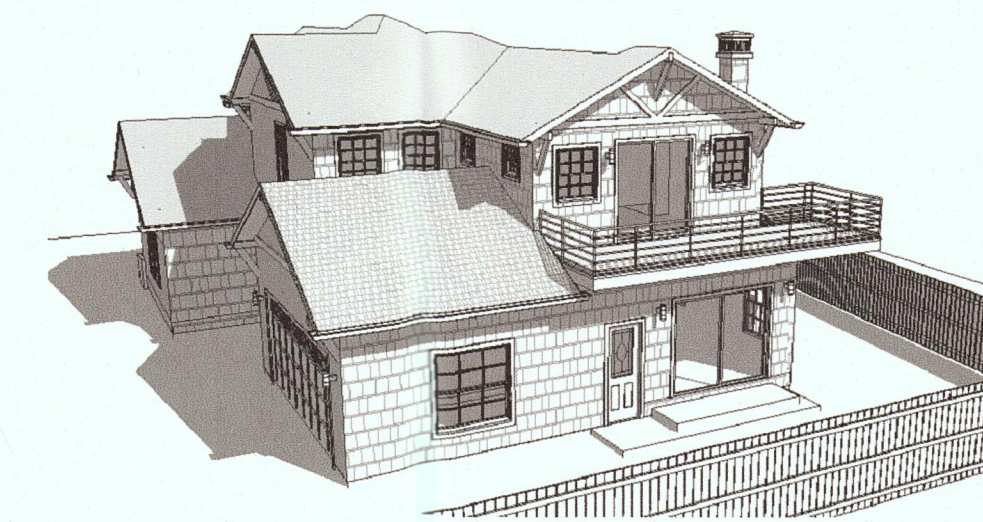
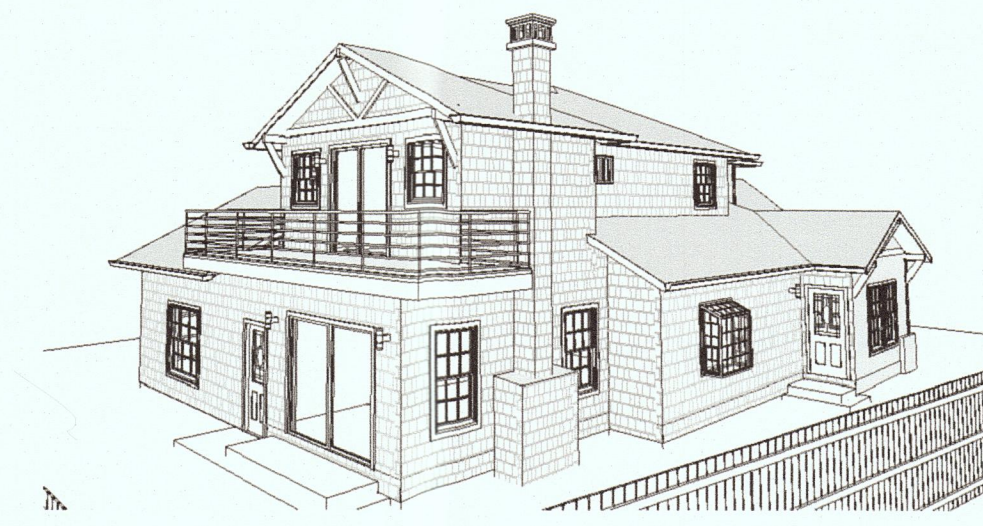
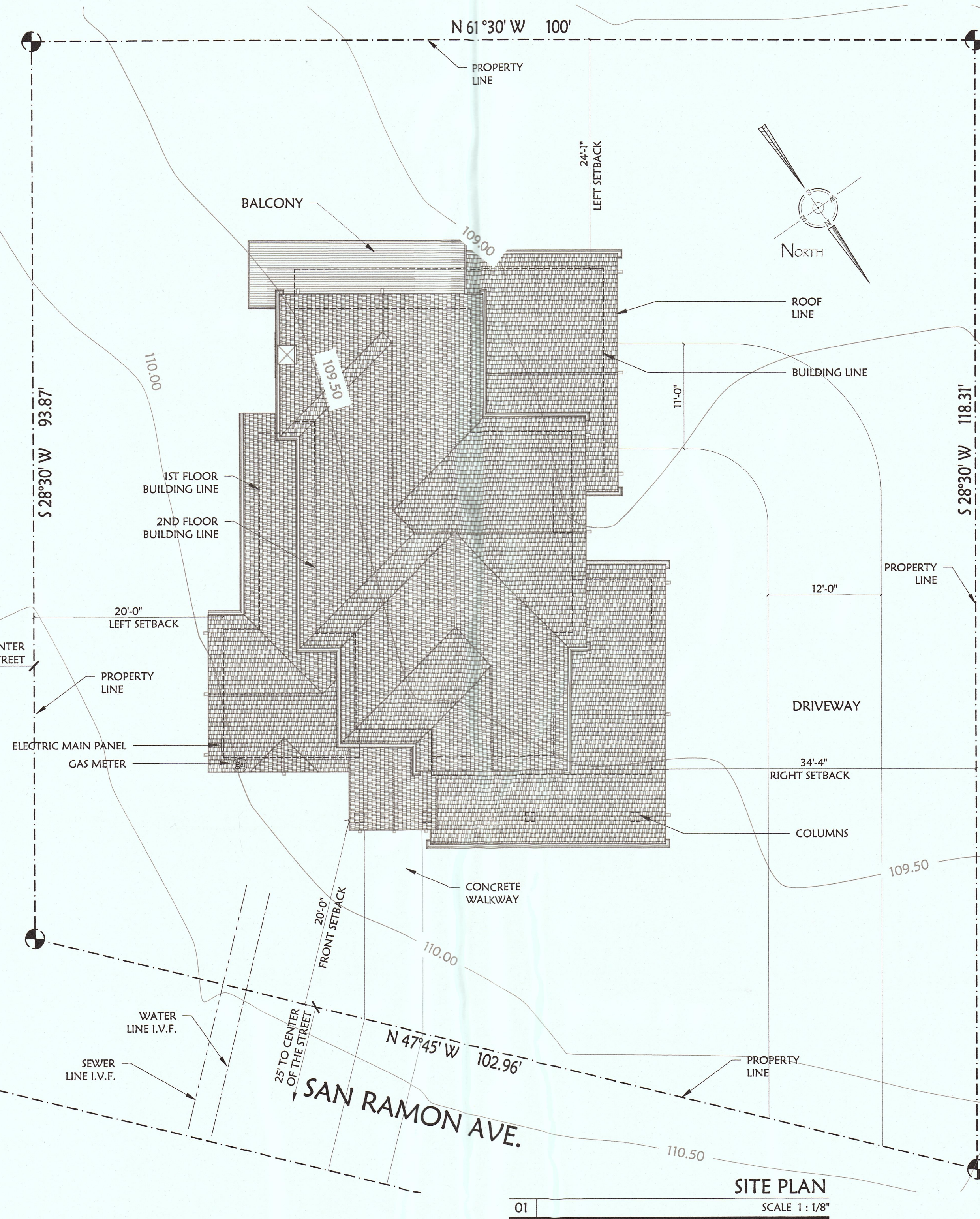
- 2016 California Building Code- CBC
- 2016 California Residential Code CRC
- 2016 California Plumbing Code CPC
- 2016 California Mechanical Code CMC
- 2016 California Electrical Code CEC
- 2016 California Referenced Standards Code
- 2016 California Energy Code
- 2016 CGBC- California Green Building Standards Code
- County of San Mateo Building Regulations

DRAWING INDEX:

ARCHITECTURAL AND CONSTRUCTION PLANS:

- A0.0 COVER SHEET AND SITE PLAN
- A1.1 PROPOSED 1ST FLOOR PLAN
- A1.2 PROPOSED 2ND FLOOR PLAN
- A1.3 PROPOSED ROOF PLAN
- A1.4 ELECTRIC 1ST FLOOR PLAN
- A1.5 ELECTRIC 2ND FLOOR PLAN
- A2.0 PROPOSED ELEVATIONS
- A3.0 CROSS SECTIONS

ENGINEER:



(APN): 037-284-190
 ZONING DESCRIPTION: R1-S1-05
 OCCUPANCY: RN SINGLE FAMILY
 LOT SIZE: 10,035.00 S.F.

PROJECT SCOPE:

- 1. NEW TWO STORY HOUSE, INCLUDING 3 BEDROOMS, 3 BATHS, FAMILY, DINNING, KITCHEN, LIVING ROOM, OFFICE, LAUNDRY AND TWO CAR GARAGE.

REQUIREMENTS

SETBACKS	(E)	PROPOSED	PERMITTED
FRONT	-	20' - 0"	---
REAR	-	24' - 1"	---
RIGHT	-	34' - 4"	---
LEFT	-	20' - 0"	---
BUILDING HEIGHT	-	26' - 4"	---

AREA CALCULATION:

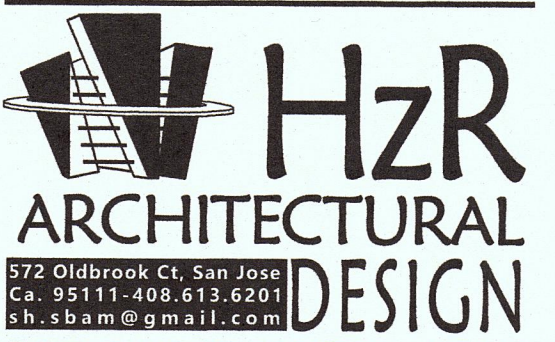
	(E)	NEW	PERMITTED
A 1ST FLOOR	0.00 Sq.Ft.	1,471.24 Sq.Ft.	MAX.
B GARAGE	0.00 Sq.Ft.	456.60 Sq.Ft.	MAX.
C=A+B BUILDING TOTAL	0.00 Sq.Ft.	1,927.84 Sq.Ft.	MAX.
D 2ND FLOOR	0.00 Sq.Ft.	1,072.08	MAX.
E=A+D LIVING AREA	-	2,543.32 Sq.Ft.	MAX.
=E+B/LOT F.A.R.	0.00	0.2989	MAX.
F.A.R. %	0.00%	29.89%	MAX.

LOT COVERAGE

	(E)	NEW	PERMITTED
C BUILDING TOTAL	0.00 Sq.Ft.	1927.84 Sq.Ft.	---
G PORCH	0.00 Sq.Ft.	197.00 Sq.Ft.	---
H=C+G LOT COVERAGE	-	2,124.84 Sq.Ft.	---
I=H/LOT LOT COVERAGE	0.00%	21.17%	MAX.



VICINITY MAP



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NEW RESIDENCE FOR:
 "AR PROPERTIES"
 898 SAN RAMON AVE, MOSS BEACH CA.
 ZIP CODE 94038



Authorization Sign
 Silverio H. Madera / Designer
 ENGINEER ARCHITECT AT REGISTRATION
 0120020411 OF UNIVERSIDAD DEL VALLE DE
 ATAMAJAC, AV. TEPEYAC #4800,
 PHONE 01152.33.3134.0800, GUADALAJARA,
 JALISCO, MEX.

RECEIVED

APR 13 2017

San Mateo County
 Planning Division

Nº	Revision	Date
1		
2		

SHEET NAME:

COVER SHEET
 AND SITE PLAN

DEFERRED SUBMITTALS :

Project No.	Sheet No.
H-161207	
Date	Scale
APR.04.2017	as Show

A0.0

ARCH 7.dwg

Jun. 15, 16

PLN 2017 - 00064

EMERGENCY ESCAPE AND RESCUE OPENINGS

BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS, EMERGENCY EGRESS AND RESCUE OPENINGS SHALL BE REQUIRED IN EACH SLEEPING ROOM. WHERE EMERGENCY ESCAPE AND RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 42 INCHES (1018 MM) MEASURED FROM THE WHERE A DOOR OPENING HAVING A THRESHOLD BELOW THE ADJACENT GROUND ELEVATION SERVES AS AN EMERGENCY ESCAPE AND RESCUE OPENING AND IS PROVIDED WITH A BULKHEAD ENCLOSURE. THE BULKHEAD ENCLOSURE SHALL COMPLY WITH SECTION R310.3. THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE. EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL IN ACCORDANCE WITH SECTION R310.2. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.

EGRESS DOOR.

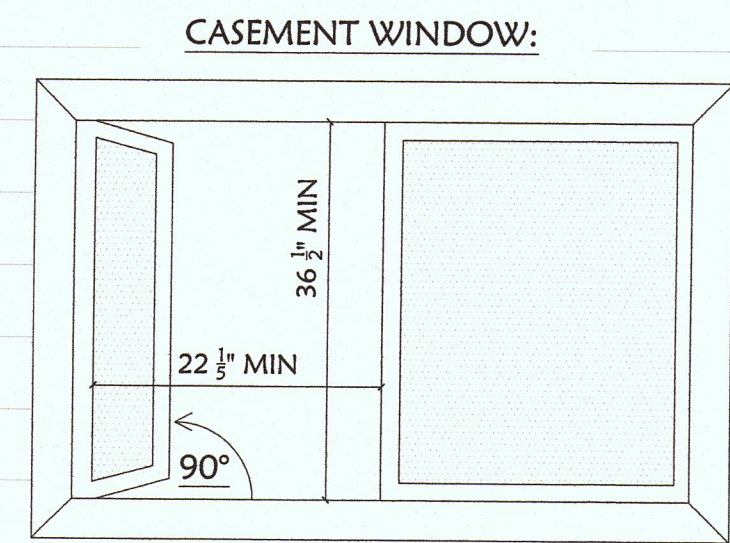
AT LEAST ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE EGRESS DOOR SHALL BE SIDEHINGED, AND SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32 INCHES (813 MM) WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES (1.57 RAD). THE MINIMUM CLEAR HEIGHT OF THE DOOR OPENING SHALL NOT BE LESS THAN 78 INCHES (1981 MM) IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP. OTHER DOORS SHALL NOT BE REQUIRED TO COMPLY WITH THESE MINIMUM DIMENSIONS. EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

FLOORS AND LANDINGS AT EXTERIOR DOORS.

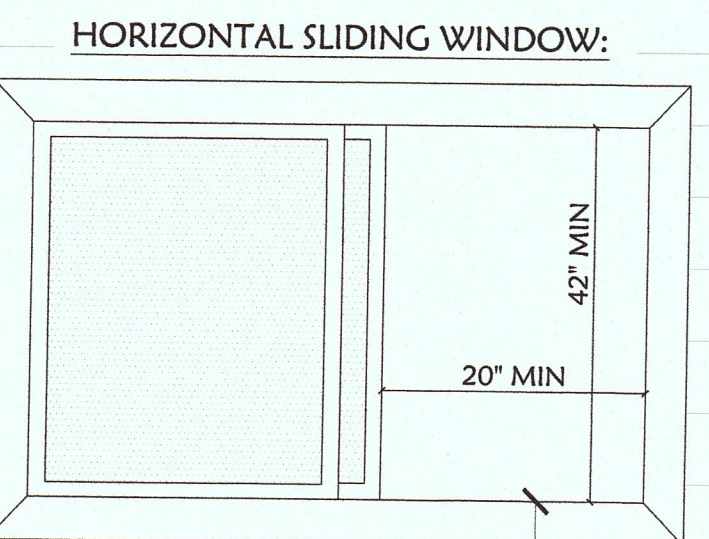
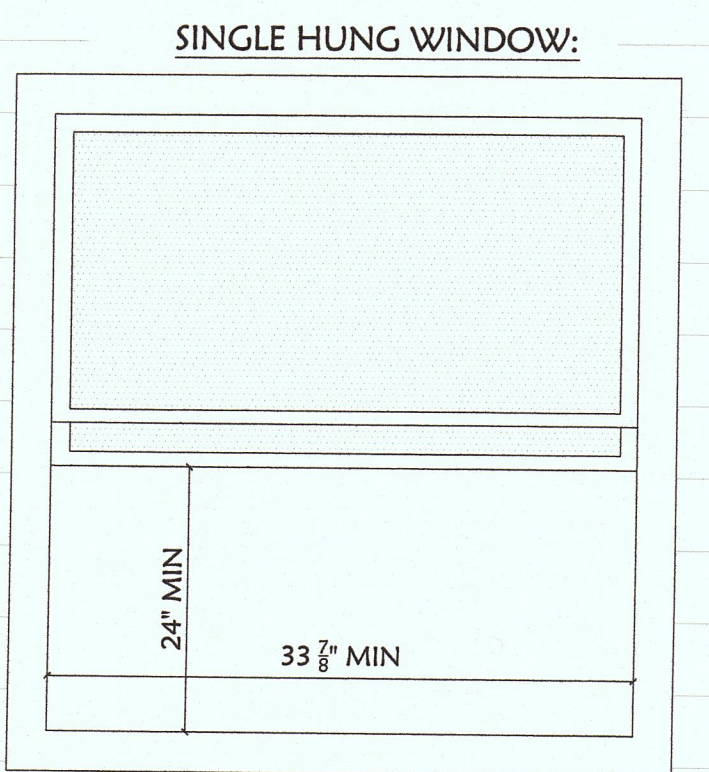
THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36 INCHES (914 MM) MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2-PERCENT).

VERTICAL EGRESS.

EGRESS FROM HABITABLE LEVELS INCLUDING HABITABLE ATTICS AND BASEMENTS NOT PROVIDED WITH AN EGRESS DOOR IN ACCORDANCE WITH SECTION R311.2 SHALL BE BY ONE OR MORE RAMPS IN ACCORDANCE WITH SECTION R311.8 OR ONE OR MORE STAIRWAYS IN ACCORDANCE WITH SECTION R311.7 OR FOR HABITABLE LEVELS OR BASEMENTS LOCATED MORE THAN ONE STORY ABOVE OR MORE THAN ONE STORY BELOW AN EGRESS DOOR, THE MAXIMUM TRAVEL DISTANCE FROM ANY OCCUPIED POINT TO A STAIRWAY OR RAMP THAT PROVIDES EGRESS FROM SUCH HABITABLE LEVEL OR BASEMENT, SHALL NOT EXCEED 50 FEET (15240 MM).

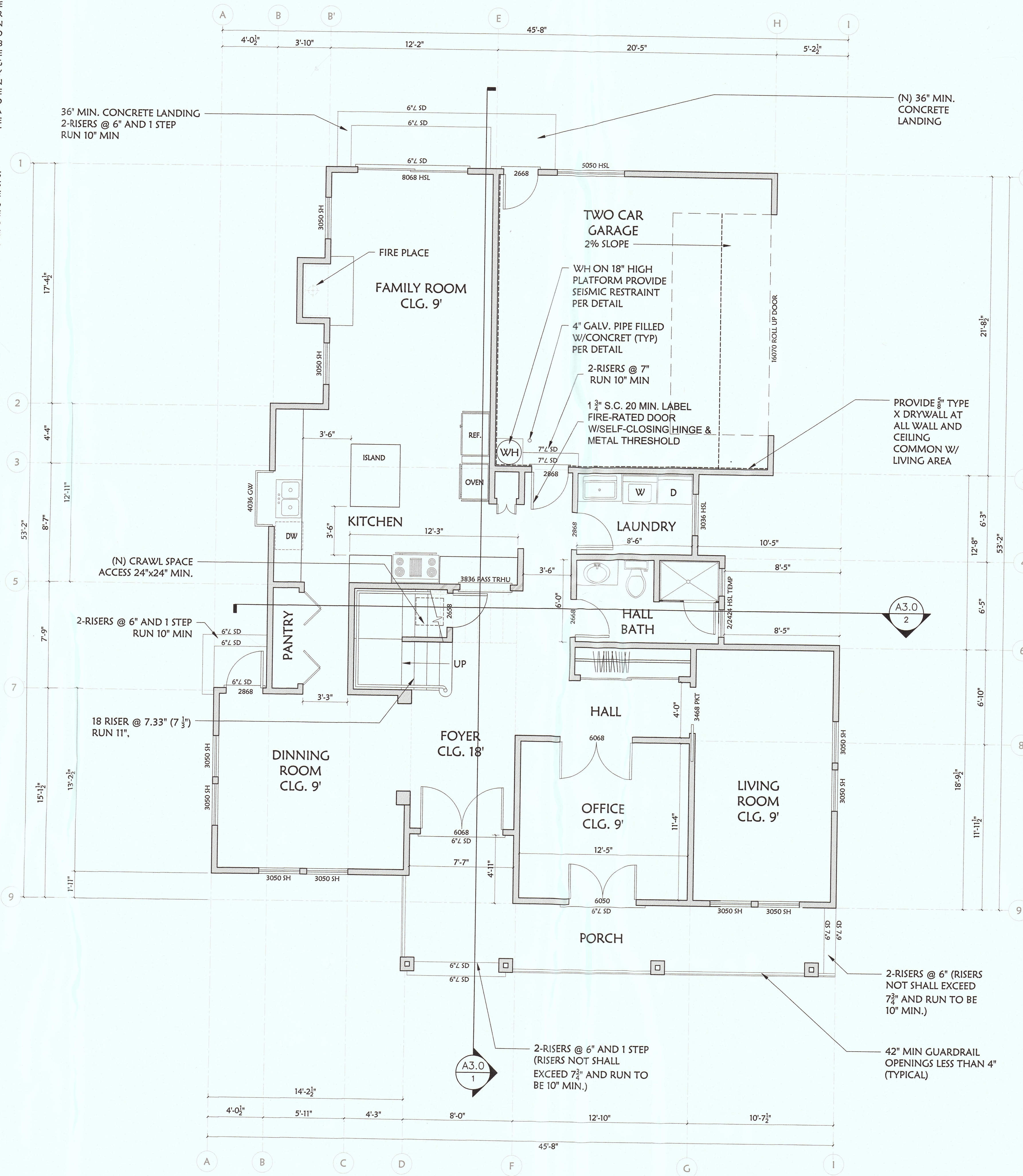


FOR CASEMENT WINDOWS, THE UNOBSTRUCTED CLEAR OPENING IS MEASURED ONCE THE WINDOW HAS BEEN OPENED A FULL 90 DEGREES.



EGRESS WINDOWS REQUIREMENTS:

- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE EXTERIOR DOOR OR ESCAPE WINDOW.
- EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET.
- THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES.
- THE MINIMUM NET OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES.
- THE FINISH SILL HEIGHT SHALL NOT BE MORE THAN 42 INCHES ABOVE FINISH FLOOR.



PLUMBING FIXTURES WATER USAGE

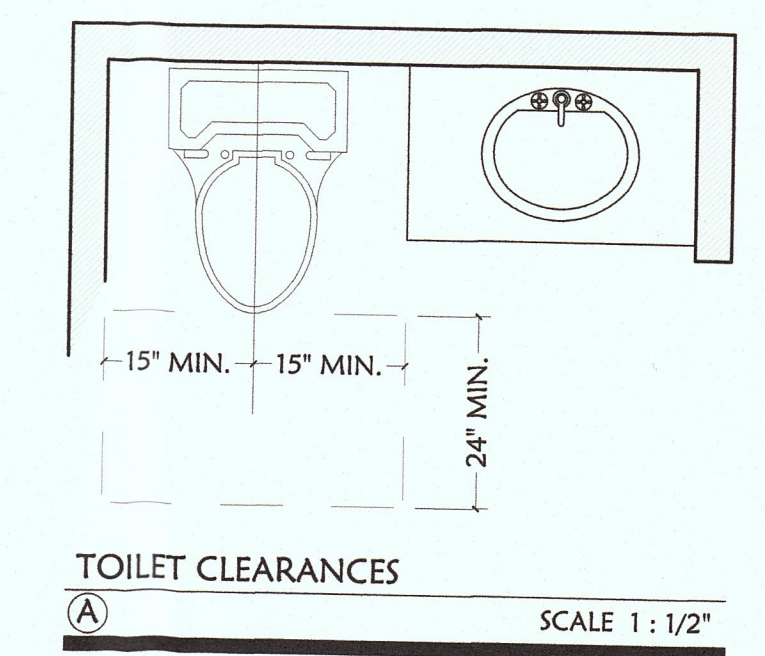
- MAXIMUM 2.0 GALLONS PER MINUTE FOR A SHOWERHEAD CONTROLLED BY A SINGLE VALVE. IF A SINGLE VALVE CONTROLS MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS CONTROLLED BY THE VALVE SHALL NOT EXCEED 2.0 GALLONS PER MINUTE.
- MAXIMUM 1.8 GALLONS PER MINUTE FOR KITCHEN FAUCETS (LAVATORIES).
- MAXIMUM 1.2 GALLONS PER MINUTE FOR BATHROOM FAUCETS. FAUCET MAY TEMPORARILY DISCHARGE 2.2 GALLONS PER MINUTE USING PUSH BUTTON-REVERTS BACK TO 1.8 GPM AFTER SHUT-OFF.
- MAXIMUM 1.28 GALLONS PER GALLONS PER FLUSH FOR NEW TOILETS.

NOTE XI: PLUMBING FIXTURES REQUIREMENTS

CONTROL VALVES AND SHOWER HEADS SHALL BE LOCATED ON THE SIDE WALL OF SHOWER COMPARTMENTS CPC 411.10 SHOWER AND TOP SHOWERS COMBINATIONS SHALL BE PROVIDED WITH PRESSURE BALANCE OR THERMOSTATIC MIXING TYPE CONTROL VALVES (CPC 418).

WATER CLOSETS:

SHALL BE SECURED TO FLOOR WITH CORROSION RESISTANT FASTENERS. 402.6.2 REQUIRES 15" FROM CENTER OF FIXTURE TO FINISHED WALL CLEARANCE 402.5 REQUIRES 24" CLEARANCE IN FRONT. CPC 402.5 & CBC 11B-604.5.1



WATER HEATER INSTALLATION REQUIREMENTS:

- THE BURNERS OR IGNITION DEVICE SHALL BE LOCATED AT LEAST 18-INCHES ABOVE THE GARAGE FLOOR.
- LISTED FVIR WATER HEATERS MAY BE INSTALLED ON THE GARAGE FLOOR PROVIDED THE FLOOR SLOPE AWAY FROM THE HEATER TOWARD THE GARAGE DOOR AT LEAST 1/4" PER FOOT.
- SHALL BE PROPERLY STRAPPED TO THE BUILDING STRUCTURE FOR SEISMIC STABILITY AT UPPER AND LOWER T HIRDS.

NOTE:

WATER HEATER SHALL BE SIZE TO COMPLY WITH THE FIRST HOUR RATING REQUIRED BY CPC Table 5.1.

STEPS AND STAIRS (R311.7/CBC 1009.7 EXCEPTION 5)

- 36" MIN WIDTH
- 7-3/4" MAX RISERS 10" MIN TREAD DEPTH WITH MIN 3/4" & MAX 1-1/4" NOSING / 1" MIN WITHOUT NOSING
- 3/8" MAX VARIATION BETWEEN ALL RISERS AND BETWEEN ALL TREADS CHECK FINISH SCHEDULES FOR TOP & BOTTOM RISER CONSISTENCY
- 6'-8" MINIMUM HEADROOM
- LANDINGS 36" MIN DEPTH
- RAMPS: SHALL HAVE A MAXIMUM SLOP OF 1 UNIT VERTICAL IN 12 UNIT HORIZONTAL (8.33-PERCENT SLOPE).

STAIRS, LANDINGS, & GUARDRAILS (R311.7.5/CBC 1009.7.2, 1012.1013)

- HANDRAILS TO BE INSTALLED AT 34" TO 38" ABOVE NOSING OF TREAD AND TO BE CONTINUOUS (R311.7.8/CBC 1012.2)
- RISE & RUN ARE STILL WITHIN 3/8" OF LEAST AND GREATEST RISE & RUN WITHIN THE FLIGHT (R311.7.5/CBC 1009.7.4)
- SOLID RISERS REQUIRED UNLESS OPENING BETWEEN TREADS DOESN'T PERMIT THE PASSAGE OF A 4" DIAMETER SPHERE OR SPIRAL STAIRWAYS (R311.7.5.1/CBC 1009.7.5.3)
- GUARDRAILS ARE 42" HIGH WITH EXCEPTION IF ALSO SERVE AS HANDRAILS ON OPEN SIDES OF STAIRS BETWEEN 34" & 38". OPENINGS LESS THAN 4" (R312.1.2/CBC 1013.3)
- 36" DEEP LANDINGS ARE INSTALLED AT EXTERIOR DOORS (R311.3/CBC 1008.1.6 EXCEPTION)

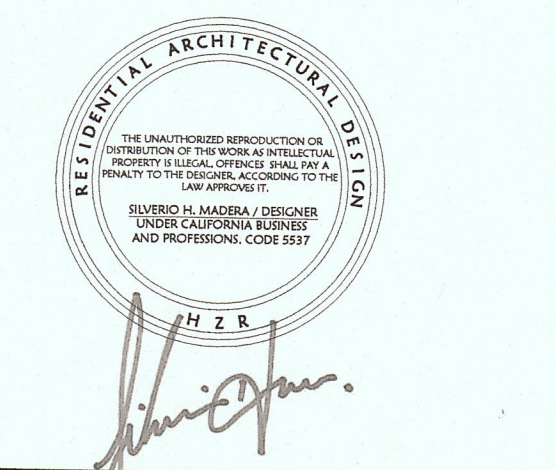
(E) WALL TO REMAIN	7" L SD	7" STEP DOWN
(E) WALL TO BE DEMO	7" L SU	7" STEP UP
WALL TO BE FILLED	SH	WINDOW SINGLE HUNG
NEW WALL	HSL	WINDOW/DOOR HORIZONTAL SLIDER

DRAWING LEGEND

HZR ARCHITECTURAL DESIGN
 572 Oldbrook Ct. San Jose, CA 95111-408.613.6201
 1415 So. Main St. #101 San Jose, CA 95128.438.1111

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 "AR PROPERTIES"
 898 SAN RAMON AVE, MOSS BEACH CA.
 ZIP CODE 94038**



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 Silverio H. Madera / Designer
 ENGINEER ARCHITECT AT REGISTRATION
 0120020411 OF UNIVERSIDAD DEL VALLE DE
 ATEMAJAC, AV. TEREYAC #4800,
 PHONE 01152.33.3134.0800, CUADALAJARA,
 JALISCO, MEX.

Nº	Revision	Date
1		
2		

**PROPOSED
 1 ST FLOOR PLAN**

Project No. H-161207
 Date APR.04.2017
 Scale as Show

A1.1

EMERGENCY ESCAPE AND RESCUE OPENINGS

BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS, EMERGENCY EGRESS AND RESCUE OPENINGS SHALL BE REQUIRED IN EACH SLEEPING ROOM. WHERE EMERGENCY ESCAPE AND RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 42 INCHES (1067 MM) MEASURED FROM THE WHERE A DOOR OPENING HAVING A THRESHOLD BELOW THE ADJACENT GROUND ELEVATION SERVES AS AN EMERGENCY ESCAPE AND RESCUE OPENING AND IS PROVIDED WITH A BULKHEAD ENCLOSURE, THE BULKHEAD ENCLOSURE SHALL COMPLY WITH SECTION R310.3. THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE. EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL IN ACCORDANCE WITH SECTION R310.2. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.

EGRESS DOOR.

AT LEAST ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE EGRESS DOOR SHALL BE SIDEHINGED, AND SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32 INCHES (813 MM) WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES (1.57 RAD), THE MINIMUM CLEAR HEIGHT OF THE DOOR OPENING SHALL NOT BE LESS THAN 78 INCHES (1981 MM) IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP. OTHER DOORS SHALL NOT BE REQUIRED TO COMPLY WITH THESE MINIMUM DIMENSIONS. EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

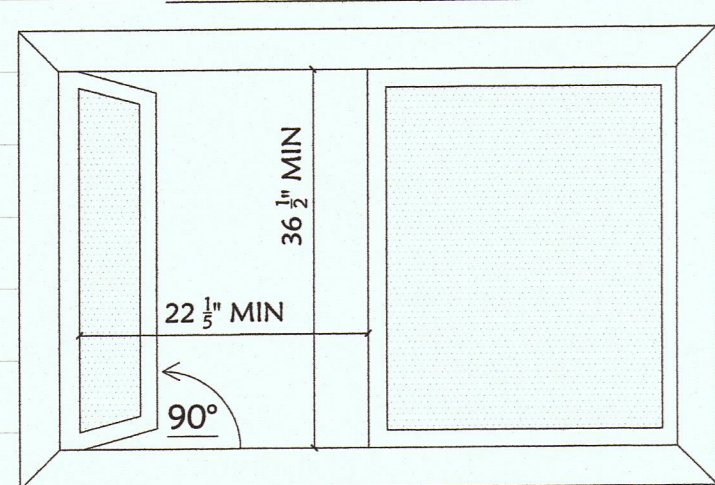
FLOORS AND LANDINGS AT EXTERIOR DOORS.

THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36 INCHES (914 MM) MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2-PERCENT).

VERTICAL EGRESS.

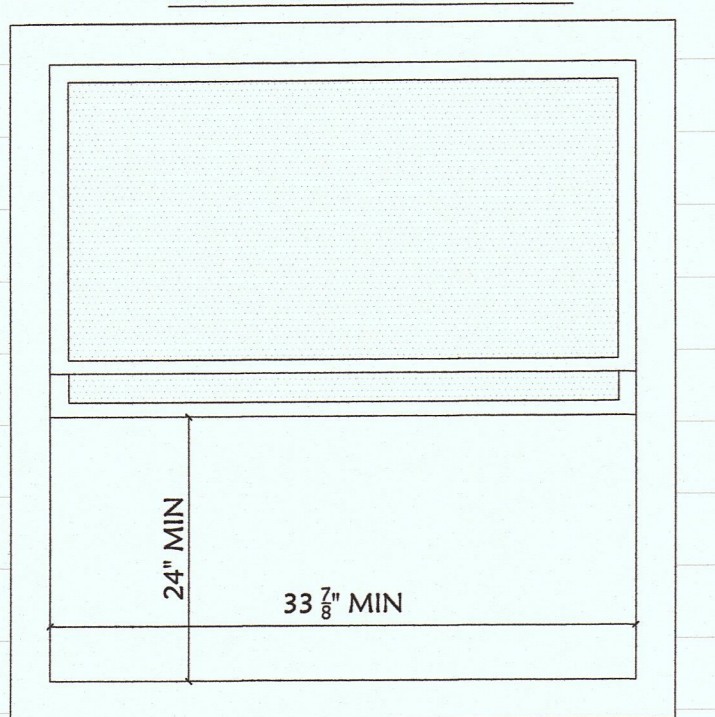
EGRESS FROM HABITABLE LEVELS INCLUDING HABITABLE ATTICS AND BASEMENTS NOT PROVIDED WITH AN EGRESS DOOR IN ACCORDANCE WITH SECTION R311.2 SHALL BE BY ONE OR MORE RAMPS IN ACCORDANCE WITH SECTION R311.8 OR ONE OR MORE STAIRWAYS IN ACCORDANCE WITH SECTION R311.7 OR FOR HABITABLE LEVELS OR BASEMENTS LOCATED MORE THAN ONE STORY ABOVE OR MORE THAN ONE STORY BELOW AN EGRESS DOOR, THE MAXIMUM TRAVEL DISTANCE FROM ANY OCCUPIED POINT TO A STAIRWAY OR RAMP THAT PROVIDES EGRESS FROM SUCH HABITABLE LEVEL OR BASEMENT, SHALL NOT EXCEED 50 FEET (15240 MM).

CASEMENT WINDOW:

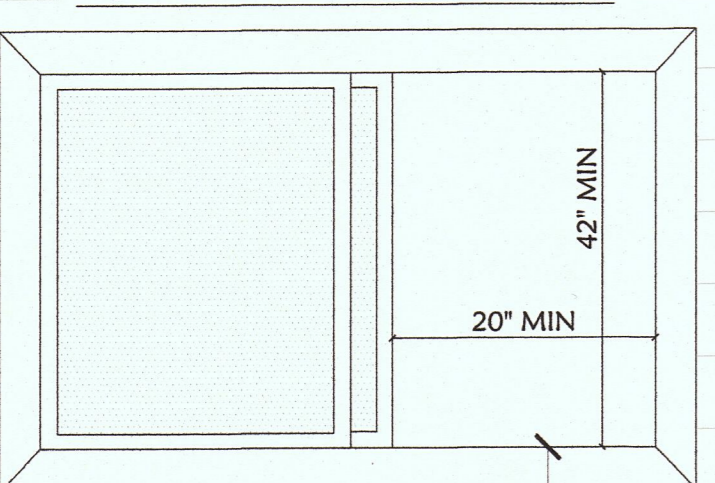


FOR CASEMENT WINDOWS, THE UNOBSTRUCTED CLEAR OPENING IS MEASURED ONCE THE WINDOW HAS BEEN OPENED A FULL 90 DEGREES.

SINGLE HUNG WINDOW:



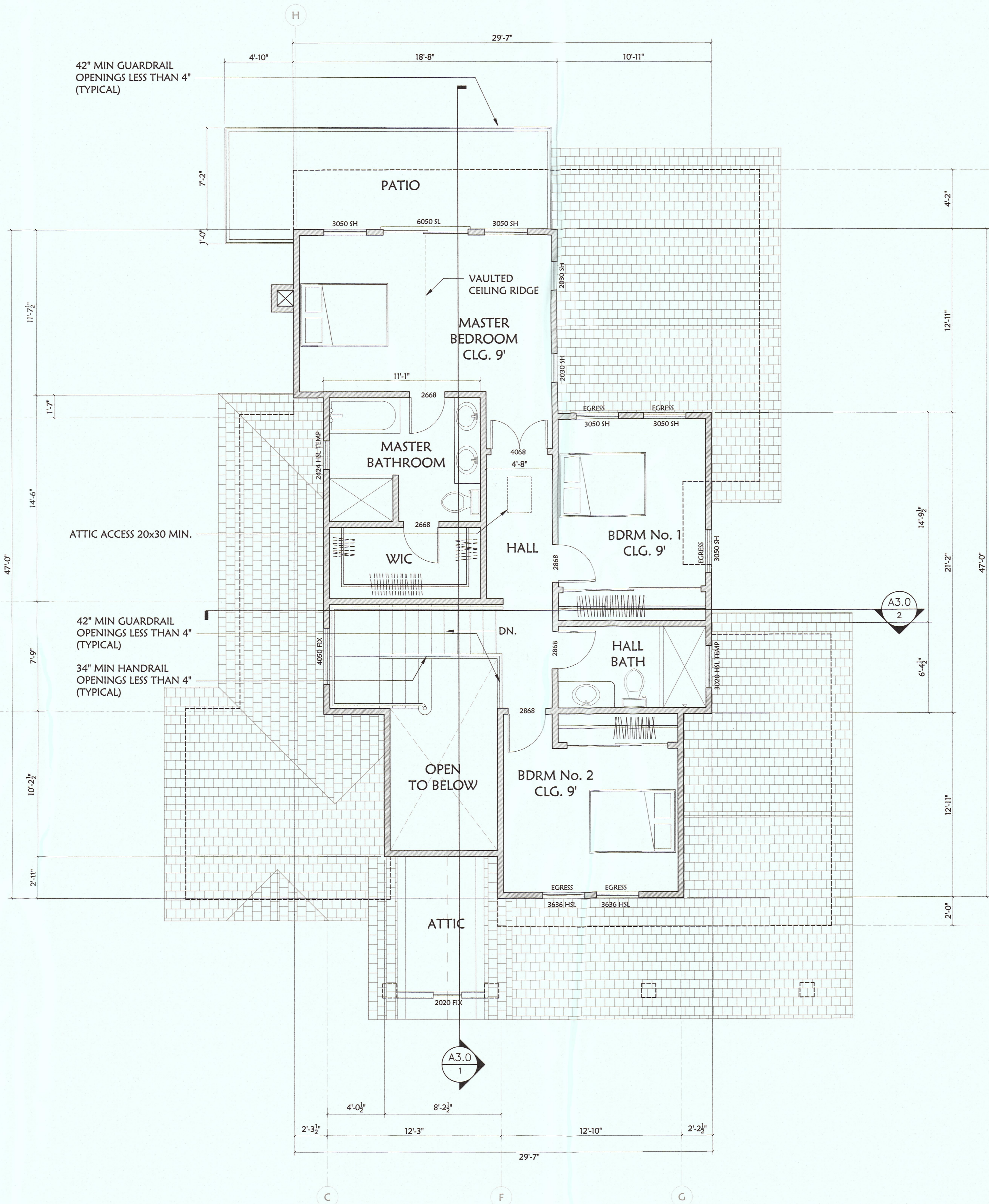
HORIZONTAL SLIDING WINDOW:



42" OR LESS TO INTERIOR FINISH FLOOR IN ALL CASES

EGRESS WINDOWS REQUIREMENTS:

1. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE EXTERIOR DOOR OR ESCAPE WINDOW.
2. ESCAPE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET.
3. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES.
4. THE MINIMUM NET OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES.
5. THE FINISH SILL HEIGHT SHALL NOT BE MORE THAN 42 INCHES ABOVE FINISH FLOOR.



PLUMBING FIXTURES WATER USAGE

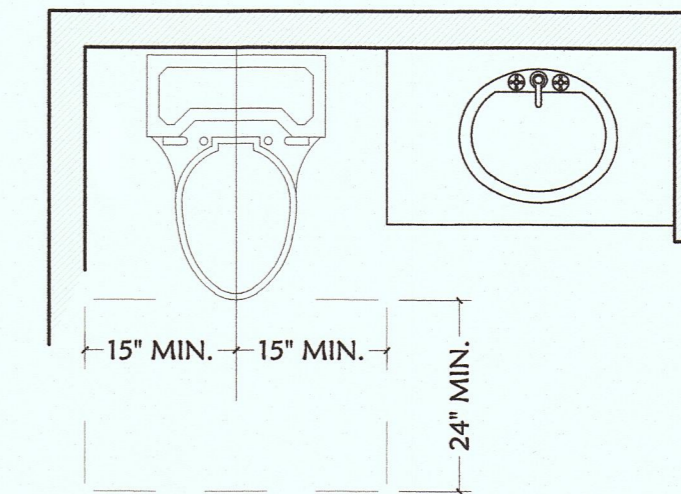
- MAXIMUM 2.0 GALLONS PER MINUTE FOR A SHOWERHEAD CONTROLLED BY A SINGLE VALVE. IF A SINGLE VALVE CONTROLS MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS CONTROLLED BY THE VALVE SHALL NOT EXCEED 2.0 GALLONS PER MINUTE.
- MAXIMUM 1.2 GALLONS PER MINUTE FOR BATHROOM FAUCETS (LAVATORIES).
- MAXIMUM 1.8 GALLONS PER MINUTE FOR KITCHEN FAUCETS; FAUCET MAY TEMPORARILY DISCHARGE 2.2 GALLONS PER MINUTE USING PUSH BUTTON-REVERTS BACK TO 1.8 GPM AFTER SHUT-OFF.
- MAXIMUM 1.28 GALLONS PER GALLONS PER FLUSH FOR NEW TOILETS.

NOTE X1: PLUMBING FIXTURES REQUIREMENTS

CONTROL VALVES AND SHOWER HEADS SHALL BE LOCATED ON THE SIDE WALL OF SHOWER COMPARTMENTS CPC 411.10 SHOWER AND TOP SHOWERS COMBINATIONS SHALL BE PROVIDED WITH PRESSURE BALANCE OR THERMOSTATIC MIXING TYPE CONTROL VALVES (CPC 418).

WATER CLOSETS:

SHALL BE SECURED TO FLOOR WITH CORROSION RESISTANT FASTENERS. 402.6.2 REQUIRES 15" FROM CENTER OF FIXTURE TO FINISHED WALL CLEARANCE 402.5 REQUIRES 24" CLEARANCE IN FRONT. CPC 402.5 & CPC 118-604.5.1



TOILET CLEARANCES

SCALE 1: 1/2"

- (E) WALL TO REMAIN
- (E) WALL TO BE DEMO
- WALL TO BE FILLED
- NEW WALL
- 7" L SD 7" STEP DOWN
- 7" L SU 7" STEP UP
- SH WINDOW SINGLE HUNG
- HSL WINDOW/DOOR HORIZONTAL SLIDER

DRAWING LEGEND

STAIRS NOTES:

WIDTH. STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES (914 MM) IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT HANDRAILS SHALL NOT PROJECT MORE THAN 4.5 INCHES (114 MM) ON EITHER SIDE OF THE STAIRWAY AND THE MINIMUM CLEAR WIDTH OF THE STAIRWAY AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL NOT BE LESS THAN 31 1/2 INCHES (787 MM) WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27 INCHES (698 MM) WHERE HANDRAILS ARE PROVIDED ON BOTH SIDES.

RISERS. THE MAXIMUM RISER HEIGHT SHALL BE 73/4 INCHES (196 ROM). THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH (9.5 MM). RISERS SHALL BE VERTICAL OR SLOPED FROM THE UNDERSIDE OF THE NOSING OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES (0.51 RAD) FROM THE VERTICAL. OPEN RISERS ARE PERMITTED PROVIDED THAT THE OPENING BETWEEN TREADS DOES NOT PERMIT THE PASSAGE OF A 4-INCH-DIAMETER (102 MM) SPHERE.

TREADS. THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES (254 MM). THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREADS LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH (9.5 MM).

NOSINGS. THE RADIUS OF CURVATURE AT THE NOSING SHALL BE NO GREATER THAN 9/16 INCH (14 MM). A NOSING NOT LESS THAN 1/2 INCH (19 MM) BUT NOT MORE THAN 1 1/2 INCHES (32 MM) SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST NOSING PROJECTION BY MORE THAN 1/2 INCH (9.5 MM) BETWEEN TWO STORIES, INCLUDING THE NOSING AT THE LEVEL OF FLOORS AND LANDINGS. BEVELING OF NOSINGS SHALL NOT EXCEED 1/2 INCH (12.7 MM).



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 ZIP CODE 94038



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 ENGINEER ARCHITECT AT REGISTRATION
 0120020411 OF UNIVERSIDAD DEL VALLE DE
 ATEMAJAC, AV. TEPEYAC #4800,
 PHONE 01152.33.3134.0800, GUADALAJARA,
 JALISCO, MEX.

Nº	Revision	Date
1		
2		

SHEET NAME:

**PROPOSED
2ND FLOOR PLAN**

Project No. H-161207
 Date APR.04.2017
 Scale as Show
A1.2

PROPOSED 2ND FLOOR PLAN

01 SCALE 1: 1/4"

ROOF PLAN NOTES:

MATERIALS: SEE EXTERIOR ELEVATIONS SHEET, ROOF MATERIAL INSTALLED PER MFG. SPECS.

ROOF SLOPE: SEE ROOF PLAN. PROVIDE BUILDING DEPARTMENT WITH ROOFING FELT APPLICATIONS SPECIFICATIONS AND COPY OF ICC COMPLIANCE REPORT FOR ROOFING MATERIAL PRIOR TO INSTALLATION.

ROOF OVERHANG SEE ROOF PLAN. U.O.N. ASPHALT SHINGLES MATERIALS INSTALLED ON ROOF WITH 2:12 TO 4:12 ROOF SLOPES ARE REQUIRED TO HAVE DOUBLE UNDERLAY MENT APPLICATION PER CRC.

1. LP TECHSHIELD RADIANT BARRIER SHEATHING OR SIMILAR INSTALLED PER MFG SPECS-TYPICAL. INSTALLED AT ALL NEW ROOFS.
2. PLUMBING VENTS SHALL TERMINATE AT LEAST 10-FT HORIZONTALLY FROM AND AT LEAST 3-FT ABOVE ANY OPERABLE WINDOW OR OPERABLE SKYLIGHTS, CPC, UMC.
3. CHIMNEY SHALL EXTEND 2-FT MINIMUM ABOVE ANY PART OF THE BUILDING WITHIN 10-FT OR PER ICC APPROVED METAL FIREPLACE. PROVIDE APPROVED SPARK ARRESTOR AT ALL FIREPLACE LOCATIONS.
4. PROVIDE 1-INCH AIR SPACE FOR VENTING AT ALL VAULT CEILINGS. IF 2"x8" OR SMALLER RAFTERS ARE USE AND R-30 OR GREATER INSULATION IS REQUIRED, USE RIGID INSULATIONS, LEAVING 1-INCH MIN. AIR SPACE. U.O.N.
5. ALL ATTIC AREAS MUST BE ACCESSIBLE BY A MINIMUM 22"x30" ATTIC ACCESS. PROVIDE 30"x30" ACCESS WHERE FAU WILL BE LOCATED IF APPLICABLE.

ATTIC VENTILATION:

ATTIC VENTILATION: 1/150 OF ATTIC AREA, IF A CLASS I OR II VAPOR BARRIER IS APPLIED TO WARM-IN WINTER SIDE OF CEILING, OR IF 40% - 50% OF THE VENTS ARE NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE ROOF AREA; THEN THE RATIO MAY BE REDUCED TO 1/300. (R806.2) UNVENTED ATTICS MAY BE ALLOWED IF MEETING THE REQUIREMENTS OF R806.5.

ATTIC VENTILATION NOTES:

1. GENERAL CONTRACTOR SHALL INSTALL COBRA RIDGE VENTS CONTINUOUS O SIMILAR.
2. INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1 INCH AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING.
3. NEAR OR AT RIDGE ATTIC SHALL BE VENTILATED EITHER WITH A CONTINUOUS RIDGE VENT OR WITH EYE BROW VENTS SEE ROOF PLAN.
4. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED, EXCEPT THAT THE AREA MAY BE 1/30 PROVIDED AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATOR LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE THE EAVE WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY THE EAVE VENTS.

ATTIC VENTILATION CALCULATION:

NEW 1ST FLOOR SPACE VENTILATION AREA
= 1,104.55 / 150 = 7.36 X 144 = 1,059.84 S.I

LOW VENTILATION REQUIRED = 529.92 S.I
INSTALL MIN 7 O'HAGIN'S TAPERED LOW PROFILE ATTIC VENT WITHIN 3' OF EDGE.

UPPER VENTILATION REQUIRED = 529.92 S.I.
INSTALL MIN 8 O'HAGIN'S TAPERED LOW PROFILE ATTIC VENT NEAR THE RIDGE.

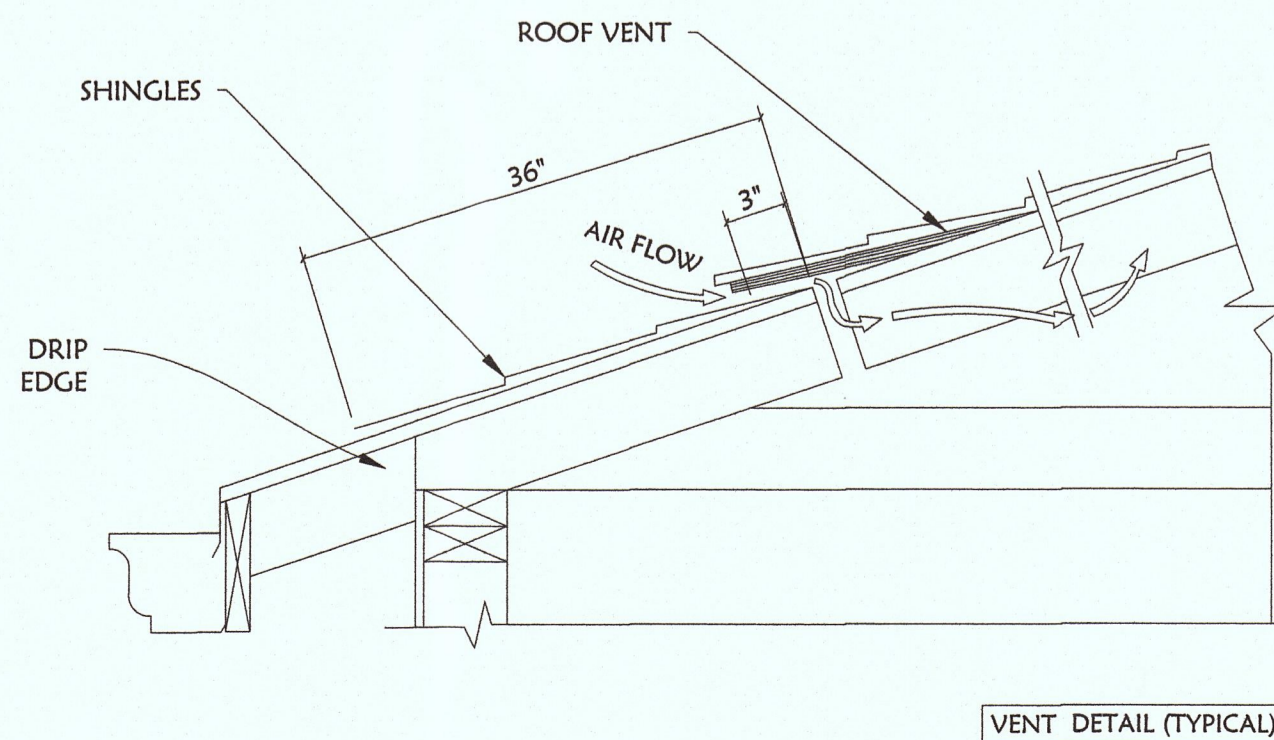
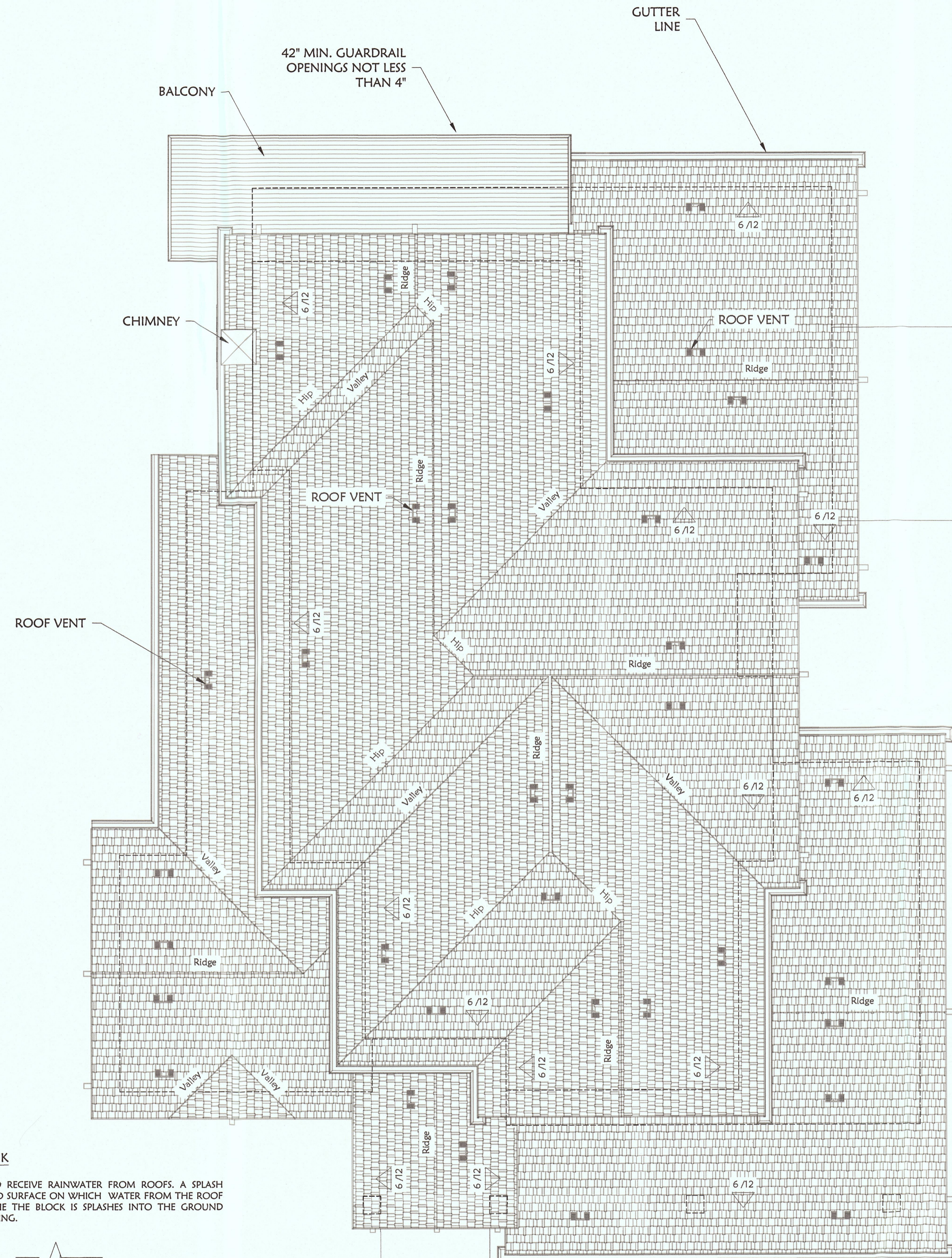
15 O'HAGIN'S VENTS (72) X 15 = 1,080 S.I. OK.

NEW SECOND FLOOR SPACE VENTILATION AREA
= 1,072 / 150 = 7.15 X 144 = 1,029.60 S.I

LOW VENTILATION REQUIRED = 514.80 S.I
INSTALL MIN 7 O'HAGIN'S TAPERED LOW PROFILE ATTIC VENT WITHIN 3' OF EDGE.

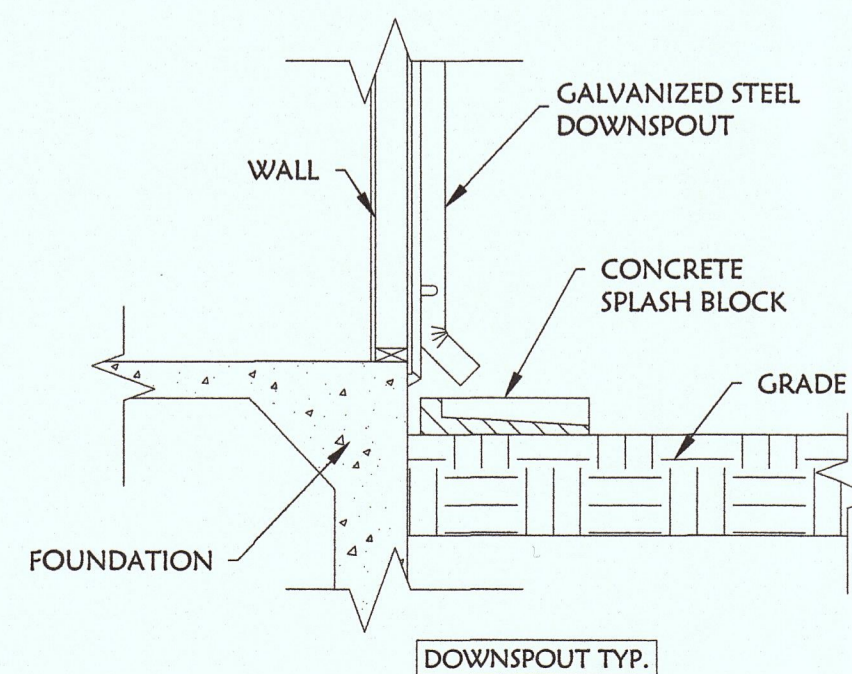
UPPER VENTILATION REQUIRED = 514.80 S.I.
INSTALL MIN 8 O'HAGIN'S TAPERED LOW PROFILE ATTIC VENT NEAR THE RIDGE.

15 O'HAGIN'S VENTS (72) X 15 = 1,080 S.I. OK.



SPLASH BLOCK

ARE NEEDED TO RECEIVE RAINWATER FROM ROOFS. A SPLASH BLOCK IS A HARD SURFACE ON WHICH WATER FROM THE ROOF FALLS. FROM THE THE BLOCK IS SPLASHES INTO THE GROUND NEAR THE BUILDING.



PROPOSED ROOF PLAN

01 SCALE 1: 1/4"

NEW RESIDENCE FOR:
"AR PROPERTIES"
898 SAN RAMON AVE, MOSS BEACH CA.
ZIP CODE 94038



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Nº	Revision	Date
1		
2		

SHEET NAME:
PROPOSED ROOF PLAN

Project No. H-161207
Date APR.04.2017
Scale as Show

A1.3

EMERGENCY ESCAPE AND RESCUE OPENINGS

BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS, EMERGENCY EGRESS AND RESCUE OPENINGS SHALL BE REQUIRED IN EACH SLEEPING ROOM. WHERE EMERGENCY ESCAPE AND RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 42 INCHES (1067 MM) MEASURED FROM THE WHERE A DOOR OPENING HAVING A THRESHOLD BELOW THE ADJACENT GROUND ELEVATION SERVES AS AN EMERGENCY ESCAPE AND RESCUE OPENING AND IS PROVIDED WITH A BULKHEAD ENCLOSURE. THE BULKHEAD ENCLOSURE SHALL COMPLY WITH SECTION R310.3. THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE. EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL IN ACCORDANCE WITH SECTION R310.2. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.

EGRESS DOOR.

AT LEAST ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE EGRESS DOOR SHALL BE SIDEHINGED, AND SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32 INCHES (813 MM) WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES (1.57 RAD). THE MINIMUM CLEAR HEIGHT OF THE DOOR OPENING SHALL NOT BE LESS THAN 78 INCHES (1981 MM) IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP. OTHER DOORS SHALL NOT BE REQUIRED TO COMPLY WITH THESE MINIMUM DIMENSIONS. EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

FLOORS AND LANDINGS AT EXTERIOR DOORS.

THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36 INCHES (914 MM) MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 1 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2-PERCENT).

VERTICAL EGRESS.

EGRESS FROM HABITABLE LEVELS INCLUDING HABITABLE ATTICS AND BASEMENTS NOT PROVIDED WITH AN EGRESS DOOR IN ACCORDANCE WITH SECTION R311.2 SHALL BE BY ONE OR MORE RAMP IN ACCORDANCE WITH SECTION R311.8 OR ONE OR MORE STAIRWAYS IN ACCORDANCE WITH SECTION R311.7 OR FOR HABITABLE LEVELS OR BASEMENTS LOCATED MORE THAN ONE STORY ABOVE OR MORE THAN ONE STORY BELOW AN EGRESS DOOR. THE MAXIMUM TRAVEL DISTANCE FROM ANY OCCUPIED POINT TO A STAIRWAY OR RAMP THAT PROVIDES EGRESS FROM SUCH HABITABLE LEVEL OR BASEMENT, SHALL NOT EXCEED 50 FEET (15240 MM).

RAMP

SHALL HAVE A MAXIMUM SLOPE OF 1 UNIT VERTICAL IN 12 UNIT HORIZONTAL (8.33-PERCENT SLOPE).

UNDER FLOOR VENTS CALC'S

UNDER FLOOR SPACE SHALL HAVE A VENTILATION OPENING AREA OF 1/150 SQUARE FEET OF UNDER FLOOR AREA. IF A CLASS 1 VAPOR RETARDER IS USED THE RATIO MAY BE REDUCED TO 1/1500. ONE OPENING SHALL BE PLACED WITHIN 3 FEET OF EACH BUILDING CORNER. OPENINGS SHALL BE COVERING HAVING OPENINGS NO GREATER THAN 1/4". (R408.2).

NEW ADDITION $499/150 = 3.33$ S.F. x 146 = 479.52 S.I.
 REQUIRED VENT AREA FOR NEW ADDITION = 204.40 S.I.
 VENT SIZE = 6' X 14" 80 S.I. (FREE)
 No. OF VENTS REQUIRED $479.52 / 80 = 5.99$ INSTALL MIN. 6 VENTS

240 LB., 30-YR. CLASS "A" FIRE-RATED DIMENSIONAL FIBERGLASS COMPOSITION ROOF SHINGLES PER MANUFACTURER'S SPECIFICATIONS. INSTALL OVER A LAYER OF #30 NON-PERFORATED ROOFING FELT. INSTALL ALL SHEET METAL WITH NEW: INCLUDING ROOF JACKS, CRICKETS, SADDLES, AND/OR FLASHING/EDGE STRIPS.



772 Oldhouse Circle, Suite 100
 CA 95111-4083 (924)
 hzr.arch@gmail.com

THESE PLANS, SPECIFICATIONS, DETAILS, AND DESIGNS ARE THE SOLE PROPERTY OF HZR ARCHITECTURAL DESIGN. CONSTRUCTION IS LIMITED TO ONE TIME USE ON THE PROPERTY NAMED HEREIN. THESE PAGES MAY NOT BE DISPLAYED, COPIED, OR USED IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF HZR ARCHITECTURAL DESIGN. THESE PLANS HAVE BEEN DRAWN TO COMPLY WITH THE CLIENT'S SPECIFICATIONS, AND ANY CHANGES MADE TO THEM AFTER PRINTS ARE MADE SHALL BE DONE AT THE CLIENT'S EXPENSE.

NEW RESIDENCE FOR:
"AR PROPERTIES"
 898 SAN RAMON AVE, MOSS BEACH CA.
 ZIP CODE 94038

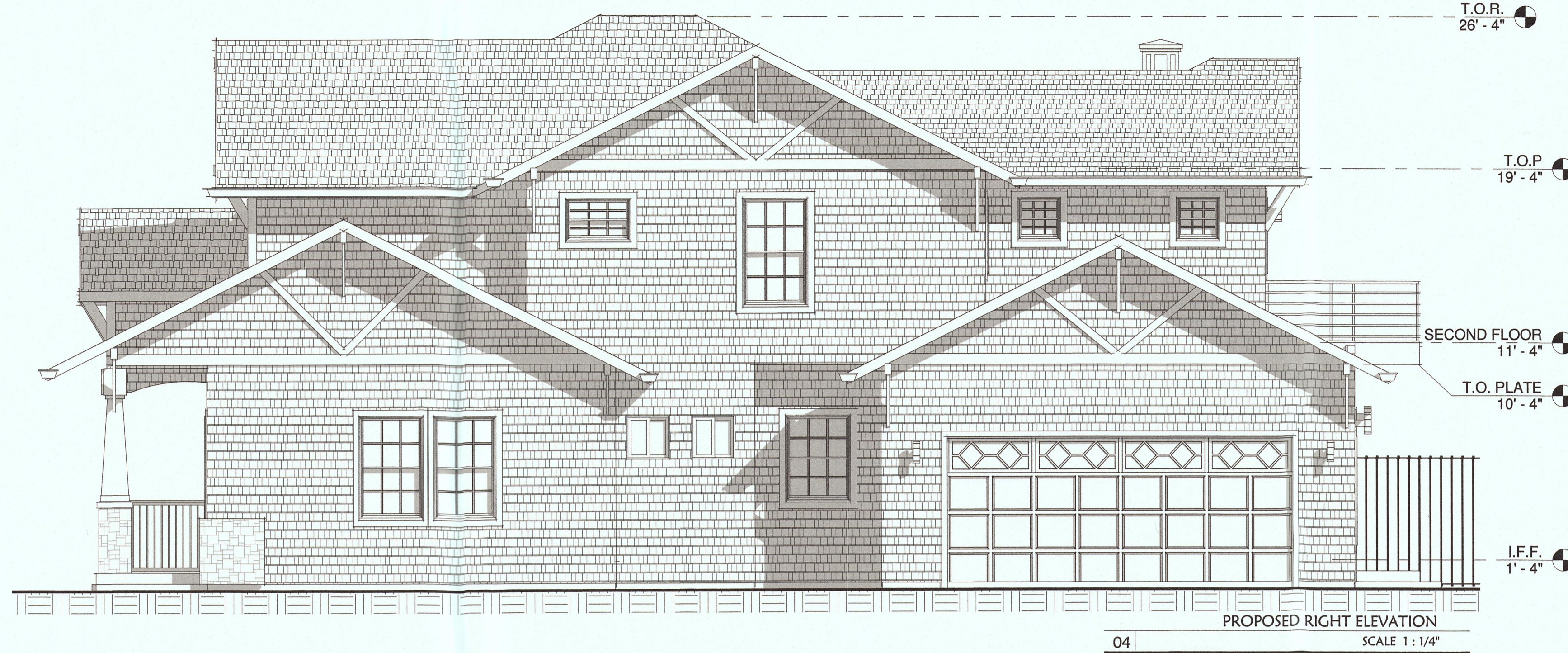


Authorization Sign
 Silverio H. Madera / Designer
 ENGINEER ARCHITECT AT REGISTRATION
 0120020411 OF UNIVERSIDAD DEL VALLE DE
 ATEMAJAC, AV. TEPEYAC #4800,
 PHONE 01152.33.3134.0800,
 GUADALAJARA, JALISCO, MEX.

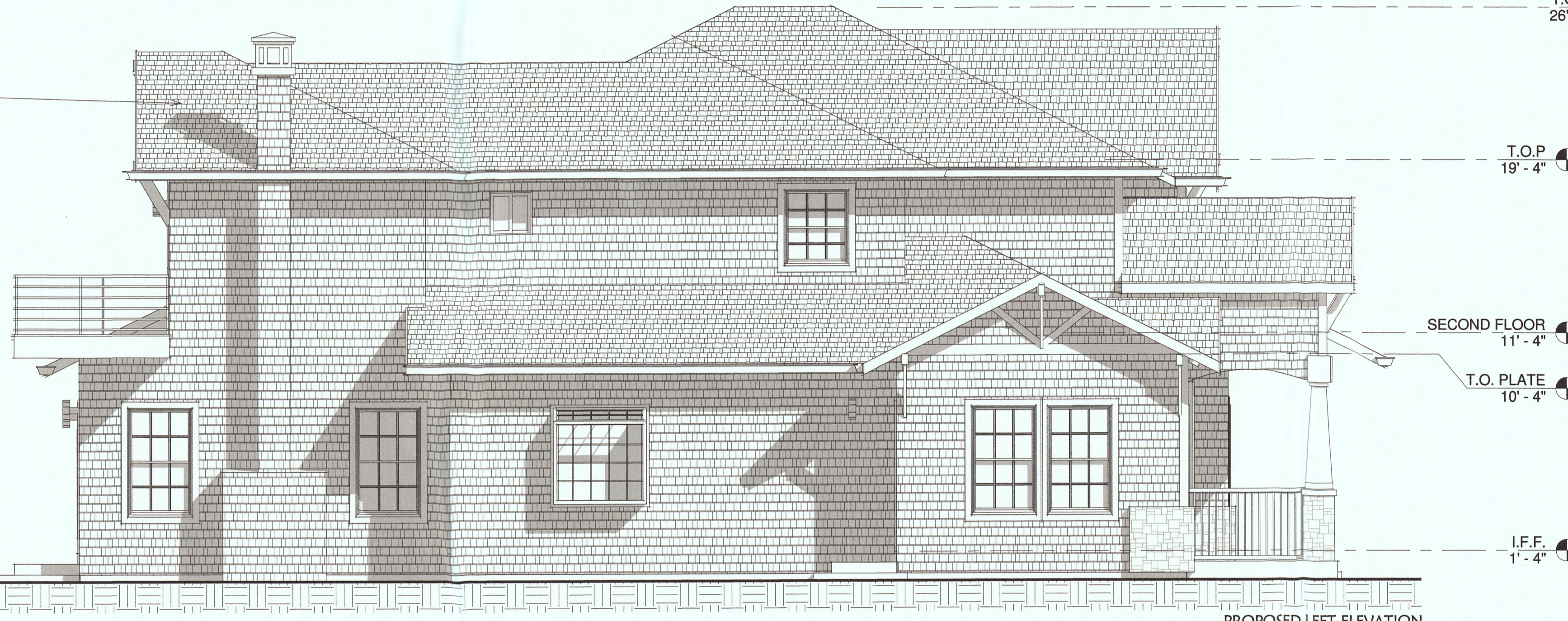
Nº	Revision	Date
1		
2		

PROPOSED ELEVATIONS

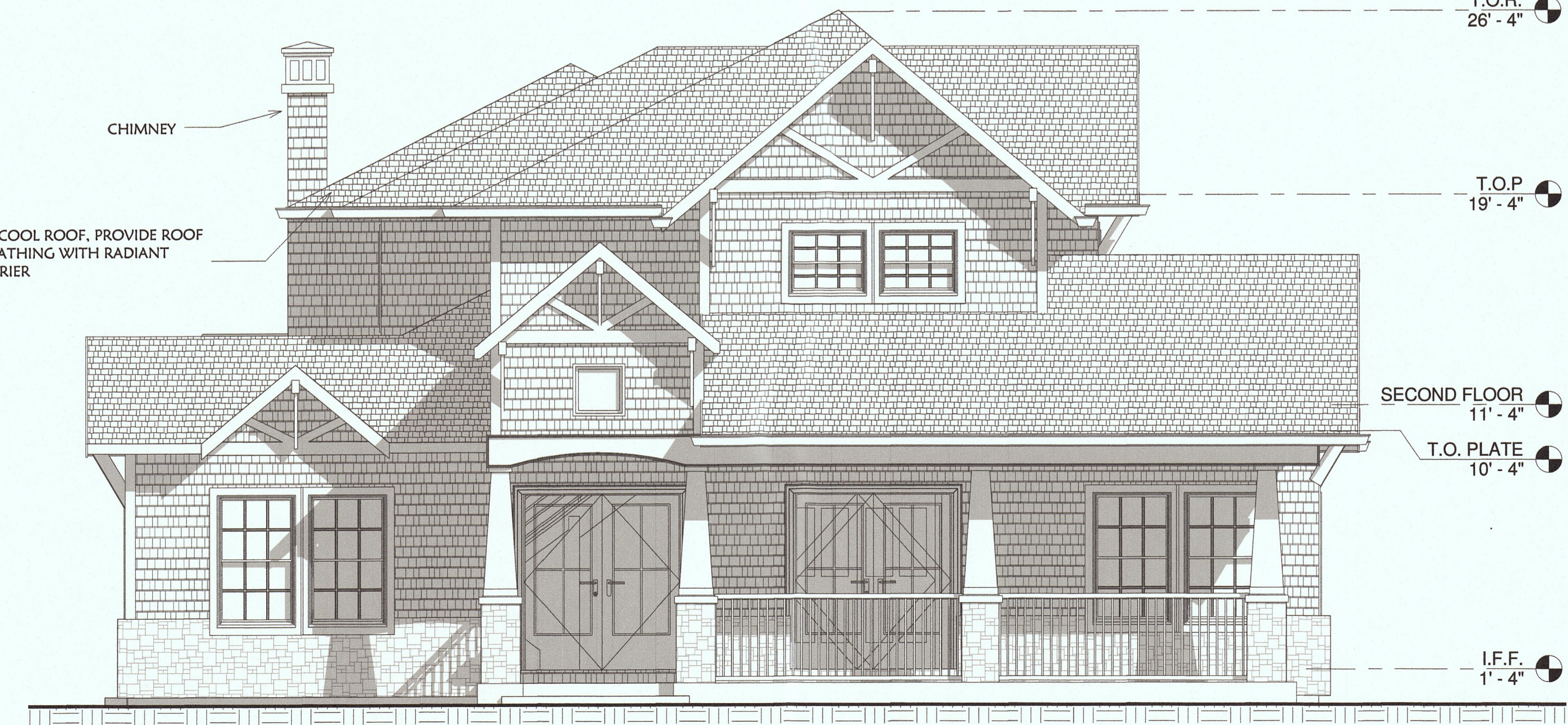
Product No. H-161207 Sheet No.
 Date APR.04.2017 **A2.0**
 Scale as Show



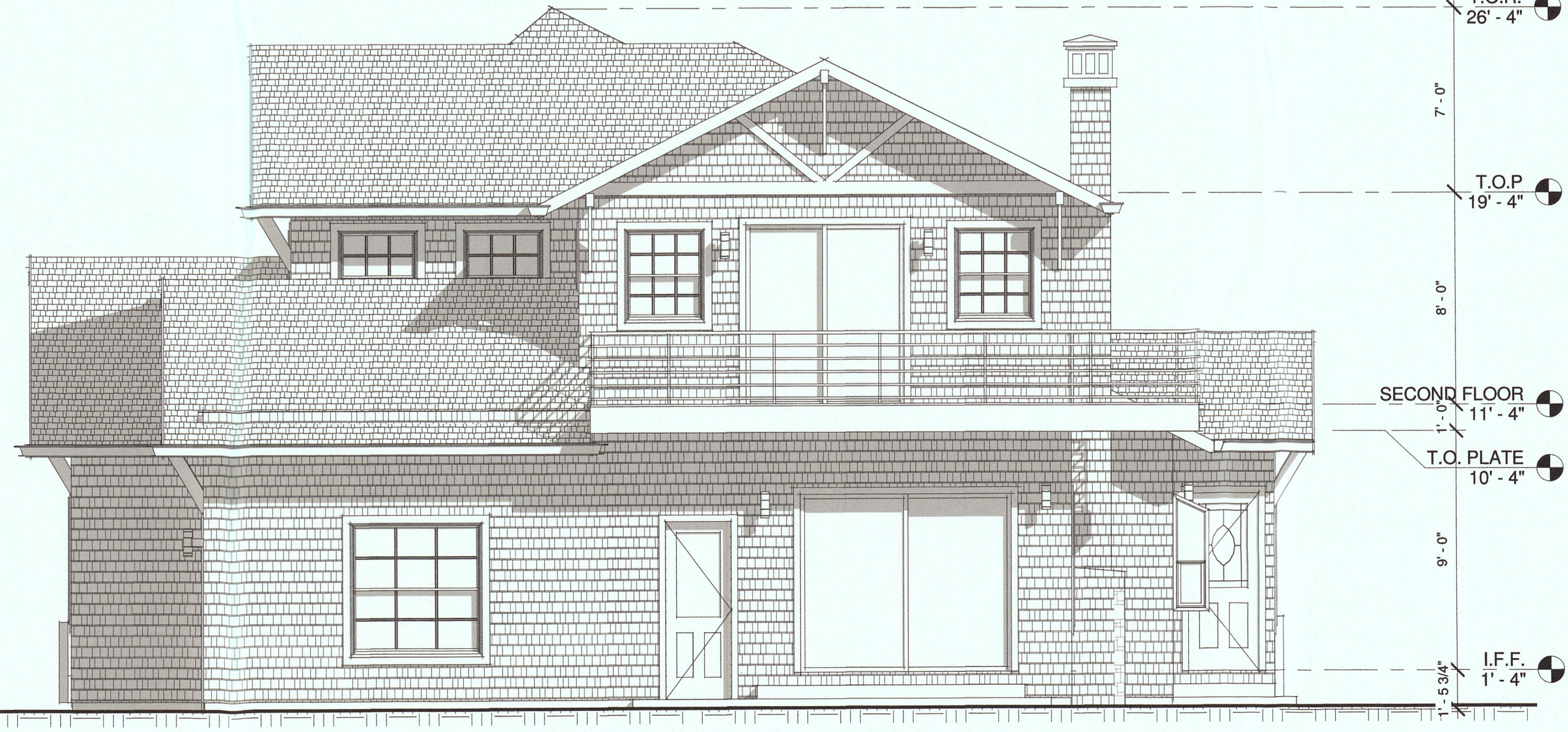
04 PROPOSED RIGHT ELEVATION SCALE 1: 1/4"



03 PROPOSED LEFT ELEVATION SCALE 1: 1/4"



01 PROPOSED FRONT ELEVATION SCALE 1: 1/4"



01 PROPOSED REAR ELEVATION SCALE 1: 1/4"

NEW RESIDENCE FOR:
"AR PROPERTIES"
898 SAN RAMON AVE, MOSS BEACH CA.
ZIP CODE 94038



Authorization Sign
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ENGINEER ARCHITECT AT REGISTRATION
0120020411 OF UNIVERSIDAD DEL VALLE DE
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PHONE 01152.33.3134.0800.
GUADALAJARA, JALISCO, MEX.

Nº	Revision	Date
1		
2		

SHEET NAME:

CROSS SECTIONS

Project No. H-161207
Date JAN.27.2017
Scale as Show

A3.0

WINDOW AND SLIDING GLASS DOOR NOTES:

GENERAL:

1. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL WINDOWS, PATIO DOORS AND SKYLIGHTS AND PROVIDE ALL FLASHING AND CAULKING REQUIRED TO PROVIDE A WEATHER PROOF INSTALLATION. THE INSTALLATION SHALL CONFORM TO CEC AIR FILTRATION STANDARDS.
2. WINDOWS AND PATIO DOORS SHALL BE LABELED PER THE CBC
3. WINDOWS AND PATIO DOORS SHALL HAVE DOUBLE GLAZING AND WEATHER-STRIPPING MEETING ANSI AND CEC AIR FILTRATION STANDARDS.
4. THE CONTRACTOR SHALL FURNISH AND INSTALL SCREENS AT ALL OPENINGS.

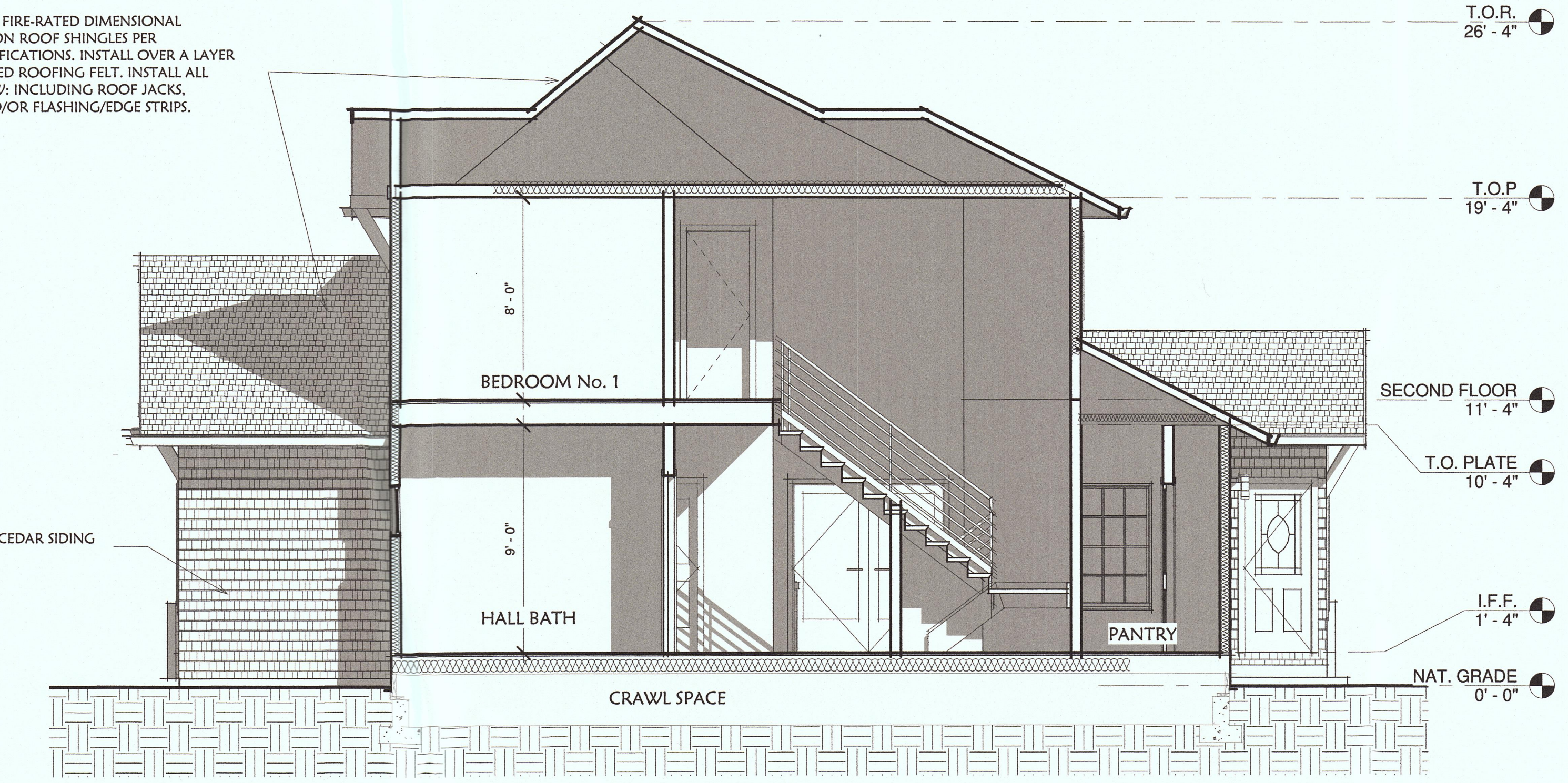
TEMPERED SAFETY GLAZING:

- PROVIDE TEMPERED SAFETY GLAZING AT THE FOLLOWING LOCATIONS
- A. WHERE GLAZING IS LOCATED WITHIN A 24 INCH ARC OF A WINDOW VERTICAL EDGES.
 - B. WINDOWS GREATER THAN NINE SQUARE FEET WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LOCATED LESS THAN 18 INCHES ABOVE THE FINISH FLOOR.
 - C. WHERE GLAZING IS LOCATED IN WALLS ENCLOSING STAIRWAYS AND STAIRWAY LANDINGS OR WITHIN 5 FEET OF THE TOP AND BOTTOM OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE.
 - D. WINDOWS OVER BATHTUB OR SHOWER.
 - E. ALL GLASS SHOWER ENCLOSURES.
 - F. SKYLIGHTS AND SLOPED GLAZING.

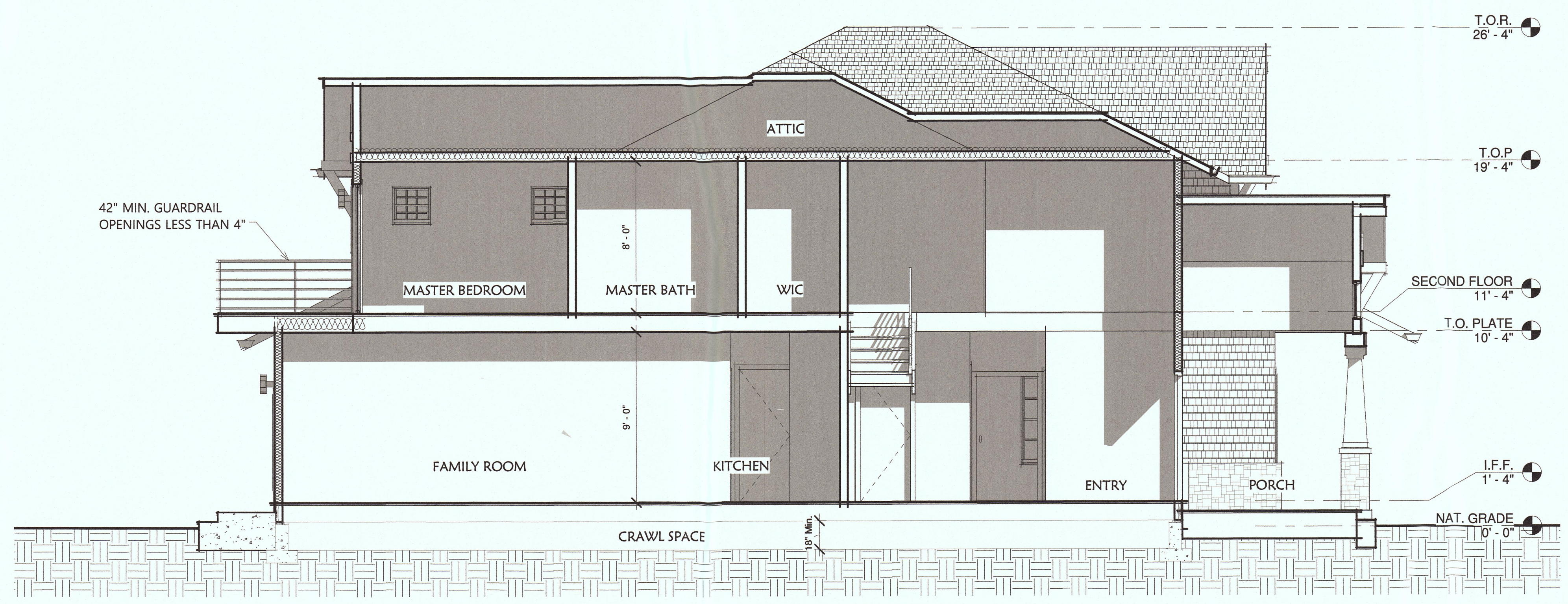
EGRESS:

1. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE EXTERIOR DOOR OR ESCAPE WINDOW.
2. ESCAPE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET, 1st FLOOR 5.0 S.F.
3. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES.
4. THE MINIMUM NET OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES.
5. THE FINISH SILL HEIGHT SHALL NOT BE MORE THAN 44 INCHES ABOVE FINISH FLOOR INCLUDE WINDOW TRACK (WINDOW OPENING HEIGHT)

240 LB., 30-YR. CLASS "A" FIRE-RATED DIMENSIONAL FIBERGLASS COMPOSITION ROOF SHINGLES PER MANUFACTURER'S SPECIFICATIONS. INSTALL OVER A LAYER OF #30 NON-PERFORATED ROOFING FELT. INSTALL ALL SHEET METAL WITH NEW; INCLUDING ROOF JACKS, CRICKETS, SADDLES, AND/OR FLASHING/EDGE STRIPS.



02 CROSS SECTION B
SCALE 1 : 1/4"



01 CROSS SECTION A
SCALE 1 : 1/4"

REVISIONS	DATE



GPE Engineering
 586 NORTH FIRST STREET, SUITE 215
 SAN JOSE, CALIFORNIA 95112
 510-449-2026

Proposed Landscaping Plan for:
AR PROPERTIES
 898 SAN RAMON AVE. MOSS BEACH CA.

PROJECT:

SHEET TITLE :

LANDSCAPE PLAN

DRAWN BY : SHM
 DESIGNED BY : AMP
 DATE : Feb 28, 2017
 SCALE : 1 1/2" = 1'
 SHEET NO. :

L-1
 OF X SHEETS

LANDSCAPE LEGEND

KEY	COMMON NAME	BOTANICAL NAME	SIZE	QUANTITY
	PLUM TREE	PRUNUS CERASIFERA	15 GAL	2
	CALIFORNIA LIVE OAK	CHRYSOLEPIS	15 GAL	2
	CEANOTHUS DARK STAR	DARK STAR	1 GAL	10
	PAVERS	MODEL BY OWNER		
	GRAVEL DRAINAGE AREAS	UNDERLAY WITH 6 MILL POLY.		
	SEDUM ANGELINA	SEDUM RUPESTRE		
	LANTANA TRAILING	LANTANA MONTEVIDENSIS		
	BARK GROUND			

NOTE: ALL INDICATED LANDSCAPE AREAS WILL BE DONE WITH ZEROSCAPE FOR MINIMUM WATER USAGE. AN AUTOMATIC DRIP SYSTEM SHALL BE INSTALLED THROUGHOUT ALL LANDSCAPED AREAS AND SHALL BE DESIGNED AND INSTALLED BY QUALIFIED CONTRACTOR. CONTRACTOR TO SUBMIT PLANS FOR APPROVAL BY THE OWNER AND ARCHITECT PRIOR TO THE AWARDED OF CONTRACT FOR INSTALLATION.

NOTES

- ALL CONSTRUCTION MATERIALS TO BE STORED IN DRIVE AREA DURING CONSTRUCTION.
- AUTOMATIC DRIP SYSTEM TO BE INSTALLED IN ALL PLANTING AREAS.
- OVER-DIG ALL TREE AND SHRUB HOLES TWO TIMES BALL SIZE AND REPLACE WITH MIX OF TOPSOIL AND ORGANIC MATERIAL.
- MULCH ALL PERENNIAL BEDS WITH AT LEAST THREE INCHES OF ORGANIC MULCH.
- RE-VEGETATE ALL AREAS TO REMAIN NATIVE WITH NATIVE GRASSES.
- THERE IS TO BE NO SOD.
- TRASH TO BE ENCLOSED IN GARAGE.
- APPLY ROCK OVER 6 MIL PLOY WHERE WATER IS CHANNELED AROUND HOUSE. DESIGN FOR SHEET DRAINAGE WHERE WATER IS NOT CHANNELED.

DARK STAR



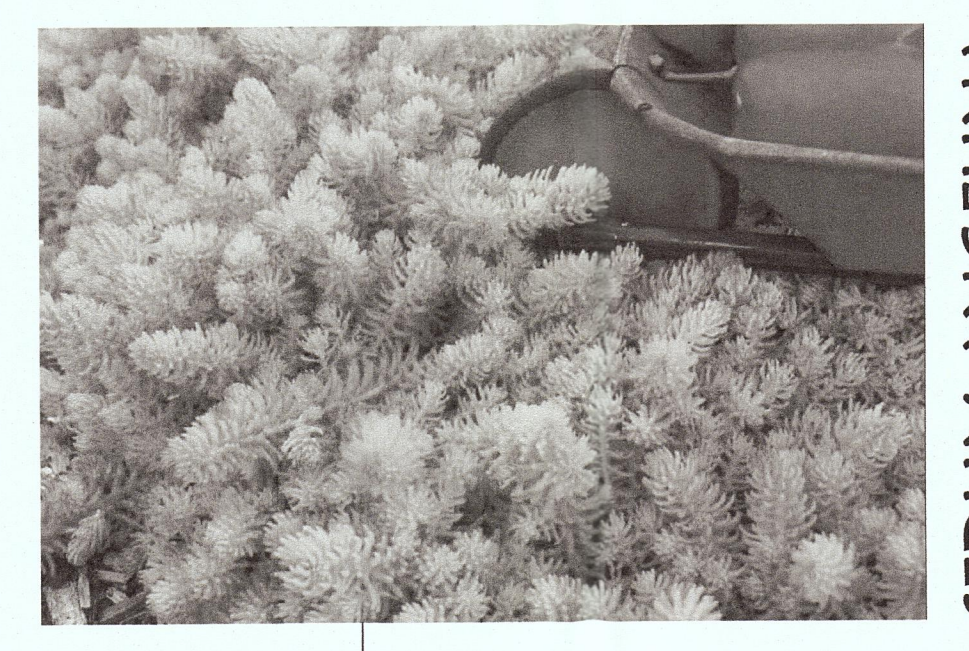
PLUM TREE



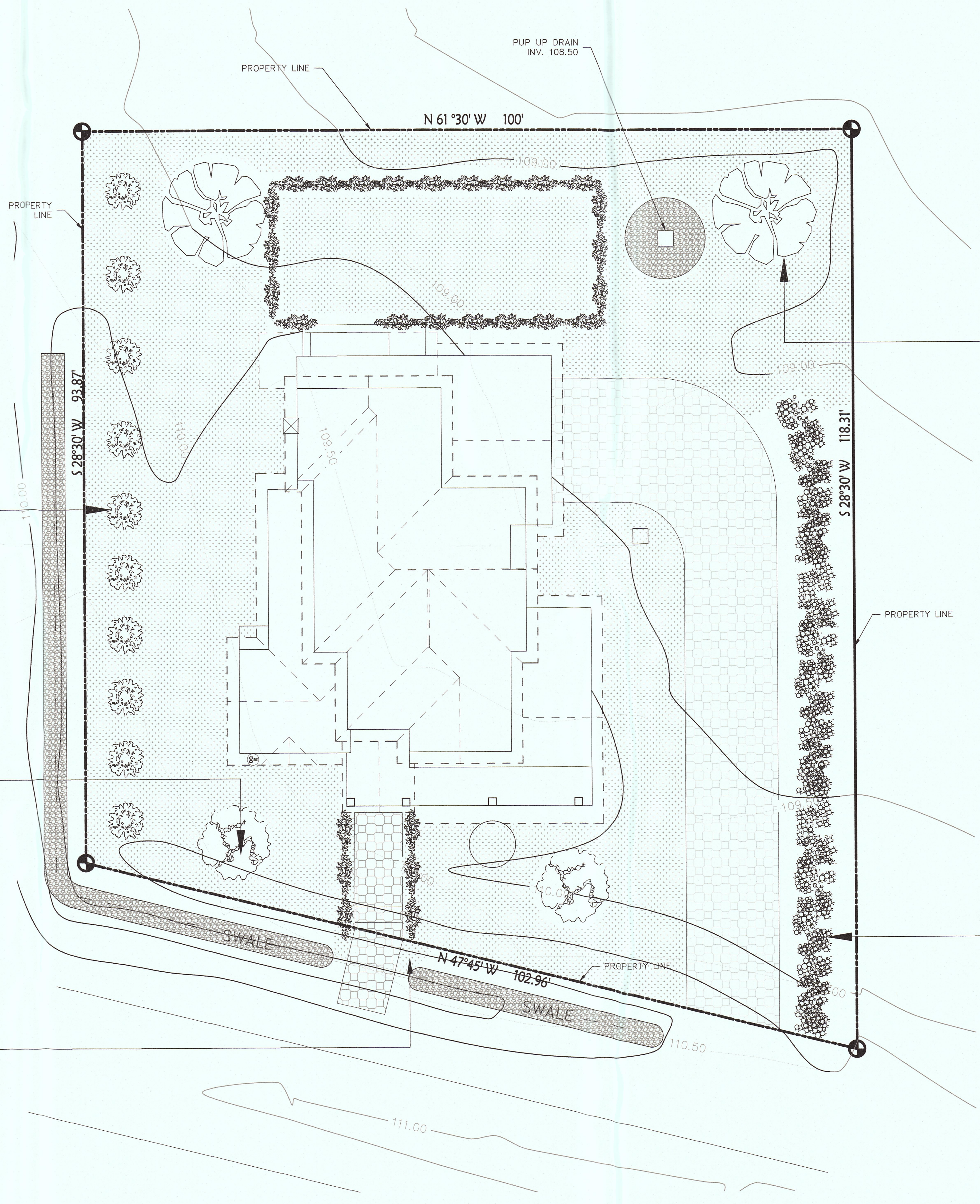
LANTANA TRELING



CALIFORNIA LIVE OAK



SEDUM ANGELINA



LANDSCAPE AREA	
BACK YARD AREA 2 FEET BY 80 FEET BORDER OF BARK AREA	160
RIGHT YARD GROUND COVER 2x60	120
LEFT EDGE 2x60	120
TREES TOTAL	25
FRONT WALK GROUND COVER 1x20	20
LANDSCAPE AREA	465

Date	08/14/2017
Scale	1" = 10'
Design	D.L.
Drawn	D.J.P.
Approved	R.H.
Job No.	20170256-10
Drawing Number:	C2.1

ABBREVIATIONS:

AB	AGGREGATE BASE	INV	INVERT ELEVATION
AC	ASPHALT CONCRETE	JT	JOINT TRENCH
AD	AREA DRAIN	JP	JOINT POLE
ATD	ATRIUM DRAIN	LD	LANDSCAPE DRAIN
BFPD	BACK FLOW PREVENTION DEVICE	LF	LINEAR FEET
BS	BOTTOM STEP ELEVATION	LP	LOW POINT
CB	CATCH BASIN	NEW	NEW
CL	CENTER LINE	POC	POINT OF CONNECTION
CS	CRAWL SPACE ELEVATION	RET	RETAINING WALL
CONC	CONCRETE	RIM	RIM ELEVATION
DS	ROOF DOWN SPOUT	S	SLOPE
DW	DOMESTIC WATER LINE	SAP	SEE ARCHITECTURAL PLANS
DWY	DRIVEWAY	SD	STORM SUB DRAIN
(E)	EXISTING GRADE	SDBCO	STORM SUB DRAIN CLEANOUT
EG	EXISTING GRADE	SD	STORM DRAIN
ELEC	ELECTRICAL	SDCO	STORM DRAIN CLEANOUT
EM	ELECTRICAL METER	SGR	SEE GEOTECHNICAL REPORT
EP	EDGE OF PAVEMENT	SICB	SIDE INLET CATCH BASIN
FF	FACE OF CURB ELEVATION	SLP	SEE LANDSCAPE PLANS
FG	FINISHED FLOOR ELEVATION	SPP	SEE PLUMBING PLANS
FL	FLOW LINE ELEVATION	SS	SANITARY SEWER
FM	FORCE MAIN LINE	SSCO	SANITARY SEWER CLEANOUT
FS	FINISHED SURFACE ELEVATION	SSP	SEE STRUCTURAL PLANS
FW	FIRE WATER LINE	TS	TOP STEP ELEVATION
GB	GRADE BREAK	TW	TOP OF WALL ELEVATION
GM	GAS METER	TYP	TYPICAL
GR	GRATE ELEVATION	USD	UNDERSLAB DRAIN
GV	GATE VALVE	VD	PIPE VERTICAL DROP
HP	HIGH POINT	W	DOMESTIC WATER LINE
		WM	WATER METER

LEGEND:

EXISTING	PROPOSED	
---	---	BOUNDARY
---	---	LIMIT OF WORK
---	---	SWALE
---	---	SANITARY SEWER
---	---	SOLID STORM DRAIN
---	---	PERFORATED SUB DRAIN
---	---	FORCE MAIN
---	---	FIRE SERVICE
---	---	DOMESTIC WATER SERVICE
---	---	IRRIGATION SERVICE
---	---	NATURAL GAS
---	---	TELEPHONE
---	---	TV/CABLE TV
---	---	ELECTRIC
---	---	JOINT TRENCH
---	---	OVERHEAD WIRES
---	---	FENCE
---	---	CLEAN OUT TO GRADE
---	---	FOUND MONUMENT
---	---	DOUBLE DETECTOR CHECK VALVE
---	---	VALVE
---	---	METER BOX
---	---	STREET LIGHT
---	---	DRAIN
---	---	ATRIUM DRAIN
---	---	CATCH BASIN
---	---	FIRE HYDRANT
---	---	FIRE DEPARTMENT CONNECTION
---	---	BENCHMARK
---	---	MANHOLE
---	---	SIGN
---	---	SPLASH BLOCK
---	---	DETAIL NUMBER
---	---	SHEET LOCATION

EARTHWORK QUANTITIES

GROSS FIGURES		QUANTITY BREAKDOWN	
CUT	134 CUBIC YARDS	BUILDINGS	
FILL	9 CUBIC YARDS	CUT	86 CUBIC YARDS
TOTAL	143 CUBIC YARDS	FILL	0 CUBIC YARDS
BALANCE	125 CUBIC YARDS OF EXPORT	SITE WORK AND LANDSCAPING	
		CUT	48 CUBIC YARDS
		FILL	9 CUBIC YARDS
FOR SITE DEVELOPMENT REVIEW SUBMITTAL, EARTHWORK CUT VOLUME WITHIN FOOTPRINT OF HOUSE HAS BEEN OMITTED.			
NET FIGURES			
CUT	48 CUBIC YARDS		
FILL	9 CUBIC YARDS		
TOTAL	57 CUBIC YARDS		
BALANCE	39 CUBIC YARDS OF EXPORT		

EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION, AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES.

RECEIVED

AUG 18 2017

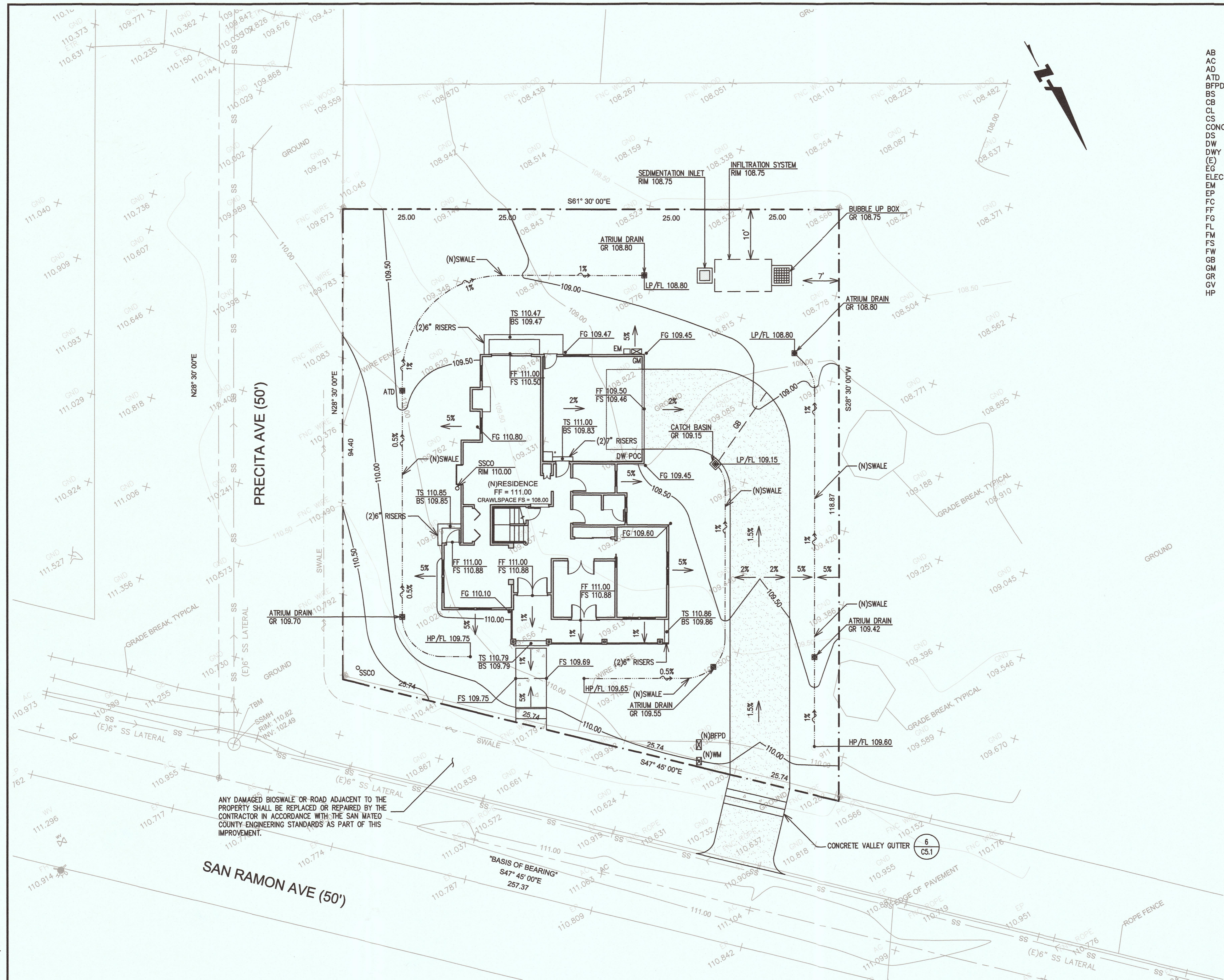
San Mateo County
 Planning Division

GRAPHIC SCALE



Know what's below.
 Call before you dig.

PLN2017-00064



ANY DAMAGED BIOSWALE OR ROAD ADJACENT TO THE PROPERTY SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR IN ACCORDANCE WITH THE SAN MATEO COUNTY ENGINEERING STANDARDS AS PART OF THIS IMPROVEMENT.

PAVEMENT LEGEND:

SEE GEOTECHNICAL REPORT FOR EXACT RECOMMENDATION FOR GRADING OPERATIONS AND OVEREXCAVATION ON-SITE.

	AC PAVING	4" AC PAVING OVER 8" OF CALTRANS CLASS 2 BASE ROCK. DRIVEWAY TO BE BORDERED WITH REDWOOD HEADER.
	CONCRETE	4" CONCRETE W/#4 BARS 12" O.C. - EACH WAY OVER 8" OF CALTRANS CLASS 2 BASE ROCK.

IMPERVIOUS AREAS

TOTAL PROPERTY AREA	10,663 SF
IMPERVIOUS AREAS:	
PRE-CONSTRUCTION	0 SF
POST-CONSTRUCTION	3,553 SF

SHEET INDEX

SHEET NO.	DESCRIPTION
C2.1	GRADING PLAN
C3.1	UTILITY PLAN
C4.1	EROSION CONTROL PLAN
C4.2	BMP SHEET
C5.1	DETAIL SHEET

STORM DRAIN NOTES:

- PRIVATE STORM DRAIN LINE 4-INCH THROUGH 12-INCH WITH A MINIMUM OF TWO (2) FEET OF COVER IN NON-TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 WHITE PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-73 WITH GLUED JOINTS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS, 45° ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
- PRIVATE STORM DRAIN LINE 6-INCH THROUGH 12-INCH WITH LESS THAN THREE (3) FEET OF COVER IN VEHICULAR TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) C900, RATED FOR 150 PSI CLASS PIPE. PROVIDE AND INSTALL "STORM DRAIN" MARKER TAPE FOR THE ENTIRE LENGTH OF PIPE TRENCH IN ACCORDANCE WITH TOWN STANDARDS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, OBTUSE ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
- ALL AREA DRAINS AND CATCH BASINS GRATES WITHIN PEDESTRIAN ACCESSIBLE AREAS SHALL MEET ADA REQUIREMENTS.
- ALL TRENCHES SHALL BE BACK FILLED PER THE SPECIFICATIONS WITH APPROPRIATE TESTS BY THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.
- FOR GRAVITY FLOW SYSTEMS CONTRACTOR SHALL VERIFY (POTHOLE IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL SYSTEMS THAT ARE TO BE CONNECTED TO OR CROSSED PRIOR TO THE TRENCHING OR INSTALLATION OF ANY GRAVITY FLOW SYSTEM.
- DRAINS SHOWN ON CIVIL PLANS ARE NOT INTENDED TO BE THE FINAL NUMBER AND LOCATION OF ALL DRAINS. PLACEMENT AND NUMBER OF LANDSCAPING DRAINS ARE HIGHLY DEPENDENT ON GROUND COVER TYPE AND PLANT MATERIAL. CONTRACTOR SHALL ADD ADDITIONAL AREA DRAINS AS NEEDED AND AS DIRECTED BY THE LANDSCAPE ARCHITECT OR CIVIL ENGINEER.
- ALL DOWN SPOUTS SHALL DISCHARGE DIRECTLY ON TO ADJACENT IMPERVIOUS SURFACES OR SPLASH BLOCKS UNLESS OTHERWISE NOTED ON PLANS. SEE ARCHITECTURE PLANS FOR EXACT LOCATION OF THE DOWN SPOUTS.

SANITARY SEWER NOTES:

- ALL SEWER WORK SHALL BE IN CONFORMANCE WITH THE COUNTY OR APPROPRIATE SANITARY SEWER DISTRICT.
- PRIVATE SANITARY SEWER SERVICE LINE 4-INCH THROUGH 8-INCH SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26 GREEN SEWER PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-73 WITH GLUED JOINTS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS OR 45° ELBOWS AND TEE'S ARE PROHIBITED. PUBLIC SANITARY SEWER LINES AND MAINS SHALL BE PER TOWN STANDARDS.
- ALL LATERALS SHALL HAVE A CLEANOUT AT FACE OF BUILDING AND AS SHOWN ON PLANS PER THE CITY STANDARD OR APPROPRIATE SANITARY SEWER DISTRICT.
- IF (E) SEWER LATERAL IS TO BE USED, CONTRACTOR SHALL PERFORM PRESSURE TEST ON (E) SEWER LATERAL, AND SHALL PERFORM ANY NEEDED REPAIRS. EXTEND (N) OR (E) SEWER LINE AS SHOWN ON THE PLANS SLOPED AT 2% MINIMUM. INSTALL CLEANOUT AT FACE OF BUILDING AND AT PROPERTY LINE.

WATER SYSTEM NOTES:

- MAINTAIN WATER LINES 10' AWAY FROM SANITARY SEWER LINES.
- WHERE WATER LINES HAVE TO CROSS SANITARY SEWER LINES, DO SO AT A 90 DEGREE ANGLE AND WATER LINES SHALL BE MINIMUM OF 12" ABOVE TOP OF SANITARY SEWER LINES.
- WATER LINES ARE SHOWN SCHEMATICALLY, CONTRACTOR SHALL IDENTIFY EACH ANGLE AND/OR BEND THAT MAY BE REQUIRED TO ACCOMPLISH THE INTENDED DESIGN.
- ALL WATER SERVICE CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWN OR APPLICABLE WATER DISTRICT STANDARDS.
- CONNECTIONS TO THE EXISTING WATER MAIN SHALL BE APPROVED BY THE TOWN. THE CONTRACTOR SHALL PAY THE ACTUAL COSTS OF CONSTRUCTION. THE CONTRACTOR SHALL PERFORM ALL EXCAVATION, PREPARE THE SITE, FURNISH ALL MATERIALS, INSTALL TAPPING TEE, VALVE AND ALL THRUST BLOCKS, BACKFILL, RESTORE THE SURFACE, AND CLEAN UP. THE TOWN WILL PROVIDE THE CLIENT WITH A LIST OF APPROVED CONTRACTORS FOR MAKING WET TAPS. NONMETALLIC WATER LINES SHALL HAVE TRACER WIRES INSTALLED.
- ALL WATER LINES SHALL BE INSTALLED WITH 36" MINIMUM COVER.
- CONTRACTOR SHALL SIZE AND INSTALL ALL NEW DESIGN BUILD DOMESTIC IRRIGATION AND FIRE WATER LINE(S) IN ACCORDANCE WITH THE LATEST EDITION OF THE UNIFORM/CALIFORNIA PLUMBING AND FIRE CODES. (ALL FITTURE UNIT COUNTS SHALL BE REVIEWED AND APPROVED BY THE TOWN'S BUILDING AND/OR WATER DEPARTMENT PRIOR TO CONSTRUCTION.)
- CONCRETE THRUST BLOCKS SHALL BE INSTALLED AT ALL TEES, CROSSES, BENDS (HORIZONTAL AND VERTICAL), AT SIZE CHANGES AND AT FIRE HYDRANTS PER TOWN STANDARD, AWWA C600, SECTION 3.8 UNLESS NOTED OTHERWISE.
- ALL ON AND OFF-SITE LANDSCAPE IRRIGATION SYSTEMS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECTURAL PLANS AND SPECIFICATIONS AND SHALL BE CONNECTED TO THE EXISTING AND/OR NEW WATER SYSTEM AND METERED ACCORDINGLY.
- INSTALL TOWN APPROVED PRESSURE REGULATOR AND REDUCED BACKFLOW PREVENTOR ON WATER LINE AT ENTRANCE TO BUILDING. REFERENCE PLUMBING PLANS FOR MORE DETAIL.

STORM DRAIN MAINTENANCE NOTES:

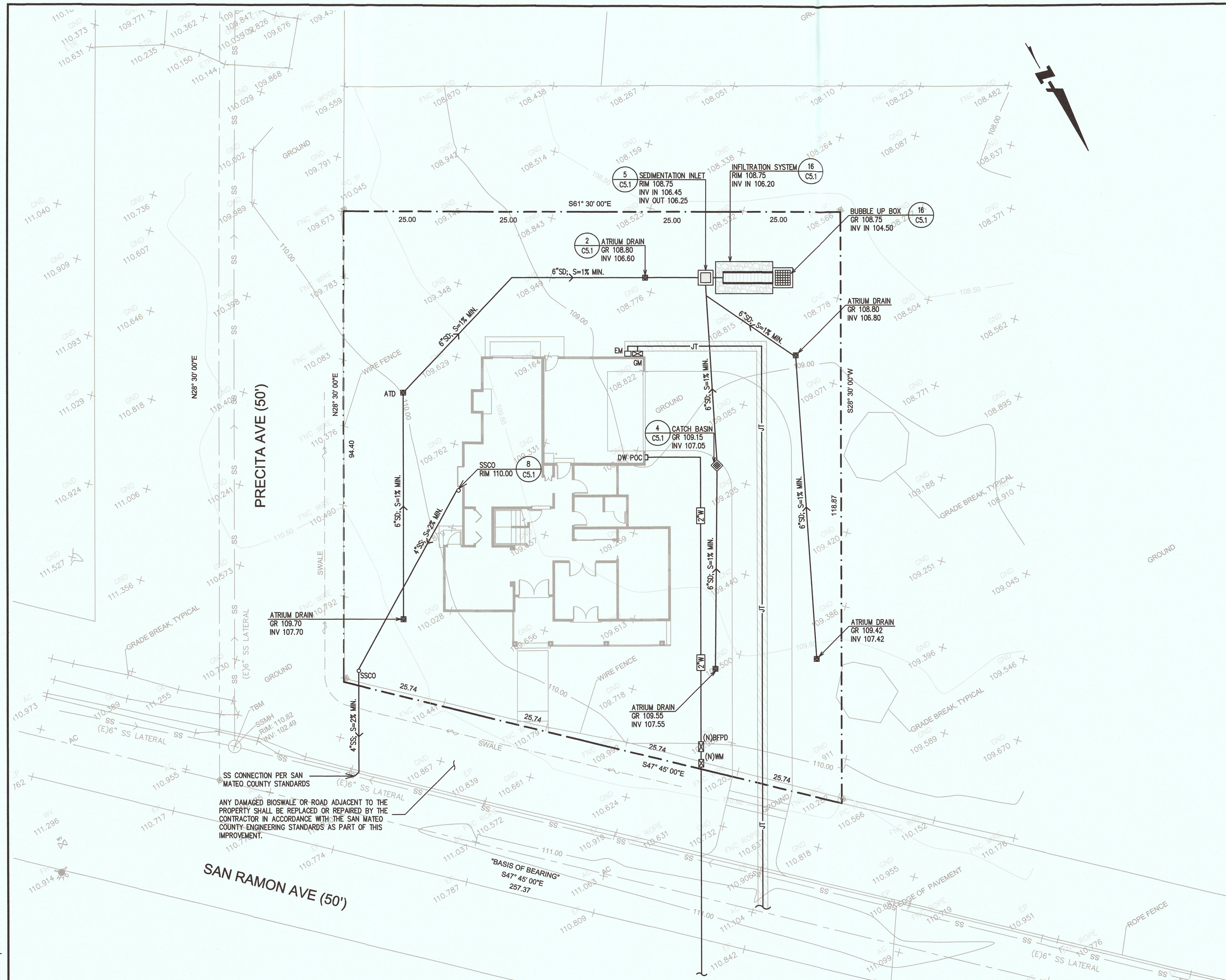
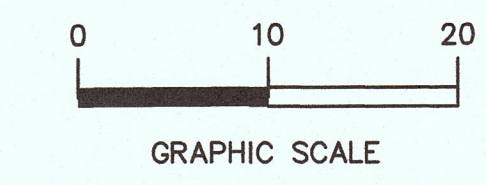
PLEASE NOTE THAT REGULAR MAINTENANCE ON GRADING AND DRAINAGE STRUCTURES IS REQUIRED TO ENSURE FUNCTIONALITY THROUGHOUT THE LIFE OF THE PROPERTY. MAINTENANCE SHOULD INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

- THE CLEARING OF DEBRIS FROM THE DETENTION SYSTEM/SEDIMENTATION INLET AND STORM DRAIN LINES.
- ROOF GUTTERS AND DOWNSPOUTS SHOULD BE CLEARED BEFORE THE BEGINNING OF EACH RAINY SEASON AND AS NEEDED THROUGHOUT THE WINTER MONTHS.
- SURFACE GRADING MAY ALSO REQUIRE CONTINUED REFINEMENT, INCLUDING THE CLEARING AND RE-FINISHING OF VEGETATED SWALES AND SLOPES TO MINIMIZE PONDING, MAINTAIN POSITIVE DRAINAGE AWAY FROM IMPROVEMENTS AND PROTECT AGAINST EROSION.
- GRADED SLOPES SHOULD BE MONITORED AND RE-VEGETATED AS NEEDED.

SEE SHEETS C2.1 FOR NOTES AND LEGENDS



Know what's below. Call before you dig.



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SAN RAMON AVE (50')

PRECITA AVE (50')

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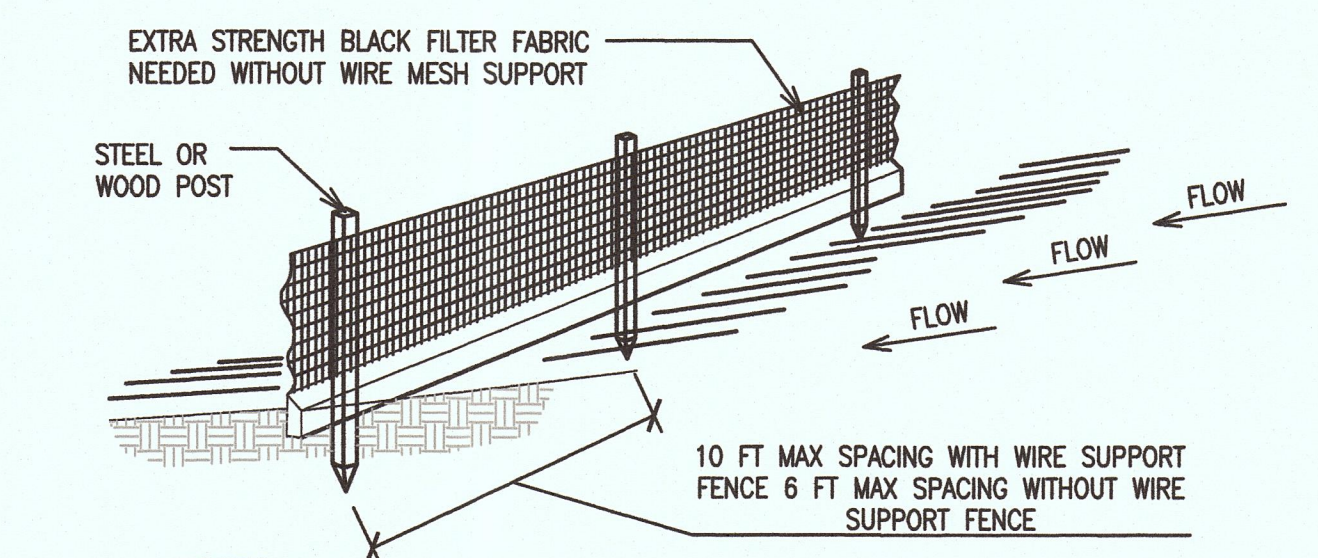
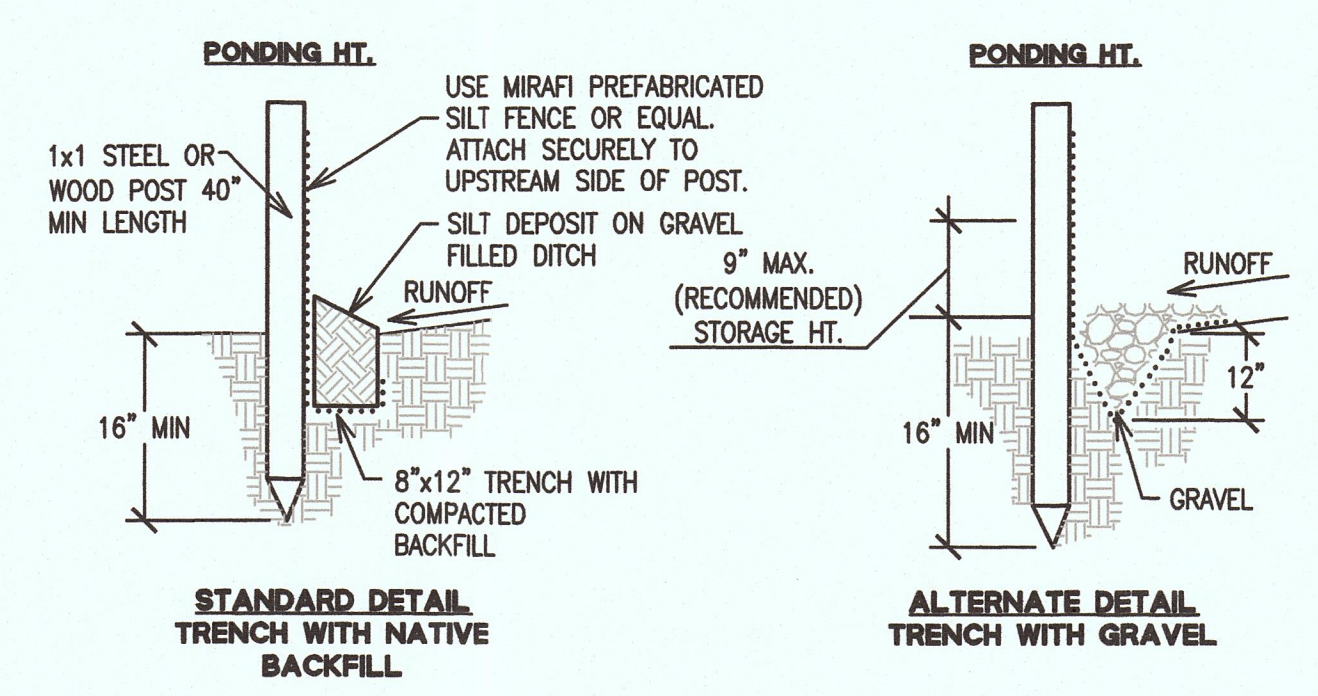
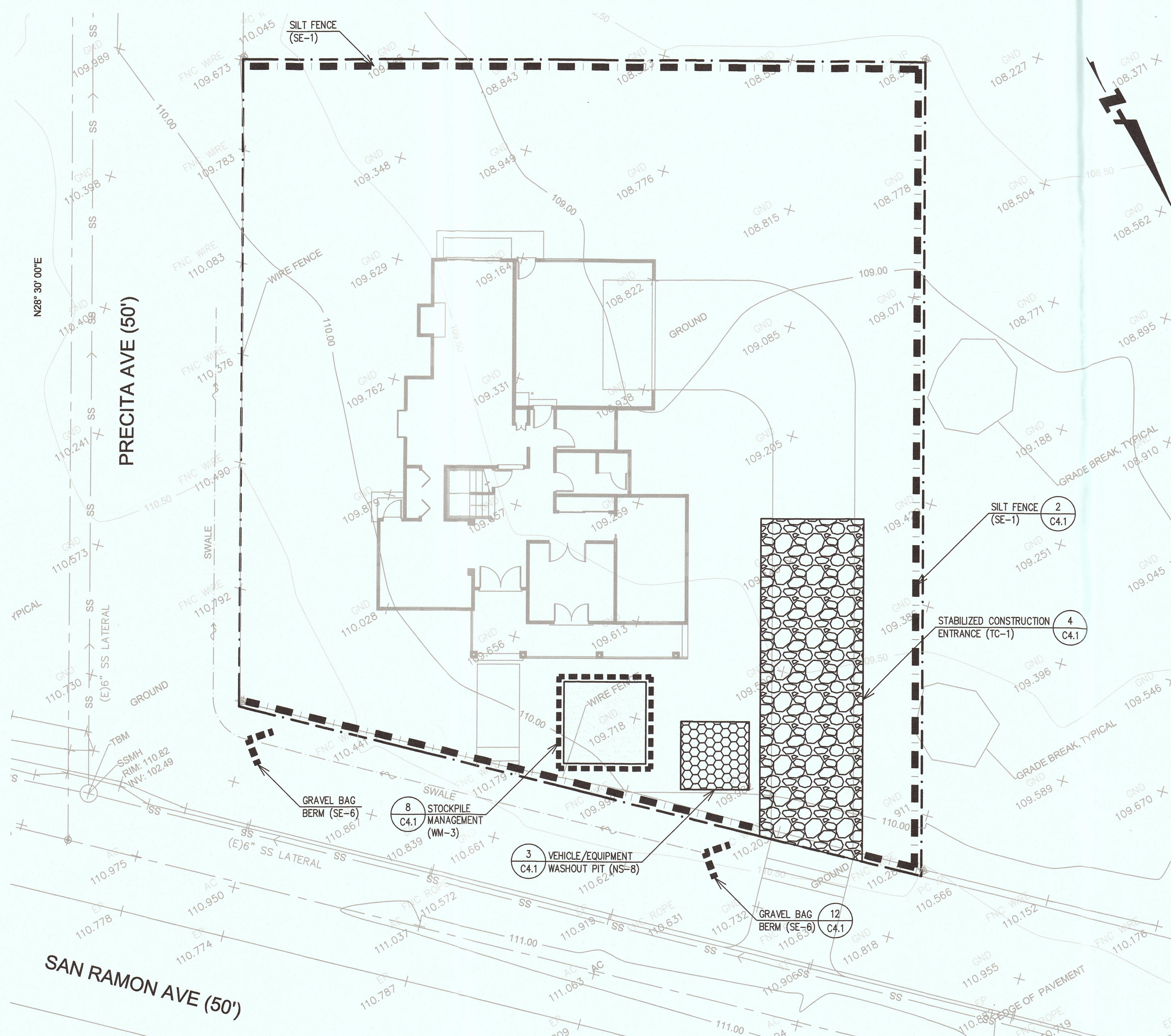
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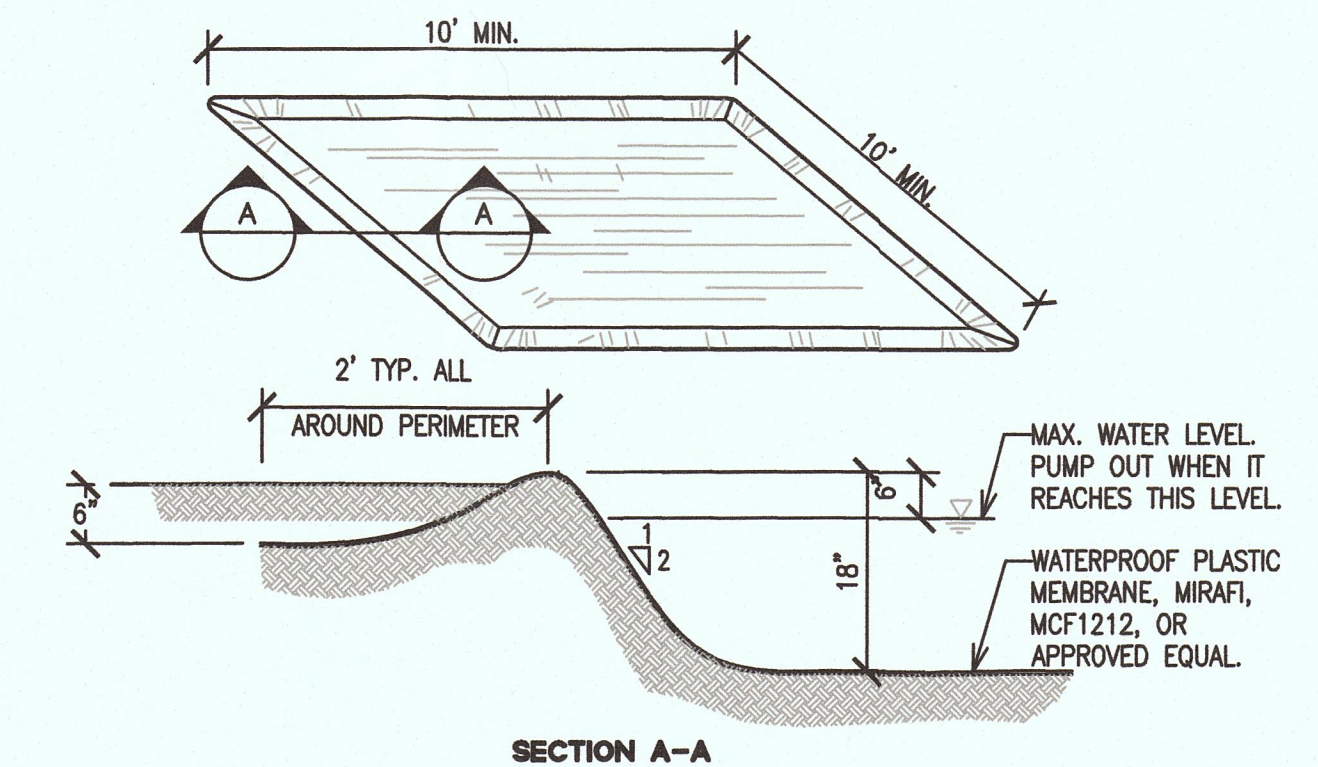
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Design	D.J.L.	
Drawn	D.J.P.	
Approved	RH	
Job No	20170256-10	
Drawing Number:	C3.1	
	OF	

Date	Revisions	No.
08/14/2017	Scale AS SHOWN	
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	Drawn D.P.	
	Approved R.H.	
	Job No. 20170256-10	
Drawing Number:		
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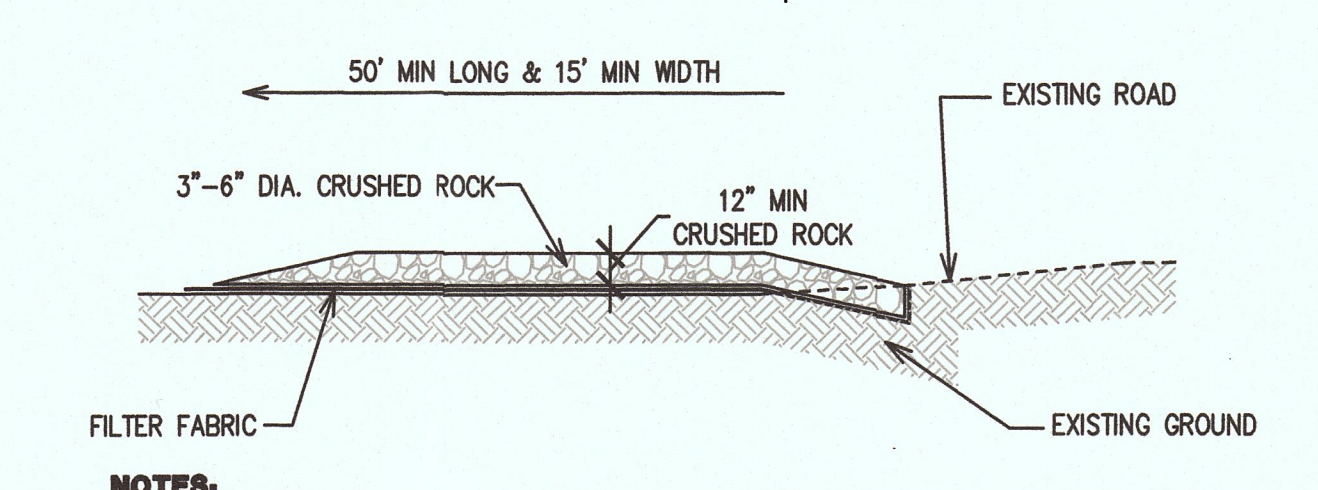


- NOTES:**
1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

2 SILT FENCE SCALE: NO SCALE
 SILT FENCE 001-MASTER

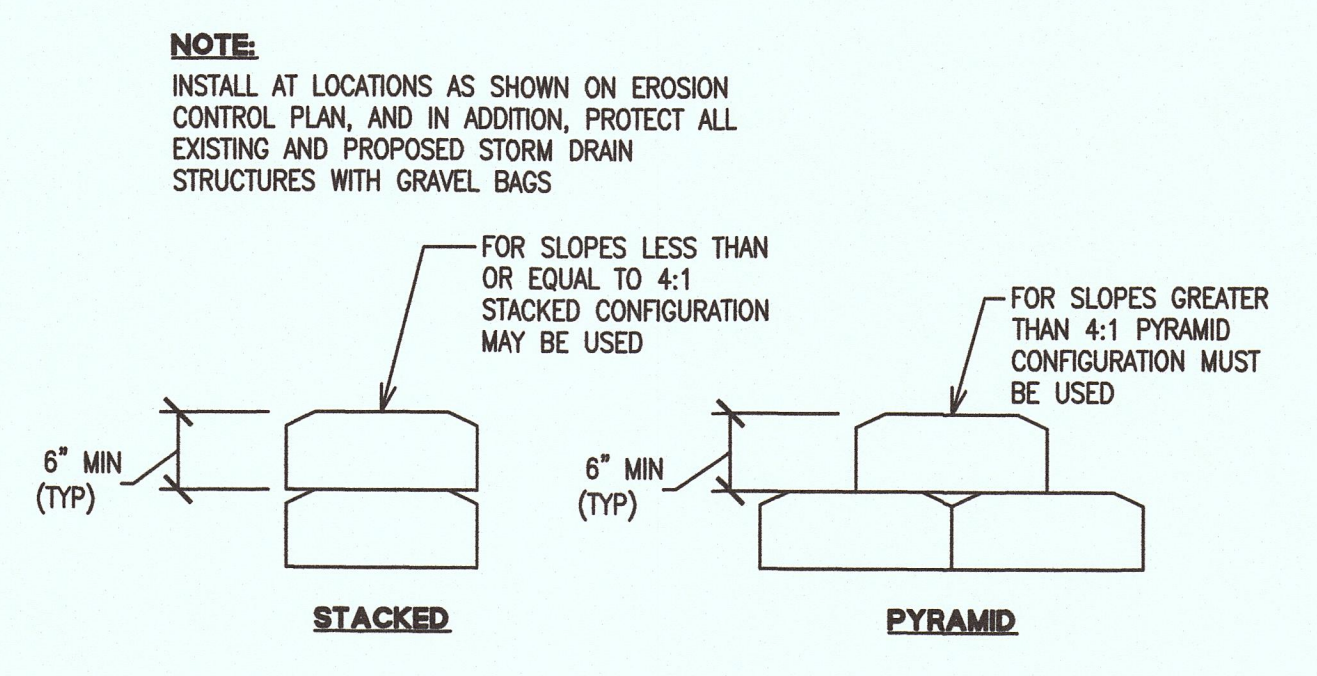


3 TEMPORARY WASHOUT PIT SCALE: NO SCALE
 WASHOUT PIT 001-MASTER

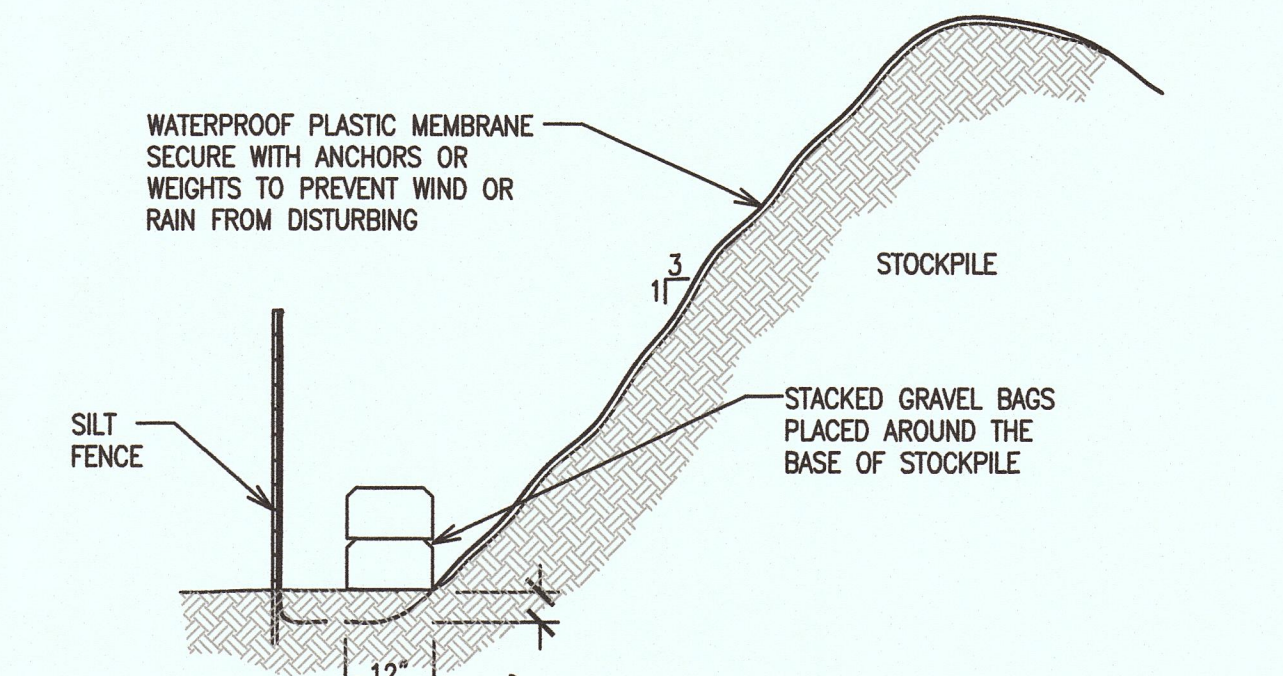


- NOTES:**
1. PROVIDE A FANNED STABILIZED CONSTRUCTION ENTRANCE TO ACCOMMODATE THE TURNING RADIUS OF CONSTRUCTION EQUIPMENT ON AND OFF THE PUBLIC STREET.
 2. INSTALL ALONG NEW DWY CORRIDOR FOR THE FULL PROPOSED WIDTH.

4 TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SCALE: NO SCALE
 CONST ENT RES-001-MASTER



12 GRAVEL BAG BERM SCALE: NO SCALE
 GRAVEL BAG BERM 001-MASTER



8 STOCKPILE COVERING SCALE: NO SCALE
 STOCKPILE COVERING 001-MASTER

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SEE SHEETS C2.1
 FOR NOTES AND
 LEGENDS

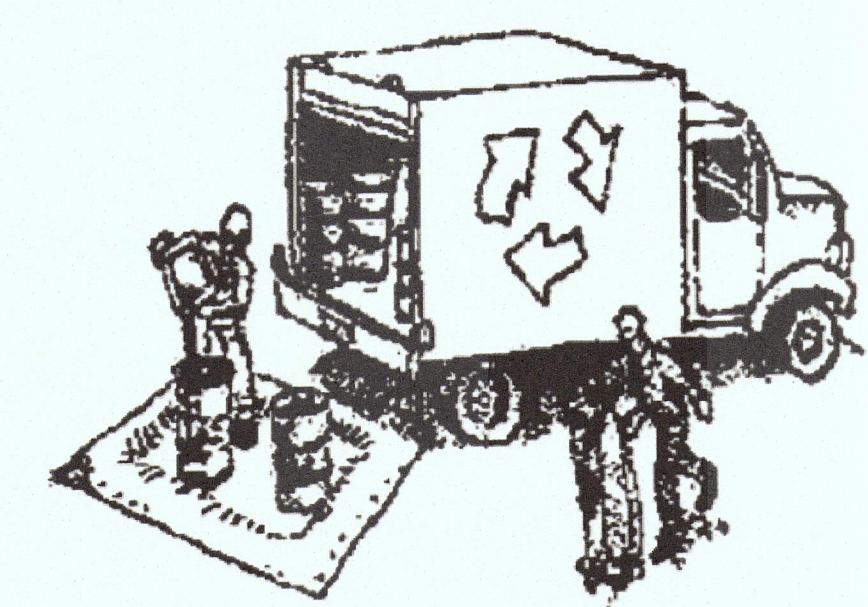
811
 Know what's below.
 Call before you dig.



Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number. 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving

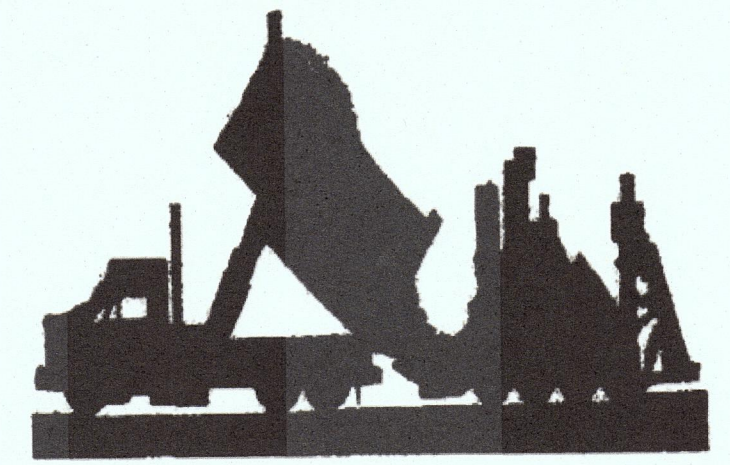


- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



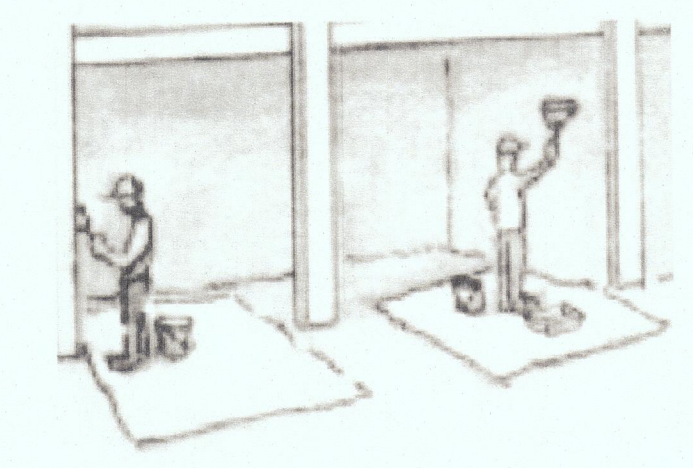
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

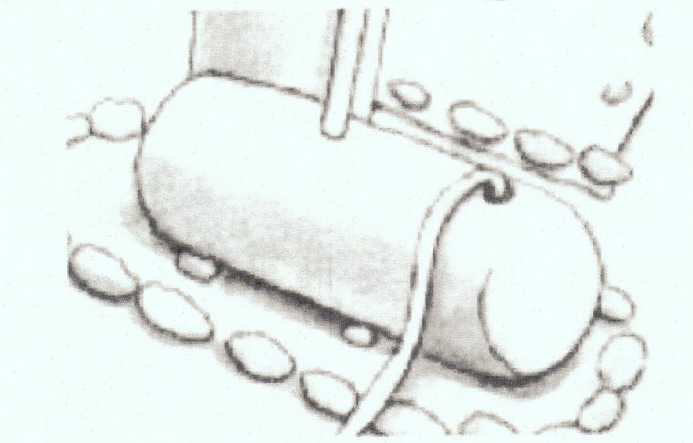
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

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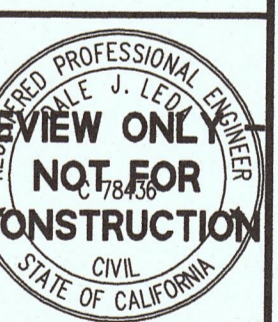
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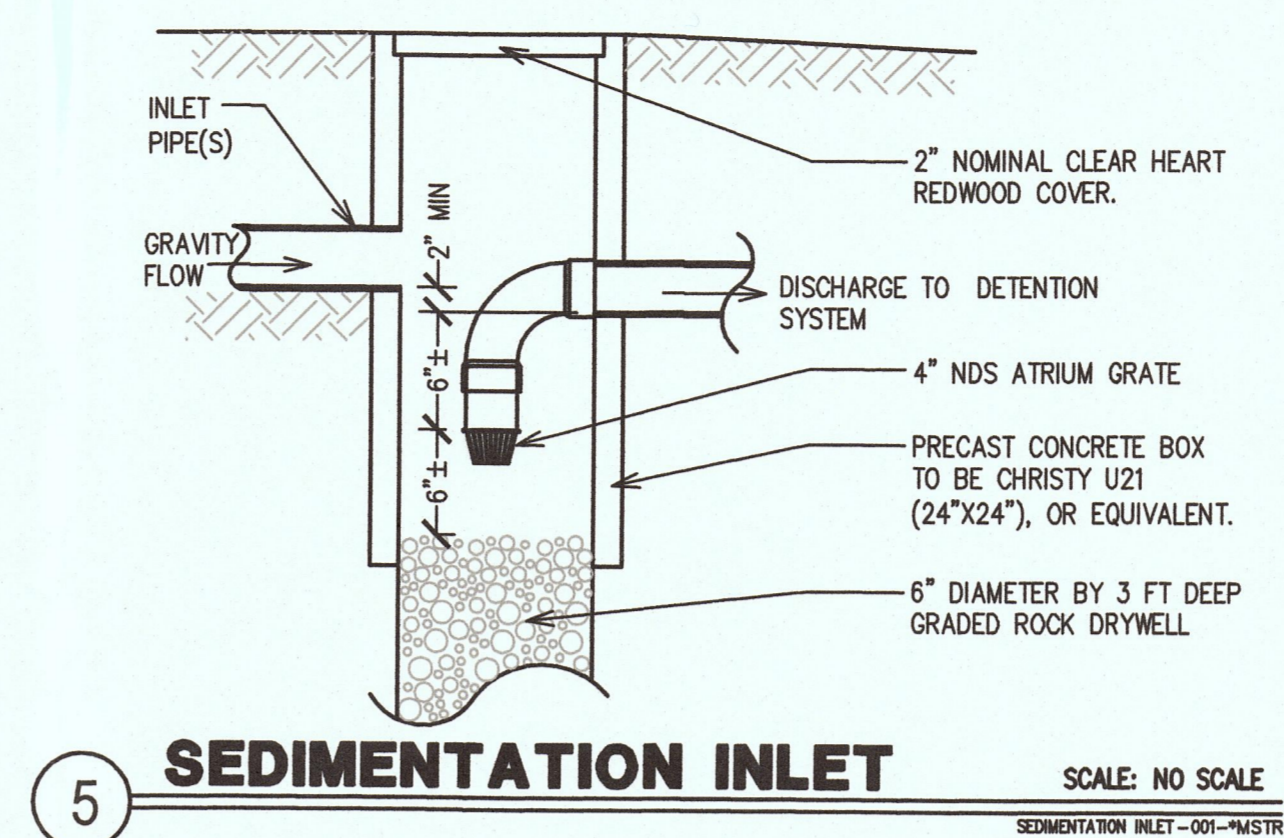
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Approved R.H.		
Job No 20170256-10		

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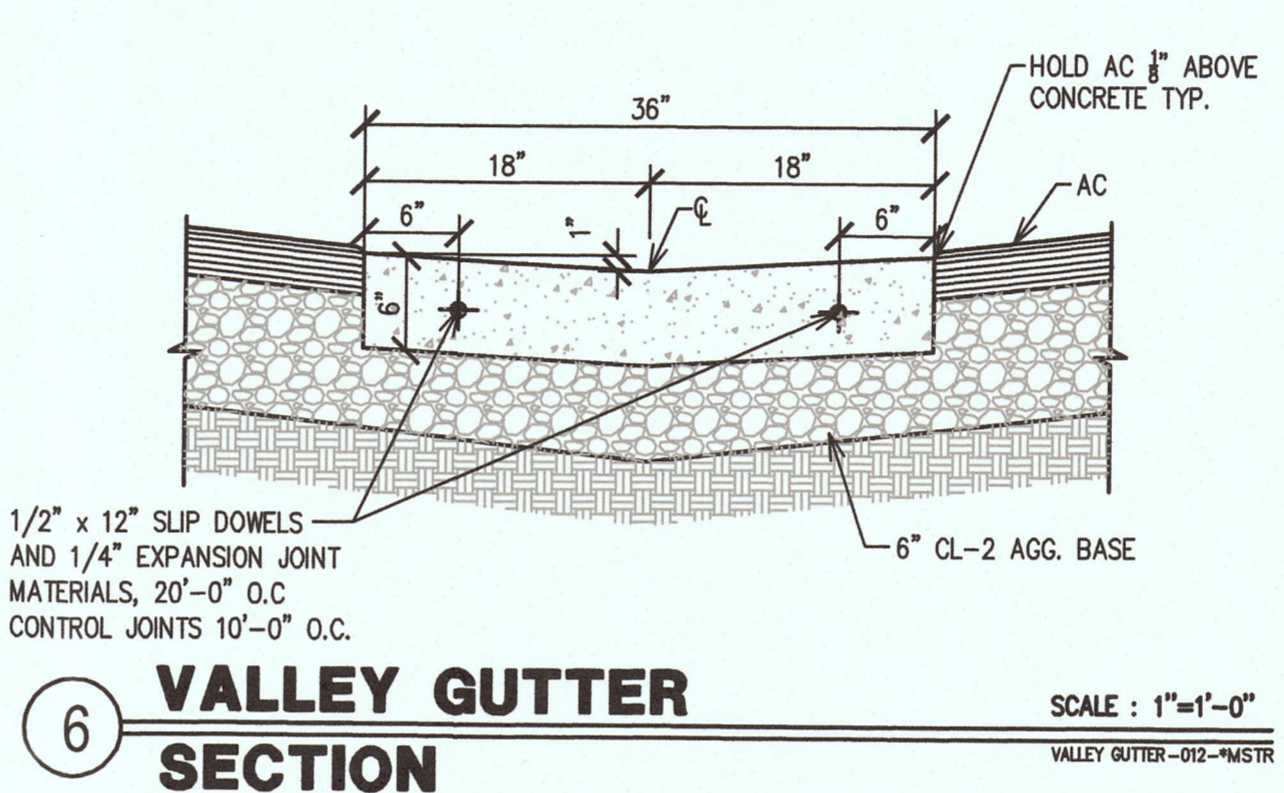


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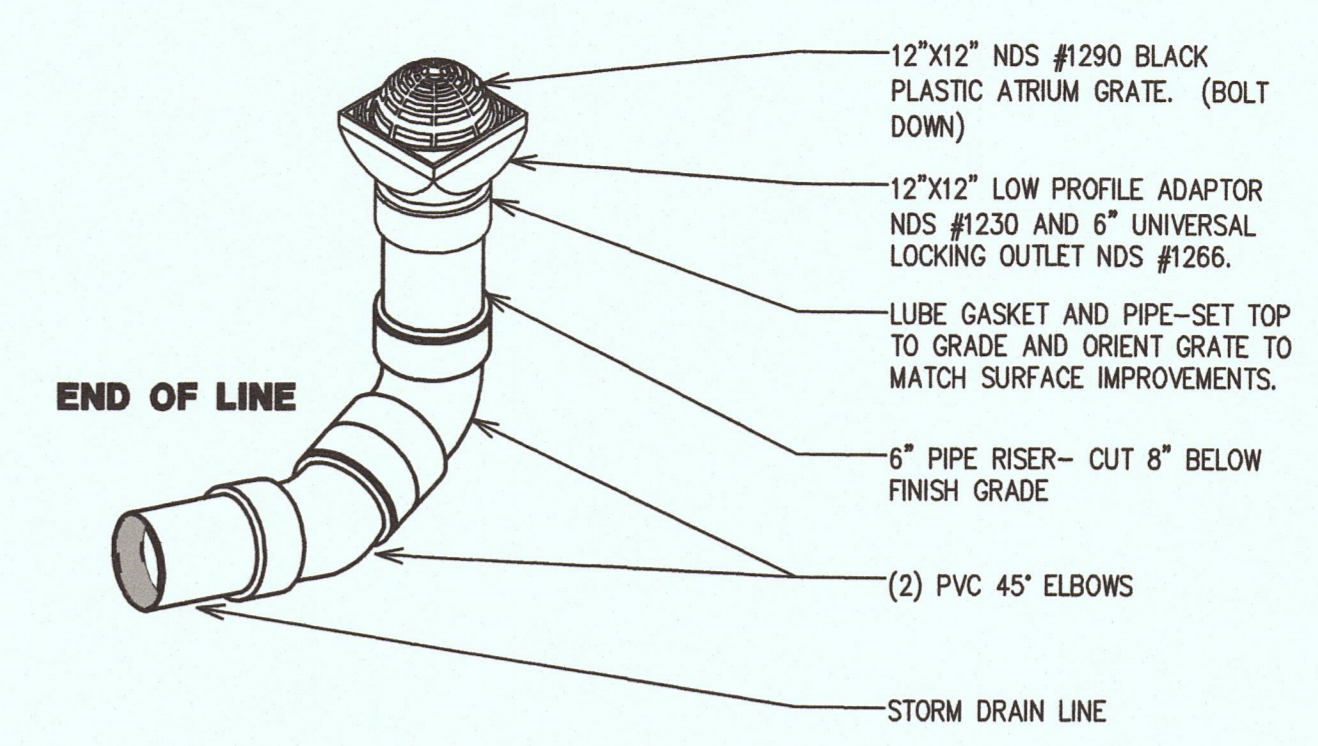
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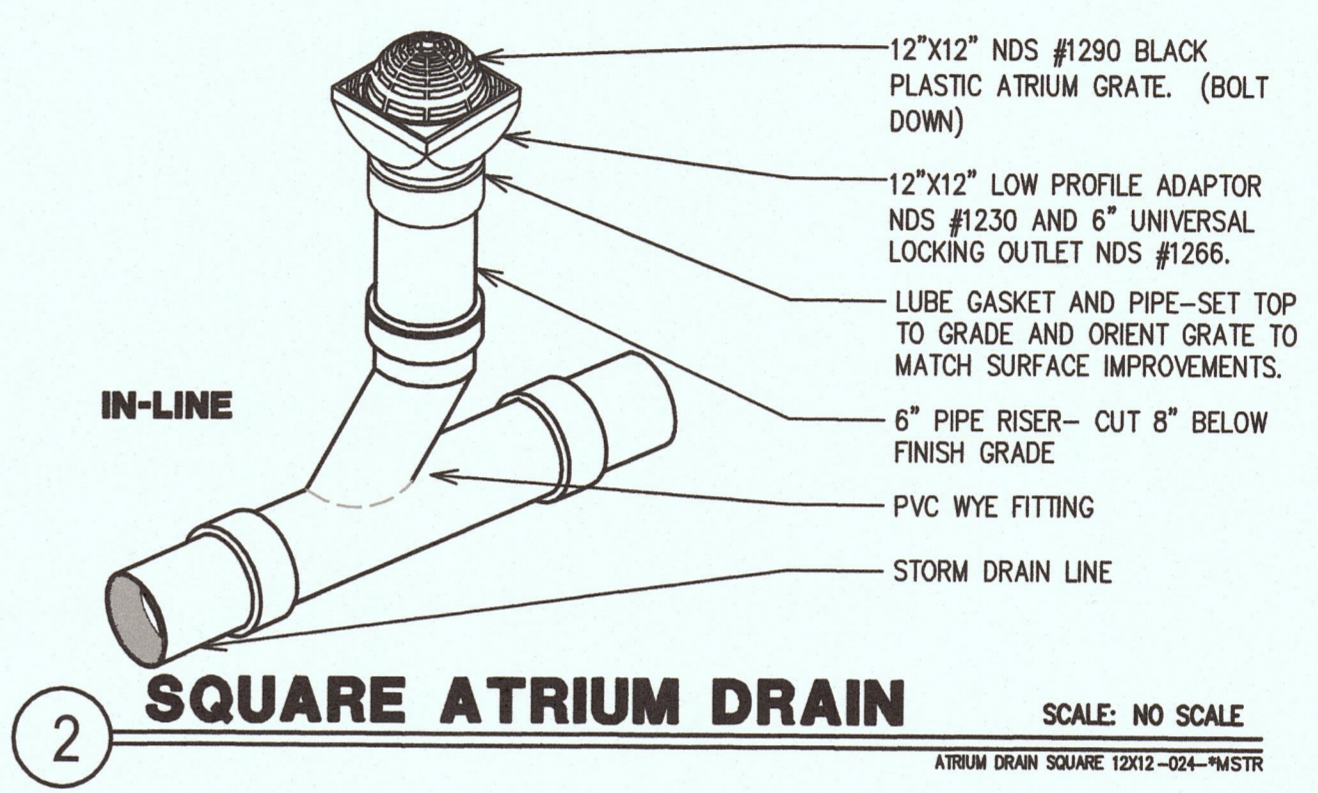
5 SEDIMENTATION INLET SCALE: NO SCALE
 SEDIMENTATION INLET-001-MSTR



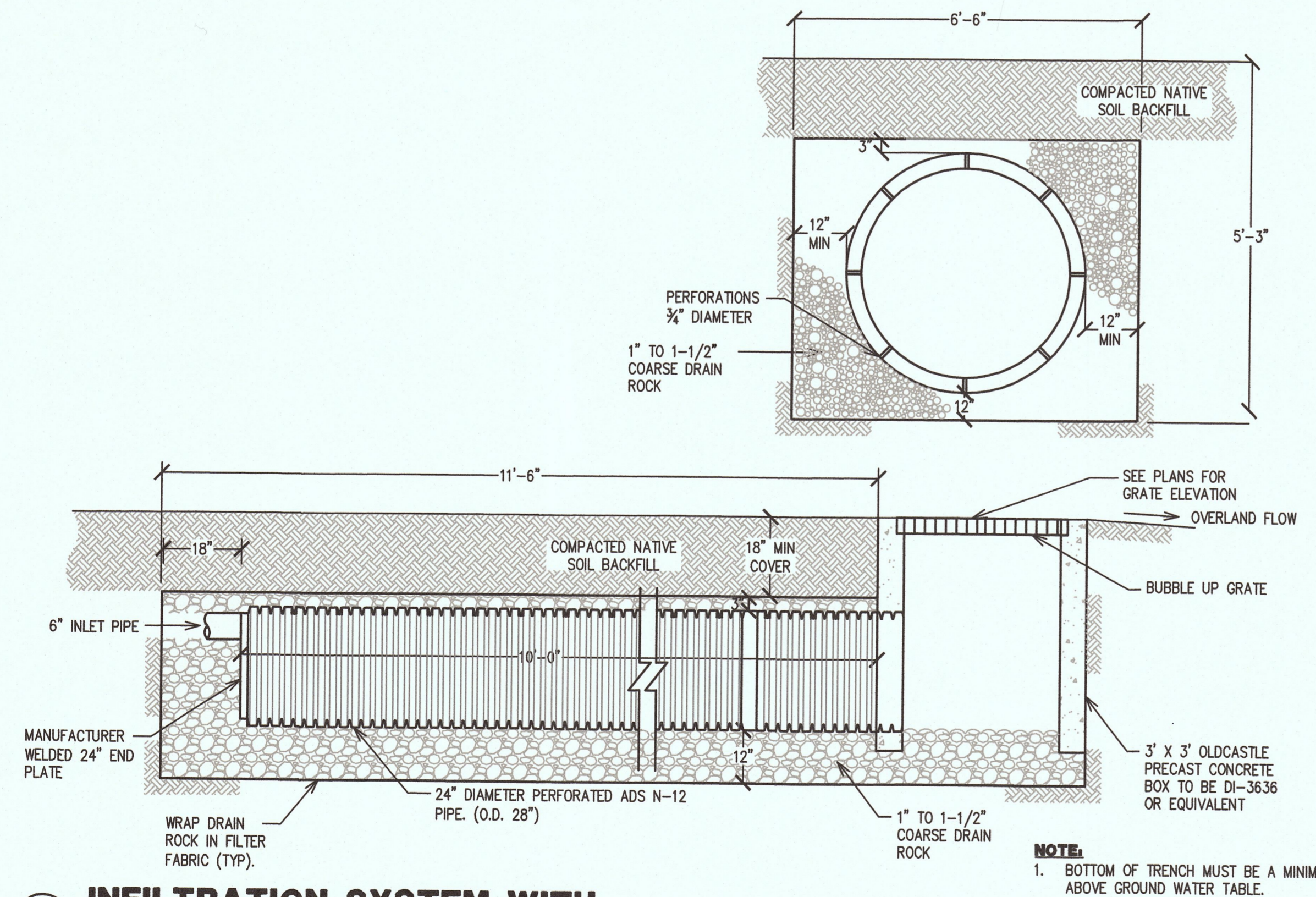
6 VALLEY GUTTER SECTION SCALE: 1"=1'-0"
 VALLEY GUTTER-012-MSTR



2 SQUARE ATRIUM DRAIN SCALE: NO SCALE
 ATRIUM DRAIN SQUARE 12012-024-MSTR

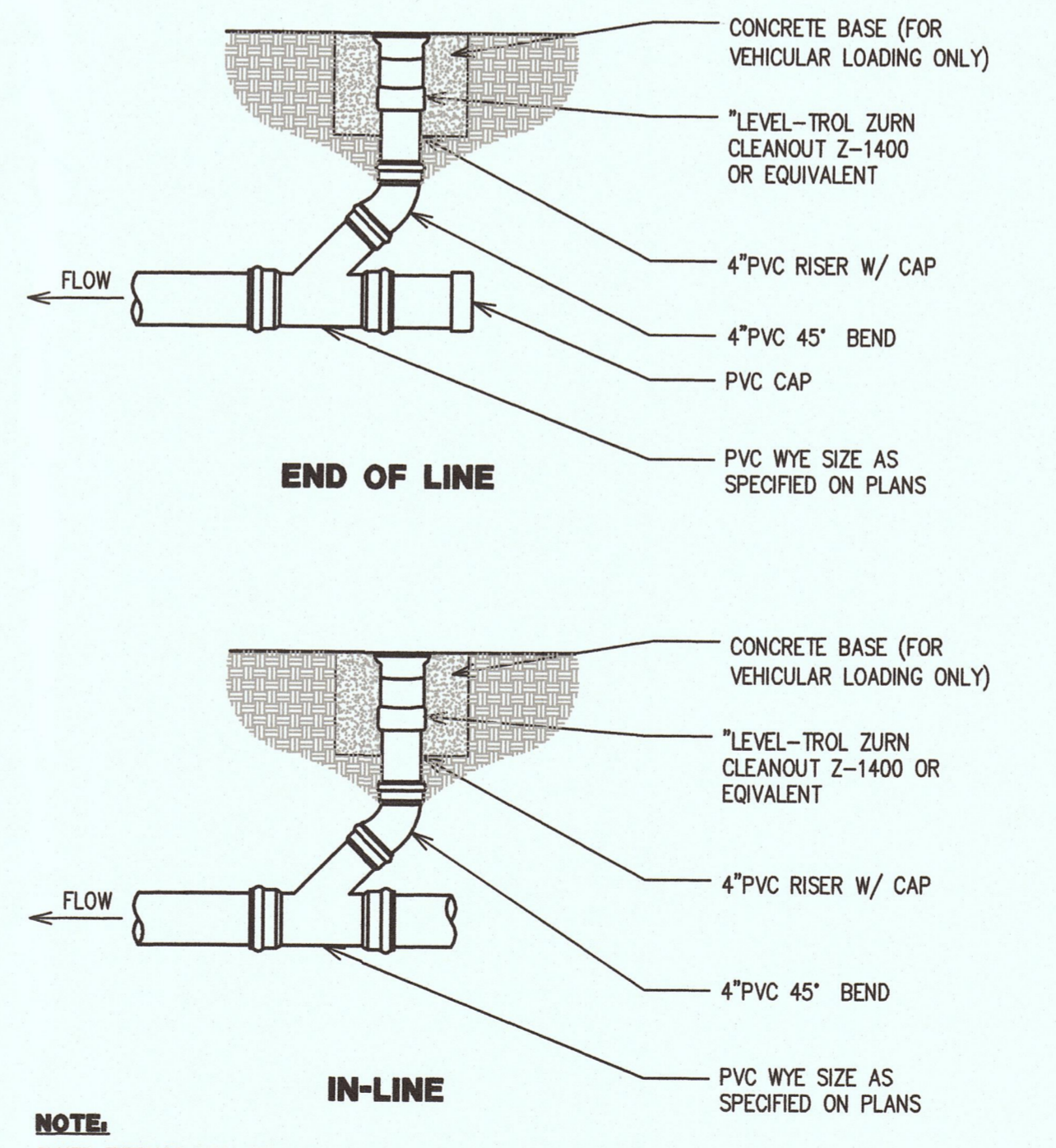


2 SQUARE ATRIUM DRAIN SCALE: NO SCALE
 ATRIUM DRAIN SQUARE 12012-024-MSTR



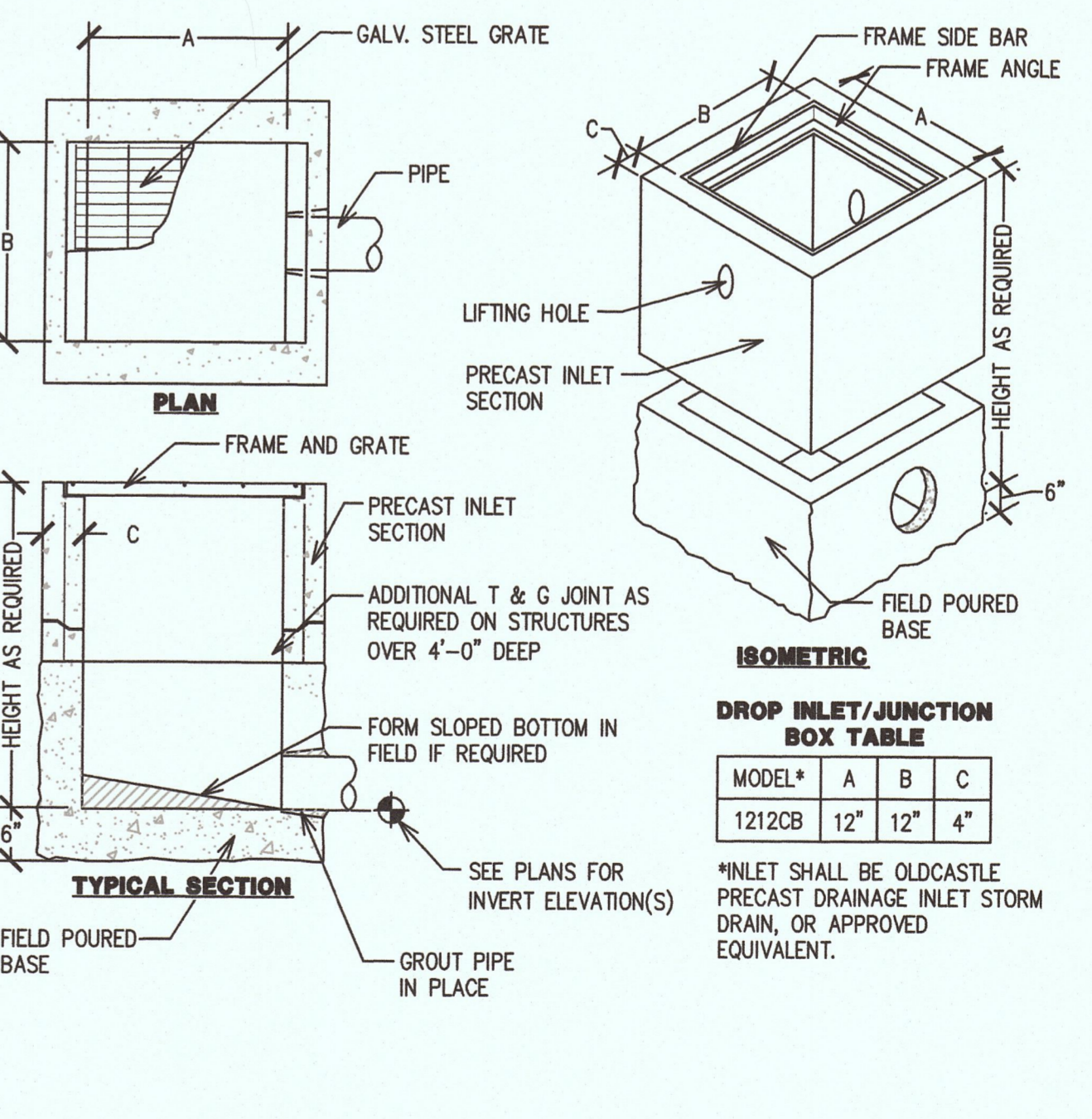
16 INFILTRATION SYSTEM WITH BUBBLE UP STRUCTURE ATTACHED SCALE: NO SCALE
 INFILTRATION SYSTEM SINGLE-024-MSTR

NOTE:
 1. BOTTOM OF TRENCH MUST BE A MINIMUM OF 10 FEET ABOVE GROUND WATER TABLE.



NOTE:
 GLUED FITTINGS MAY BE SUBSTITUTED FOR GASKETED FITTINGS AT THE OPTION OF THE INSTALLATION CONTRACTOR.

8 SEWER CLEANOUT SCALE: NO SCALE
 CLEANOUT RESIDENTIAL SEWER-002-MSTR



4 CATCH BASIN SCALE: NO SCALE
 CATCH BASIN-002-MSTR

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KMW55
Diamonds In The Sky



Cedar

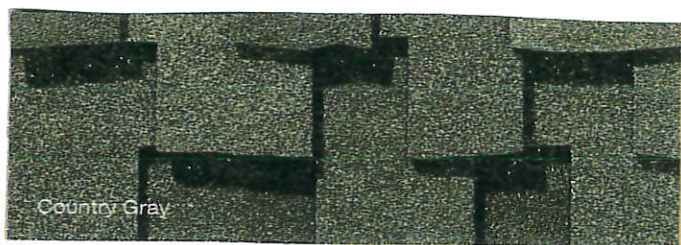
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CEDAR SIDING/WALL COLOR

..... WINDOW COLOR/INCLUDES FRAME AND TRIM



Morocco Red
PPLJ2-17*



Country Gray

2ND TRIM COLOR(FRONT DOOR & GARAGE DOOR..... ROOF



Silver Travertine Panel
6"x24", 6"x18"x6"

ROCK SKIRTING