

WGS_1984_Web_Mercator_Auxiliary_Sphere
 © Latitude Geographics Group Ltd.

1:2,256

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THIS MAP IS NOT TO BE USED FOR NAVIGATION

October 18, 2017

Eric Keng
616 Ramona Street, Suite 21
Palo Alto, CA 94301

Dear Mr. Keng:

SUBJECT: Coastside Design Review
640 Coronado Street, El Granada
APN 047-281-160; County File No. PLN 2016-00141

At its meeting of October 12, 2017, the San Mateo County Coastside Design Review Committee (CDRC) considered your application for a Design Review Permit to allow construction of a new, two-story, 2,034 sq. ft. (formerly 2,761 sq. ft.) single-family residence, including a 407 sq. ft. (formerly 416 sq. ft.) attached garage on an undeveloped, 6,705 sq. ft. legal parcel (parcel legality status via a Lot Line Adjustment/Merger PLN 2001-00287). The project no longer requires a Variance or a Coastal Development Permit.¹ No trees would be removed and only minor grading (152 c.y.) is proposed. The project was scheduled for continued consideration from the February 9, 2017 and June 8, 2017 meetings.

The CDRC was unable to make the findings for a design review recommendation of approval based on certain design deficiencies. As such, recommendations from the CDRC for further project redesign are as follows:

- a. Execute efficiencies on the second-floor plan to set back the west second floor an additional few feet.
- b. Update the landscape plan to include additional plantings for the northwest corner of the lot, especially with regard to future growth; ensure a maximum height limit of eight (8) feet.

As such, you were presented with the following available options at the end of the CDRC's deliberation of the project: (i) request for a decision from the CDRC on the plans presented or (ii) request that the project be considered at the next meeting to provide you with ample time to consider and incorporate the elements recommended for project redesign. You chose the second option, and the CDRC directed staff to schedule your project for consideration at a later date.

¹ The project does not require any other permit other than a Design Review Permit. Previously, the application included a Variance application, which then required the applicant to obtain a Coastal Development Permit. The Variance application was withdrawn by the applicant. As the project site is located within the Single-Family Residence Categorical Exclusion Area and meets the regulations of the underlying R-1/S-17 Zoning District, no Coastal Development Permit is required.



Please contact Camille Leung, Senior Planner, at 650/363-1826 or at cleung@smcgov.org, if you have any questions.

To provide feedback, please visit the Department's Customer Survey at the following link:
<http://planning.smcgov.org/survey>.

Sincerely,



Dennis P. Aguirre, Design Review Officer

DPA:CML:aow – CMLBB0606_WAN.DOCX

- cc: Stuart Grunow, Member Architect
Christopher Johnson, El Granada Community Representative
June Wang, Harmony Land Development, Property Owner
Alan O'Driscoll, Interested Member of the Public
Cherie Logan, Interested Member of the Public
Peter Logan, Interested Member of the Public
Susan, Tatum, and Corey O'Driscoll, Interested Members of the Public
Fred Crowder, Interested Member of the Public
Lawrence P. Carter, Interested Member of the Public
Jenny Aguilar, Interested Member of the Public
Doris Kelly, Interested Member of the Public
Doreen Avery, Interested Member of the Public
Theresa Cossman, Interested Member of the Public
Mark Welch, Interested Member of the Public

PROJECT TEAM

OWNER:
JUNE WANG
833 SANDPIPER LANE,
PALO ALTO, CA 94303

ARCHITECT:
DL ARCHITECTURE & PLANNING
815 RAMONA ST. STE. 21
PALO ALTO, CA 94301
(650) 321-2808
CONTACT: Eric Keng

STRUCTURAL ENGINEER:
TO BE DETERMINED

TITLE 24:
TO BE DETERMINED

LAND SURVEYOR/CIVIL ENGINEER:
PROFESSIONAL LAND SERVICES
901 SNEATH LANE, #117
SAN BRUNO, CA 94066
(650) 650-244-9667
CONTACT: MICHAEL S. MAHONEY

LANDSCAPE ARCHITECT
ANYI HUANG
2647 ROYAL ANN DRIVE
UNION CITY, CA 94587
ANYI@ANYLANDSCAPE.COM

PROJECT DATA

A. APN: 047-281-160
B. ZONING: S-17
C. FLOOD ZONE: X
D. SITE AREA: 6,705 SQ.FT.
E. COVERED PARKING SPACES: 2
F. MAXIMUM SIZE OF MAIN DWELLING UNIT: 3,552 SQ.FT.
G. MAXIMUM FAR: 0.53
H. MAXIMUM LOT COVERAGE: 35.0%
I. SETBACK:

	EXISTING	PROPOSED	REQUIRED
FRONT YARD	---	20'-0"	20'-0"
SIDE YARD (RIGHT)	---	5'-0"	5'-0"
SIDE YARD (STREET)	---	10'-0"	10'-0"
REAR YARD	---	20'-0"	20'-0"
J. OCCUPANCY GROUP	R3/U		
K. TYPE OF CONSTRUCTION	VB		

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING
2016 CALIFORNIA RESIDENTIAL CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA ENERGY CODE
2016 CALIFORNIA GREEN BUILDING CODE

	EXISTING	(E) TO BE REMOVED	NEW	SUBTOTAL
A GARAGE	---	---	407 SQ.FT.	407 SQ.FT.
B 1ST FLOOR	---	---	1,110 SQ.FT.	1,110 SQ.FT.
C 2ND FLOOR (OPEN STAIRS SPACE)	---	---	916 SQ.FT. (88 SQ.FT.)	916 SQ.FT.
D COVERED PATIO	---	---	---	---
E ENTRY PORCH	---	---	13 SQ.FT.	13 SQ.FT.
FAR (A+B+C)/6,705	---	---	2,433/6,705	0.36
LOT COVERAGE/6,705 (A+B+D+E)	---	---	1,530/6,705	22.8%
TOTAL LIVING AREA (STAIRS OPEN SPACE)	2,026 SQ.FT. (60 SQ.FT.)			

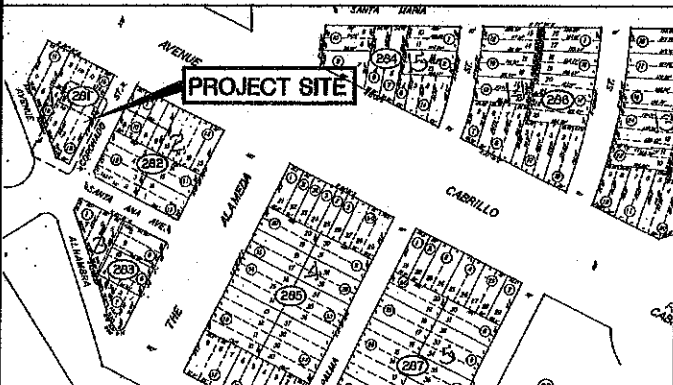
SHEET INDEX

ARCHITECTURAL:
SK-1 SITE PLAN, VICINITY MAP, PROJECT DATA
C-1 SITE SURVEY
C-2 GRADING PLAN
L-1 LANDSCAPE PLAN
SK-2 FLOOR PLANS
SK-3 BUILDING EXTERIOR ELEVATIONS
SK-4 BUILDING SECTIONS

SCOPE OF WORK

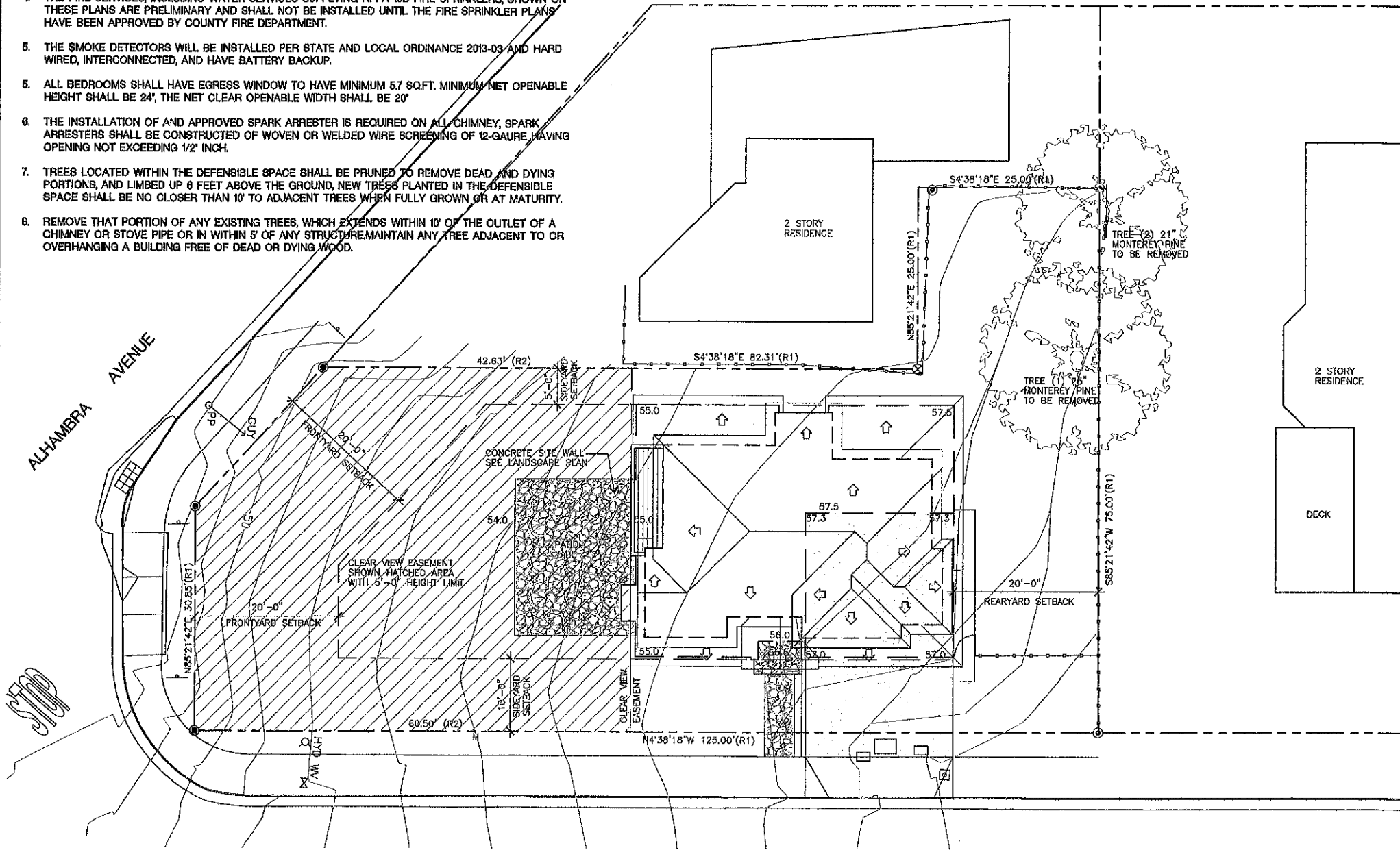
NEW 2 STORY RESIDENCE WITH 3 BEDROOMS ON THE 2ND FLOOR, ONE GUEST BEDROOM ON THE 1ST FLOOR, 2-CAR ATTACHED GARAGE, LIVING ROOM, FAMILY ROOM, KITCHEN. THE ENTIRE DEVELOPMENT IS LOCATED OUTSIDE OF CLEAR VIEW EASEMENT

VICINITY MAP



FIRE SPRINKLER NOTES:

- BUILDING WILL BE REQUIRED TO HAVE NFPA 13D SPRINKLER SYSTEM PER CRC R313.2
- OBTAIN SEPARATE FIRE SPRINKLER PERMIT. DESIGN AND INSTALL IN ACCORDANCE WITH NFPA 13D, 2013
- THE ADDRESS OF THE RESIDENCE SHALL BE PROVIDED AND PLACED IN POSITION THAT IS READILY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE ADDRESS SHOULD BE CONTRAST WITH THE BACKGROUND COLOR OF THE BUILDING AND SHOULD BE 4" HEIGHT AND 1/2" STRIKE MINIMUM.
- THE FIRE SERVICES, INCLUDING WATER SERVICES SUPPLYING NFPA 13D FIRE SPRINKLERS, SHOWN ON THESE PLANS ARE PRELIMINARY AND SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER PLANS HAVE BEEN APPROVED BY COUNTY FIRE DEPARTMENT.
- THE SMOKE DETECTORS WILL BE INSTALLED PER STATE AND LOCAL ORDINANCE 2013-03 AND HARD WIRED, INTERCONNECTED, AND HAVE BATTERY BACKUP.
- ALL BEDROOMS SHALL HAVE EGRESS WINDOW TO HAVE MINIMUM 5.7 SQ.FT. MINIMUM NET OPENABLE HEIGHT SHALL BE 24", THE NET CLEAR OPENABLE WIDTH SHALL BE 20"
- THE INSTALLATION OF AND APPROVED SPARK ARRESTER IS REQUIRED ON ALL CHIMNEY, SPARK ARRESTERS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12-GAURE HAVING OPENING NOT EXCEEDING 1/2" INCH.
- TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP 8 FEET ABOVE THE GROUND, NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE NO CLOSER THAN 10' TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY.
- REMOVE THAT PORTION OF ANY EXISTING TREES, WHICH EXTENDS WITHIN 10' OF THE OUTLET OF A CHIMNEY OR STOVE PIPE OR IN WITHIN 5' OF ANY STRUCTURE. MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD.



RECEIVED PLN2016-00191
CORONADO STREET
OCT 19 2017
San Mateo County
Planning Division

REVISIONS

CDR/VA	4-7-2015
CDR/VA	8-12-2015
CDR/VA	9-29-2015
CDR	3-24-2017
CDR	7-21-2017
CDR	10-14-2017



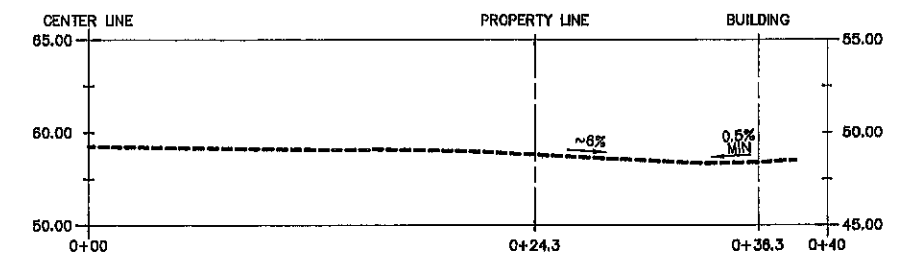
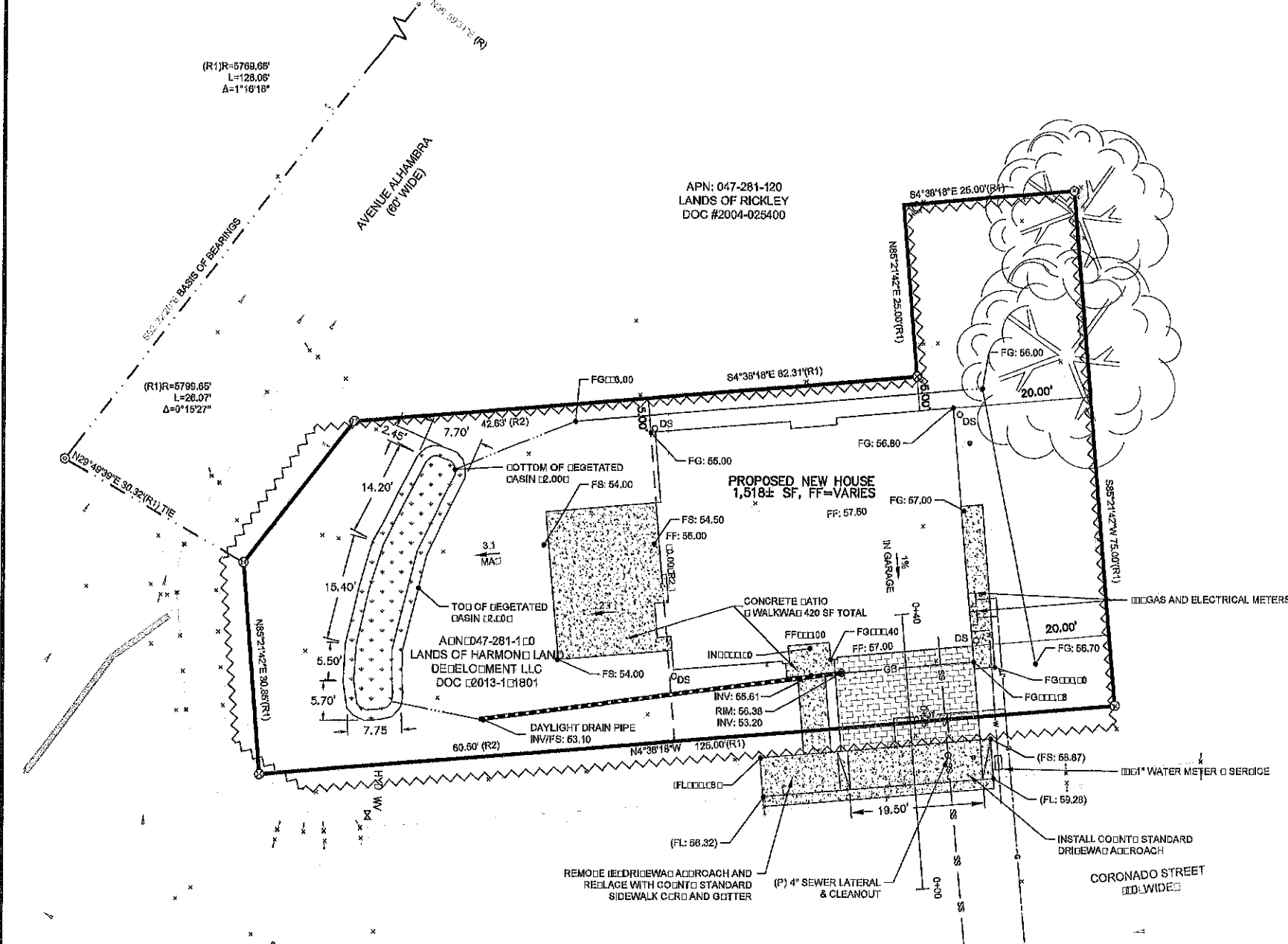
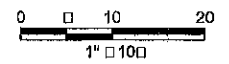
DL Architectural & Planning
616 RAMONA ST. STE. 21
PALO ALTO, CA
(650) 321-2808

NEW RESIDENCE
FOR: June Wang
APN: 047-281-160
EL GRANADA, SAN MATEO COUNTY, CA

SITE PLAN, PROJECT DATA, VICINITY MAP

DATE	2-1-2015
SCALE	1/4"=1'-0"
DRAWN	
CHECKED	
DATE	
SHEET	SK-1
OF	8 SHEETS

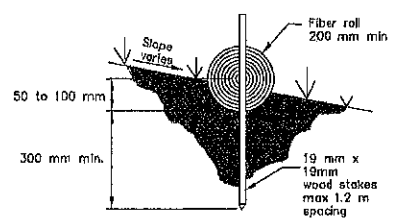




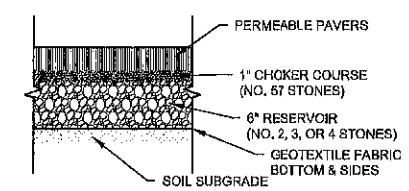
PROFILE A - DRIVEWAY PROFILE
HORIZ. & VERT. SCALE: 1" = 10'

LEGEND

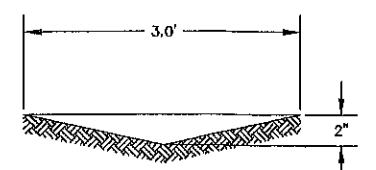
- 6" SOLID PVC PIPE AREA DRAIN (AD), "DETAIL A"
- VEGETATED SWALE, "DETAIL B" THIS SHEET
- FIBER ROLLS, "DETAIL C" THIS SHEET
- PERMEABLE PAVERS, "DETAIL D" THIS SHEET
- VEGETATED BASIN
- CONCRETE
- FINISHED GRADE
- FINISHED SURFACE GRADE BREAK
- FLOW LINE ELEVATION
- INVERT ELEVATION
- FINISHED FLOOR ELEVATION
- SEE ARCHITECTURAL DRAWINGS
- SEE STRUCTURAL DRAWINGS
- BOTTOM OF WALL
- TOP OF WALL



DETAIL D - FIBER ROLL
NOT TO SCALE



DETAIL D - PERMEABLE PAVER SECTION
NOT TO SCALE

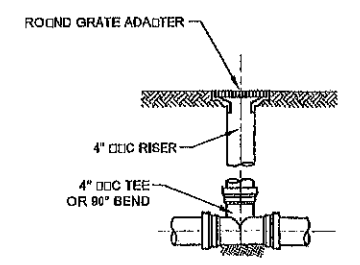


DETAIL B - VEGETATED SWALE
NOT TO SCALE

EARTHWORK QUANTITIES

CUT	88.00
FILL	04.00
NET CUT	24.00

James K. O'Connell
JAMES K. O'CONNELL RCE (2012)



DETAIL A - AREA DRAIN
NOT TO SCALE

GENERAL NOTES

- ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE STANDARD PLANS AND SPECIFICATIONS OF THE COUNTY OF SAN MATEO.
- IF RAINING AND STORM DRAIN IMPROVEMENTS ARE NOT COMPLETED BY OCTOBER 15 TEMPORARY SILT AND EROSION CONTROL FACILITIES SHALL BE INSTALLED TO CONTROL AND CONTAIN SILT DEPOSITS AND TO PROVIDE FOR THE SAFE DISCHARGE OF STORM WATERS INTO EXISTING STORM DRAINAGE FACILITIES. ADDITIONAL EROSION CONTROL MAY BE NEEDED AT THAT TIME.

F:\2016-2017\El Granada G&D\El Granada Vacant - Grading and Drainage.dwg 08/09/17 08:39:55 PM
 07/09/17 08:39:55 PM

NO.	REVISIONS	DATE
1	REVISIONS PER COUNTY COMMENTS	09/21/2016
2	2ND REVISIONS PER COUNTY COMMENTS	03/13/2017
3	3RD REVISIONS PER COUNTY COMMENTS	07/09/2017

JOB#: 2016.3001
DATE: 07/09/17
100% SUBMITTAL



DESIGNED: JKO
DRAWN: JKO
APPROVED: JKO

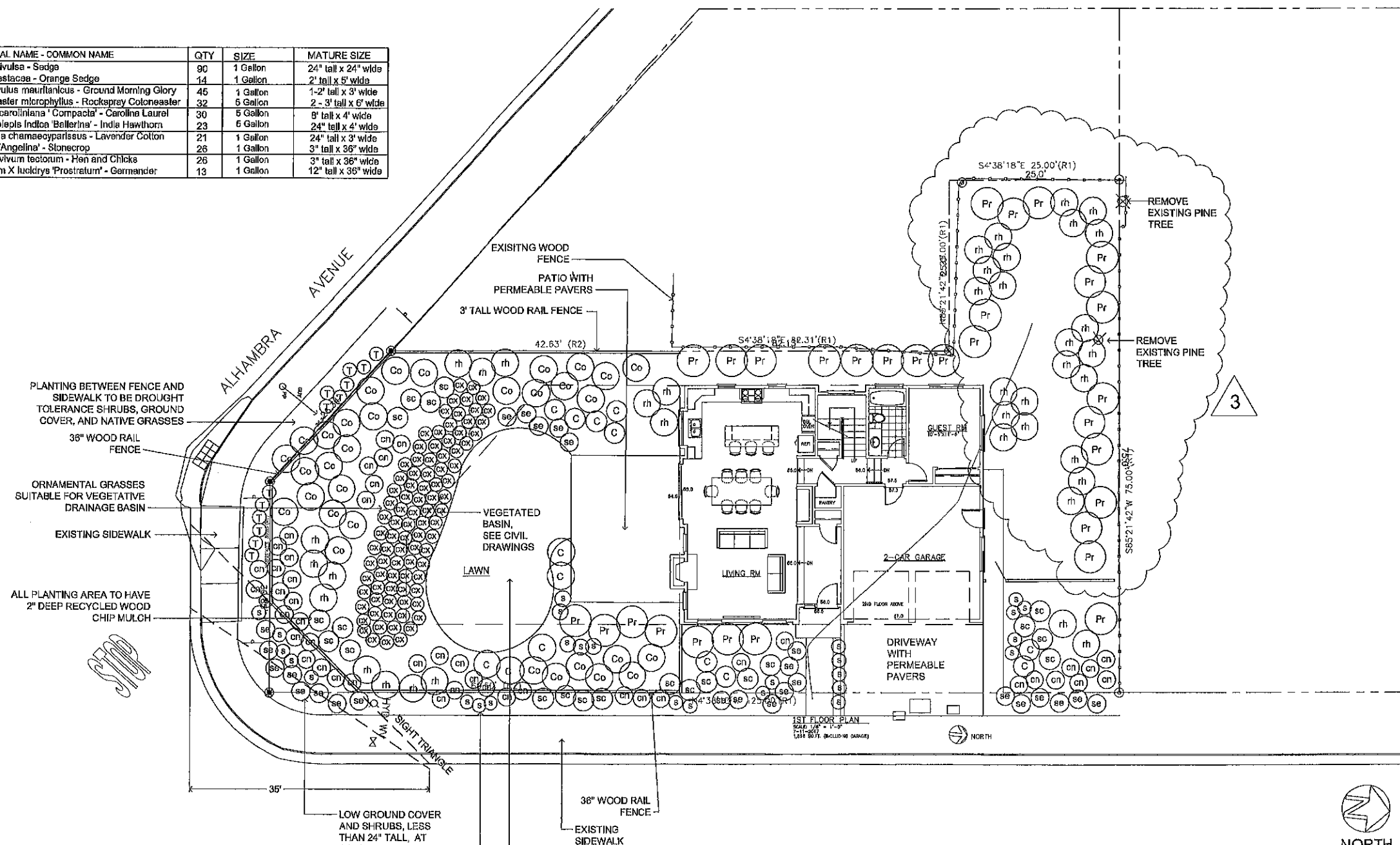
PREPARED FOR:
JUNE WANG
933 SANDPIPER LANE
PALO ALTO, CA 94303

TITLE:
PRELIMINARY GRADING, DRAINAGE, & EROSION CONTROL
VACANT LOT - CORONADO ST & SANTA ANA AVE
EL GRANADA, CA 94019

SHEET 2
OF
2

PLANTING LIST

SYM	BOTANICAL NAME - COMMON NAME	QTY	SIZE	MATURE SIZE
CX	Carex divulsa - Sedge	90	1 Gallon	24" tall x 24" wide
c	Carex testacea - Orange Sedge	14	1 Gallon	2" tall x 5" wide
cn	Convolvulus mauritanicus - Ground Morning Glory	45	1 Gallon	1-2' tall x 3' wide
Co	Cotoneaster microphyllus - Rockspray Cotoneaster	32	5 Gallon	2 - 3' tall x 6' wide
Pr	Prunus caroliniana 'Compacta' - Carolina Laurel	30	5 Gallon	8' tall x 4' wide
rh	Raphiolepis indica 'Ballerina' - India Hawthorn	23	5 Gallon	24" tall x 4' wide
sc	Santolina chamaecyparissus - Lavender Cotton	21	1 Gallon	24" tall x 3' wide
se	Sedum 'Angelina' - Stonecrop	26	1 Gallon	3" tall x 36" wide
s	Sempervivum tectorum - Hen and Chicks	26	1 Gallon	3" tall x 36" wide
t	Taucrium X lucidrys 'Prostratum' - Germander	13	1 Gallon	12" tall x 36" wide



PLANTING BETWEEN FENCE AND SIDEWALK TO BE DROUGHT TOLERANCE SHRUBS, GROUND COVER, AND NATIVE GRASSES

36" WOOD RAIL FENCE

ORNAMENTAL GRASSES SUITABLE FOR VEGETATIVE DRAINAGE BASIN

EXISTING SIDEWALK

ALL PLANTING AREA TO HAVE 2" DEEP RECYCLED WOOD CHIP MULCH

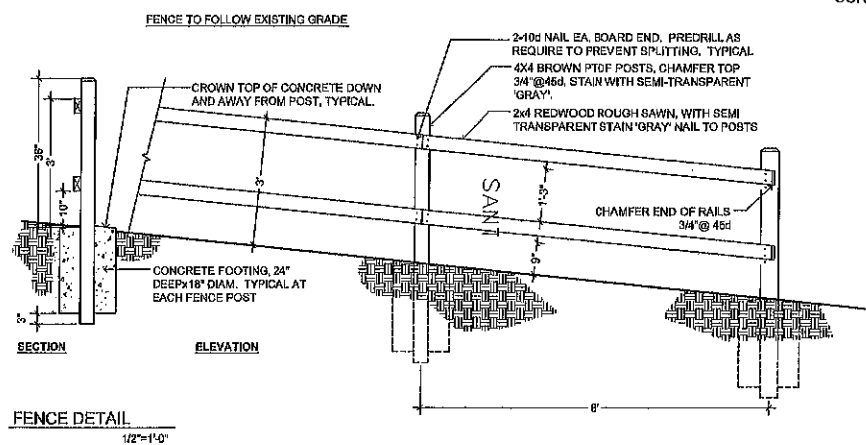
LOW GROUND COVER AND SHRUBS, LESS THAN 24" TALL, AT CORNER

36" WOOD RAIL FENCE

EXISTING SIDEWALK

LAWN TO HAVE LOW IMPACT, LOW FLOW, SPRINKLER HEADS

PLANTING AREA WILL BE IRRIGATION WITH DRIP SYSTEM, ZONED AND CONTROL BY SMART IRRIGATION CONTROLLER WITH RAIN SENSOR



REVISIONS	
3	10/18/17 REMOVE TREES

ANYI HUANG
LANDSCAPE ARCHITECT # 4187
2847 ROYAL ANN DRIVE
UNION CITY, CA 94587
anyi@anylandscape.com

SCHEMATIC LANDSCAPE PLAN

PROJECT ADDRESS:
NEW RESIDENCE
CORONADO ST / SANTA ANA AVE
EL GRANADA, CALIFORNIA

DATE:
3 / 30/2016

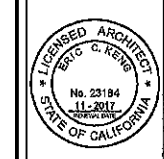
SCALE:
1/8" = 1'-0"

DRAWN BY:
AH

PROJECT #
18022

L - 1
TOTAL SHEETS: 1

REVISIONS	
△	CDR/VA 4-7-2018
△	CDR/VA 9-12-2016
△	CDR/VA 9-23-2016
△	CDR 3-24-2017
△	CDR 7-21-2017
△	CDR 10-14-2017



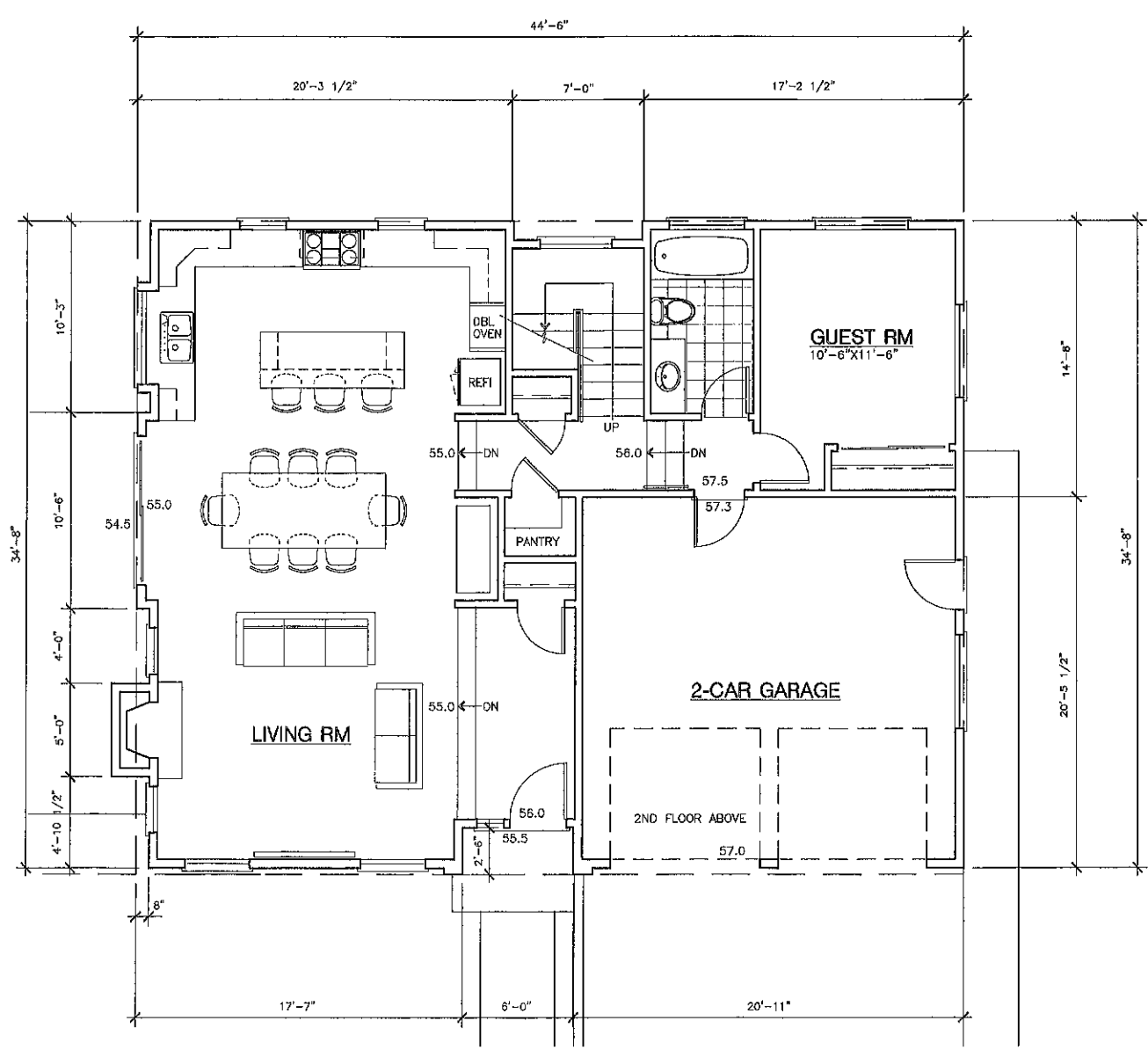
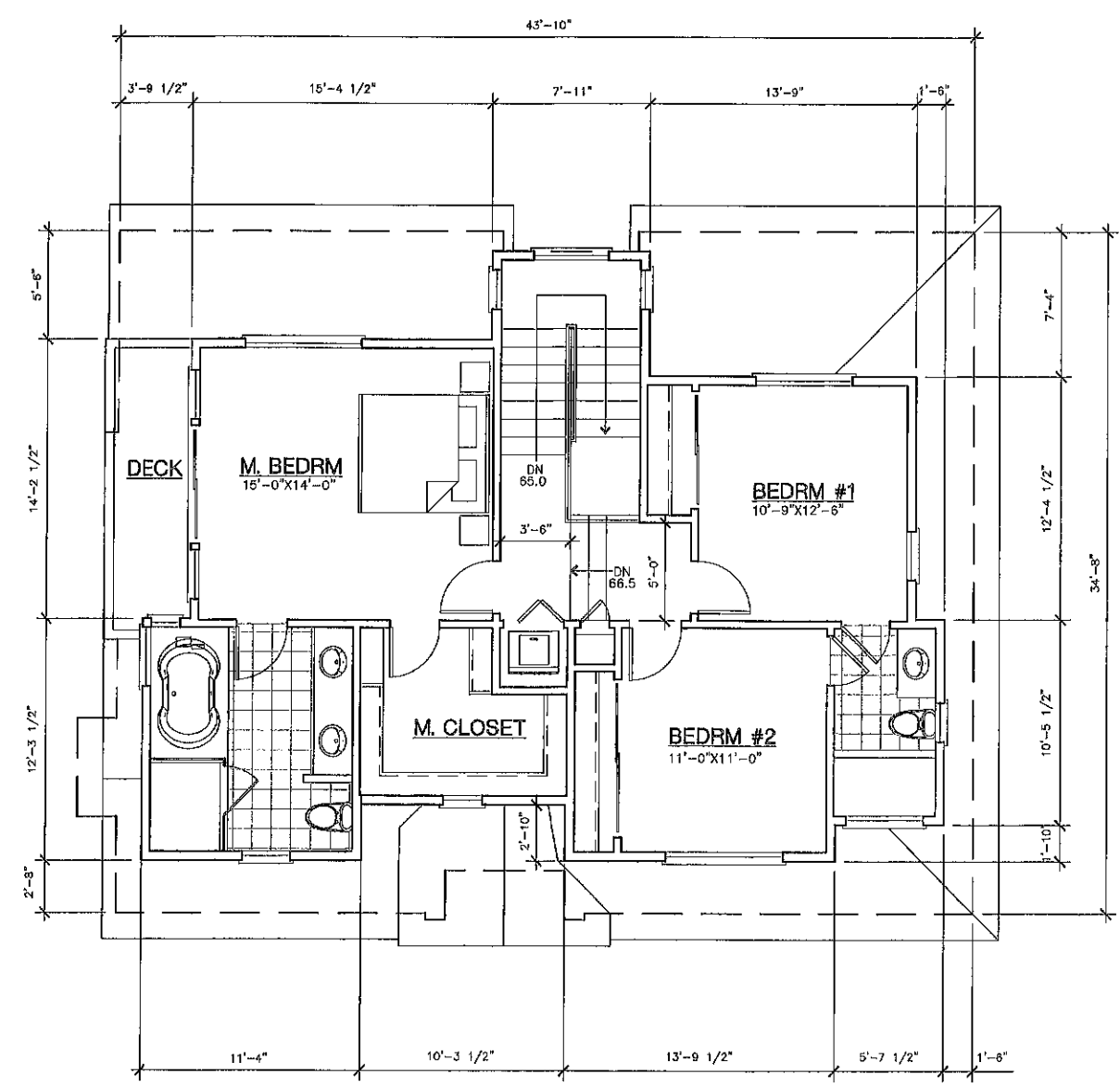
DL Architectural & Planning
 616 RAMONA ST. STE 21
 PALO ALTO, CA (650) 321-2808

**NEW RESIDENCE
 FOR: June Wang**
 APN: 047-281-160
 EL GRANADA, SAN MATEO COUNTY, CA

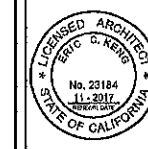
FLOOR PLANS

DATE	2-1-2015
SCALE	1/4" = 1'-0"
DIVISION	-
NO.	-
SHEET	SK-2

OF SHEETS



REVISIONS	
△	COR/VA 4-7-2016
△	COR/VA 9-12-2016
△	COR/VA 9-28-2016
△	COR 3-24-2017
△	COR 7-21-2017
△	COR 10-14-2017

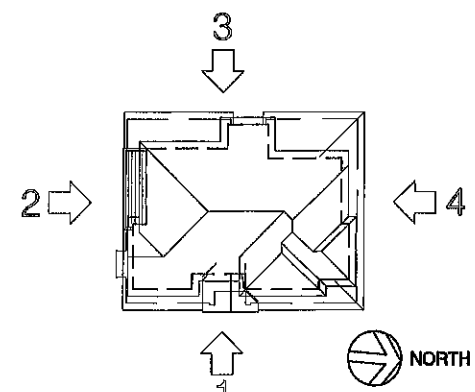


DL Architectural & Planning
 616 RAMONA ST. STE 21
 PALO ALTO, CA (650) 321-2808

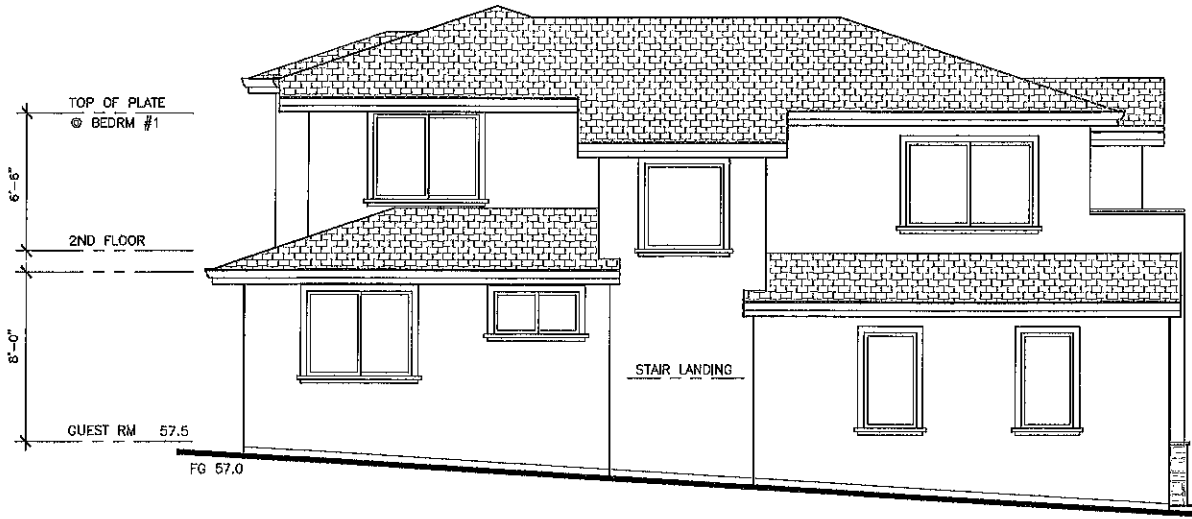
NEW RESIDENCE
 FOR: June Wang
 APN: 047-281-160
 EL GRANADA, SAN MATEO COUNTY, CA

EXTERIOR ELEVATIONS

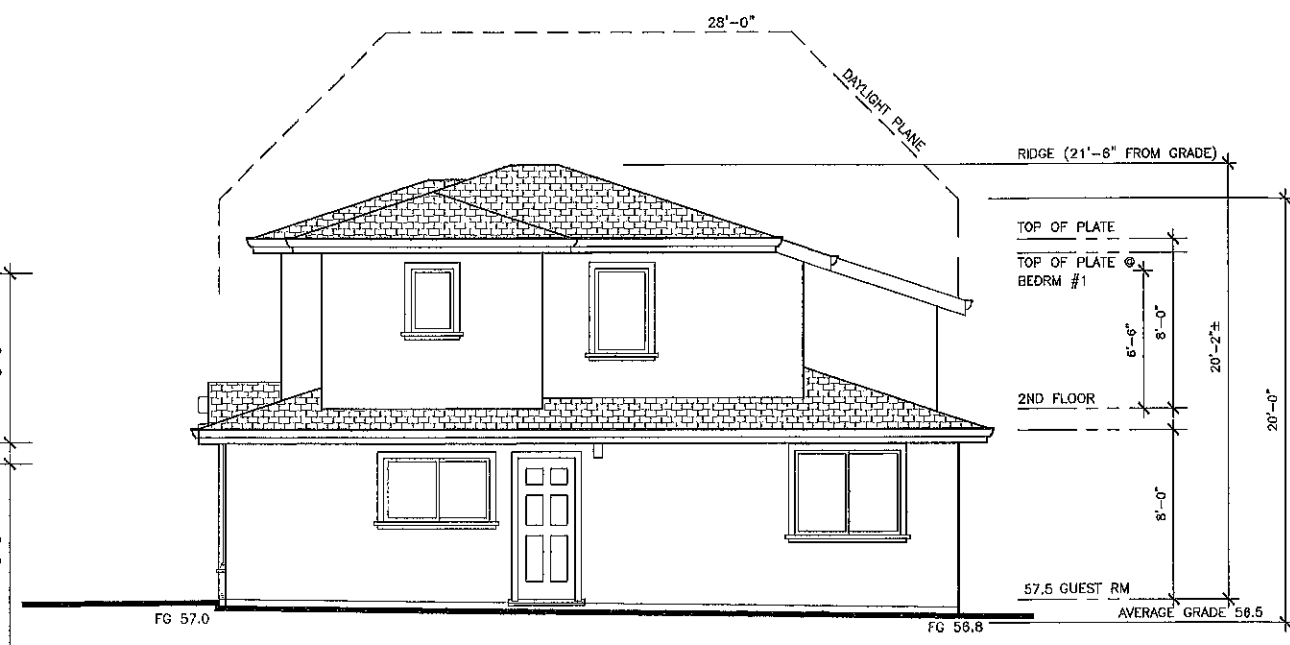
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 DRAWN: -
 JOB: -
 SHEET: -
SK-3



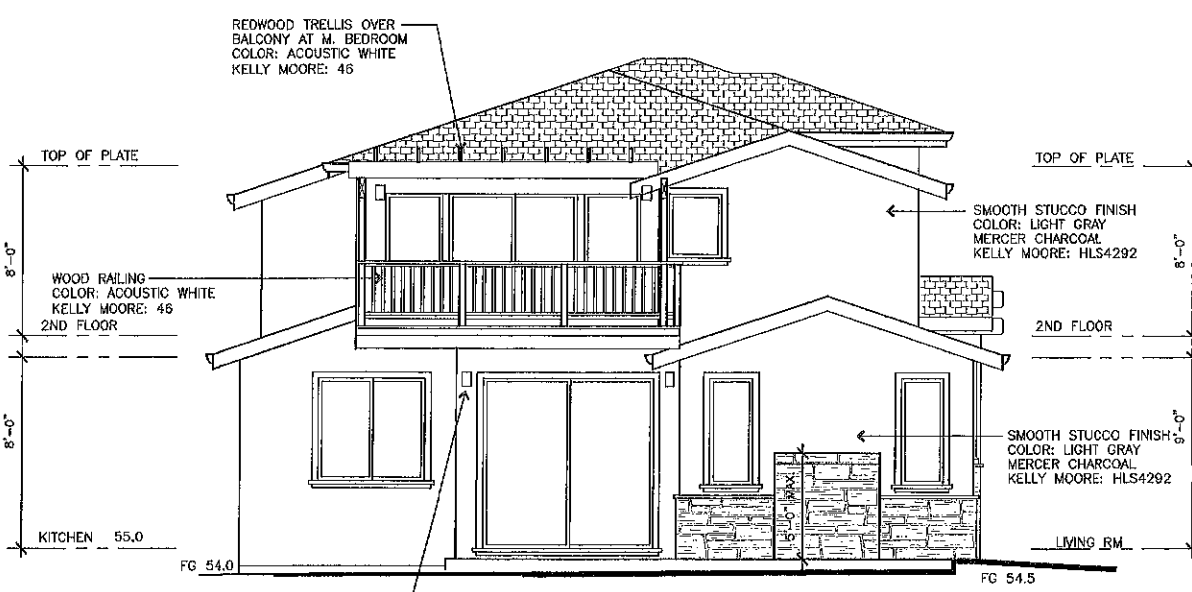
KEY PLAN
N.T.S.



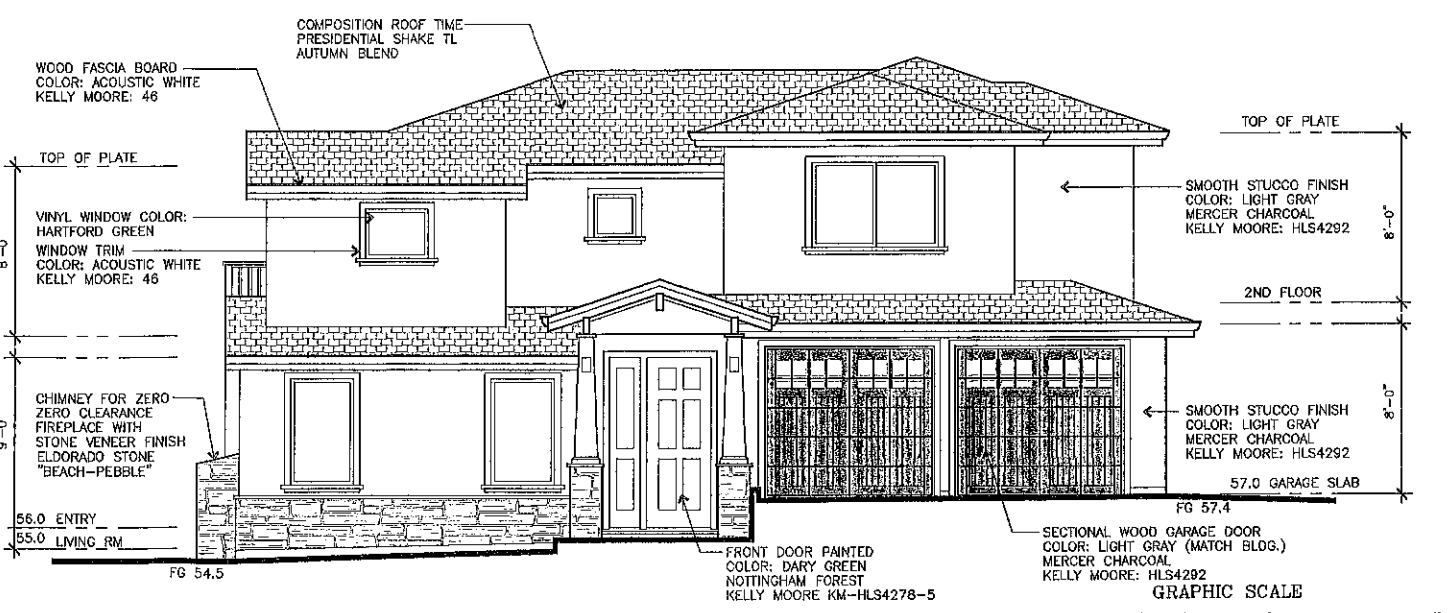
3 WEST ELEVATION
SCALE: 1/4" = 1'-0" (REAR)



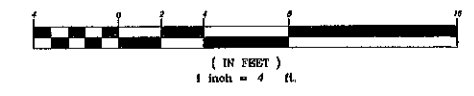
4 NORTH ELEVATION
SCALE: 1/4" = 1'-0" (RIGHT)



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0" (LEFT)



1 EAST ELEVATION
SCALE: 1/4" = 1'-0" (FRONT)



TYPICAL OUTDOOR LIGHT FIXTURES:
 PROGRESS LIGHTING
 PS674 SERIES LED WALL MOUNTED
 TYPICAL OF 7

REVISIONS	
△	CDR/VA 4-7-2016
△	CDR/VA 9-12-2016
△	CDR/VA 9-29-2016
△	CDR 3-24-2017
△	CDR 7-21-2017
△	CDR 10-14-2017

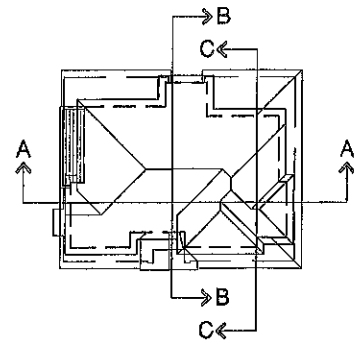


DL Architectural & Planning
 616 RAMONA ST. STE 21
 PALO ALTO, CA (860) 924-2808

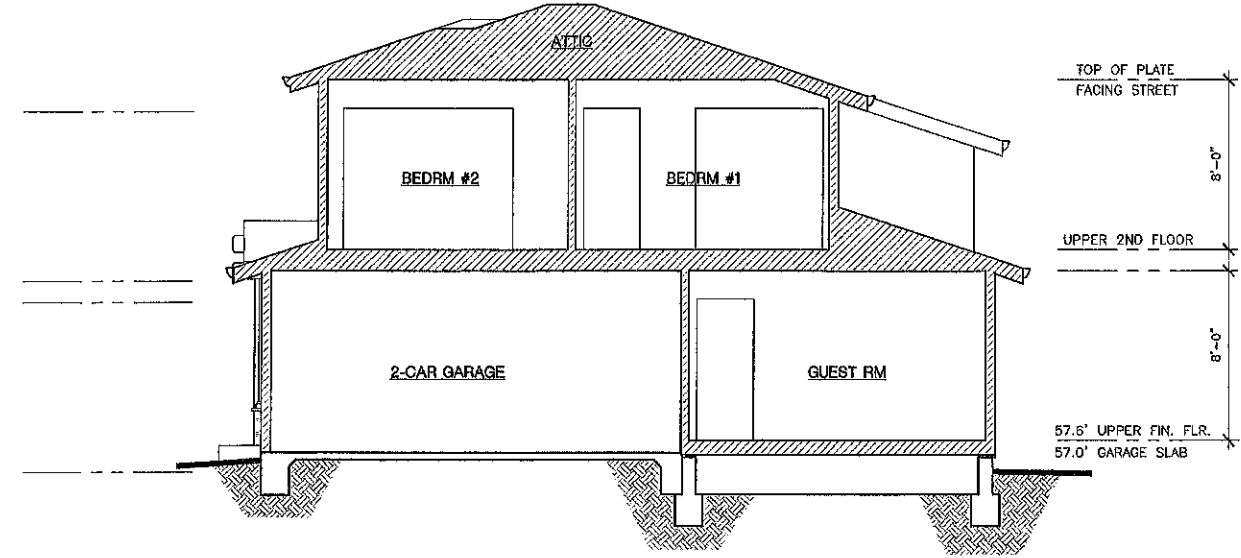
NEW RESIDENCE
 FOR: June Wang
 APN: 047-261-160
 EL GRANADA, SAN MATEO COUNTY, CA

BUILDING SECTIONS

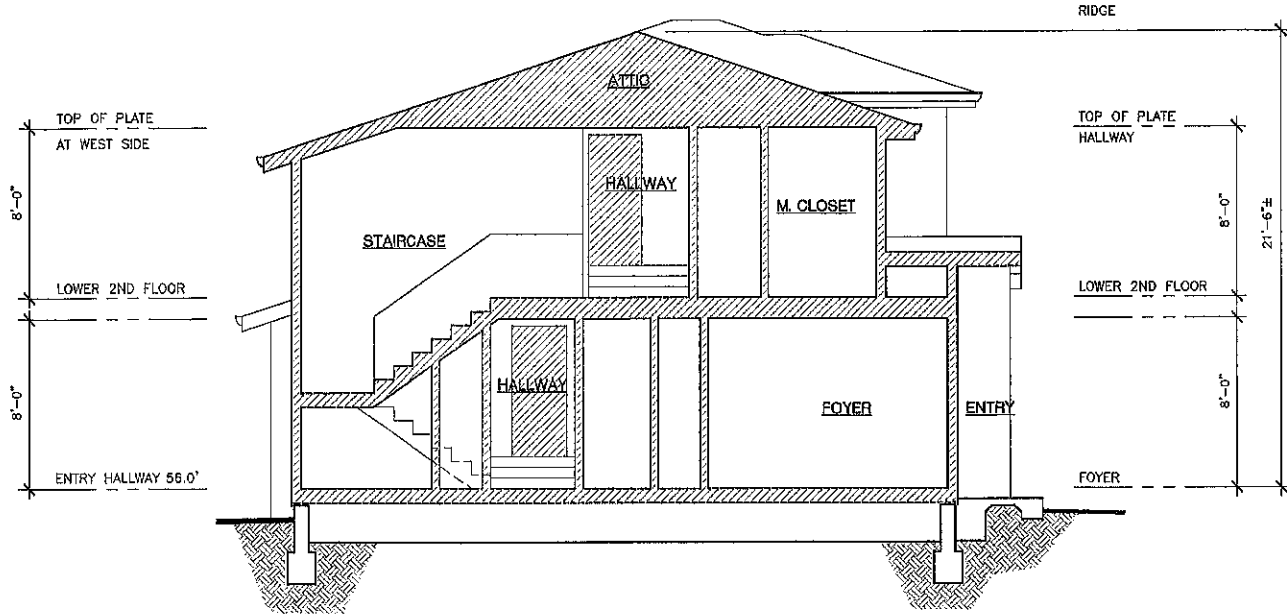
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DRAWN	-
CHECK	-
SHEET	SK-4
OF SHEETS	-



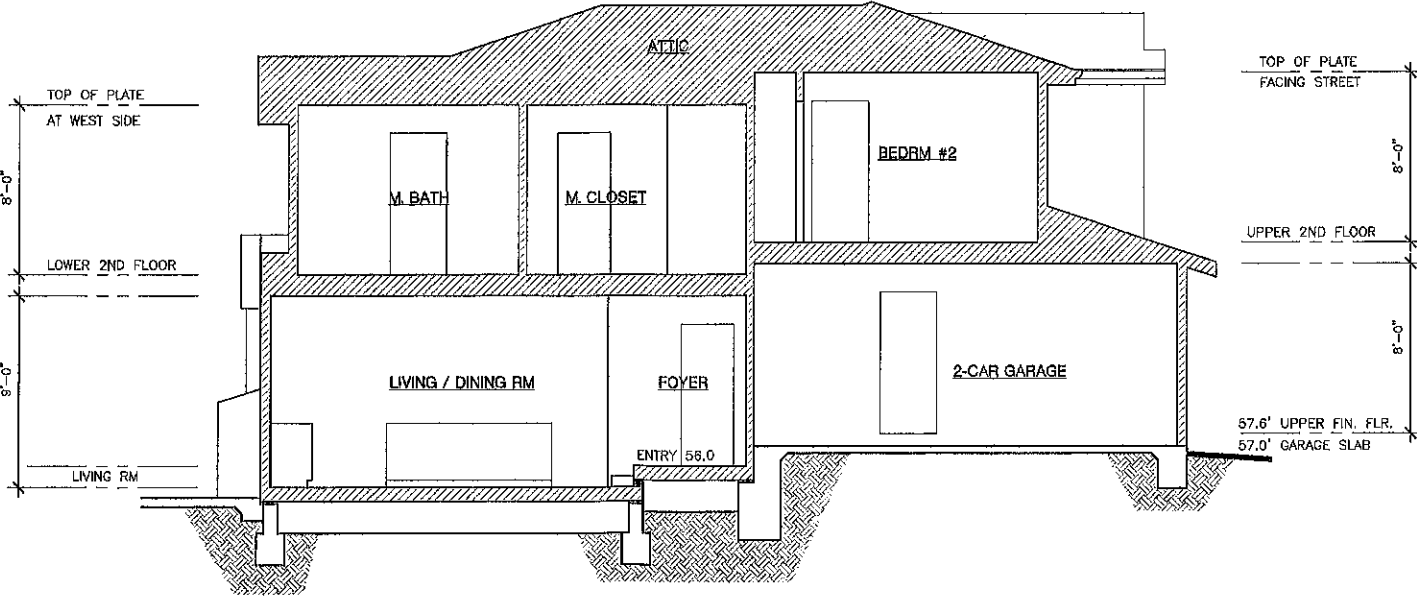
KEY PLAN
N.T.S.



SECTION 'C-C'
SCALE: 1/4" = 1'-0"



SECTION 'B-B'
SCALE: 1/4" = 1'-0"



SECTION 'A-A'
SCALE: 1/4" = 1'-0"

