

August 17, 2017

Scott Yamamoto
951 Malaga Street
El Granada, CA 94019

Dear Mr. Yamamoto:

SUBJECT: Coastside Design Review
951 Malaga Street, El Granada
APN 047-293-330; County File No. PLN 2015-00278

At its meeting of August 10, 2017, the San Mateo County Coastside Design Review Committee (CDRC) considered your application for a Design Review Permit to allow Major Modification (Modification) to a project approved by the CDRC on December 10, 2015, to allow construction of a new 2,259 sq. ft., two-story single-family residence (formerly 2,552 sq. ft.), plus a 405 sq. ft. attached two-car garage (formerly 480 sq. ft.), on an existing 6,000 sq. ft. legal parcel, upon demolition of the existing 728 sq. ft. single-family residence and detached accessory structure. House and garage sizes have been reduced by 293 sq. ft. and 75 sq. ft., respectively.

The CDRC was unable to make the findings for design review approval based on certain design deficiencies. In order to resolve these deficiencies in the project's design, a more thorough review of the "Standards for Design for One-Family and Two-Family Residential Development in the Midcoast" manual is required, specifically on Section 6565.20(D) and Section 6565.20(F). As such, requirements and recommendations from the CDRC for further project redesign are as follows:

Requirements:

1. Section 6565.20 (D) ELEMENTS OF DESIGN; 4. Exterior Materials and Colors.
Provide color renderings of the building elevations.
2. Section 6565.20 (D) ELEMENTS OF DESIGN; 4. Exterior Materials and Colors.
Provide color renderings of the material samples.



3. Section 6565.20 (F) LANDSCAPING, PAVED AREAS, FENCES, LIGHTING, AND NOISE; 4. Lighting; Standards (a., b., c.). Indicate the location of exterior lights. Provide cut sheets for Dark-Sky compliant exterior light fixtures.

Recommendations:

1. Section 6565.20 (D) ELEMENTS OF DESIGN; 1. Building Mass, Shape, and Scale; e. Wall Articulation; Standards (1; 2). Articulate the interior stair and bathroom volume into an architectural feature.
2. Section 6565.20 (D) ELEMENTS OF DESIGN; 1. Building Mass, Shape, and Scale; e. Wall Articulation; Standard (2). On the front elevation, move the front deck rail back to accentuate the roof over the front steps.
3. Section 6565.20 (D) ELEMENTS OF DESIGN; 1. Building Mass, Shape, and Scale; e. Wall Articulation; Standards (1; 2). Consider changing the fireplace to a slim-line or an architectural feature.
4. Section 6565.20 (D) ELEMENTS OF DESIGN; 2. Architectural Styles and Features; a. Architectural Style; Standard (1). Add a landing extension alcove to the top of second floor stairs into deck to include windows. Add a window adjacent to sliding door.
5. Section 6565.20 (D) ELEMENTS OF DESIGN; 2. Architectural Styles and Features; a. Architectural Style; Standard (1). Move the location of the furnace from the exterior of the left elevation to within the floor plan of the house.
6. Section 6565.20 (D) ELEMENTS OF DESIGN; 2. Architectural Styles and Features; a. Architectural Style; Standard (1). Increase design consistency with the details of the garage, columns, railings, and windows in the front elevation.
7. Section 6565.20 (F) LANDSCAPING, PAVED AREAS, FENCES, LIGHTING, AND NOISE; 1. Landscaping; Standards (a., b., f.). Revise the distribution of plantings for a more organic, natural appearance, including additional plants around the property's perimeter. In the front elevation, provide additional landscape to soften such as shrubs and ground cover to reduce apparent mass of the front entrance. Provide the size and locations of proposed plantings; identify plants within the schematic plan.

At the meeting, you were presented with the following available options at the end of the CDRC's deliberation of the project: (i) request for a decision from the CDRC on the plans presented or (ii) request that the project be considered at the next meeting to provide you

Scott Yamamoto

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August 17, 2017

with ample time to consider and incorporate the elements recommended for project redesign. You chose the second option, and the CDRC directed staff to schedule your project for consideration at a later date.

Please contact Dennis P. Aguirre, Design Review Officer, at 650/363-1867, if you have any questions.

To provide feedback, please visit the Department's Customer Survey at the following link:
<http://planning.smcgov.org/survey>.

Sincerely,

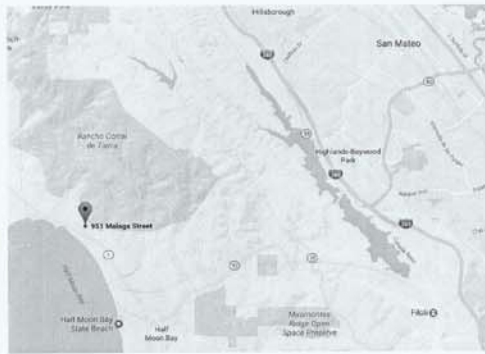
Dennis P. Aguirre
Design Review Officer

DPA:pac - DPABB0491_WPN.DOCX

cc: Stuart Grunow, Member Architect
Bruce Chan, Member Architect
Christopher Johnson, El Granada Community Representative

CUSTOM HOUSE THE YAMAMOTO FAMILY ADDRESS: 951 MALAGA ST. EI GRANADA CA

VICINITY MAP:



ABBREVIATIONS:

FWL	RAIN WATER LEADER
DS	DOWNSPUT
S/S/D	SINK WITH GARBAGE DISPOSAL
SH ENC	SHOWER ENCLOSURE
T.C	TILE FLOOR
UNCL	UNLESS OTHERWISE NOTED
TYP	TYPICAL
V/GFP	VERTICAL GIBB DOUGLASS FIB
WMP	WATERPROOF MEMBRANE
WD	WOOD
W/W	WINDOW
RM	ROOM
W/W/F	WOVEN WIRE FABRIC
GYP/BD	GYP/PLASTER BOARD
CEM PL	CEMENT PLASTER
H.B	HOSE BIB
M/C	MEDICAL CABINET
M/L	METAL
QSM	GALVANIZED SHEET METAL
N/C	NOT IN CONTRACT
W/C	WALK IN CLOSET
D/S/F	CUT SIDE FACE OF STUD
I/O/S	INSIDE FACE OF STUD
C/C	CUT CENTER
CL	CENTER LINE
PL	PLATE LINE
P.T.	PRESSURE TREATED
F.F.E	FLOOR FINISH ELEVATION
FF	FRESH FLOOR
FR	FRAM
R/A	RETURN AIR
REFR	REFRIGERATOR
RO	RANGE OVEN
MICL	MICROWAVE
EX	EXISTING
CLD	Ceiling
BLDG	BUILDING
DWG	DRAWING
JST	JOIST
BSM	BEAM
HDR	HEADER
INS	INSULATION
BOTT	BOTTOM
PKL	PANEL
CONC.	CONCRETE

PROJECT SUMMARY: APN # : 047293330

SCOPE OF WORK:
DEMOLISH (E) HOME AND REPLACE W/ NEW SINGLE FAMILY
TWO STORY HOME.

NET LOT AREA: 6,000 SQ. FT.
ORIGINAL HOME BUILT 1931
ZONING : R-1S-17/DR/CD

EXISTING 560 SQ. FT.

NEW FIRST FLOOR: 1,231.3 SQ. FT.
NEW SECOND FLOOR: 1,077.2 SQ. FT.
TOTAL HABITABLE AREA: . . . 2,258.5 SQ. FT.
NEW GARAGE: 404.7 SQ. FT.
TOTAL FLOOR AREA 2,663.2 SQ. FT.

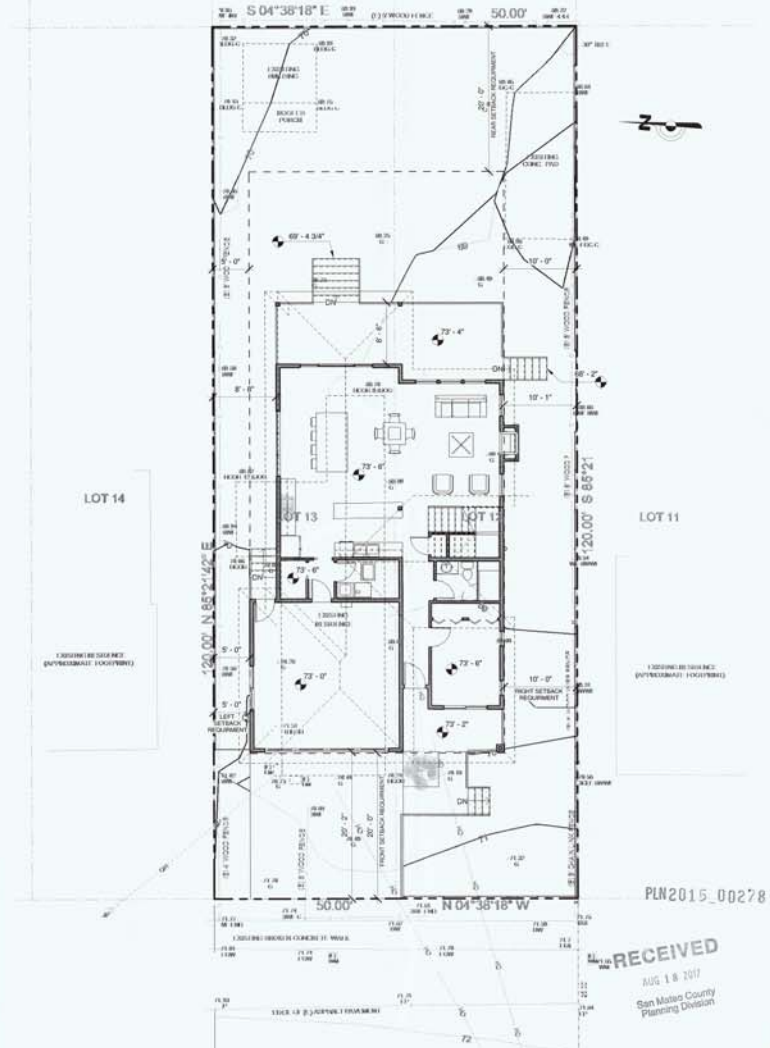
TOTAL COVERED BALCONY & DECK = 336.4 SQ. FT.
TOTAL UNCOVERED BALCONY = 404.7 SQ. FT.

ALLOWABLE FLOOR AREA 6000 x 0.45 = 2,700 SQ. FT.
PROVIDED FLOOR AREA 2,663.2 SQ. FT.

ALLOWABLE LOT COVERAGE 6,000 x 0.35 = 2,100 SQ. FT.
PROVIDED LOT COVERAGE = 1,972.4 SQ. FT.

DRAWING LIST	
Sheet Number	Sheet Name
A0	COVER SHEET & SITE PLAN
A1	FIRST & SECOND FLOOR PLANS
A2	ROOF PLAN & BUILDING SECTION
A3	EXTERIOR ELEVATIONS
SU-1	BOUNDARY AND TOPOGRAPHIC SURVEY
C1	GRADING AND DRAINAGE PLAN
C2	EROSION, SEDIMENT CONTROL AND TREE PROTECTION PLAN
L1	SCHEMATIC LANDSCAPE PLAN
BMP	CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

PERMIT NUMBER FOR THIS PROJECT IS "PLN2015-00278"



1 SITE PLAN
A0 1/8" = 1'-0"

RECEIVED
AUG 18 2017
San Mateo County
Planning Division

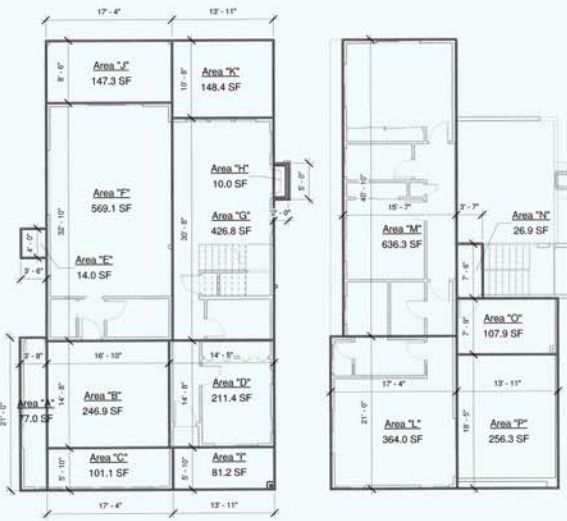


FAST CAD DRAFTING
1610 BLOSSOM HILL ROAD, SUITE 77A, SAN JOSE, CA 95124
CELL: 408-806-7912
EMAIL: bkdrafting@comcast.net

DESIGN BY:
COVER SHEET & SITE PLAN

Owner
951 MALAGA STREET,
EI GRANADA CA

DATE: 01/20/17
SCALE: 1/8" = 1'-0"
DRAWN: BK
JOB NUMBER:
SHEET:
A0
SHEETS

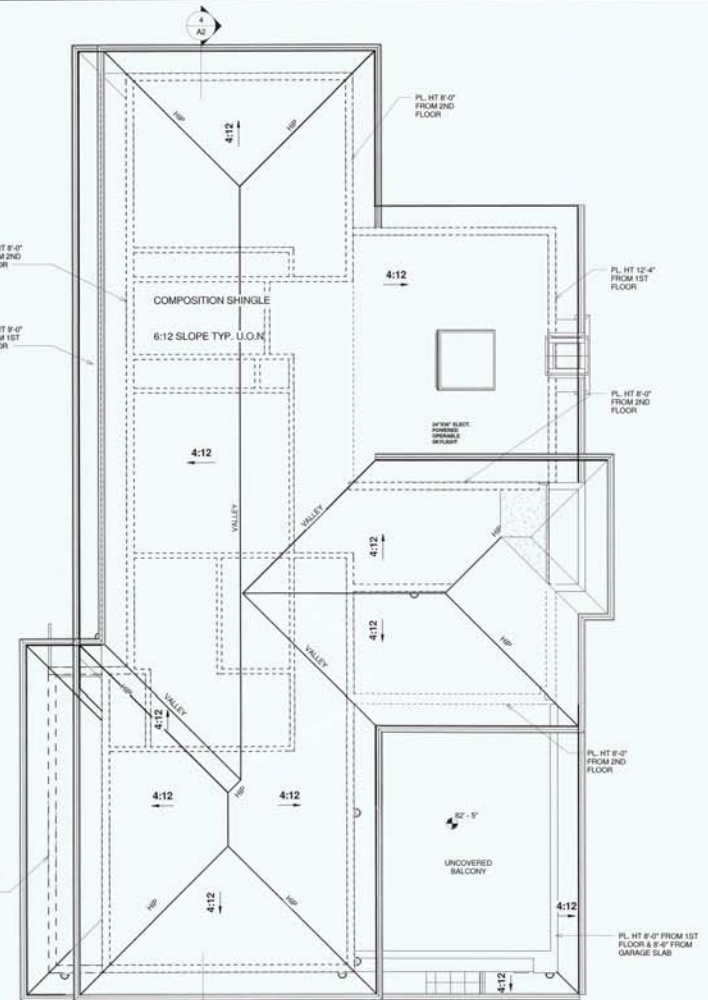


2 FIRST FLOOR
A2
1/8" = 1'-0"

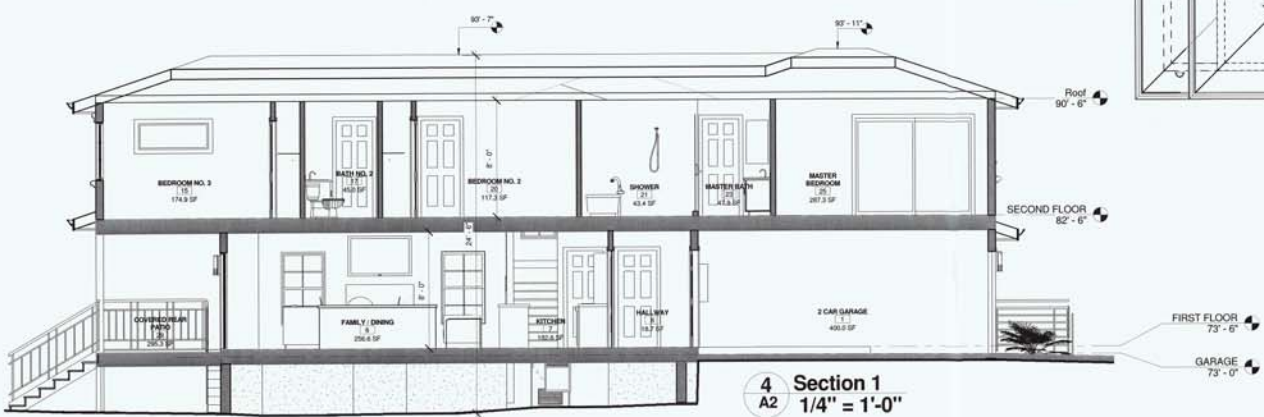
3 SECOND FLOOR
A2
1/8" = 1'-0"

	AREA	DIMENSIONS	SQ. FT.	TOTAL SQ. FT.	
1ST FLR.	GARAGE	"A"	3'-8" x 21'-0"	77.0	425.0
		"B"	16'-10" x 14'-8"	246.9	
		"C"	17'-4" x 5'-10"	101.1	
		"D"	14'-5" x 14'-8"	211.4	
1ST FLR.	HABITABLE	"E"	4'-0" x 3'-6"	14.0	1,231.3
		"F"	17'-4" x 32'-10"	569.1	
		"G"	13'-11" x 30'-8"	426.8	
		"H"	5'-0" x 2'-0"	10.0	
		"I"	13'-11" x 5'-10"	81.2	
		"J"	17'-4" x 8'-6"	147.3	
1ST FLR.	COVERED BALCONY	"I"	13'-11" x 5'-10"	81.2	228.5
	UNCOVERED BALCONY	"K"	13'-11" x 10'-8"	81.2	
2ND FLR.	HABITABLE	"L"	17'-4" x 21'-0"	364.0	1,027.2
		"M"	40'-10" x 15'-7"	636.3	
	COVERED BALCONY	"N"	3'-7" x 7'-6"	26.9	107.9
		"O"	13'-11" x 7'-9"	107.9	
	UNCOVERED BALCONY	"P"	13'-11" x 18'-5"	256.3	256.3

TOTAL HABITABLE AREA = 1,231.3 + 1,027.2 = 2,258.5 SQ. FT.
 TOTAL COVERED BALCONY & DECK = 228.5 + 107.9 = 336.4 SQ. FT.
 TOTAL UNCOVERED BALCONY = 148.4 + 256.3 = 404.7 SQ. FT.



1 ROOF PLAN
A2
1/4" = 1'-0"



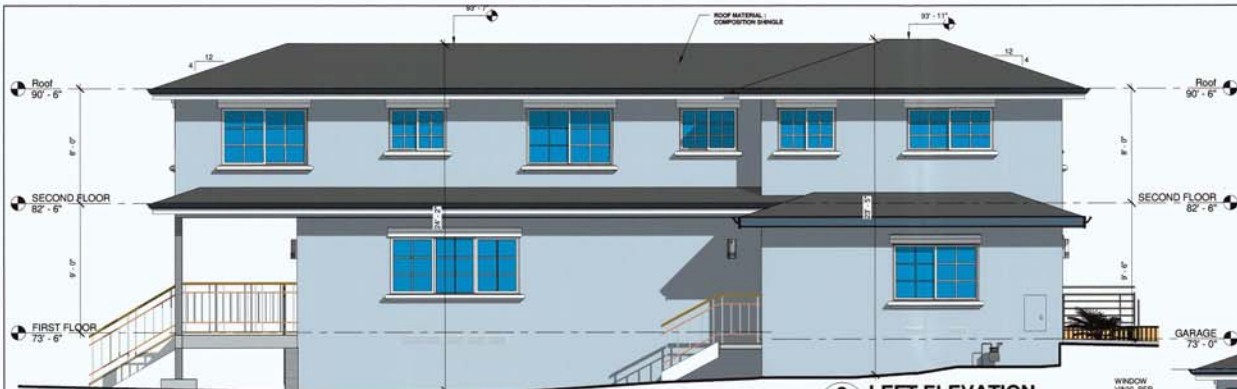
4 Section 1
A2
1/4" = 1'-0"

FAST CAD DRAFTING
 1610 BLOSSOM HILL ROAD, SUITE "7A", SAN JOSE, CA 95124
 CELL: 408-806-7912
 EMAIL: bkcdrafting@comcast.net

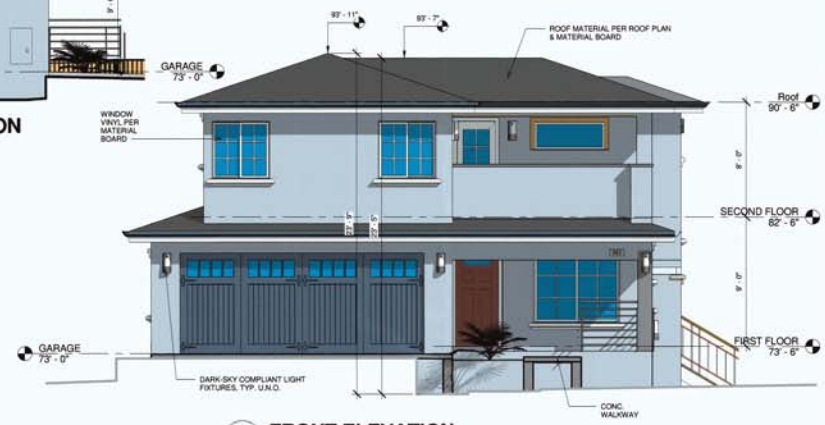
DESIGN BY:
 ROOF PLAN & BUILDING SECTION

OWNER
 951 MALAGA STREET,
 EL GRANADA CA

DATE: 01/20/17
 SCALE: As indicated
 DRAWN: Author
 JOB NUMBER:
 SHEET: A2



2 LEFT ELEVATION
A3 1/4" = 1'-0"



1 FRONT ELEVATION
A3 1/4" = 1'-0"



3 REAR ELEVATION
A3 1/4" = 1'-0"

Hinkley Lighting 1326
15.5" Height 1 Light Dark Sky Outdoor Wall Sconce from the Shelter Collection
Item # 602298102 Model # 1326 Shelter Collection



- Features:**
- Clear Sentry glass cylinder shade
 - Beveled glass shades replicate the look of colored glass
 - Made of cast aluminum
 - Designed to cast a soft ambient light over a wide area
 - Dark Sky Compliant
 - Suitable for wet locations
- Lighting Technologies:**
- **Bulb Base:** Medium (E26) The E26 (Edison 26mm) Medium Edison Screw, is the standard bulb used in 120V AC applications in North America. E26 is the most common bulb type and is generally interchangeable with E27 bulbs.

- Specifications:**
- Bulb Base: Medium (E26)
 - Bulb Included: No
 - Height: 15.5"
 - Material: Aluminum
 - Number of Bulbs: 1
 - Product Weight: 4 lbs.
 - Shade Material: Glass
 - Shade Type: Sentry Glass
 - Voltage: 60
 - Watts Per Bulb: 60
 - Width: 4.5" (measured from furthest point left to furthest point right on fixture)
 - ADA: No
 - Backplate Height: 12"
 - Backplate Width: 4.5"
 - Dark Sky: Yes
 - Energy Star: No
 - Extension: 4.75" (measured from mounting surface to furthest protruding point on fixture)
 - HOZ: 5/8" (right from center of outlet)
 - Location Rating: Wet Location

- Compliance:**
- Dark Sky Lighting: Meets all CUL-DR Lighting or Priority Lighting. Dark Sky refers to lighting fixtures that reduce excess lighting and reduces sky glow to minimize wasted energy allowing the right way to shine.

About Hinkley Lighting
Since 1922, Hinkley Lighting has been driven by a passion to blend design and function in creating quality products that enhance your life. Hinkley is continually reimagined by interior and exterior designers, and is available to you through premier lighting showrooms across the country. They pride themselves in delivering a superior customer



4 RIGHT ELEVATION
A3 1/4" = 1'-0"

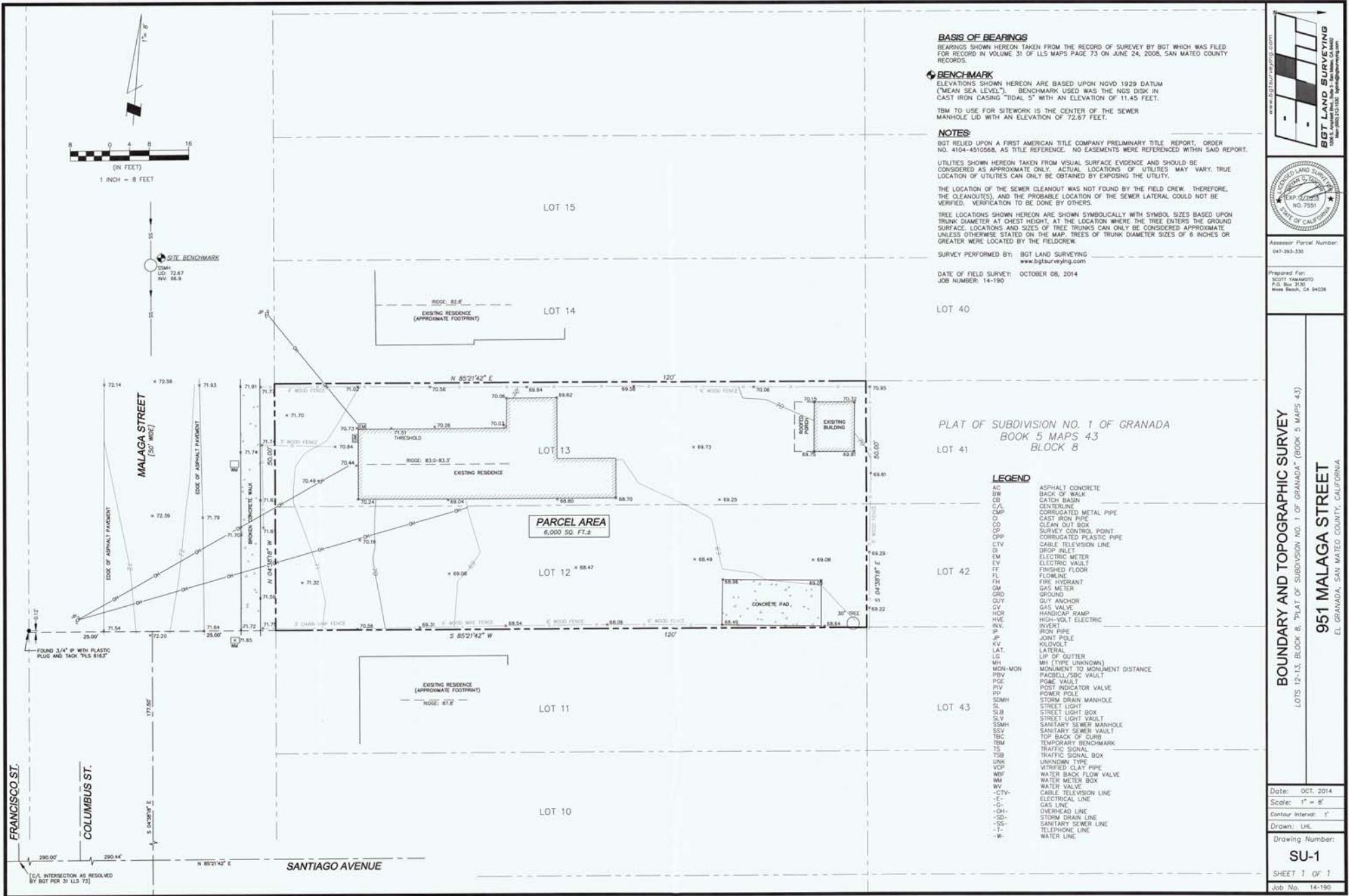
No.	Description	Date

DESIGN BY: **FAST CAD DRAFTING**
1610 BLOSSOM HILL ROAD., SUITE "7A", SAN JOSE, CA 95124
CELL: 408-806-7912
EMAIL: bkdrafting@comcast.net

EXTERIOR ELEVATIONS

OWNER: **951 MALAGA STREET, EL GRANADA CA**

DATE: 01/20/17
SCALE: 1/4" = 1'-0"
DRAWN: Author
JOB NUMBER: Author
SHEET: A3
OF: SHEETS



BASIS OF BEARINGS
 BEARINGS SHOWN HEREON TAKEN FROM THE RECORD OF SURVEY BY BOT WHICH WAS FILED FOR RECORD IN VOLUME 31 OF LLS MAPS PAGE 73 ON JUNE 24, 2008, SAN MATEO COUNTY RECORDS.

BENCHMARK
 ELEVATIONS SHOWN HEREON ARE BASED UPON NGVD 1929 DATUM (MEAN SEA LEVEL). BENCHMARK USED WAS THE NOS DISK IN CAST IRON CASING "TIDAL 5" WITH AN ELEVATION OF 11.45 FEET.

TBM TO USE FOR SITEWORK IS THE CENTER OF THE SEWER MANHOLE LID WITH AN ELEVATION OF 72.67 FEET.

NOTES
 BOT RELIED UPON A FIRST AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. 4104-4010568, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

THE LOCATION OF THE SEWER CLEANOUT WAS NOT FOUND BY THE FIELD CREW. THEREFORE, THE CLEANOUT(S), AND THE PROBABLE LOCATION OF THE SEWER LATERAL COULD NOT BE VERIFIED. VERIFICATION TO BE DONE BY OTHERS.

TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT. AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE, LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE, UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELD CREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING
 www.bgtlandsurveying.com

DATE OF FIELD SURVEY: OCTOBER 08, 2014
 JOB NUMBER: 14-190

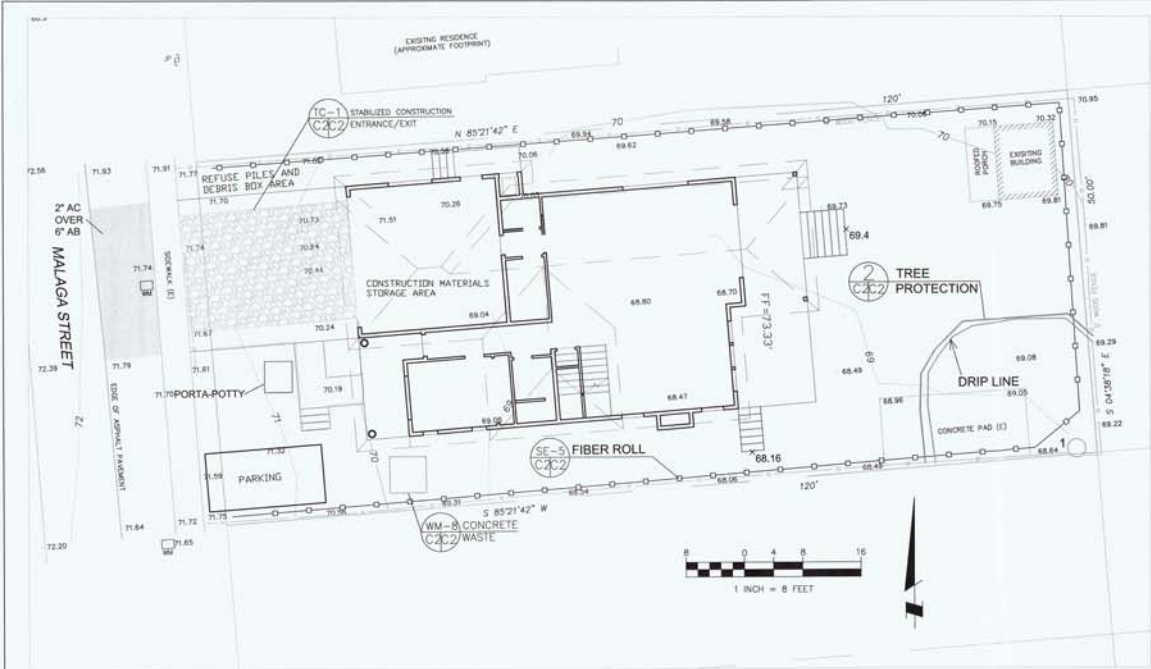
PLAT OF SUBDIVISION NO. 1 OF GRANADA
 BOOK 5 MAPS 43
 BLOCK 8

- LEGEND**
- AC ASPHALT CONCRETE
 - BW BACK OF WALK
 - CB CATCH BASIN
 - C/L CENTERLINE
 - CMP CORRUGATED METAL PIPE
 - C CAST IRON PIPE
 - CO CLEAN OUT BOX
 - CP SURVEY CONTROL POINT
 - CPP CORRUGATED PLASTIC PIPE
 - CTV CABLE TELEVISION LINE
 - D DROP INLET
 - EM ELECTRIC METER
 - EV ELECTRIC VAULT
 - FF FINISHED FLOOR
 - FL FLOWLINE
 - FI FIRE HYDRANT
 - GM GAS METER
 - GRD GROUND
 - GUFT GUY ANCHOR
 - GV GAS VALVE
 - HCR HANDICAP RAMP
 - HVE HIGH-VOLT ELECTRIC
 - INV INVERT
 - IRV IRON PIPE
 - JP JOINT POLE
 - KV KILOVOLT
 - LAT LATERAL
 - LG LIP OF GUTTER
 - MH (TYPE UNKNOWN)
 - MON-MON MONUMENT TO MONUMENT DISTANCE
 - PRV PARCELS/SUB VAULT
 - PGE PG&E VAULT
 - PP POST INDICATOR VALVE
 - PP POWER POLE
 - SDMH STORM DRAIN MANHOLE
 - SL STREET LIGHT
 - SLB STREET LIGHT BOX
 - SLV STREET LIGHT VAULT
 - SSMH SANITARY SEWER MANHOLE
 - SSV SANITARY SEWER VAULT
 - TBC TOP BACK OF CURB
 - TBM TEMPORARY BENCHMARK
 - TS TRAFFIC SIGNAL
 - TSB TRAFFIC SIGNAL BOX
 - UNK UNKNOWN TYPE
 - VCP VITRIFIED CLAY PIPE
 - WBF WATER BACK FLOW VALVE
 - WM WATER METER BOX
 - WV WATER VALVE
 - CTV- CABLE TELEVISION LINE
 - E- ELECTRICAL LINE
 - G- GAS LINE
 - OH- OVERHEAD LINE
 - SD- STORM DRAIN LINE
 - SS- SANITARY SEWER LINE
 - T- TELEPHONE LINE
 - W- WATER LINE

BOUNDARY AND TOPOGRAPHIC SURVEY
 LOTS 12-13, BLOCK 8, PLAT OF SUBDIVISION NO. 1 OF GRANADA (BOOK 5 MAPS 43)

951 MALAGA STREET
 EL GRANADA, SAN MATEO COUNTY, CALIFORNIA

Date: OCT. 2014
 Scale: 1" = 8'
 Contour Interval: 1'
 Drawn: LHL
 Drawing Number:
SU-1
 SHEET 1 OF 1
 Job No. 14-190

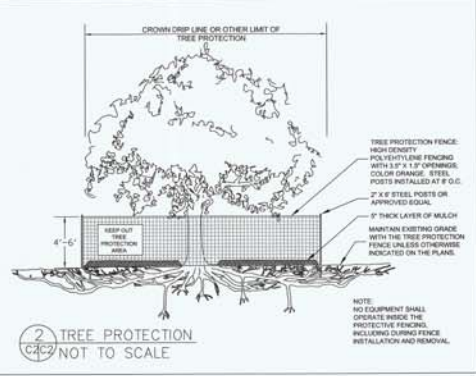


GENERAL EROSION AND SEDIMENT CONTROL NOTES

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site
- The tree protection shall be in place before any grading, excavating or grubbing is started.

TREE PROTECTION NOTES

- TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE THROUGHOUT CONSTRUCTION PROCESS.
- TREE PROTECTION FENCES SHALL BE INSTALLED AS CLOSE TO DRIP LINES AS POSSIBLE.
- OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS.
- ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.
- ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.
- PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.

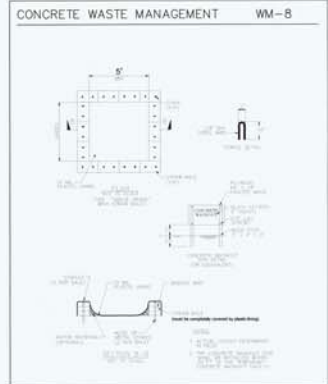


EROSION CONTROL NOTES

- FIBER ROLL INSTALL AT LOCATIONS SHOWN. AFIX AS SHOWN IN DETAIL SE-5
- GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 1 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED:
 - NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
 - ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
 - ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HILLS.
 - ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYEGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.
 - ROOCD CONSTRUCTION ENTRANCE SHALL BE 23 FEET LONG BY 18 FEET WIDE AND CONFORM TO THE FOLLOWING:
 - THE MATERIAL FOR THE PAD SHALL BE 4 TO 6 INCH STONE.
 - PAD SHALL BE NOT LESS THAN 12" THICK.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, CROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEEL WASHING IS REQUIRED. IT SHALL BE DONE ON AN AREA THAT DRAINS TO THE CONCRETE WASHOUT AREA.
 - CONCRETE WASHOUT AREA SHALL BE SURROUNDED BY A SINGLE LAYER OF SAND BAGS TO CONTAIN FLUIDS. CHANNEL INTO AREA SHALL BE CLEARED TO ALLOW FIRE DEBRIS (SEE NOTE 6.D. ABOVE)

TREE LIST

NO.	TRUNK DIAM.	NAME
1	30"	BLACK WALNUT

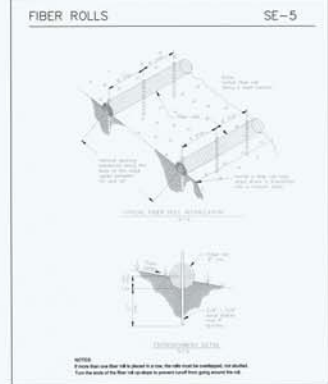


EROSION CONTROL POINT OF CONTACT

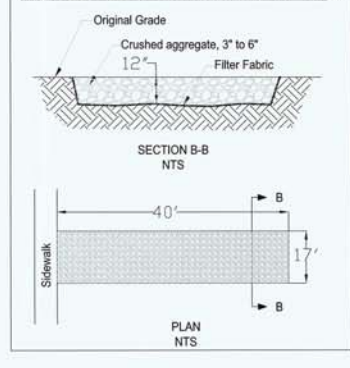
THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: SCOTT YAMAMOTO
 TITLE/QUALIFICATION: OWNER
 PHONE: 950-273-4448
 E-MAIL: ARLYNE1@PACBELL.NET

USE OF PLASTIC SHEETING BETWEEN OCTOBER 1ST AND APRIL 30TH IS NOT ACCEPTABLE. UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.



STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1



Sigma Prime Concessions, Inc.
 SIGMA PRIME CONCESSIONS, INC.
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 TEL: 726-5599 FAX: 726-5598

DATE: 3-20-17
 DRAWN BY: CJK
 CHECKED BY: AZG
 REV. DATE: 8-17-17
 REV. DATE: _____
 REV. DATE: _____

EROSION AND SEDIMENT CONTROL AND TREE PROTECTION PLAN

YAMAMOTO PROPERTY
 951 MALAGA STREET
 EL GRANADA

SHEET C-2

No.	Description	Date

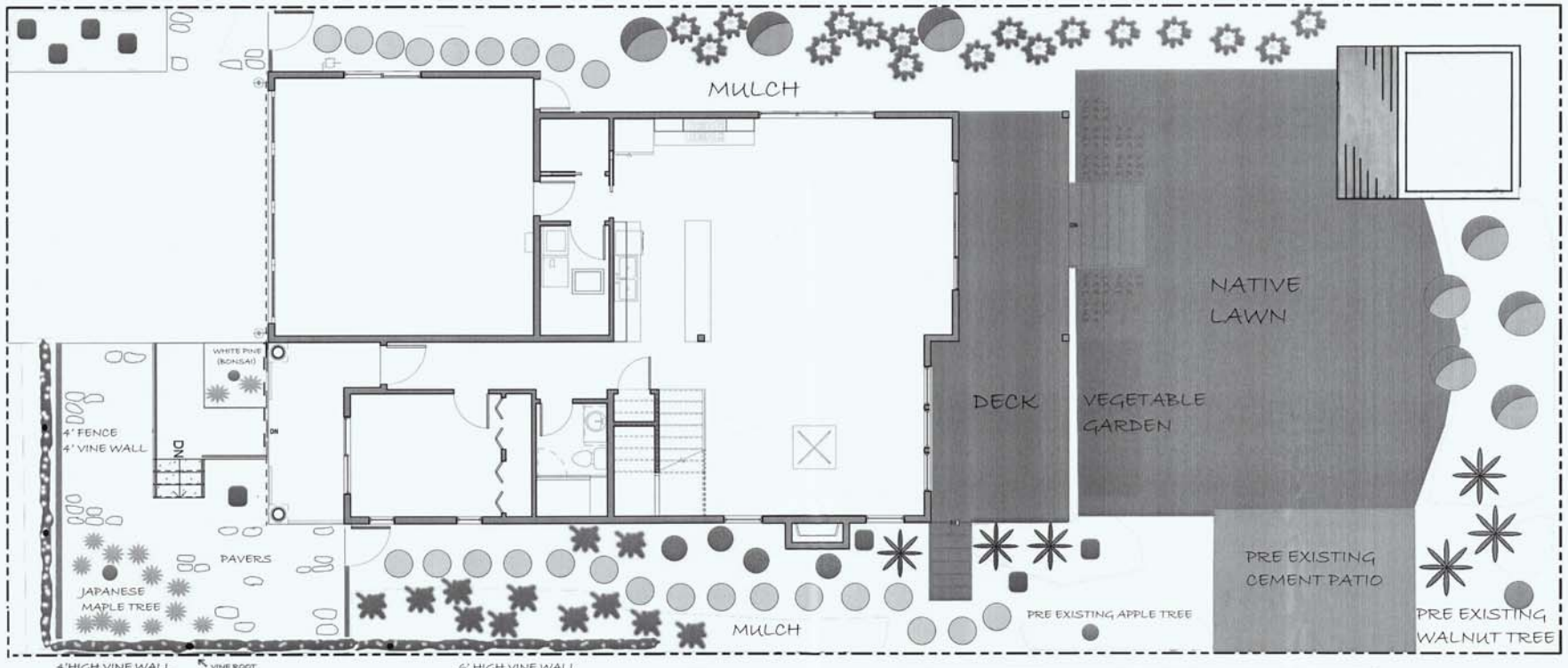
DESIGN BY:

SCHEMATIC LANDSCAPE PLAN

Owner

951 MALAGA STREET,
EL GRANADA CA

DATE	01/20/17
SCALE	1/4" = 1'-0"
DRAWN	Author
JOB NUMBER	-
SHEET	L1
OF	SHEETS



Latin Name	Common Name	Native	Water Use	Height	Pot Size	Symbol
Perennials						
Achillea Millefolium	Strawberry Seduction Yarrow	X	Low	2 - 3'	1 Gal	●
Woodwardia Fimbriata	Giant Chain Fern	X	Moderate	4 - 6'	1 Gal	✱
Ground Cover						
Ophiopogon Japonicus	Mando Grass		Moderate	1'	1 Gal	✱
Ameria Maritima	Sea Pink	X	Low	1'	4" Pots	✱
Erigeron Glaucus	Seaside Daisy	X	Low	1'	4" Pots	✱
Trees						
Acer palmatum	Japanese Maple		Regular	30'	20 Gal	
Pinus parviflora	Japanese White Pine (Bonsai)		Regular	5'	5 Gal	

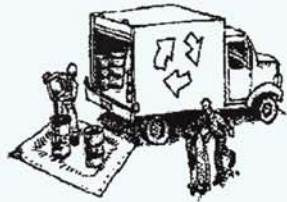
1 SCHEMATIC LANDSCAPE PLAN
1/4" = 1'-0"

Latin Name	Common Name	Native	Water Use	Height	Pot Size	Symbol
Shrubs						
Rosmarinus Officinalis	Rosemary		Low	5'	1 Gal	✱
Lavandula angustifolia	English Lavenders		Moderate	2 - 3'	1 Gal	■
Escalonia Comparta	Escalonia		Moderate	2 - 3'	1 Gal	■
Pittosporum Tobira	Pittosporum		Moderate	6 - 8'	1 Gal	●
Passiflora tarminiana	Banana Passionfruit Vine		Low	-	5 Gal	✱
Trachelospermum jasminoides	Star Jasmine Vine		Moderate	-	5 Gal	✱

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



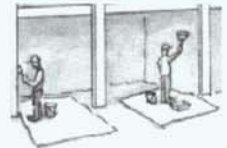
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!