

Planning Permit Application Form

PLN: _____
BLD: _____

Applicant Information

Applicant: Massoud Vossugh
Mailing Address: 711 Etheldore St.
Moss Beach CA. Zip: 94038
Phone, W: 7735752725 H: 6505639006
E-mail Address: mvossugh@gmail.com FAX: _____

Name of Owner (1): Massoud & Mina Vossugh	Name of Owner (2):
Mailing Address: Same as above	Mailing Address:
Zip:	Zip:
Phone, W:	Phone, W:
H:	H:
E-mail Address:	E-mail Address:

Project Location

Project Location (address): Corner of Nevada Ave & Ellendale St	Assessor's Parcel Numbers: 037 — 135 — 170
Zoning: R-1/S-17/DR/CD	Parcel/lot size: 5,000 SF (Square Feet)

List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)
Building a 2509 SQF two story contemporary home with Garage attached on 100' X 50' lot which long side is facing Nevada Ave. Building is also located, long side facing Nevada Ave. Access to garages is from Ellendale St.

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):
There is only one 44' pine tree in South west corner of the property lowest point of Lot is 99.18 (near drive way) and highest point is 100.35. In comperison to Bench mark of 100.00 there are not water bodies and vegetations are regular local growing weeds.
There are four plne trees between property line and side walk (24,35,28,28') which a few limbs needs trimmed.
Describe Existing Structures and/or Development:
None

Signatures

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature: _____
Owner's signature: _____
Applicant's signature: _____

Planning and Building Department

Application for Design Review by the County Coastside Design Review Committee

County Government Center • 455 County Center • Redwood City CA 94063
Mail Drop PLN 122 • 650 • 363 • 4161 • FAX 650 • 363 • 4849

Permit #: PLN 2015-00573

Other Permit #: _____

1. Basic Information

Applicant:

Name: Massoud Vossugh

Address: 711 Etheldore St.

Moss Beach CA. Zip: 94038

Phone, W: 7735752725 H: 6505639006

Email: mvossugh@gmail.com

Owner (if different from Applicant):

Name: Mina & Massoud Vossugh

Address: 711 Etheldore St.

Moss Beach CA. Zip:

Phone, W: 7735752684 H: 6505639006

Email:

Architect or Designer (if different from Applicant):

Name: Applicant

Address:

Phone, W: H: Email:

2. Project Site Information

Project Location:

APN: 037135170

Address: Corner of Nevada Ave & Ellendale St

Moss Beach CA. Zip: 94,038

Zoning: R-1/S-17/DR/CD

Parcel/lot size: 5000 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe):

3. Project Description

Project:

New Single Family Residence: 2509 sq. ft

Addition to Residence: _____ sq. ft

Other: _____

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

Describe Project:

A. Two story single family home in harmony with adjacent buildings.

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish (if different from existing, attach sample)	Check if matches existing
a. Exterior walls	Hardie's Plank & staged shingle	Evening Blue	<input type="checkbox"/>
b. Trim	1 x 3 Spruce side board	white	<input type="checkbox"/>
c. Windows	Casment Andersen or Equal	Whit outside wood inside	<input type="checkbox"/>
d. Doors	Solid wood or wrought iron & glass	Dark / aged copper	<input type="checkbox"/>
e. Roof	40y owens coring fiberglass shingle	ark gray and Black	<input type="checkbox"/>
f. Chimneys	None. Entrnace door canopy is Cuppe	Dark / aged copper	<input type="checkbox"/>
g. Decks & rallings	WP Tile floor. Rough cedar & SS Wire	Painted white	<input type="checkbox"/>
h. Stairs	Front steps stone or travertan	Natural color	<input type="checkbox"/>
i. Retaining walls	Do not have		<input type="checkbox"/>
j. Fences	If any! 24" H in harmoney rallings	White	<input type="checkbox"/>
k. Accessory buildings	none		<input type="checkbox"/>
l. Garage/Carport	attached	lighter shade of siding or white	<input type="checkbox"/>

5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

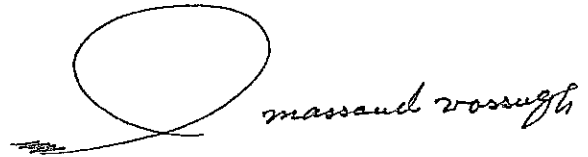
- (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner:

Applicant:

 *massand rossough*

Date:

Date:

12-23-2015

Application for a Coastal Development Permit

Companion Page

Applicant's Name: Massoud Vossugh

Primary Permit #: PLN 2015-00873

Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Coastal Development Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

2. Basic Information

Does the owner or applicant own any adjacent property not listed?

Yes No

If yes, list Assessor's Parcel Number(s):

Have you or anyone else previously applied to either the County of San Mateo or the California Coastal Commission for a Coastal Development Permit for this or a similar project at this location?

Yes No

If yes, explain (include date and application file numbers).

3. Materials and Finish of Proposed Buildings or Structures

Note: By completing this section you do not need to file a separate application for Design Review Approval.

Fill in Blanks:	Material	Color/Finish	Check if matches existing
a. Exterior Walls	Hardies plank & staged edge Panel	Evening Blue	<input type="checkbox"/>
b. Trim	1 x 3 Spruce side board	white	<input type="checkbox"/>
c. Roof	40 Y Ewens corning fiberglass shingles	Dark gray/ Black	<input type="checkbox"/>
d. Chimneys	None		<input type="checkbox"/>
e. Accessory Buildings	None <i>Stainless</i>		<input type="checkbox"/>
f. Decks/Stairs	Tile floor, rough sedar & wieres	wite	<input type="checkbox"/>
g. Retaining Walls	None		<input type="checkbox"/>
h. Fences	24" hight haroney with deck railing		<input type="checkbox"/>
i. Storage Tanks	None		<input type="checkbox"/>

4. Project Information

Does this project, the parcel on which it is located or the immediate vicinity involve or include:

- | | Yes | No |
|---|--------------------------|-------------------------------------|
| a. Demolition of existing housing units? (If yes, give value of owner-occupied units or current monthly rent of rental units in explanation below.) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b. Creeks, streams, lakes or ponds? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c. Wetlands (marshes, swamps, mudflats)? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d. Beaches? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e. Sand Dunes? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f. Sea cliff, coastal bluffs or blufftops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| g. Ridgetops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| h. Pampas Grass, invasive brooms or Weedy Thistle? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| i. Removal of trees or vegetation? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| j. Grading or alteration of landforms? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| k. Landscaping? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| l. Signs? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| m. Phone or utility line extensions or connections, either above or below ground (explain which)? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| n. Areas subject to flooding? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| o. Development on slopes 30% or steeper? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

- | | | |
|--|-------------------------------------|-------------------------------------|
| p. Between the sea and the nearest public road? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| q. Existing or proposed provisions for public access to the shoreline? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| r. Public or commercial recreation facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| s. Visitor-serving facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| t. Existing or proposed public trail easements? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Explain all Yes answers below. Indicate whether the item applies to the project itself, the parcel on which it is located, or the immediate vicinity (attach additional sheets if necessary):

parcel is on immediate vicinity of two public streets

5. Staff Use Only

California Coastal Commission Jurisdiction

A. Does the Proposed Project Involve:

- A subdivision, Certificate of Compliance Type B, Use Permit, or Planned Agricultural District Permit?
 Yes No
- Construction or grading within 100 feet of a stream or wetland?
 Yes No
- A parcel located between the sea and the first public through road paralleling the sea; 300 feet from the inland extent of any beach or mean high tide line if there is no beach; or within 300 feet of the top of the seaward face of a coastal bluff?
 Yes No

Yes to any one of the above means that the Coastal Development Permit is appealable to the Coastal

Commission; a public hearing is always required.

B. Does the proposed project involve lands below the mean high tide line and lands where the public trust may exist? (See "Post CCP Certification Permit and Appeal Jurisdiction Map).
 Yes No

Yes to above means that the California Coastal Commission retains permit jurisdiction over all or part of the proposed project. A Coastal Development Permit from that agency is required.

Reviewed by: 

Environmental Information Disclosure Form

Planning and Building Department

PLN 2015-20573

BLD _____

Project Address: Corner of Ellendale St. & Nevada

Ave. Moss Beach

Vacant Land

Assessor's Parcel No.: 037 — 135 — 170

Zoning District: R-1/S-17/DR/CD

Name of Owner: Massoud & Mina Vossugh

Address: 711 Etheldore st. Moss Beach 94038

Cellular 773 575 2725 Phone: 6505639006

Name of Applicant: Massoud Vosugh

Address: Same as Above

Phone: 7735752725

Existing Site Conditions

Parcel size: 5000

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). Very flat vacant land with one pine tree on south west corner.

Very flat vacant land with one pine tree on south west corner.

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : <u>35</u> c.y. Fill: <u>none</u> c.y.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

Signature required on reverse →

2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input type="checkbox"/>	<p>a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u></p> <p>If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<p>b. <u>Land disturbance of 1 acre or more of area?</u></p> <p>If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <u>prior</u> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.</p>

Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed: _____

Date: 12-23-2015

(Applicant may sign)

A brief written explanation of how our plan is designed to confirm the design review standards

Massoud& Mina Vossugh

APN # 037-135-170

Geography

This property is located on the west side of Hwy 1 in Moss Beach, CA. It is a corner lot with the long side of the property adjacent to Nevada Ave. and the short side adjacent to Ellendale St. The land is very flat (as shown in the picture below) making it easy to construct a building on. The northern side of the property is next to 10 Ellendale St., a residence with a direct and clear ocean view and likely the tallest home in the area. To the immediate west of the property is 355 Nevada Ave., a two-story residence in close proximity to the Pacific Ocean yet without a direct view of it.

Birth of the plan

On her daily walk, my wife passed by this lot every day. Upon noticing it, she became interested in the property and shared her dream of what it might be like if we could one day live there. Admittedly, I too had fallen in love with the area from the time we started renting my sister's home at 711 Etheldore Street, actually located just a few hundred yards north of this lot. After consulting about the prospect of purchasing the lot and living the rest of our life in Moss Beach, we decided to go for it and a few months later became the proud owners of this land.



Our Background Information and needs

In 1987 my wife and I successfully designed and built our first home together in the suburbs of Louisville, Kentucky. With that experience under our belts, we have the confidence in constructing yet another home right here in Moss Beach on this lot.

We are both currently in our sixties and this home will be our forever home, the one in which we will live in for the rest of our lives. The blueprint for the home is for 2500 Sq Ft. We chose this size home for two reasons. First, a small home does not make a good fit for the neighborhood and would not be harmonious with all the other surrounding properties.

Second, we are very family-oriented and know that with aging parents of our own, we will most likely be taking care of my 88 year-old-mother very soon. We know the reality of this all too well since Mina and I were recently taking care of her 91 year-old mother before her recent passing from 2013-2015. Additionally, both my wife and I have hobbies and crafts that would require utilizing the extra space.

The following points clarify how our plan is in harmony with the Standard of Coastal Development:

- The shape of the lot on Nevada Ave. dictates how to construct our home with the long side having to be building along the length of Nevada Avenue and the shorter side of the building along Ellendale St.
- Our building will be built in a way so that it blends and is in harmony with the surrounding scenery and natural environment.
- Both homes adjacent to ours are semi-contemporary in style as is our plan as well.
- Nearly 90 percent of the homes in this neighborhood are two levels. A one-story home would not be a good fit for the lot and would not give us the space we need.
- The short side of the building where the garage will be is in line with 10 Ellendale St.

- The entrance of our home will face Nevada Ave., as are all of the homes on the 400 block.
- Since the garage and parking area face Ellendale St., no trees will need to be cut, therefore maintaining the natural environment.
- Our plan is in harmony and is intentionally designed based upon the position of the native environment currently existing on the lot. For example, the location of the entry door (entrance) will have steps designed in the shape of half-moons. This is specifically intended to make for an easy pathway between the widest areas of the pine trees on the sidewalk.
- Since a tall building would block the neighbors view, we made sure that the roof was designed to be short enough and shaped in a way so as not to obstruct. According to the blueprint, the roof is actually going to end up being 3-feet under the maximum allotment.
- Being in close proximity to the ocean, a strong exterior is an absolute must. Therefore, we have chosen to use James Hardie products that are very tough, environmentally friendly, give good insulation, and are a close match to the exteriors of the surrounding homes in the neighborhood. Additionally, the color we are going to use is *Evening Blue*, a classy deep blue mirroring that of the nearby ocean.
- We have considered the significant impact on privacy for ourselves and for our two neighbors by positioning the windows on the west and south side of the building.
- Forty percent of the area surrounding the home will be landscaped. The plants will consist of native plants growing in the coastal area such as various succulents, wild berries, and beautiful hydrangeas.
- The design of the home is fully inspired by nature and the coastal region. The landscaping with its merging circles, the dome-shape copper canopy, the entrance platform, the half-moon-shaped steps have all come from nature's own design from the beaches, shells, and waves of the Pacific Ocean.

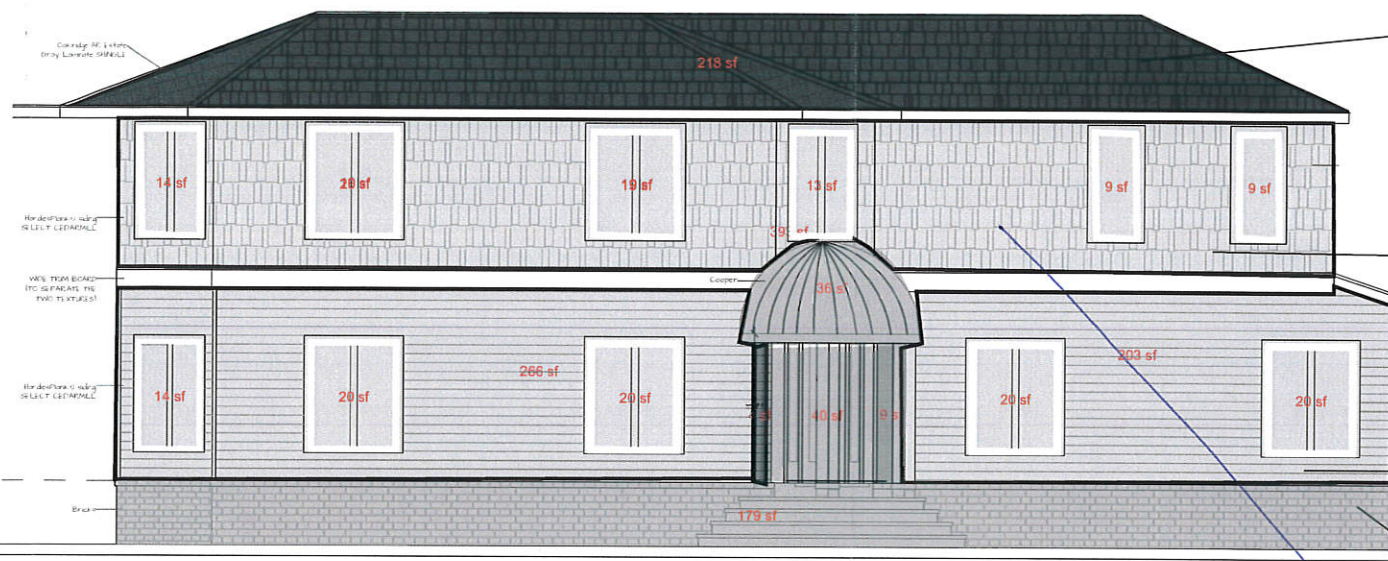
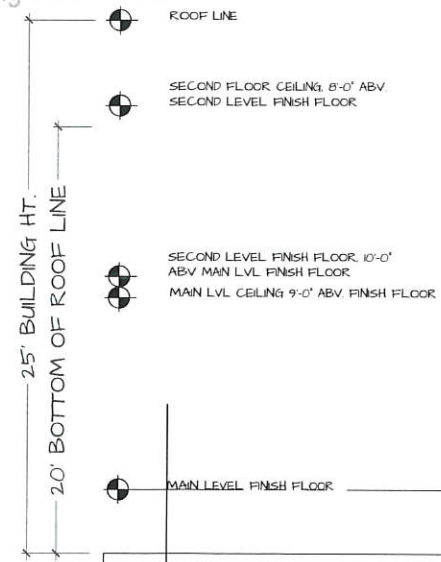
-
- All exterior walls on the first and second floors are 6" wide in order for strong construction and to maintain maximum insulation.
 - We found that casement windows will positively impact the aesthetics and thermal performance of our home.
 - We chose the highest R factor insulation that can deliver the thermal and acoustic benefits that is required to ensure adequate thermal and noise control. The flooring, roof, and entire exterior walls will not only be covered with insulation but also wrapped in Tyvek house wrap, allowing for the breathing of lumber and insulation while preventing draft and moisture.

PLN 2015-00573

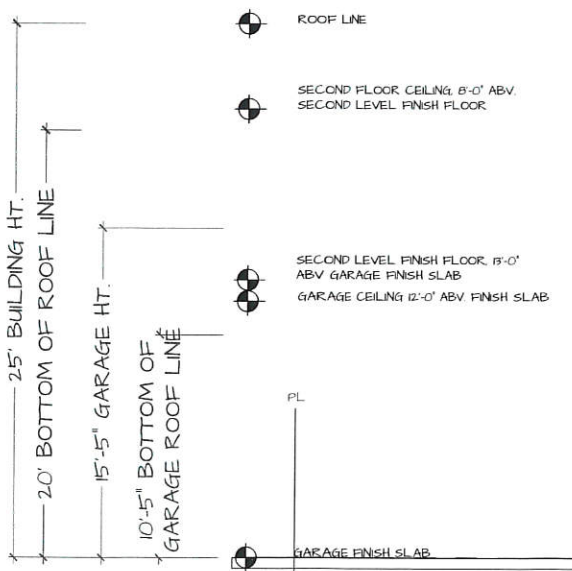
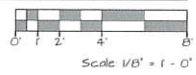
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JAN 12 2016

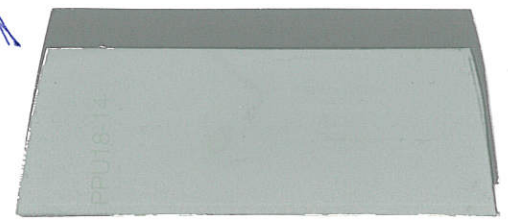
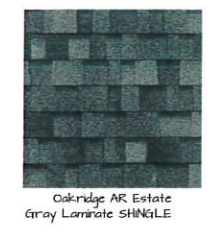
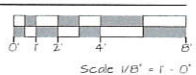
San Mateo County
Planning and Building Department



East Elevation



West Elevation



BEHR PPU18-14
Cathedral Gray
All Trims are white or
darker gray PPU18-17



Material and style of Canopy is convex of this picture

No. / Date / Revision
7/26 /2014 Created
8/22 /2014 Revised
9/20/2014 Revised
7/18/2015 Revised
01/08/2016 Revised

Exterior Material & colors

Drawing Title

Drawn by JM & B. Vatani

Scale 1/4" = 1' - 0"

Project Name Vossough Residence
Owner Massoud Vossough
Project Address Nevada Ave & Ellendale Rd
Moss Beach, CA
APN - 037-135-170

Date 9/20/2014



Applicable Codes and Regulations

ANY VARIATION FROM THE SPECIFIED DESIGN FINISH PRODUCTS OR EXTERIOR ELEVATION STYLE IS TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO CONSTRUCTION.

ANY DISCREPANCY DISCOVERED ON THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF D&Z DESIGN ASSOCIATES PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION. ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

ALL WORK TO BE IN CONFORMANCE WITH 2014 C.B.C., C.R.C., C.F.C., C.M.C., C.P.C., C.E.C. AND 2014 CALIFORNIA ENERGY CODE AND 2014 CALIFORNIA GREEN BUILDING STANDARDS THE UNIFORM CODE FOR BUILDING CONSERVATION THESE CODES, AS WELL AS THE STATE AND LOCAL AMENDMENT TO THEM.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION. SLOPE ALL FINISH GRADES A MIN. OF 4% FOR 5'-0" AWAY FROM STRUCTURE FOR POSITIVE DRAINAGE @ LANDSCAPED AREAS & SLOPE GRADE 2% MIN @ PAVED AREAS.

THE BUILDER SHALL PROVIDE THE BUILDING OWNER, MANAGER, AND THE ORIGINAL OCCUPANTS A LIST OF THE ENERGY-SAVING CONSERVATION FEATURES DEVICES, MATERIALS, AND COMPONENTS INSTALLED IN THE BUILDING, AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY. SUCH FEATURES INCLUDE HEATING, COOLING, WATER HEATING, AND LIGHTING SYSTEMS, AS WELL AS INSULATION, WEATHERSTRIPPING WINDOW SHADES, AND THERMAL MASS MATERIALS, THE INSTRUCTIONS SHALL BE CONSISTENT WITH SPECIFICATIONS SET FORTH BY THE EXECUTIVE DIRECTOR.

ALL WORK APPLIANCES AND EQUIPMENT SHALL COMPLY WITH C.B.C. TITLE 24 RESIDENTIAL ENERGY STANDARDS.

SEE SHEET T24 FOR ADDITIONAL ENERGY COMPLIANCE NOTES.

Property Information

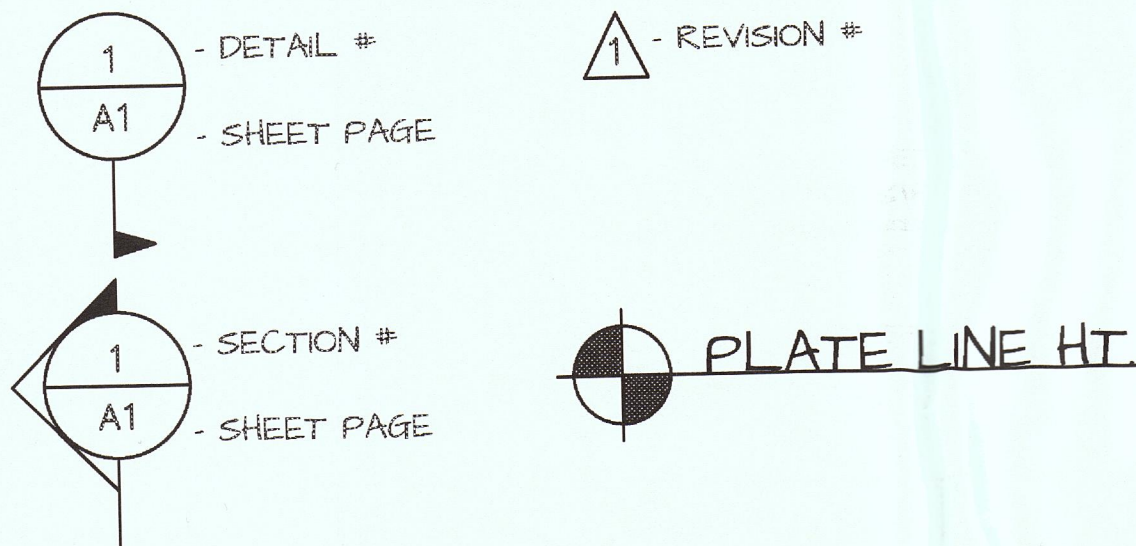
(Corner of Nevada Ave. & Ellendale St.)
Moss Beach, CA

Principal Uses - Single Family, Two Story Home
Lot Size - 5,000 Square Feet
Lot Width - 50' x 100' Feet
Zone: S-17

Scope of Work

Create a new Single Family, Two Story Home

Symbols



Drawing Index

T1 - TITLE SHEET

DESIGN

- A1 - SITE PLAN
- A2.1 - PROPOSED FLOOR PLAN - FIRST FLOOR
- A2.2 - PROPOSED FLOOR PLAN - SECOND FLOOR
- A3.1 - EXTERIOR ELEVATION - EAST & WEST
- A3.2 - EXTERIOR ELEVATION - NORTH & SOUTH
- A4 - CROSS SECTION
- A7 - ROOF PLAN
- A8 - LANDSCAPING PLAN
- A9 - UTILITY SERVICE PLAN

STRUCTURAL

- S11 - Structure General Notes & Details
- S12 - Structure Details
- S13 - Structure Details
- S2.1 - Foundation Plan
- S3.1 - 1st Roof & 2nd Floor Framing Plan
- S4.1 - Section

ELECTRICAL

- A6.1 - ELECTRICAL PLAN - FIRST FLOOR
- A6.2 - ELECTRICAL PLAN - SECOND FLOOR

TITLE

- T2.4 - Energy Compliance

SURVAUOR

- 1-4 - Corners
- 2 - Topography

Project Data

OWNER / Builder

Massoud Vossugh

71 Etheldore Street
Moss Beach, CA 94038
Email: mvossugh@gmail.com
Cellular: (773) 575-2725
Home: (650) 563-9006

LOT DATA

APN: 037-135-170
Zoning: S-17
Lot Size: 5,000 sqft

Occupancy:
Type of Construction: VB

Building

Living Sqft - 2509 Square Feet (%50)
First floor - 1316 Square Feet
second floor - 1193 Square Feet

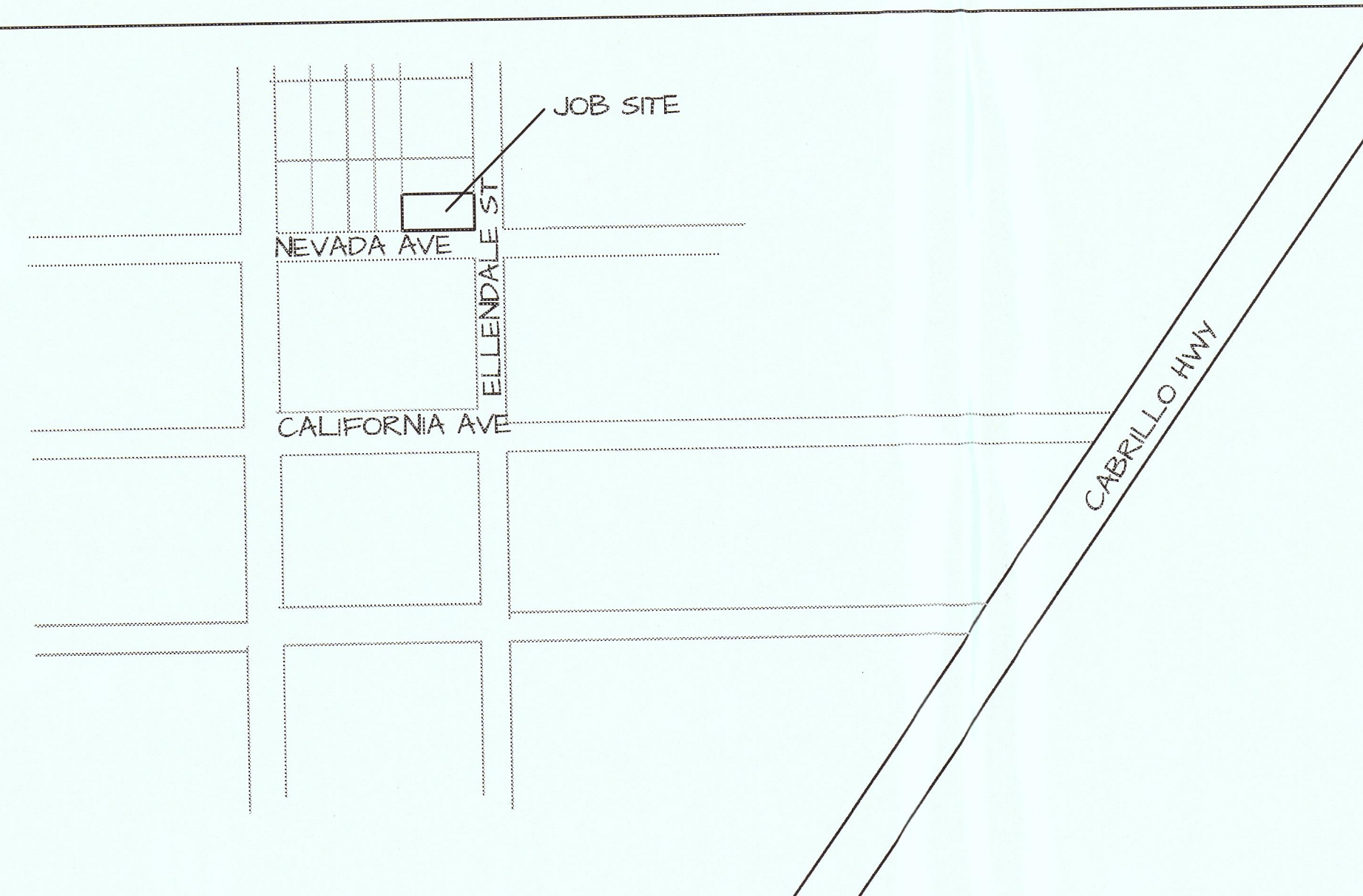
Applicable Codes and Regulations

- A. 2013 California Green Standard Code - Ord. 16-2013
- B. 2013 California Residential Code - Ord. 16-2013
- C. 2013 California Electrical Code - Ord. 16-2013
- D. 2013 California Mechanical Code - Ord. 16-2013
- E. 2013 California Plumbing Code - Ord. 16-2013
- F. 2008 Building Energy Efficiency Standards
- G. 2013 California Fire Code - Ord. 17-2013
- H. 2013 California Building Code - Ord. 16-2013
- I. 2013 Existing Building Code - Ord. 16-2013
- J. All other state and local ordinance and regulations

Abbreviations

AB. ANCHOR BOLT	FRDR. FRENCH DOOR	PL. PLATE	WI. WITH	KIT. KITCHEN	SLD GL. DR. SLIDING GLASS DOOR
AC. ASPHALTIC CONCRETE	FT. FOOT or FEET	P/L. PROPERTY WAINS WAINSCOT	W/NSCOT	DBL. DOUBLE	SPECS. SPECIFICATIONS
A/C. AIR CONDITIONING	FTG. FOOTING	PLAS. PLASTER	WC. WATERCLOSET	DET. DETAIL	SQ. SQUARE
ALUM. ALUMINUM		PLY. PLYWOOD	WD. WOOD	DF. DOUGLAS FIR	SQ. FT. SQUARE FEET
APPROX. APPROXIMATE	GA. GAUGE	PNL. PANEL	WDW. WINDOW	DIM. DIMENSION	STD. STANDARD
ARCH. ARCHITECTURAL	GALV. GALVANIZED(D)	P&S. POLE & SHELF	W/O. WITHOUT	D.S. DOWNSPOUT	STL. STEEL
ANOD. ANODIZED	GI. GALVANIZED IRON	PT. POINT	WP. WATERPROOF	DRY. DRYER	STRUC. STRUCTURAL
ASPH. ASPHALT	GFI. GROUND FAULT INTERRUPTER	FR. PAIR	WWF. WELDED WIRE	DW. DISHWASHER	SS. STAINLESS STEEL
				DWG. DRAWING	SYM. SYMMETRICAL
BD. BOARD	GL. GLASS				
BWG. BUILDING	GRO. GROUND or GRADE	R.A. RETURN AIR		EA. EACH	
BLKG. BLOCKING	GYP. BD. GYPSUM BOARD	RAD. RADIUS		ELEC. ELECTRICAL	
BM. BEAM		RD. ROUND		ELEV. ELEVATION	
BOTT. BOTTOM		REC. RECESSED		ENCL. ENCLOSURE	
	HC. HOLLOW CORE	REF. REFRIGERATOR		EG. EQUAL	
	HD. HOLD DOWN	REIN. REINFORCED/ING		EXH. EXHAUST	
	HDR. HEADER	RES. RESILIENT		EXP. EXPANSION	
CAB. CABINET	HDWD. HARDWOOD	RM. ROOM		EXIST. or (E). EXISTING	
CEM. CEMENT	HORIZ. HORIZONTAL	R.O. ROUGH OPENING		EXT. EXTERIOR	
C.T. CERAMIC TILE	HR. HOUR	REG. REQUIRED			
CI. CAST IRON	HB. HOSE BIBB	R/W. RIGHT OFWAY		FBGL. FIBERGLASS	
CLO. CLOSET	HT. HEIGHT	RWD. REDWOOD		FD. FLOOR DRAIN	
CLR. CLEAR	HC. HANDICAP	RWL. RAIN WATER LEADER		FND. FOUNDATION	
CLG. CEILING	HVAC. HEATING VENTILATION AND AIR CONDITIONING			FF. FINISH FLOOR	
C.M.U. CONCRETE				FG. FINISH GRADE	
MASONRY UNIT				FLR. FLOOR	
C.O. CLEANOUT	HW. HOT WATER	SCHED. SCHEDULE		FL. FLUORESCENT	
COL. COLUMN		S.C. SOLID CORE		FOC. FACE OF CONCRETE	
COMP. COMPOSITION		SECT. SECTION		FOS. FACE OF STUD	
CONC. CONCRETE	INSUL. INSULATION	SF. SQUARE FOOT			
CONN. CONNECTION	INT. INTERIOR	SH. SINGLE HUNG			
CONST. CONSTRUCTION		SHT. SHEET			
CONT. CONTINUOUS		SHWR. SHOWER			
CSMT. CASEMENT	JB. JUNCTION BOX	SIM. SIMILAR			
C.W. COLD WATER	JST. JOIST	SLD. SLIDER			

VICINITY MAP



No. / Date / Revision	
7/26 / 2014	Created
8/22 / 2014	Revised
8/25 / 2014	Revised
9/20 / 2014	Revised
7/18 / 2015	Revised
Title Sheet	
Project Name	Vossugh Residence
Owner	Massoud Vossugh
Project Address	Nevada Ave & Ellendale Rd Moss Beach, CA APN - 037-135-170
Date	9/20/2014
Scale	None
Drawn by	JM & B. Vattani

No. / Date / Revision
△ 7/24 /2014 Created
△ 7/18/2015 Revised

Site Plan

Drawing Title

Scale 1/4" = 1' - 0"

Drawn by JM & B. Vatani

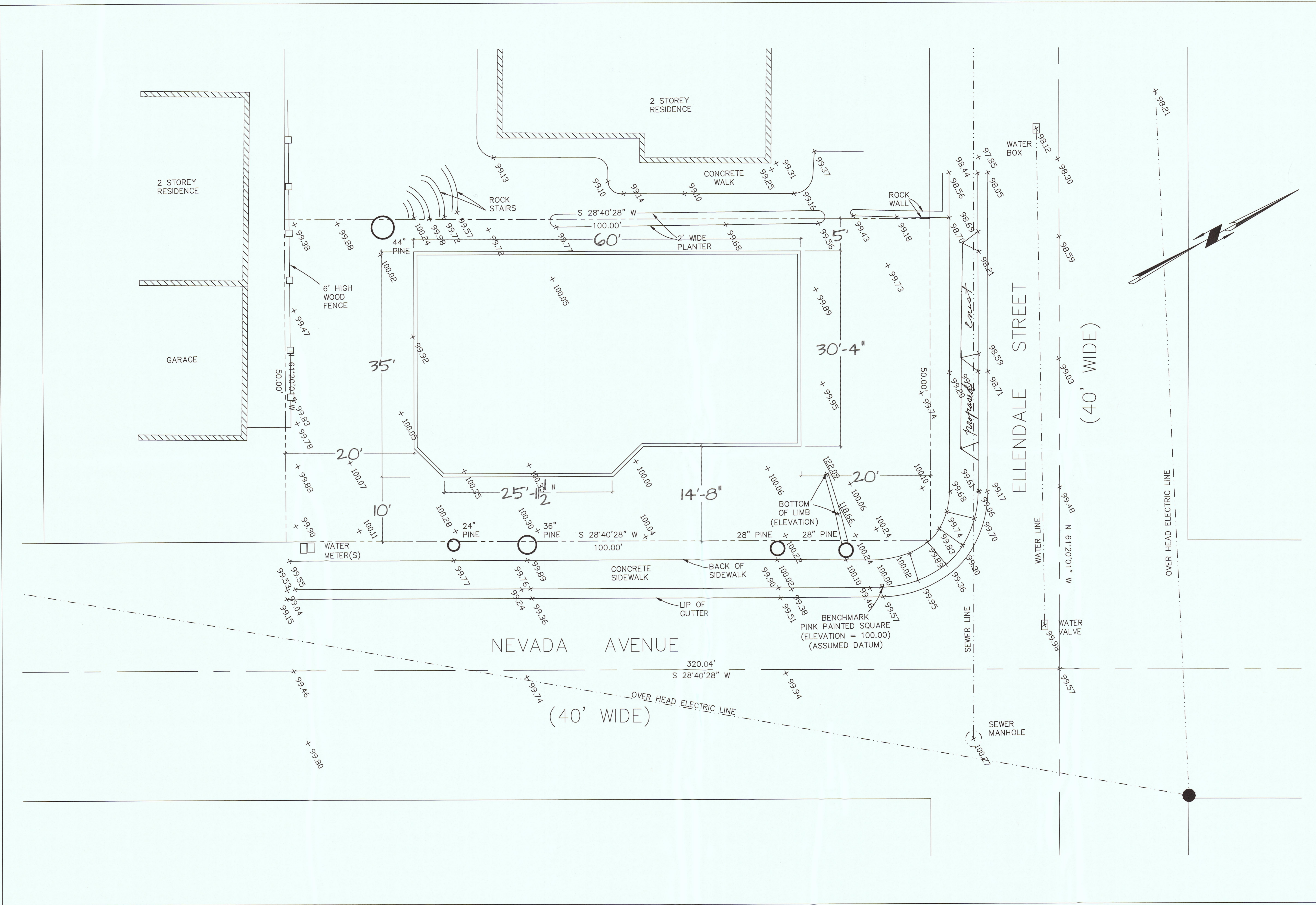
Project Name Vossugh Residence

Owner Massoud Vossugh

Project Address Nevada Ave & Ellendale Rd
Moss Beach, CA
APN - 037-135-170

Date 9/20/2014

A1



No. / Date / Revision
△ 7/26 /2014 Created
△ 8/22 /2014 Revised
△ 8/25 /2014 Revised
△ 7/18/2015 Revised

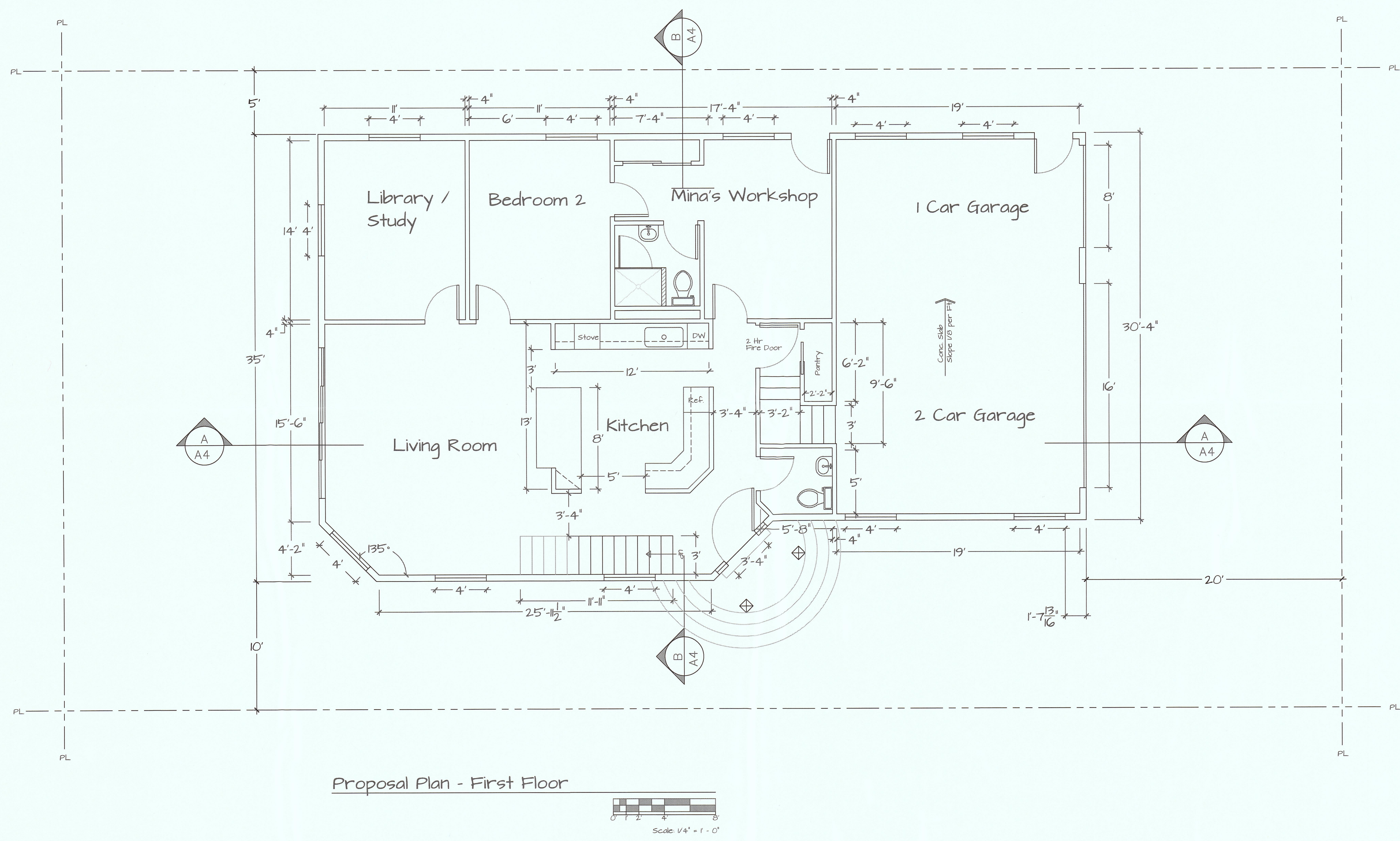
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Drawing Title	Proposed Plan - First Floor
	Scale 1/8" = 1' - 0"
Drawn by	JM & B. Vatani

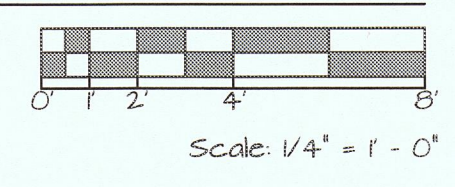
Project Name	Vossugh Residence
Owner	Massoud Vossugh
Project Address	Nevada Ave & Ellendale Rd Moss Beach, CA APN - 037-135-170

Date
9/20/2014

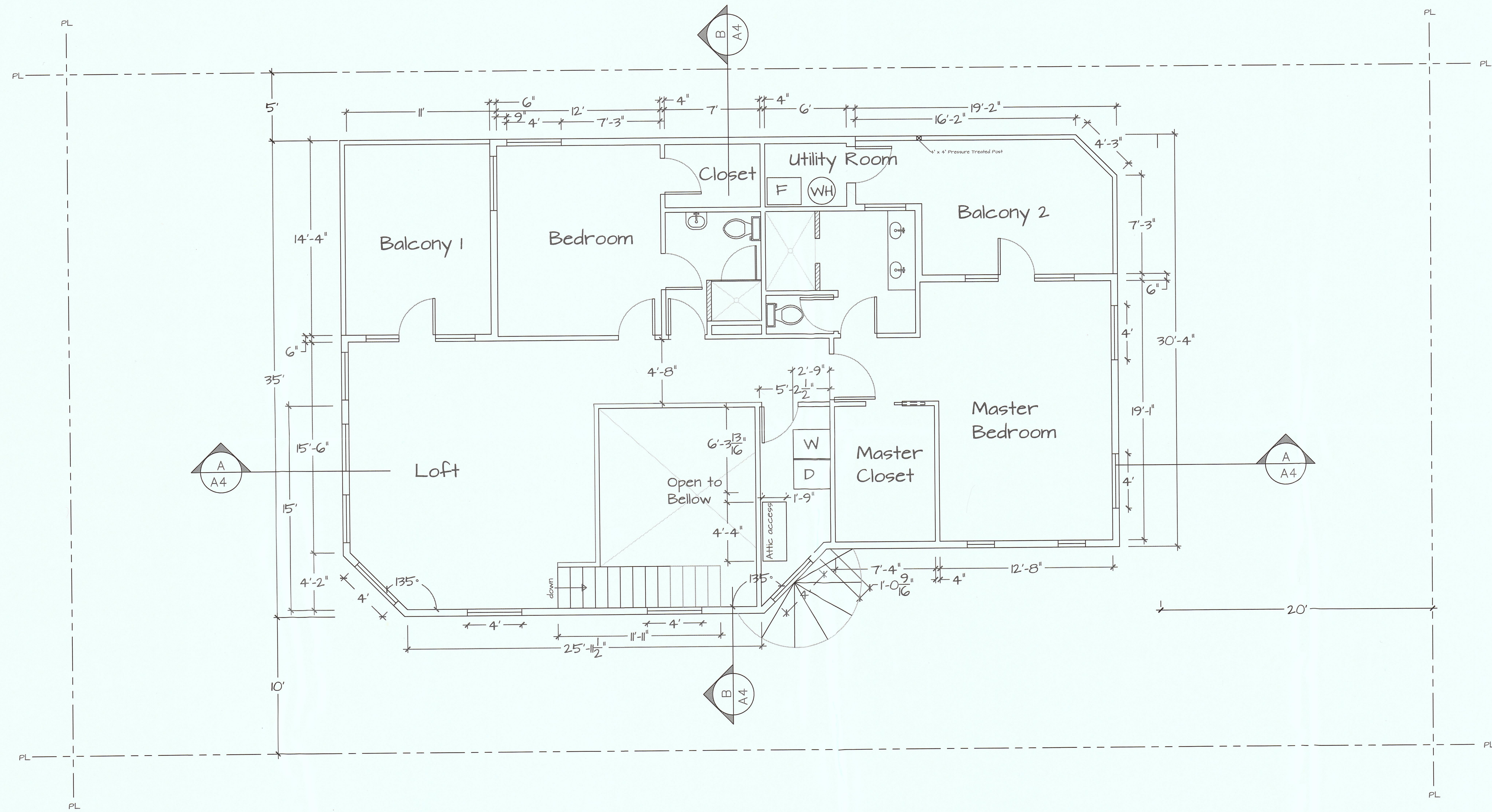
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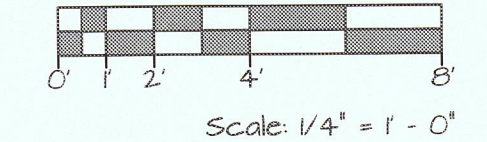
Proposal Plan - First Floor



No.	Date / Revision
△	7/26 /2014
	Created
△	8/22 /2014
	Revised
△	8/25 /2014
	Revised
△	7/18/2015
	Revised



Proposal Plan - Second Floor



Drawing Title
Proposed Plan - Second Floor

Drawn by
 JM & B. Vatani

Scale
 1/4" = 1'-0"

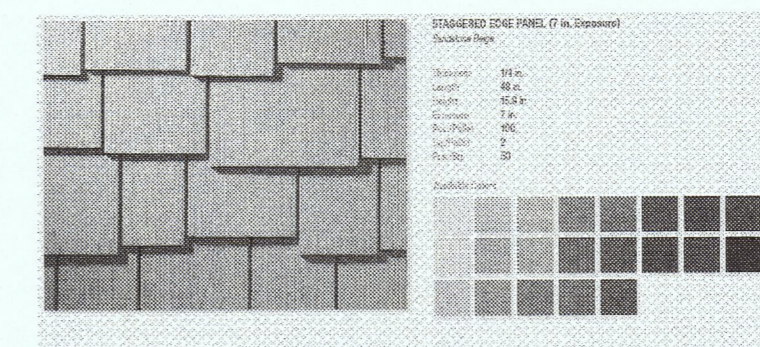
Project Name
 Vossugh Residence

Owner
 Massoud Vossugh

Project Address
 Nevada Ave & Ellendale Rd
 Moss Beach, CA
 APN - 037-135-170

Date
 9/20/2014

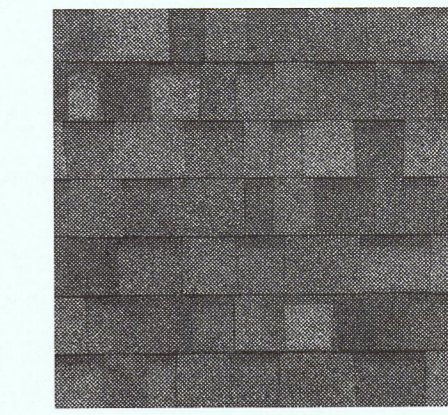
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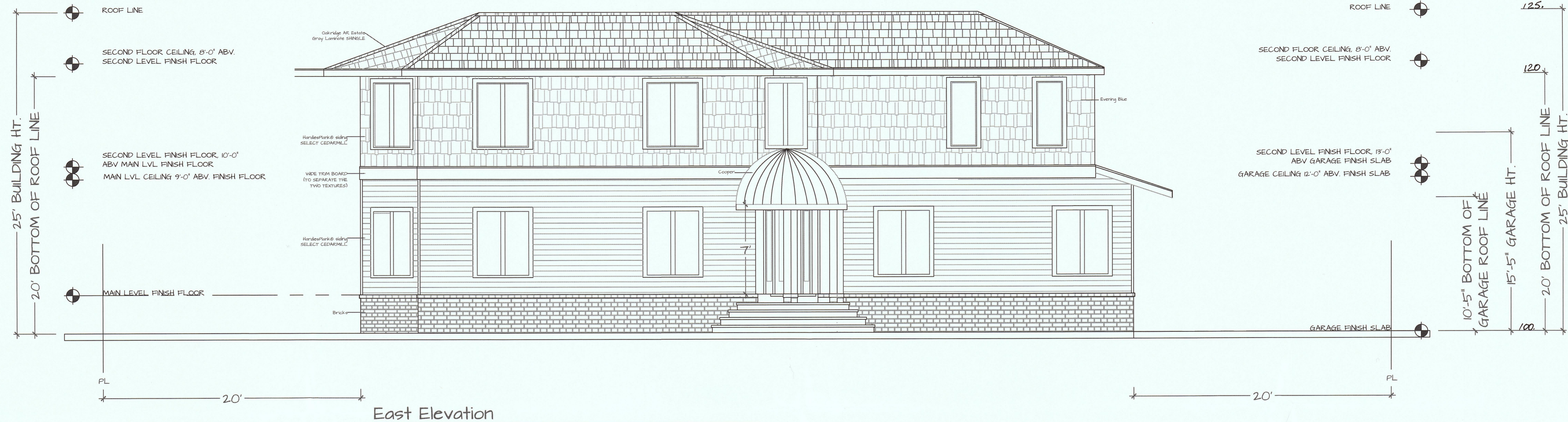
Staggered Edge Panel



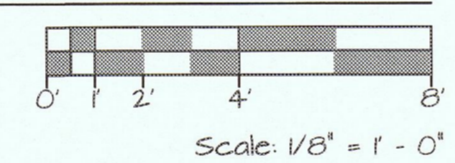
Select Cedarmill



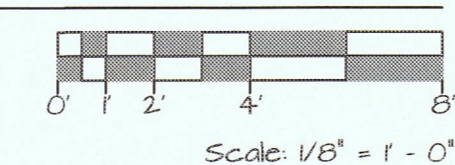
Oakridge AR Estate Gray Laminate SHINGLE



East Elevation



West Elevation



No. / Date / Revision
7/26 /2014 Created
8/22 /2014 Revised
9/20/2014 Revised
7/18/2015 Revised

Drawing Title

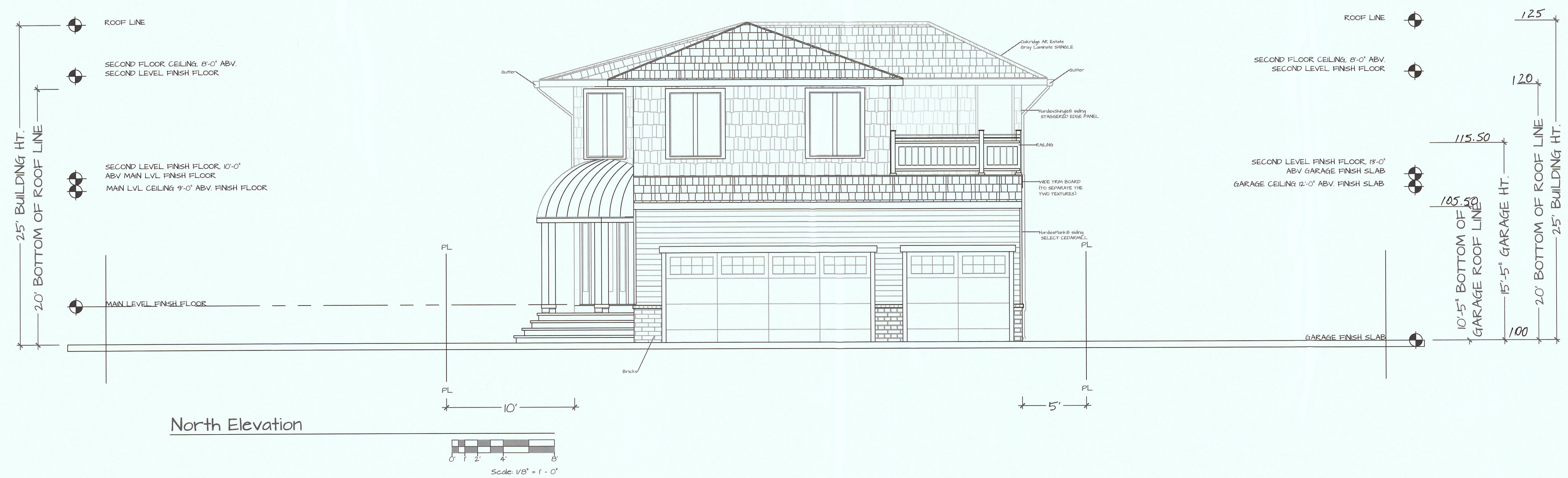
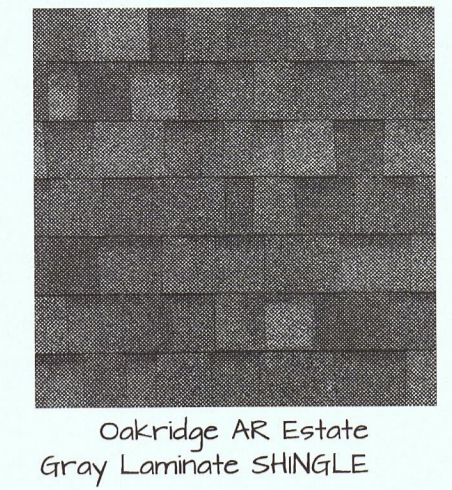
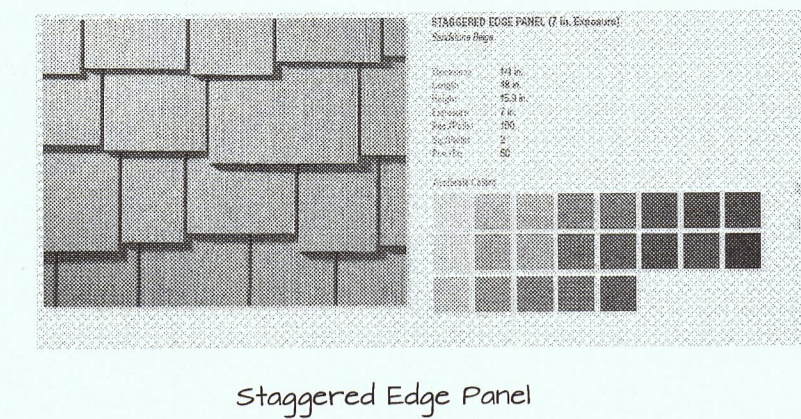
Exterior Elevation - East & West
 Drawn by JM & B. Vattani
 Scale 1/4" = 1' - 0"

Project Name Vossugh Residence
 Owner Massoud Vossugh
 Project Address Nevada Ave & Ellendale Rd
 Moss Beach, CA
 APN - 037-135-170

Date 9/20/2014

A3.1

No. / Date / Revision
△ 7/26 /2014 Created
△ 8/22 /2014 Revised
△ 8/25 /2014 Revised
△ 9/20/2014 Revised
△ 7/18/2015 Revised



Exterior Elevation - North & South

Drawing Title
Scale
1/4" = 1' - 0"

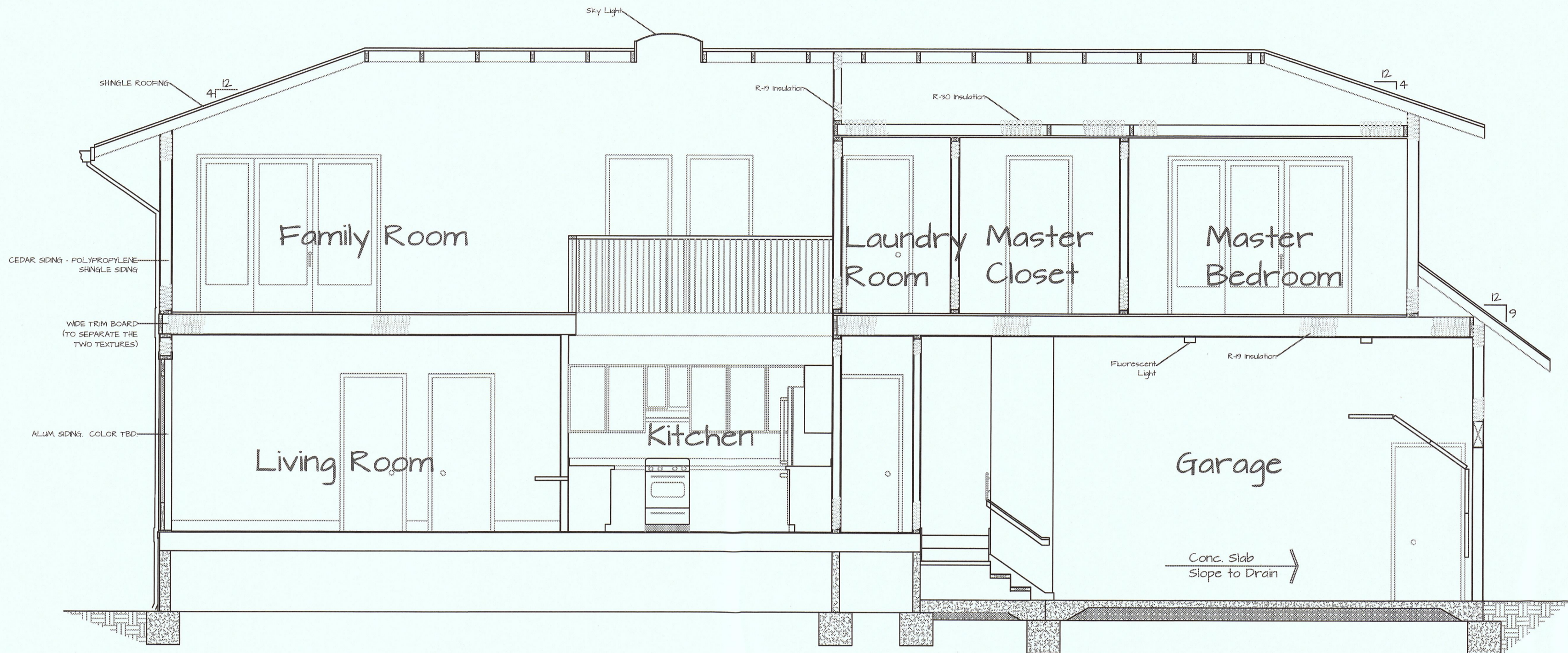
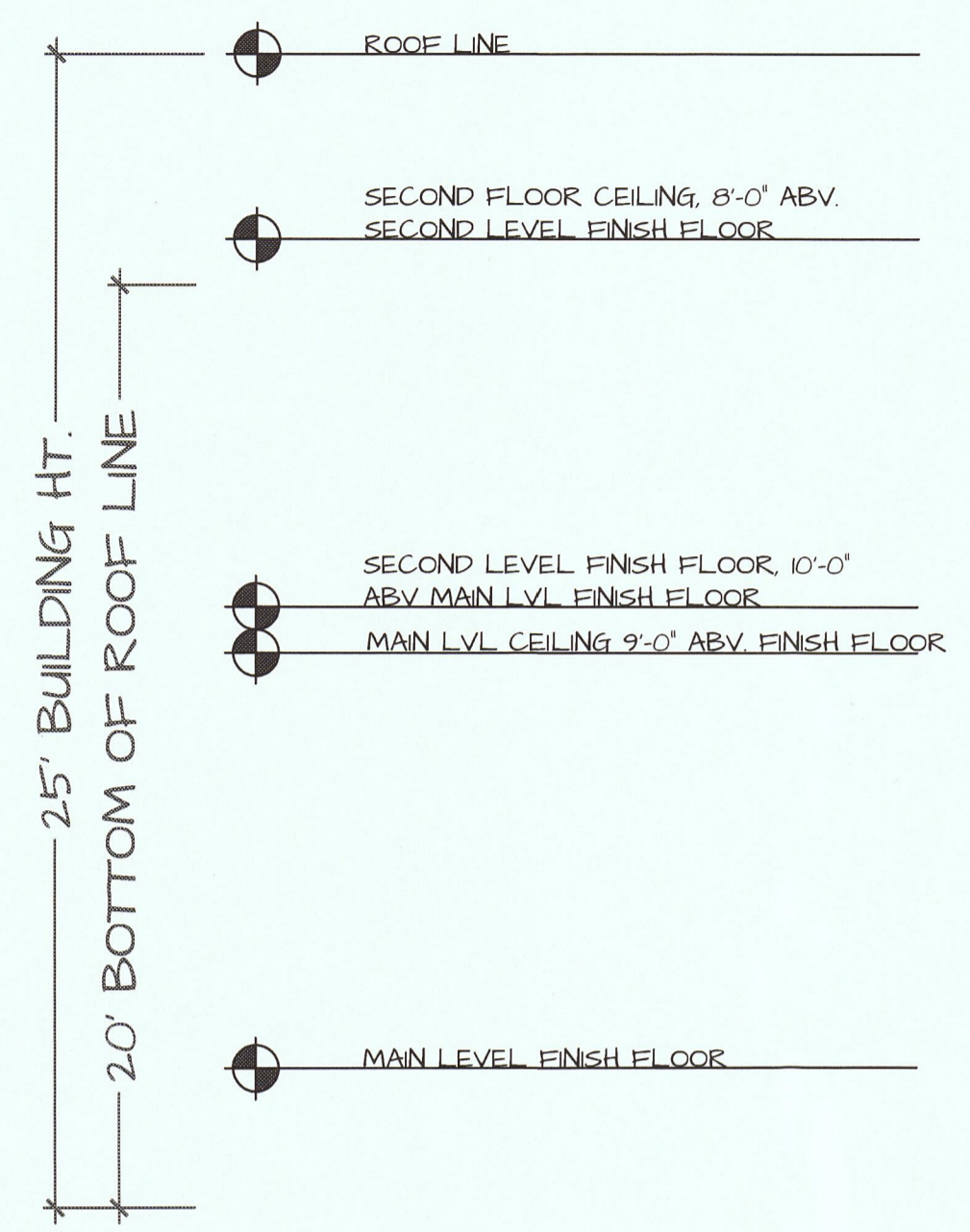
Project Name
Vossugh Residence
Owner
Massoud Vossugh
Project Address
Nevada Ave & Ellendale Rd
Moss Beach, CA
APN - 037-135-170

Date
9/20/2014

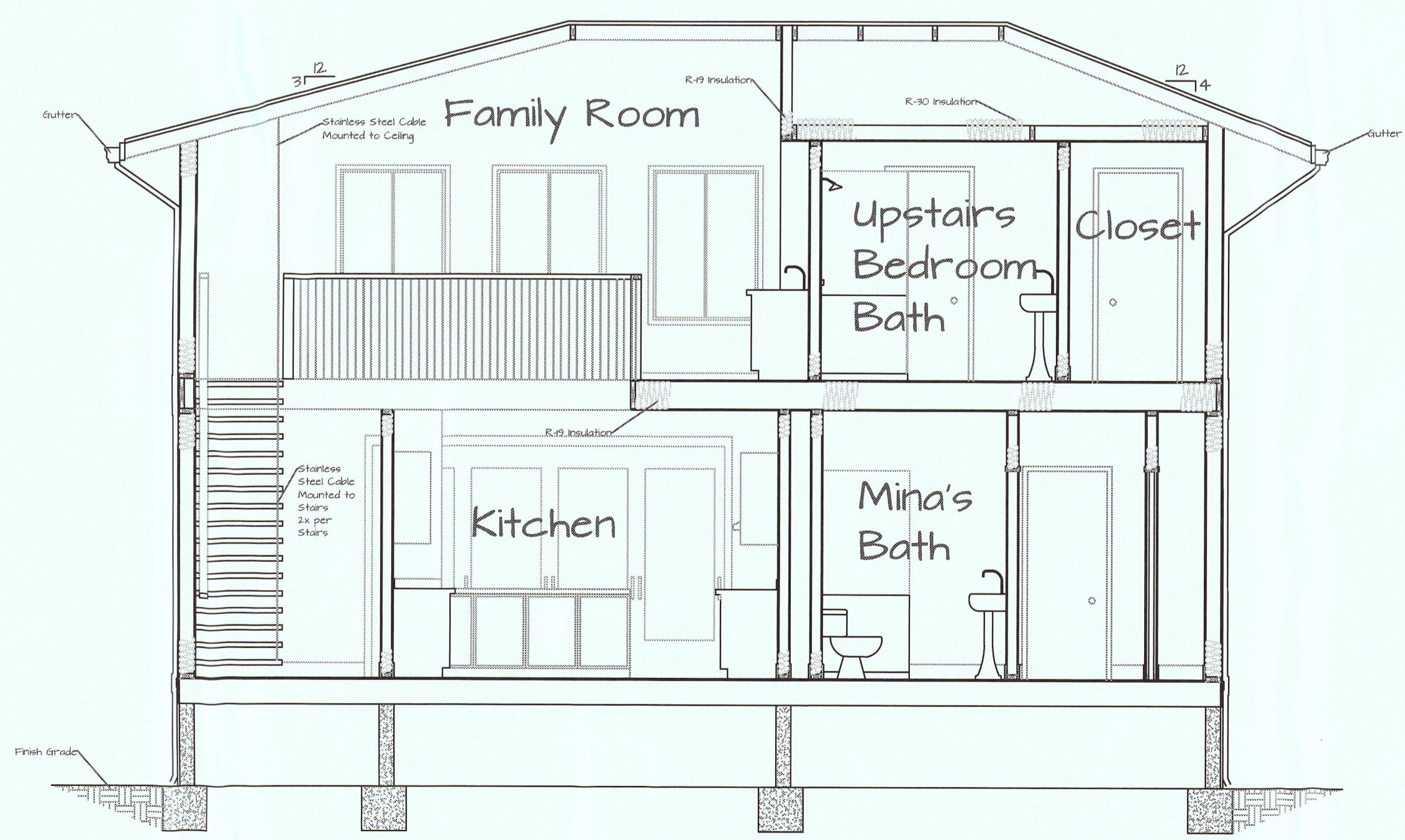
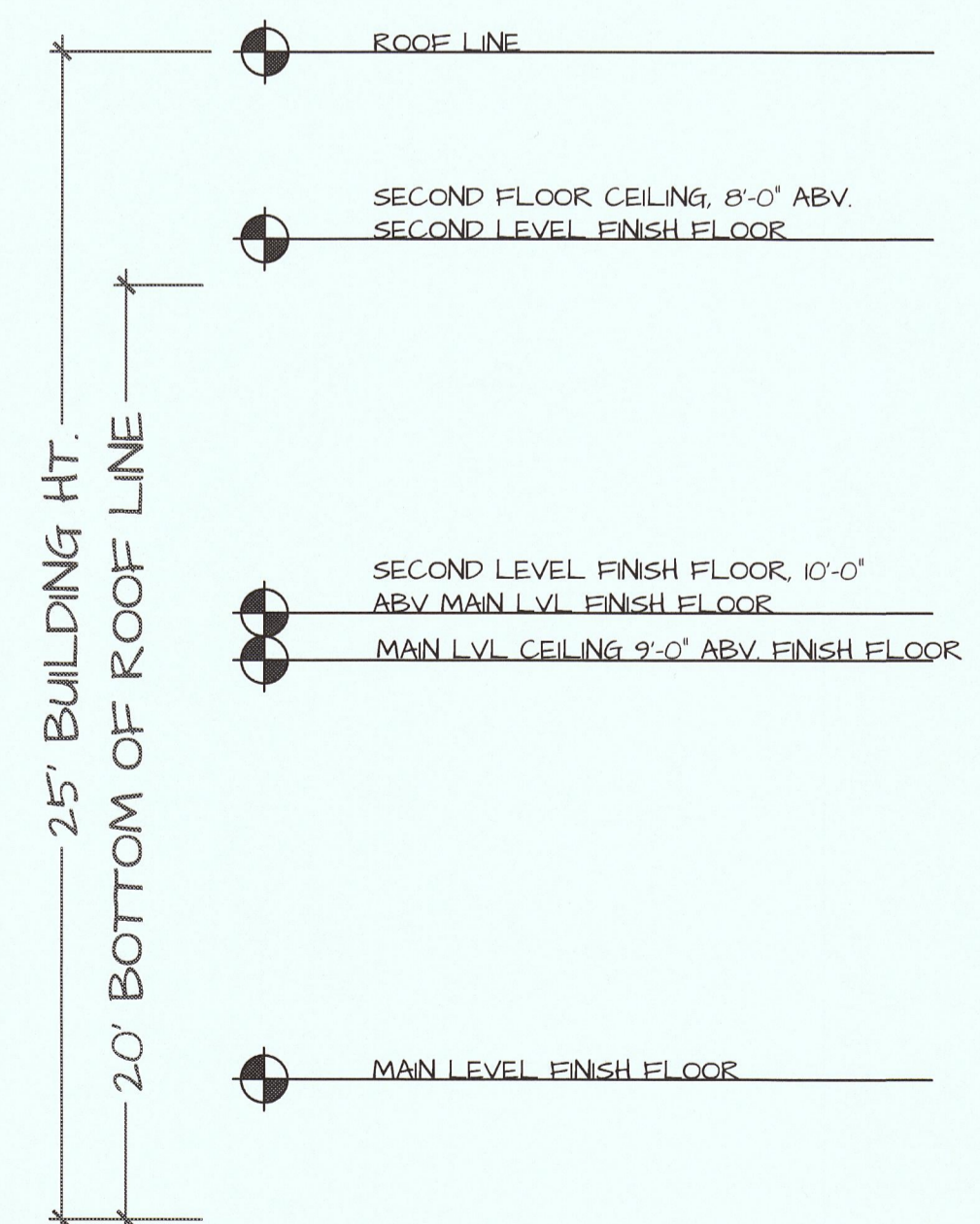
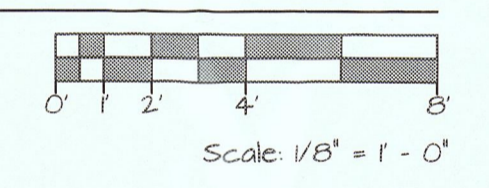
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Drawn by
JM & B. Vatani

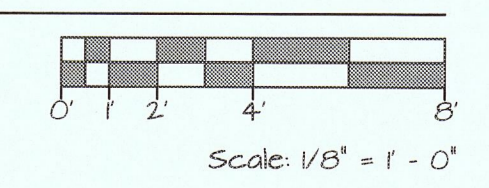
No. / Date / Revision
△ 8/22 /2014 Created
△ 7/18/2015 Revised



A Cross Section



B Cross Section



Drawing Title
Cross Section

Project Name
Vossough Residence

Owner
Massoud Vossough

Project Address
Nevada Ave & Ellendale Rd
Moss Beach, CA
APN - 037-135-170

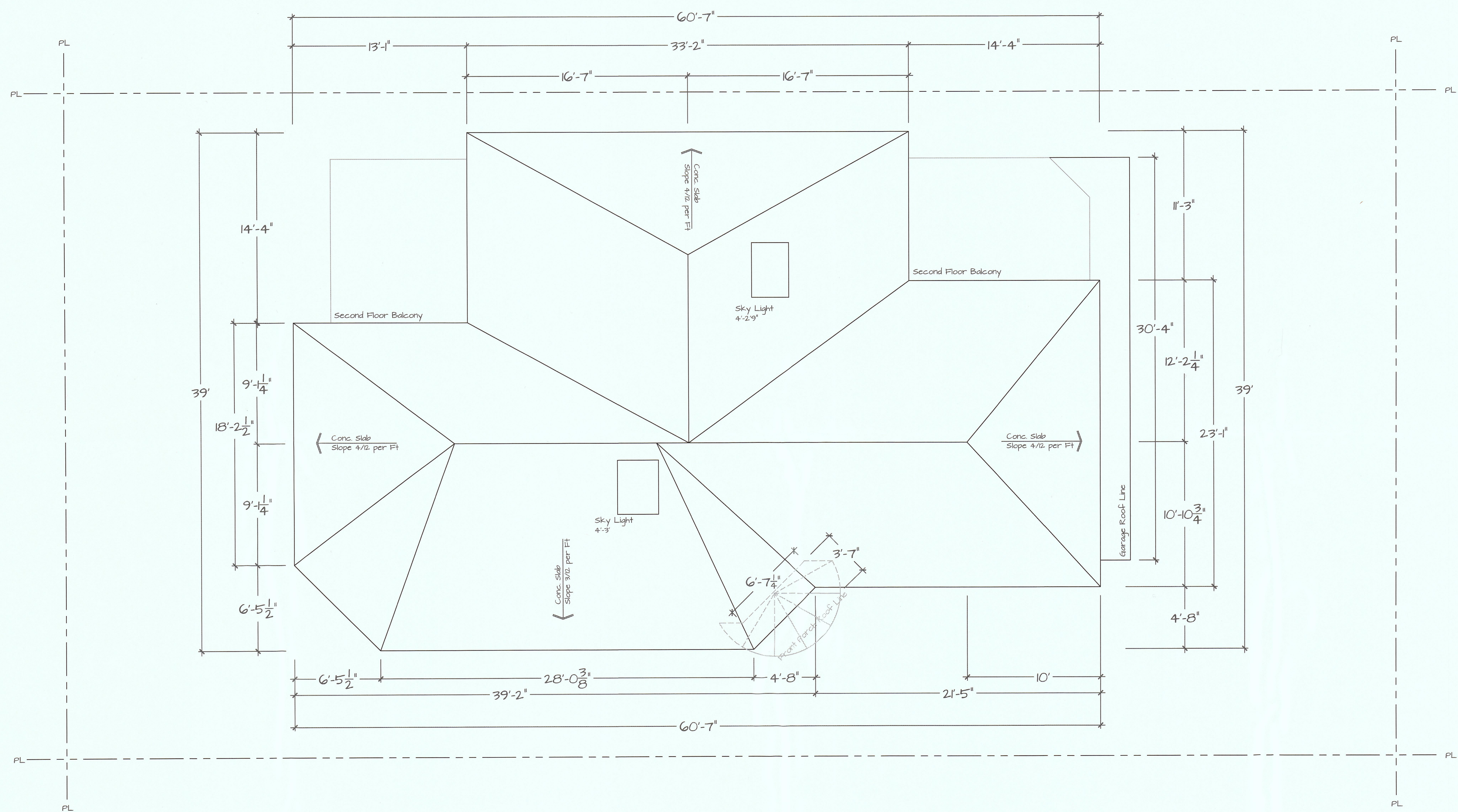
Date
9/20/2014

Scale
1/4" = 1' - 0"

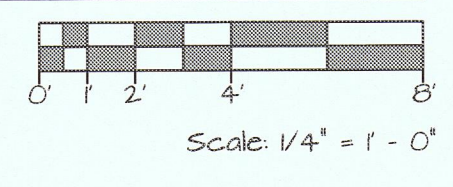
Drawn by
JM & B. Vatanji

A4

No. / Date /
RV 7/28 /2014
Created
△ 8/22 /2014
Revised
△ 8/25 /2014
Revised
△ 9/20/2014
Revised
△ 7/19/2015
Revised



Proposal Plan - Roof Floor



Drawing Title
Roof Plan
Scale
1/4" = 1' - 0"
Drawn by
JM & B. Vatani

Project Name
Vossugh Residence
Owner
Massoud Vossugh
Project Address
Nevada Ave & Ellendale Rd
Moss Beach, CA
APN - 037-135-170

Date
9/20/2014

A7

No. / Date / Revision
△ 7/26 /2014 Created
△ 8/22 /2014 Revised
△ 8/25 /2014 Revised
△ 9/20/2014 Revised
△ 7/19/2015 Revised

Project Name
Vossugh Residence

Owner
Massoud Vossugh

Project Address
Nevada Ave & Ellendale Rd
Moss Beach, CA
APN - 037-135-170

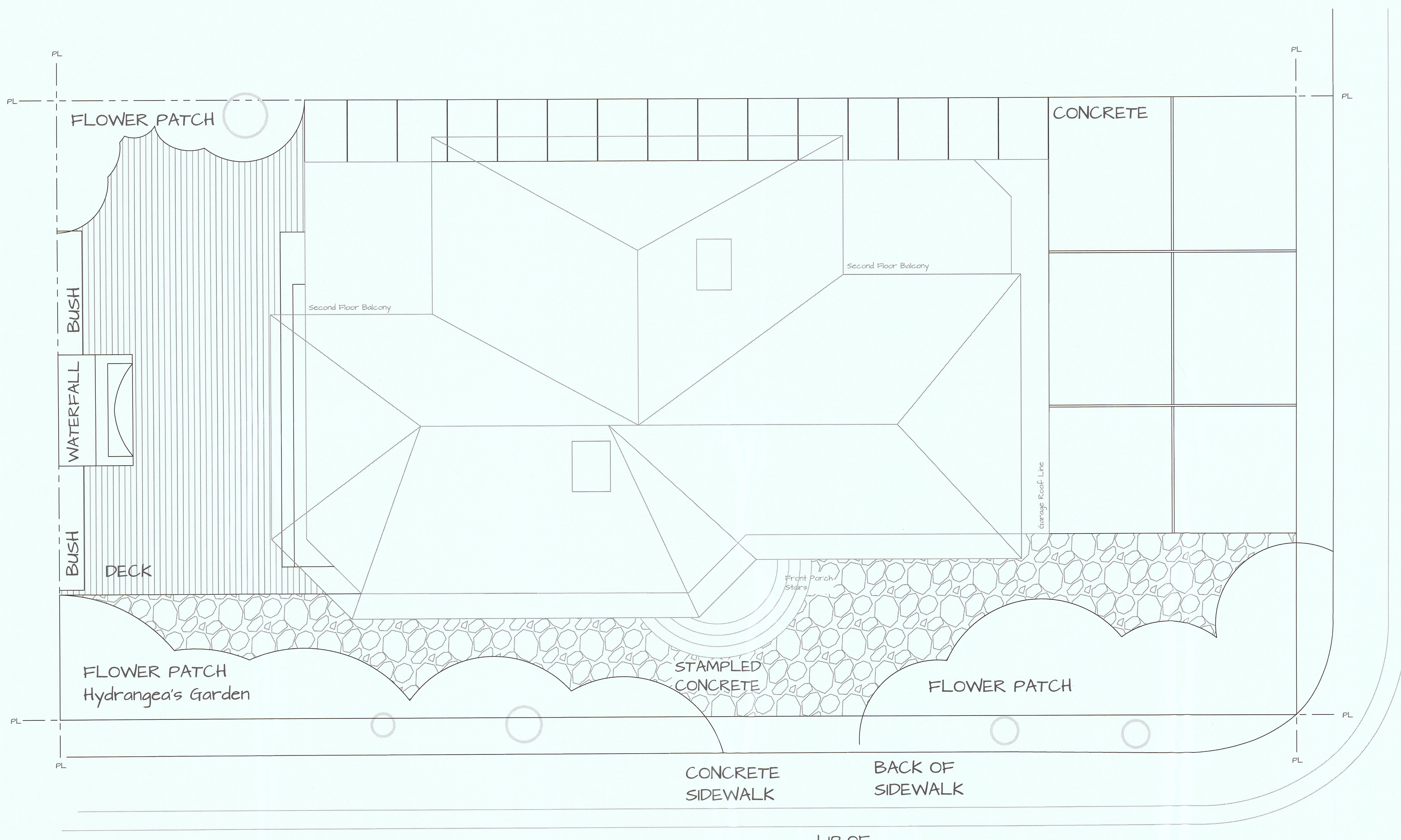
Drawing Title
Landscape Plan

Scale
1/4" = 1' - 0"

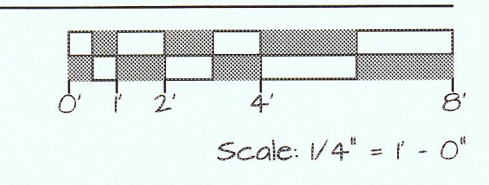
Date
9/20/2014

Drawn by
JM & B. Vatani

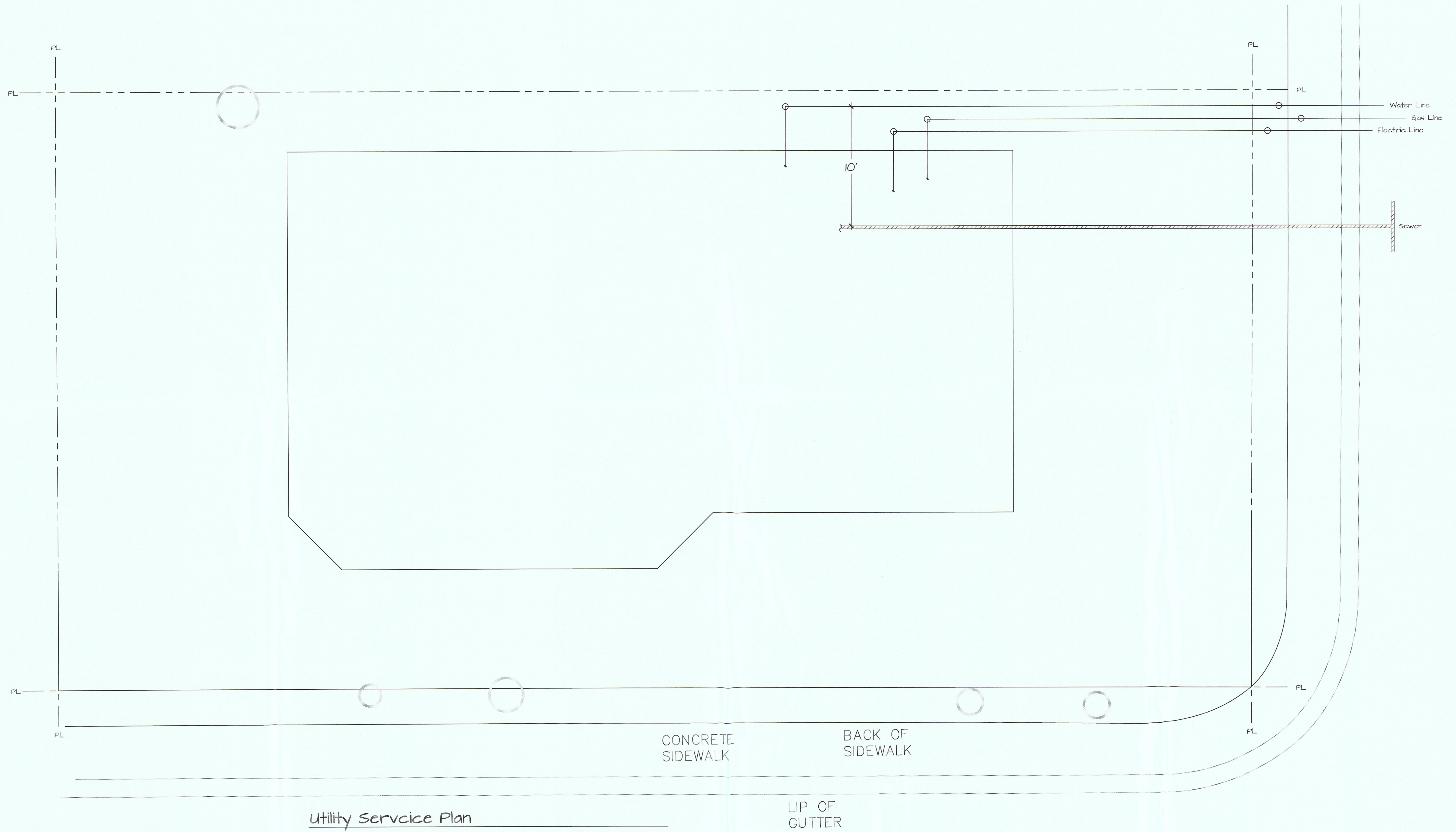
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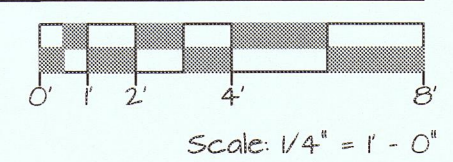
Landscaping Plan



LIP OF GUTTER



Utility Service Plan



No. / Date / Revision
△ 9/20/2014 Created
△ 7/19/2015 Revised

Drawing Title	
Landscape Plan	
Scale	1/4" = 1'-0"
Drawn by	JM & B. Vatanji

Project Name	Vossugh Residence
Owner	Massoud Vossugh
Project Address	Nevada Ave & Ellendale Rd Moss Beach, CA APN - 037-135-170

Date: 9/20/2014

A9

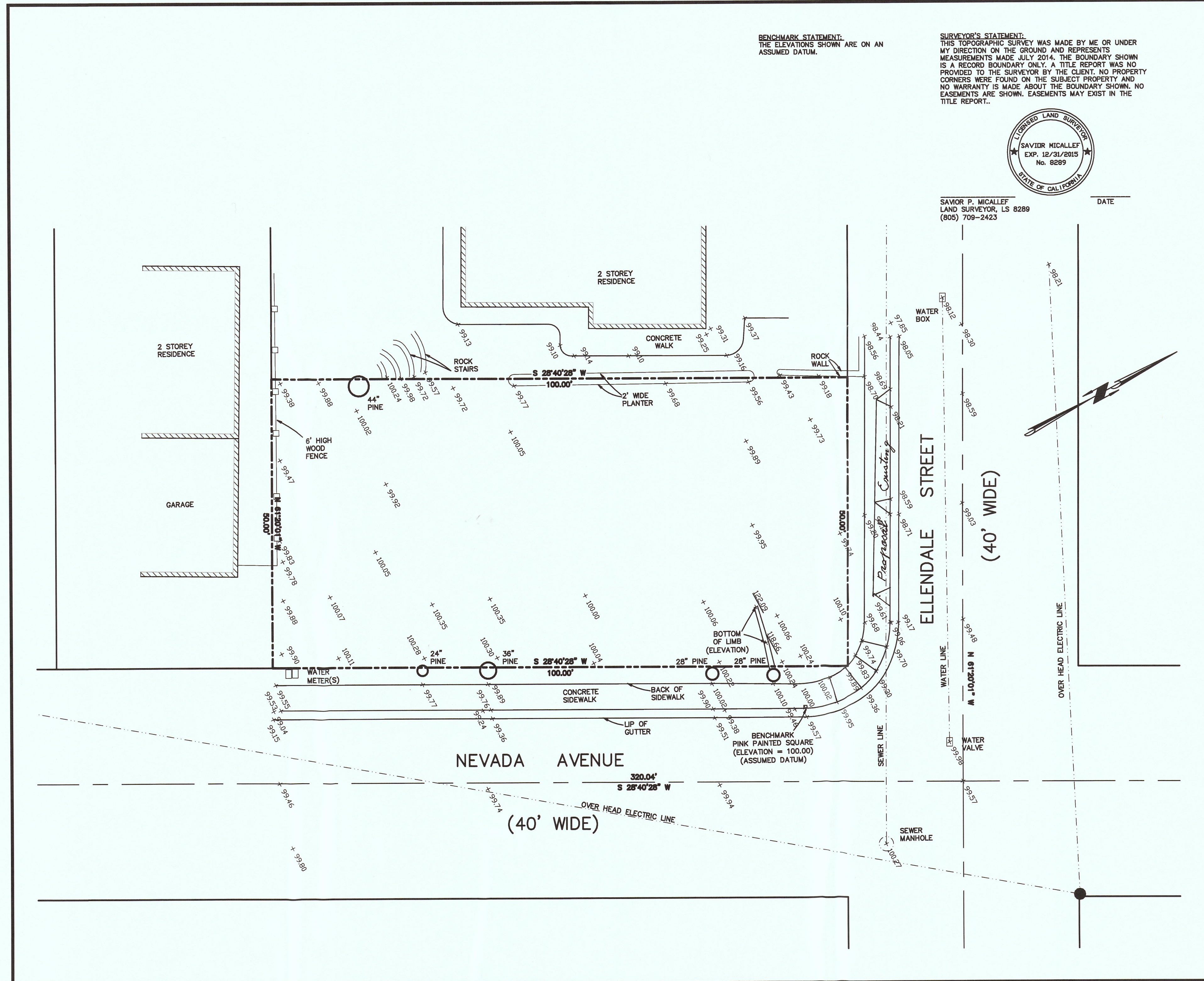
BENCHMARK STATEMENT:
THE ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM.

SURVEYOR'S STATEMENT:
THIS TOPOGRAPHIC SURVEY WAS MADE BY ME OR UNDER MY DIRECTION ON THE GROUND AND REPRESENTS MEASUREMENTS MADE JULY 2014. THE BOUNDARY SHOWN IS A RECORD BOUNDARY ONLY. A TITLE REPORT WAS NO PROVIDED TO THE SURVEYOR BY THE CLIENT. NO PROPERTY CORNERS WERE FOUND ON THE SUBJECT PROPERTY AND NO WARRANTY IS MADE ABOUT THE BOUNDARY SHOWN. NO EASEMENTS ARE SHOWN. EASEMENTS MAY EXIST IN THE TITLE REPORT.



SAVOR P. MICALLEF
LAND SURVEYOR, LS 8289
(805) 709-2423

DATE

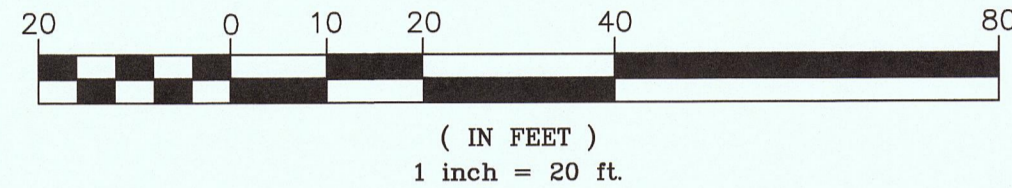
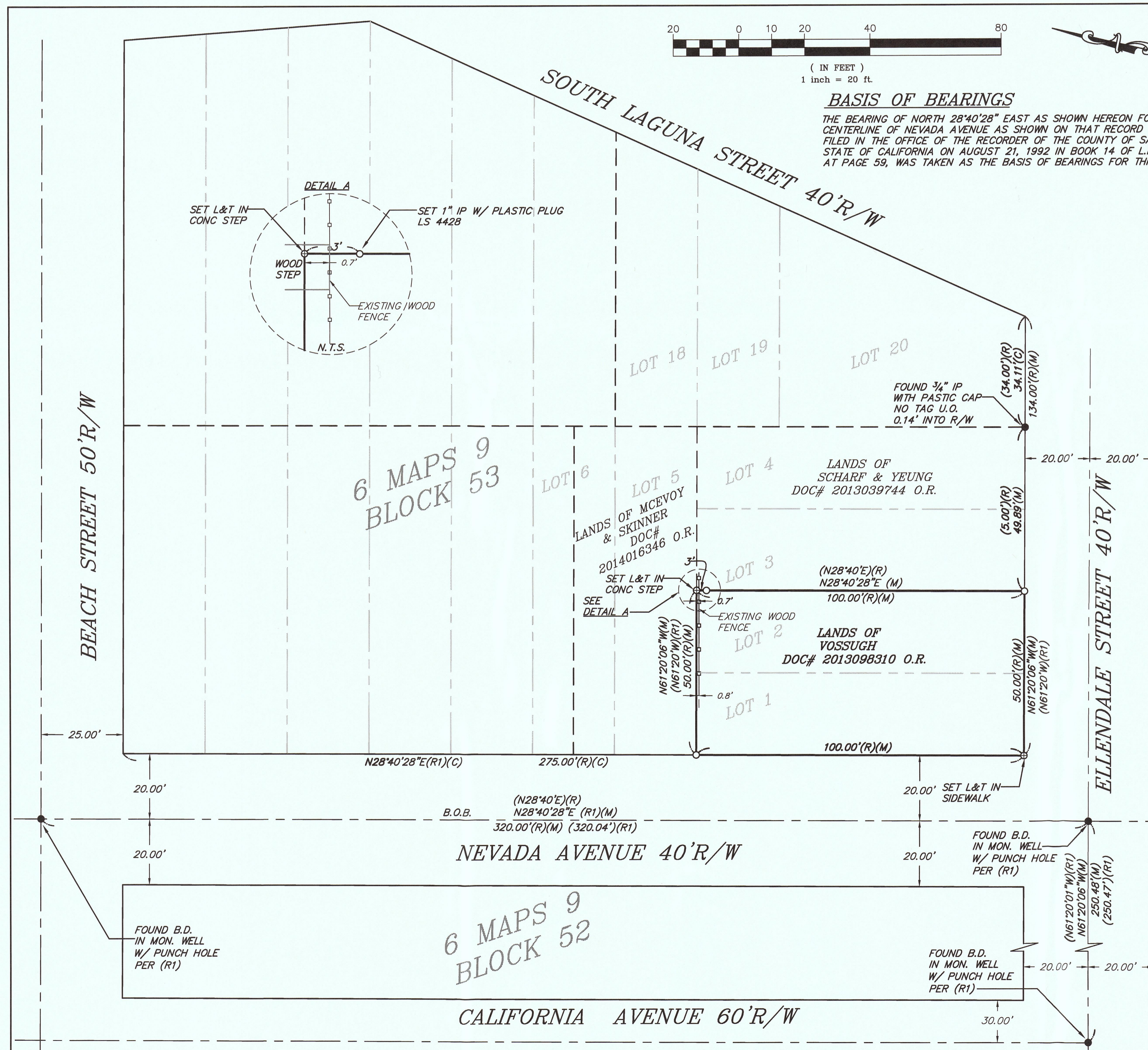


SAVOR P. MICALLEF LAND SURVEYING
421 WILDWOOD DRIVE
SOUTH SAN FRANCISCO, CA 94080
(805)709-2423

LANDS OF VOSSUGH
TOPOGRAPHIC SURVEY OF
APN 037-135170, DOC 2013-098310
(UNINCORPORATED SAN MATEO COUNTY, CALIFORNIA)

Revisions	
No.	Date

Date 07/24/14
Scale 1"=10'
Design
Drawn SPM
Approved SPM
Job No.
Drawing Number:
1 OF 1



BASIS OF BEARINGS
THE BEARING OF NORTH 28°40'28" EAST AS SHOWN HEREON FOR THE CENTERLINE OF NEVADA AVENUE AS SHOWN ON THAT RECORD OF SURVEY FILED IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA ON AUGUST 21, 1992 IN BOOK 14 OF L.L.S. MAPS AT PAGE 59, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

SURVEYOR'S STATEMENT
THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT AT THE REQUEST OF MASSOUD VOSSUGH IN MAY 2015.



ANDREW K. HOLMES DATE
L.L.S. 4428 LIC. EXP. 9/30/15

COUNTY SURVEYOR'S STATEMENT
THIS MAP HAS BEEN EXAMINED IN ACCORDANCE WITH SECTION 8766 OF THE PROFESSIONAL LAND SURVEYORS' ACT THIS _____ DAY OF _____, 2015.



CHRISTOPHER G. VANDREY, L.L.S.
L.S. No. 8783

- LEGEND**
- B.O.B. BASIS OF BEARINGS
 - B.D. BRASS DISK
 - (C) CALCULATED
 - IP IRON PIPE
 - (M) MEASURED
 - MON. MONUMENT
 - N.T.S. NOT TO SCALE
 - O.R. OFFICIAL RECORDS
 - R/W RIGHT OF WAY
 - U.O. UNKNOWN ORIGIN
 - W/ WITH
- INDICATES A FOUND SURVEY MONUMENT AS NOTED
 - INDICATES SET 1" IRON PIPE WITH PLASTIC PLUG LS 4428 OR AS NOTED
 - ⊕ INDICATES SET LEAD AND TAG LS 4428 OR AS NOTED.
 - (R) RECORD INFORMATION PER 6 MAPS 9
 - (R1) RECORD INFORMATION PER 14 LLS 59

COUNTY RECORDER'S STATEMENT
FILED THIS _____ DAY OF _____, 2015, AT _____ M. IN VOLUME _____ OF L.L.S. MAPS AT PAGE _____, AT THE REQUEST OF TRIAD/HOLMES ASSOCIATES.

FILE NO.: _____ FEE: _____
MARK CHURCH, COUNTY RECORDER
BY DEPUTY _____

RECORD OF SURVEY
PRELIMINARY
LANDS OF VOSSUGH
LOTS 1&2, BLOCK 53, 6 MAPS 9

UNINCORPORATED SAN MATEO COUNTY, CALIFORNIA
SCALE 1"=20'
777 WOODSIDE ROAD, SUITE 2A
REDWOOD CITY, CA 94061
PHONE: (650) 366-0216
FAX: (650) 366-0298
MAY, 2015

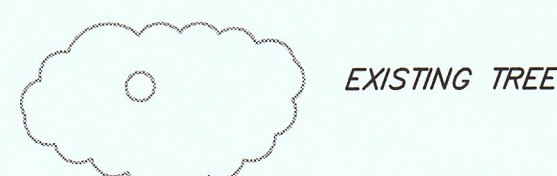
GRADING AND DRAINAGE PLAN

VOSSUGH RESIDENCE

NEVADA AVENUE, MOSS BEACH, CA 94038

LEGEND

- $22.6'$ EXISTING ELEVATION
- 100 EXISTING CONTOUR LINE
- EXISTING UTILITY POLE
- EXISTING EDGE OF PAVEMENT
- EXISTING FENCE AS NOTED
- OH EXISTING OVERHEAD UTILITY
- 100.0 ELEVATION, PROPOSED
- 100 PROPOSED CONTOUR LINE
- DIRECTION OF SURFACE DRAINAGE FLOW



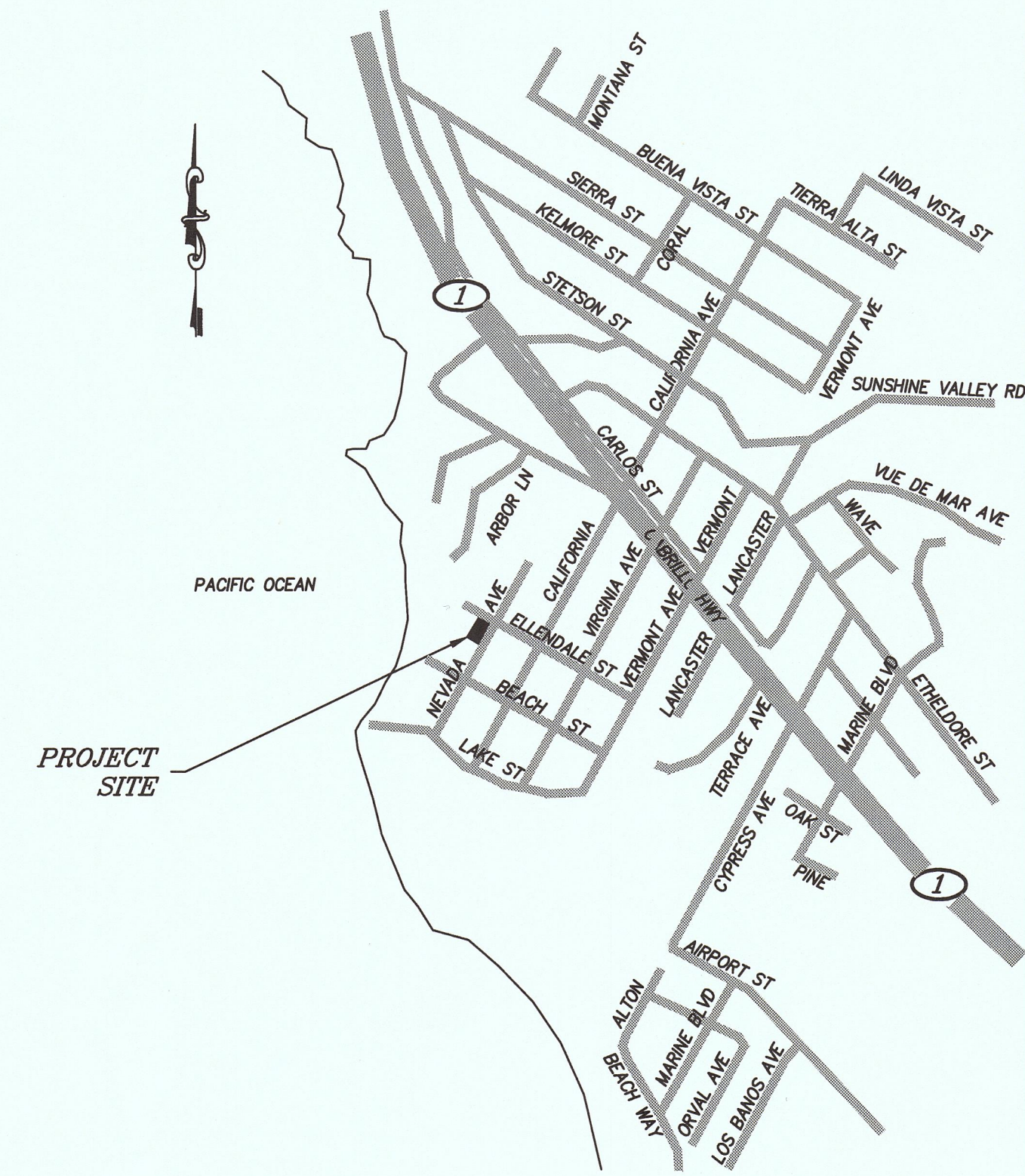
- AC ASPHALT
- AD AREA DRAIN
- CB CATCH BASIN
- CO CLEANOUT
- CONC CONCRETE
- DI DROP INLET
- DIAM DIAMETER
- (E) EXISTING
- EMB ELECTRIC METER BOX
- EP EDGE OF PAVEMENT
- FF FINISHED FLOOR
- FG FINISHED GRADE
- FL FLOW LINE
- FS FINISHED SURFACE
- GM GAS METER
- INV INVERT
- (N) NEW
- SS SANITARY SEWER
- TC TOP OF CURB
- TG TOP OF GRATE
- WMB WATER METER BOX

GRADING AND SITWORK SPECIFICATIONS

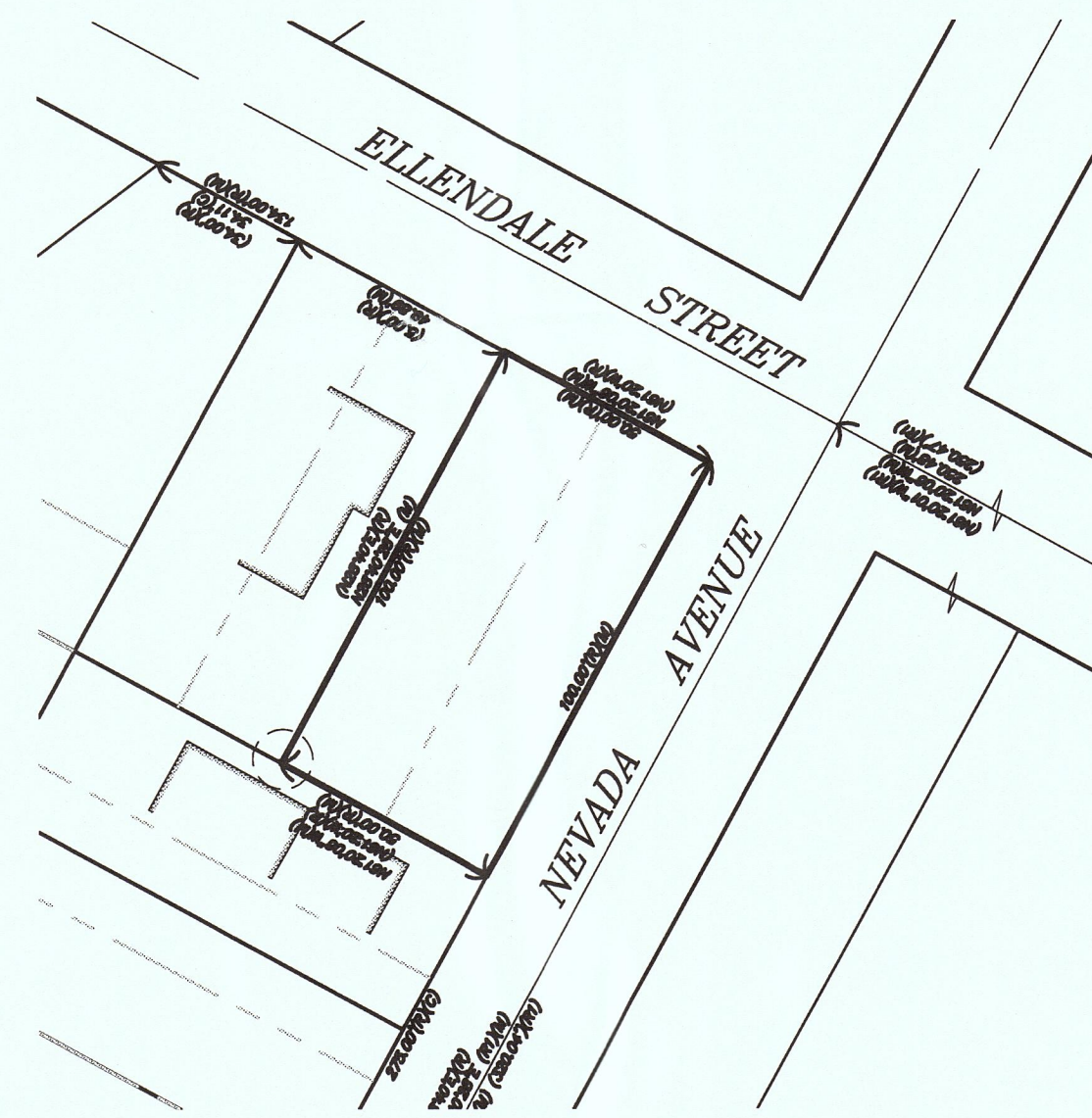
1. SITE-DISTURBING CONSTRUCTION ACTIVITIES MUST BE RESTRICTED TO THE BOUNDARIES OF THIS SITE. AREAS TO BE GRADED SHALL BE CLEARED OF BRUSH, VEGETATION, LARGE BOULDERS, AND OTHER DELETERIOUS MATERIALS. CLEARED MATERIALS SHALL BE DISPOSED OF BY THE CONTRACTOR TO A DESIGNATED DUMP SITE OR OTHER LOCATION APPROVED BY THE CITY OR COUNTY. TOPSOIL SHALL BE STOCKPILED WITHIN THE CONSTRUCTION PERIMETER AREAS, AS APPROVED BY THE OWNER, FOR RE-USE ON SLOPES AND DISTURBED AREAS. ALL GRADING SHALL BE PERFORMED IN ACCORDANCE WITH CITY OR COUNTY ORDINANCES AND STANDARDS.
2. CONTRACTOR SHALL TAKE ALL SUCH MEASURES NECESSARY TO CONTROL DUST IN CONSTRUCTION AREAS OR ON ACCESS ROADS. SUFFICIENT WATER TRUCKS SHALL BE MADE AVAILABLE FOR DUST CONTROL PURPOSES. ALL EXPOSED SOIL SURFACES SHALL BE MOISTENED AS REQUIRED TO AVOID NUISANCE CONDITIONS AND INCONVENIENCES FOR LOCAL RESIDENTS AND TRAVELERS OF NEARBY ROADWAYS. CONTRACTOR SHALL TAKE ALL SUCH MEASURES NECESSARY TO RETAIN SOIL AND SEDIMENT ON SITE AND TO PREVENT TRACKING OF MUD AND DIRT ONTO PUBLIC ROADWAYS.
3. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF ALL IMPROVEMENTS DAMAGED DURING CONSTRUCTION.
4. A SEPARATE ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.

INDEX TO SHEETS

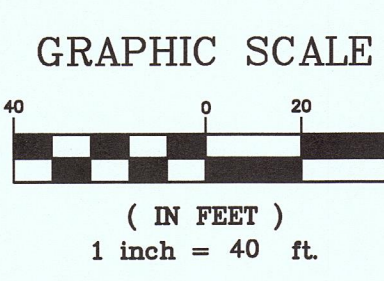
- SHEET C1 - TITLE SHEET
- SHEET C2 - GRADING & DRAINAGE PLAN
- SHEET C3 - EROSION CONTROL PLAN
- SHEET C4 - SAN MATEO COUNTY CONSTRUCTION BMPs



VICINITY MAP
N.T.S.



EXISTING PROJECT SITE



PROPERTY LOCATION
NEVADA AVENUE & ELLENDALE ROAD
MOSS BEACH, CA 94038

LEGAL DESCRIPTION
A.P.N. 037-135-170
SAN MATEO COUNTY

RECORD OWNER
MASSOUD AND MINA VOSSUGH
711 ETHELDORE STREET
MOSS BEACH, CA 94038

SURVEYOR
TRIAD/HOLMES ASSOCIATES
777 WOODSIDE RD #2A
REDWOOD CITY, CA 94061

TOPOGRAPHIC SURVEY IS FROM A MAP
PREPARED BY SAIVOR P. MICALLEF
LAND SURVEYING ON 7-24-2014

SITE BENCHMARK
PINK PAINTED SQUARE ON TOP OF CURB
(ASSUMED DATUM)
ELEVATION = 100.00

TITLE SHEET
VOSSUGH RESIDENCE
PREPARED FOR: MASSOUD VOSSUGH



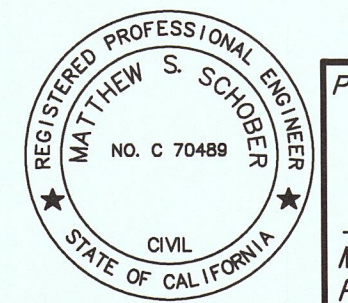
post office box 1570
san mateo county, ca 94061
phone (650) 368-0214
fax (650) 368-0214
e-mail th@triholmes.com

777 woodside rd, suite a
redwood city, ca 94061
phone (650) 368-0214
fax (650) 368-0214
e-mail th@triholmes.com

555 chorro st, suite a
san luis obispo, ca 93405
phone (805) 844-8906
fax (805) 844-8906
e-mail th@triholmes.com

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REVISIONS	BY
DATE	12/10/15
SCALE	AS SHOWN
DRAWN	MS
JOB NO.	9.1670
DWG	9.1670grad.dwg
SHEET	C1
OF	4 SHEETS



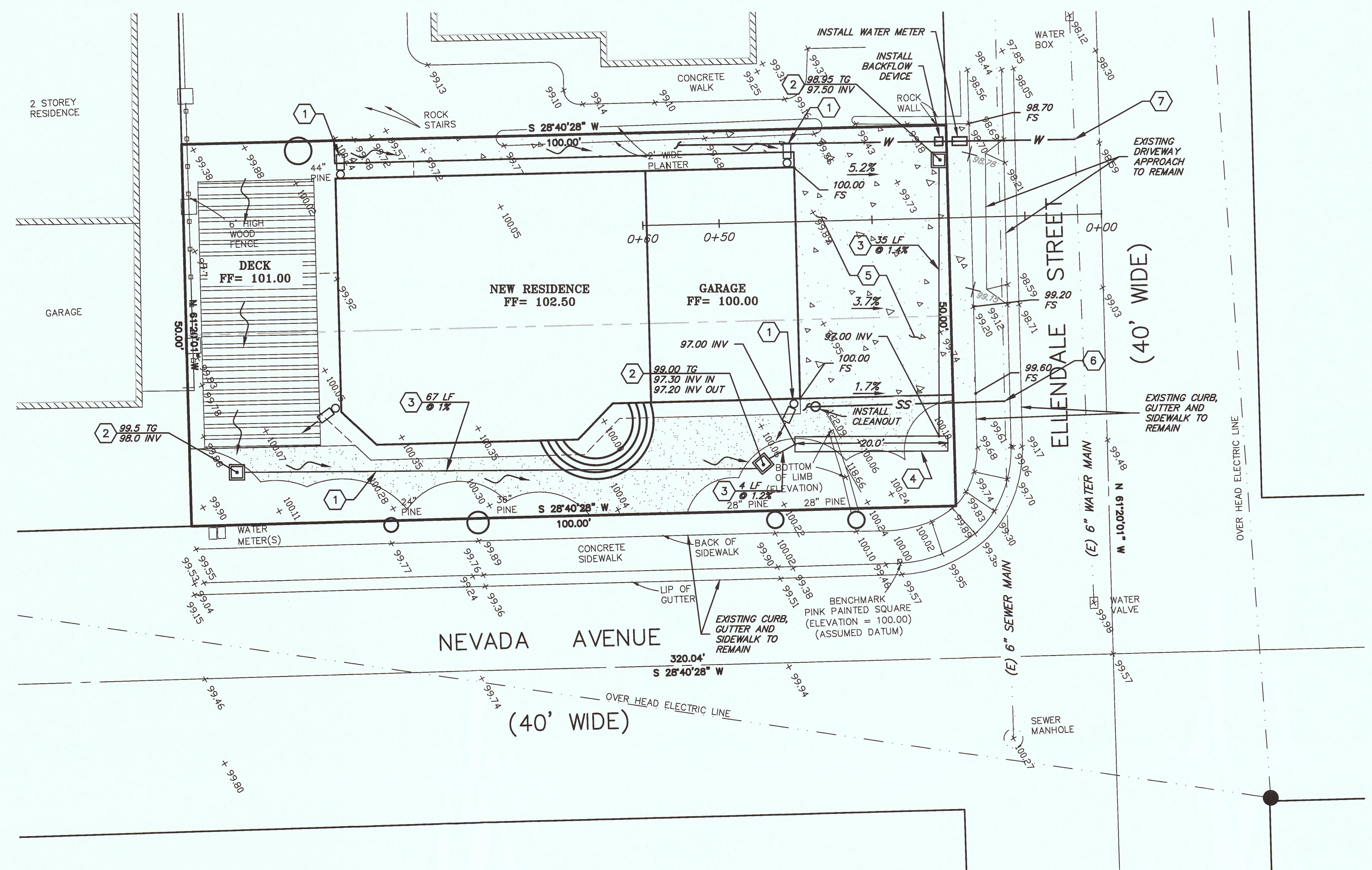
PREPARED AND SUBMITTED BY:
MATTHEW S. SCHOBBER DATE
P.E. C 70489

user:meholder <<CD... Impar>> K: 08 [PAC] 9-1670 Vossugh Moss Beach [CAD] 09.10.1570grad.dwg Dec 10, 2015, 3:25pm



800-227-2800

user:mshober c:\c3d\imperial\k:\09_rmc\9-1670\mass\mass\c3d\9.1670grad.dwg Dec 10, 2015, 4:16pm



CONSTRUCTION NOTES

- 1 CONSTRUCT 2' LONG X 1' WIDE CONCRETE SPLASH BLOCK AT ROOF DOWNSPOUT. DIRECT AWAY FROM HOUSE.
- 2 INSTALL 12"x12" CONCRETE PRECAST DROP INLET, HANSEN OR EQUAL PER DETAIL HEREON.
- 3 INSTALL 6" SDR35 PVC DRAIN PIPE PER TRENCH DETAIL HEREON.
- 4 INSTALL DETENTION BASIN PER DETAIL HEREON.
- 5 CONSTRUCT DRIVEWAY, 6" CLASS B CONCRETE ON 6" CLASS 2 BASE.
- 6 INSTALL 4" PVC SEWER LATERAL AT MINIMUM SLOPE OF 1% PER MWSO STANDARDS. CONTRACTOR TO POTHOLE AND VERIFY CONNECTION POINT.
- 7 INSTALL DOMESTIC WATER SERVICE CONNECTION PER MWSO STANDARDS. CONTRACTOR TO POTHOLE AND VERIFY CONNECTION POINT.

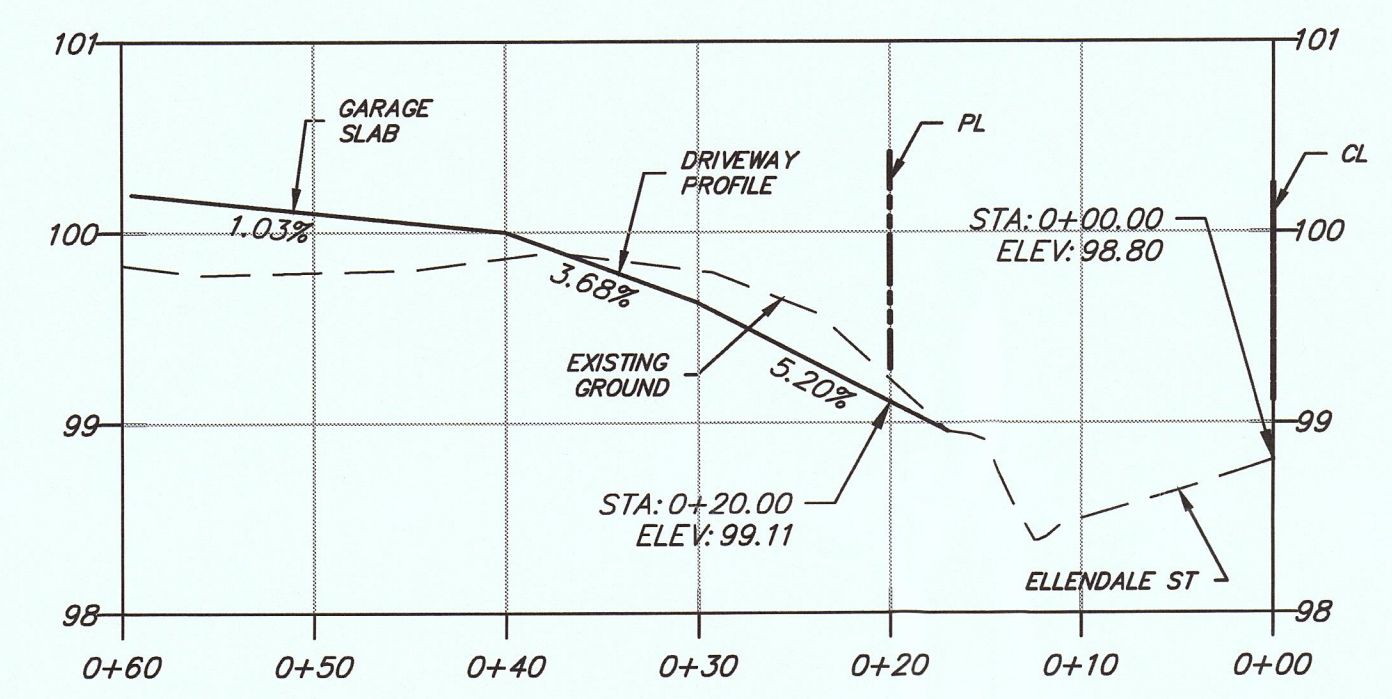
DRAINAGE NOTE

THE PROPERTY OWNER MUST MAINTAIN THE STORMWATER FACILITIES IN GOOD WORKING CONDITION AT ALL TIMES. NO STORMWATER FACILITIES, INCLUDING BUT NOT LIMITED TO PIPING, DETENTION/RETENTION SYSTEMS, SWALES, INLETS, ETC MAY BE REMOVED WITHOUT PRIOR APPROVAL FROM THE COUNTY DEPARTMENT OF PUBLIC WORKS

EARTHWORK QUANTITIES

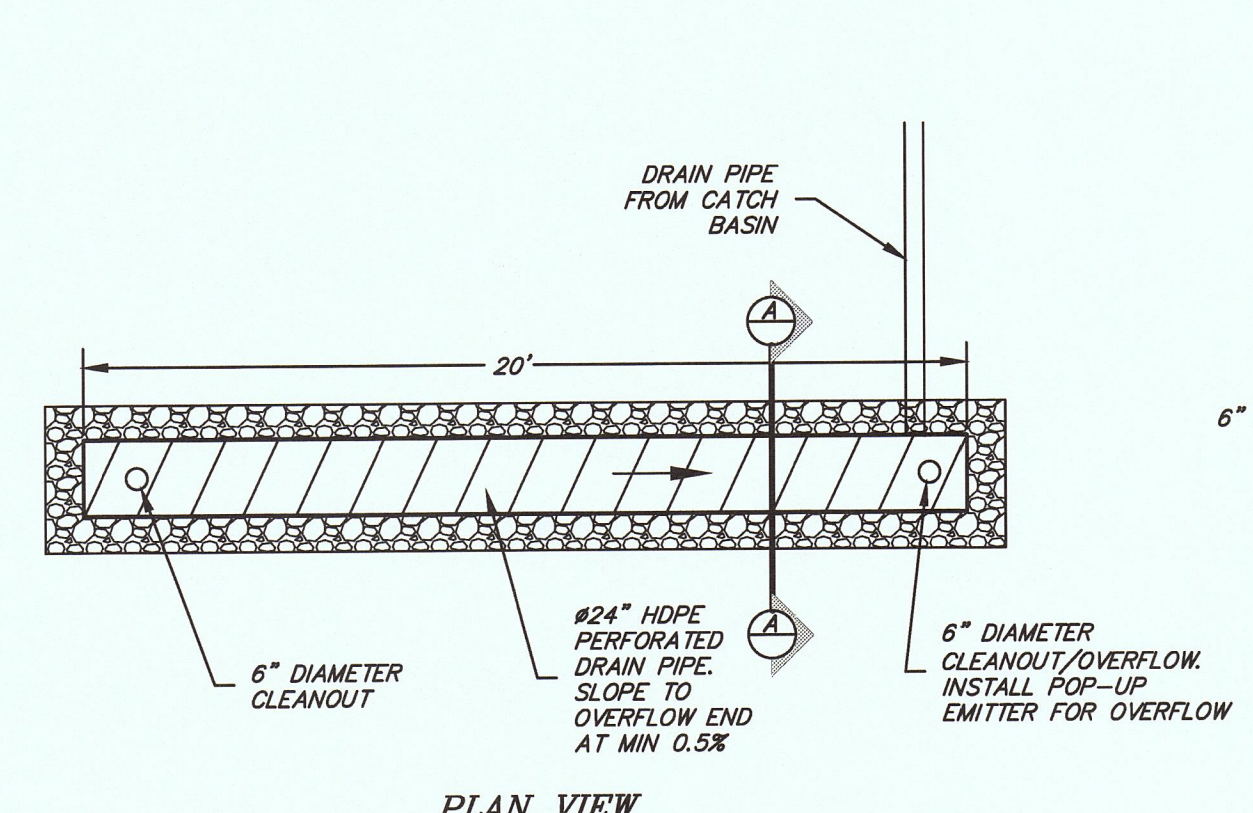
SITWORK EXCAVATION (OUTSIDE BUILDING FOOTPRINT):
 CUT = 35 CY
 FILL = 0 CY
 NET = 35 CY CUT

EARTHWORK QUANTITIES ARE ESTIMATE ONLY AND DO NOT ACCOUNT FOR REMOVALS OF UNSUITABLE MATERIALS. CONTRACTOR SHALL PERFORM OWN TAKEOFF IN CONJUNCTION WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.



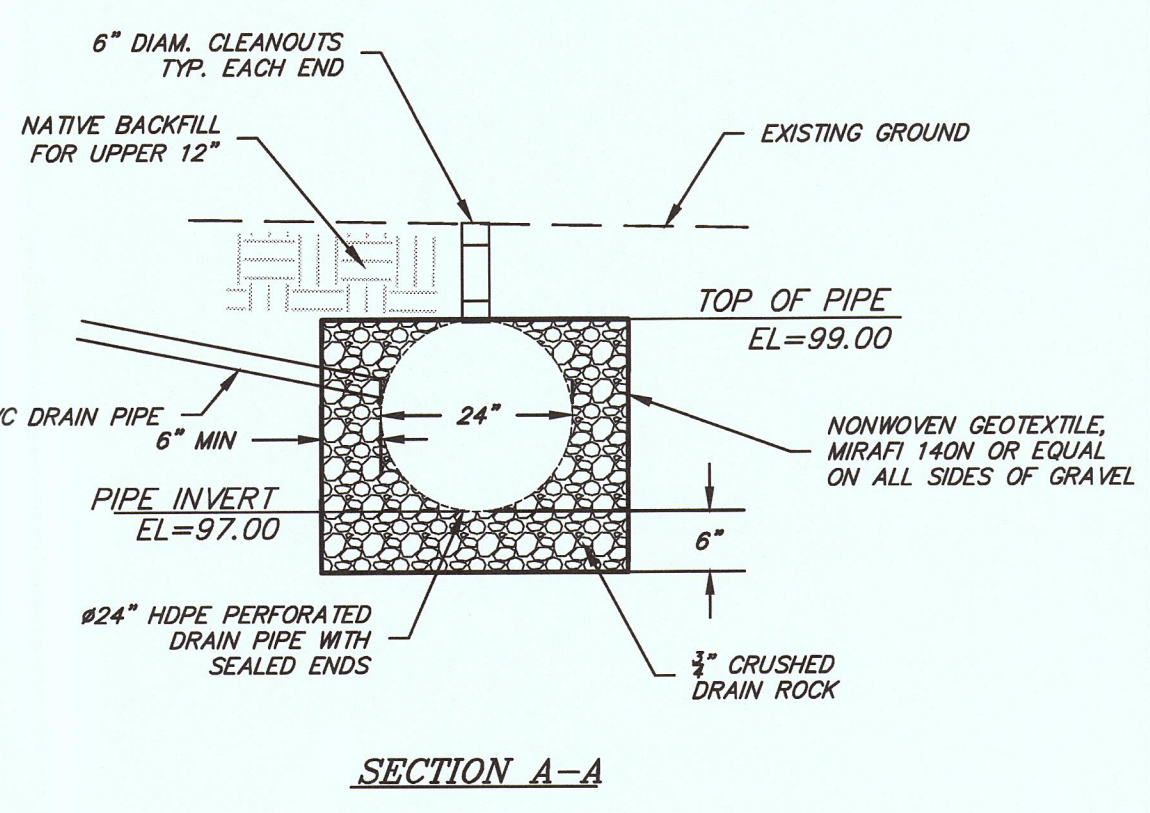
DRIVEWAY PROFILE

SCALE
 H: 1"=10'
 V: 1"=1'

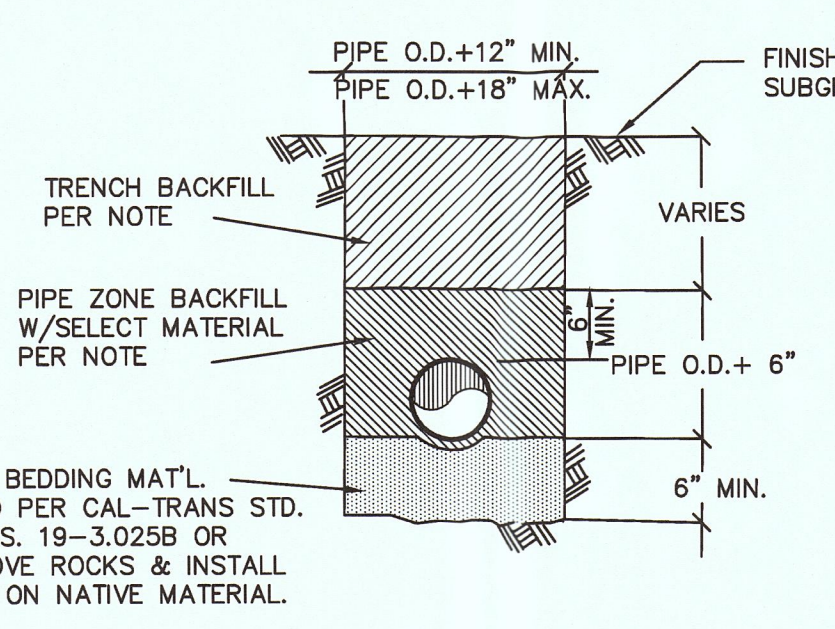


PLAN VIEW

4 DETENTION BASIN
 NOT TO SCALE

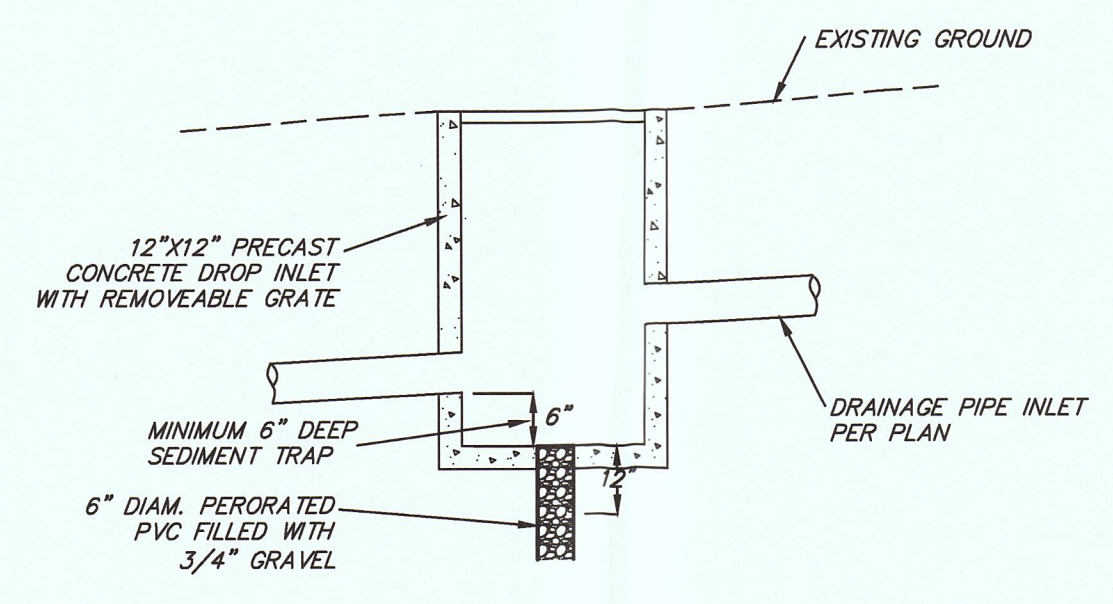


SECTION A-A

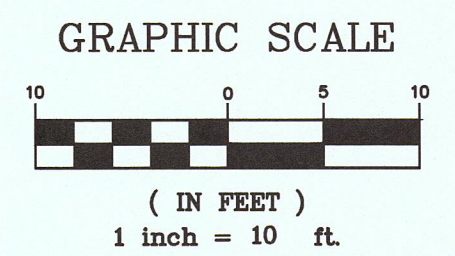


3 TYPICAL TRENCH DETAIL
 N.T.S.

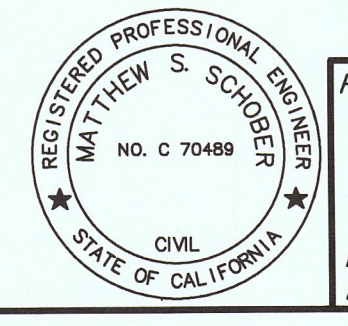
NOTE:
 1. ALL BEDDING & BACKFILL SHALL BE COMPACTED TO 90% OF MAX. DRY DENSITY. IN AREAS OF FUTURE ROADWAY PAVEMENT, THE MIN. COMPACTION SHALL BE 90% OF MAX DRY DENSITY FOR THE UPPER 2.5 FT.
 2. BACKFILL MATERIALS SHALL BE FREE OF STONES EXCEEDING 3" IN GREATEST DIMENSION, OR ORGANIC OR OTHER UNSATISFACTORY MATERIAL. BACKFILL MAY BE EXCAVATED TRENCH MATERIAL.



2 CATCH BASIN
 N.T.S.



PREPARED AND SUBMITTED BY:
MATTHEW S. SCHOBER
 P.E. C 70489



GRADING & DRAINAGE PLAN
VOSSUGH RESIDENCE
 PREPARED FOR: MASSOUD VOSSUGH



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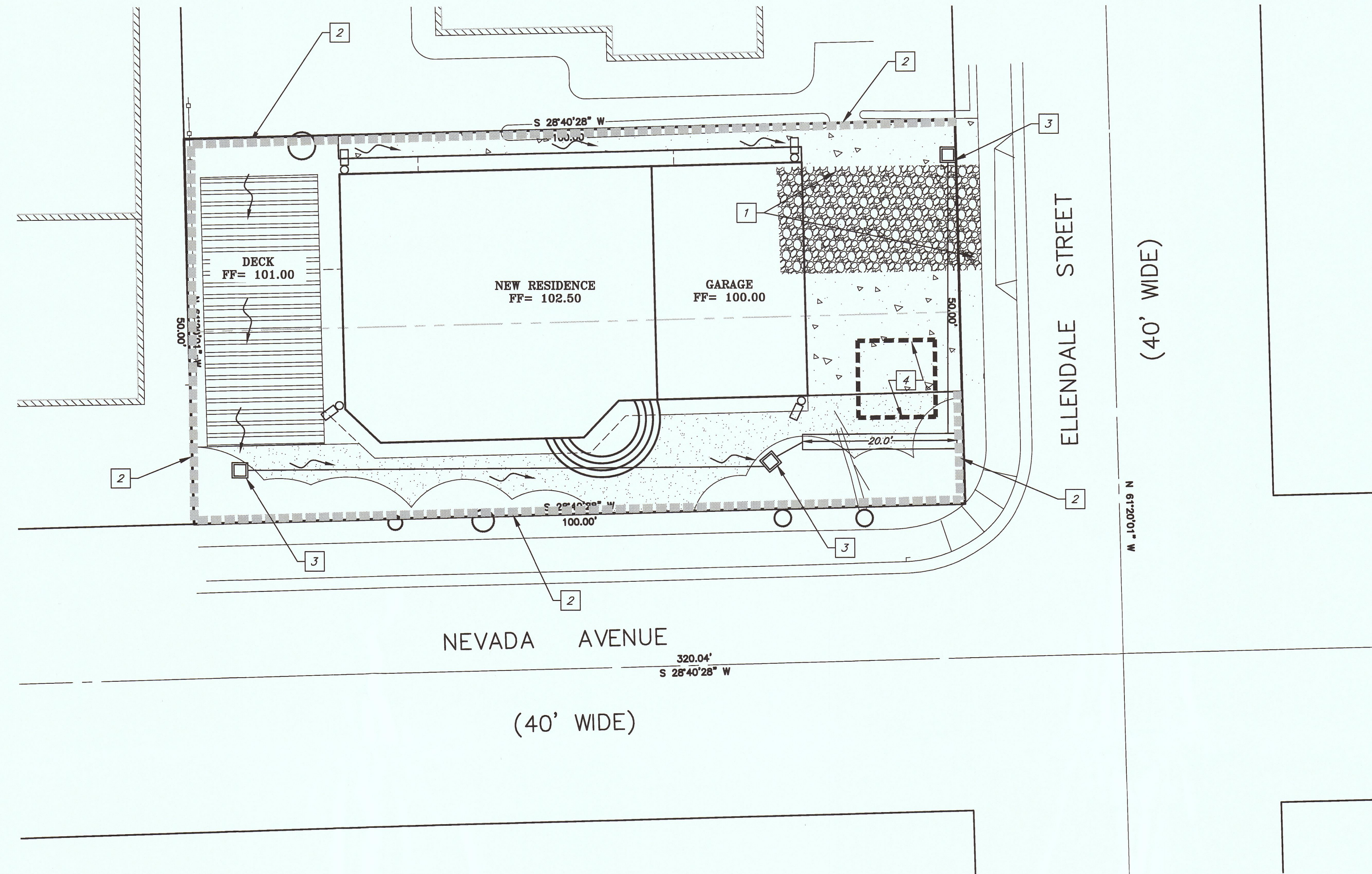
777 woodside rd. suite a
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 fax (650) 368-0288
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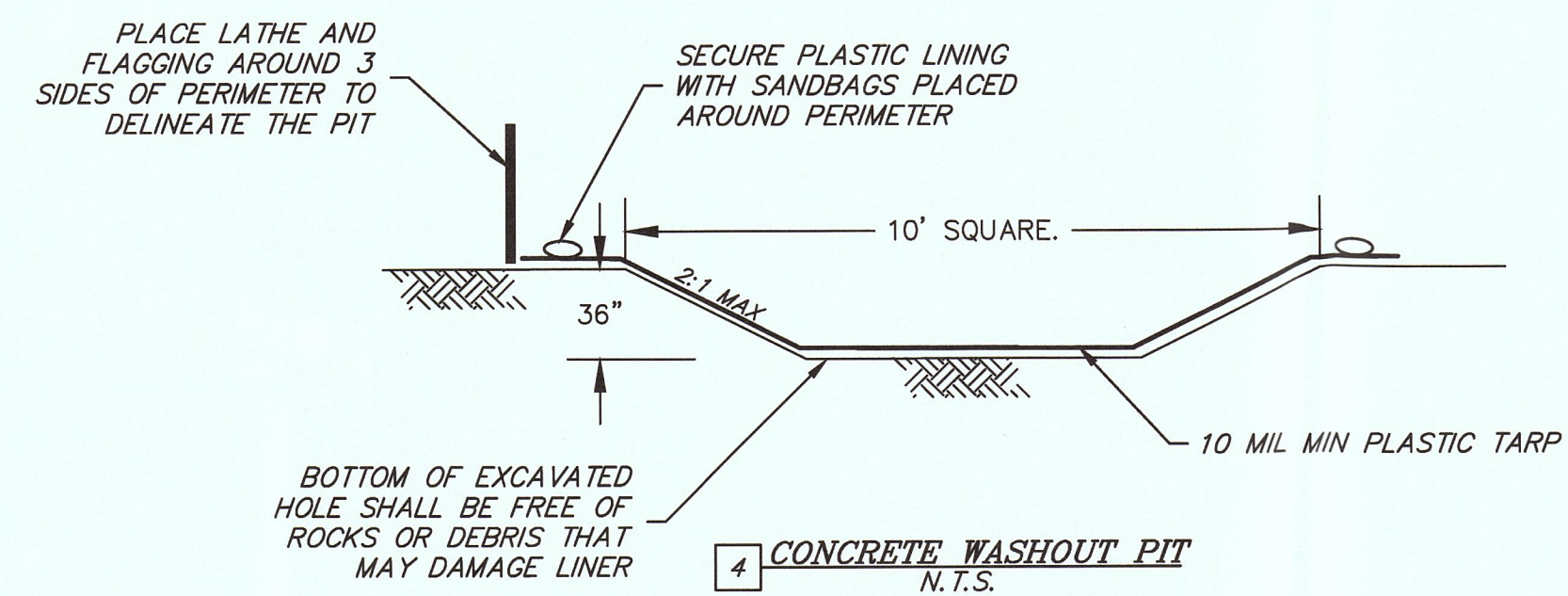
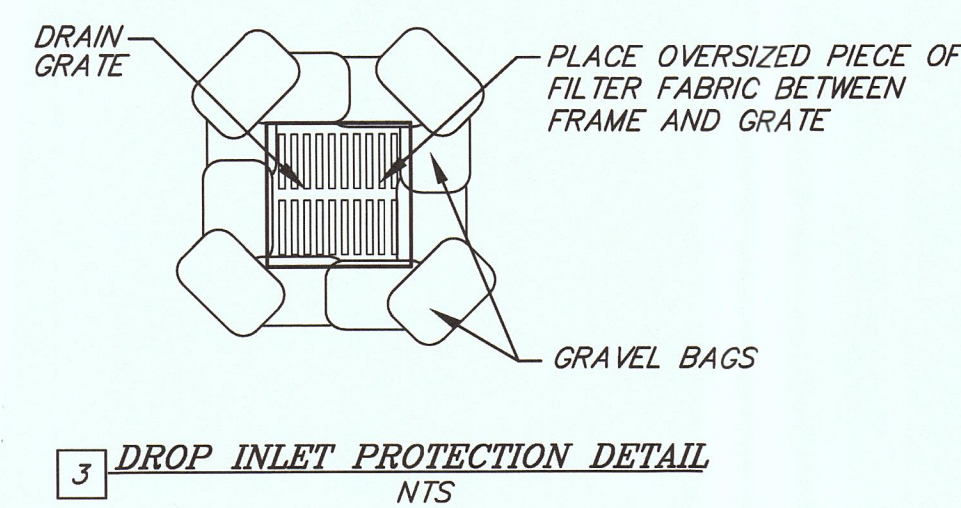
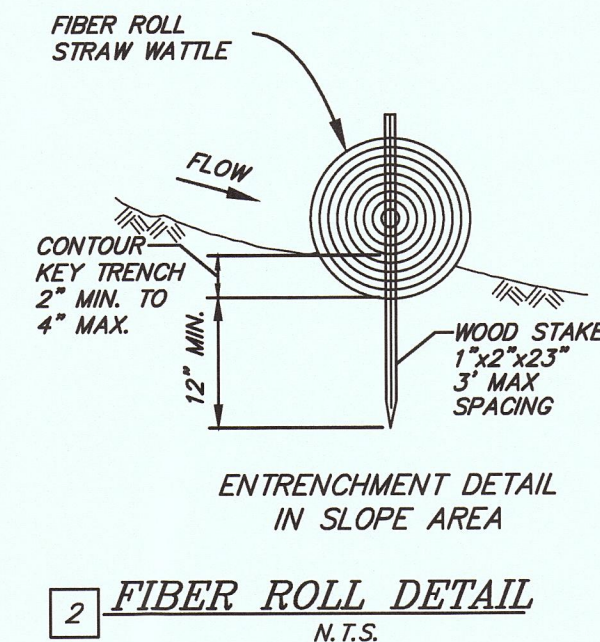
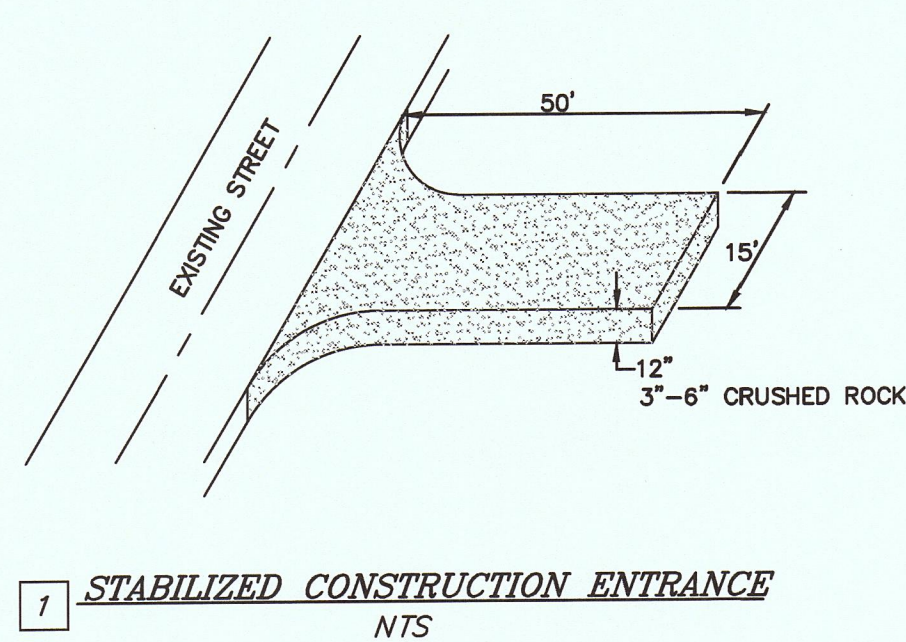
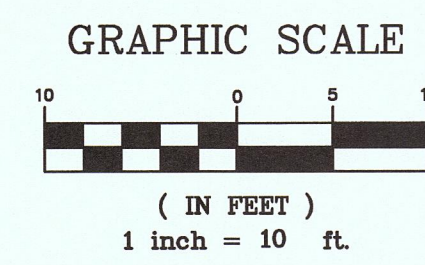
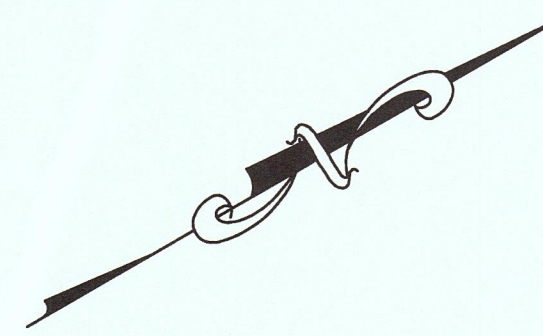
REVISIONS	BY

DATE: 12/10/15
 SCALE: 1"=10'
 DRAWN: MS
 JOB NO.: 9.1670
 DWG: 9.1670grad.dwg
 SHEET: C2
 OF 4 SHEETS



- CONSTRUCTION NOTES
- 1 INSTALL STABILIZED CONSTRUCTION ENTRANCE PER DETAIL HEREON.
 - 2 INSTALL FIBER ROLL PER DETAIL HEREON.
 - 3 INSTALL DROP INLET PROTECTION PER DETAIL HEREON.
 - 4 INSTALL CONCRETE WASHOUT PER DETAIL HEREON.

- EROSION CONTROL NOTES
- 1. TEMPORARY EROSION CONTROL FACILITIES SHALL BE IN PLACE PRIOR TO COMMENCING ANY GRADING OPERATIONS.
 - 2. DURING CONSTRUCTION, TEMPORARY EROSION CONTROL MEASURES SUCH AS BERMS, SILT FENCES, FIBER ROLLS, EROSION CONTROL BLANKETS, OR OTHER METHODS SHALL BE INSTALLED AS NECESSARY TO PREVENT DISCHARGE OF EARTHEN MATERIALS FROM THE SITE DURING PERIODS OF PRECIPITATION OR RUNOFF. SIMILAR MEASURES SHALL BE INSTALLED ON OR AROUND ANY SOIL STOCKPILE LOCATED ADJACENT TO PUBLIC ROADWAYS, RESIDENCES, OR BUSINESSES, IN THE VICINITY OF BODIES OF WATER, OR WHEN REMAINING ON-SITE FOR AN EXTENDED PERIOD.
 - 3. CONTRACTOR SHALL TAKE ALL SUCH MEASURES NECESSARY TO RETAIN SOIL AND SEDIMENT ON-SITE AND TO PREVENT TRACKING OF MUD AND DIRT ONTO PUBLIC ROADWAYS.
 - 4. BMP'S SHALL BE MAINTAINED AND OPERATED SUCH THAT THEY REDUCE OR ELIMINATE POLLUTANTS FROM EXITING THE SITE TO THE GREATEST EXTENT POSSIBLE. IF SELECTED BMP'S ARE NOT WORKING AS REQUIRED, THE BMP INSTALLATION MUST BE IMPROVED, OR NEW BMP'S SHALL BE SELECTED.
 - 5. EROSION CONTROL MEASURES SHALL BE IN PLACE THROUGHOUT THE RAINY SEASON BETWEEN OCTOBER 1 AND APRIL 30, AND SHALL BE AVAILABLE ON-SITE IN THE EVENT OF FORECASTED WET WEATHER.
 - 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM.



NOTE: ABOVE GRADE WASHOUT MAY BE CONSTRUCTED WITH ENGINEER'S APPROVAL

EROSION CONTROL PLAN
VOSSUGH RESIDENCE
 PREPARED FOR: MASSOUD VOSSUGH



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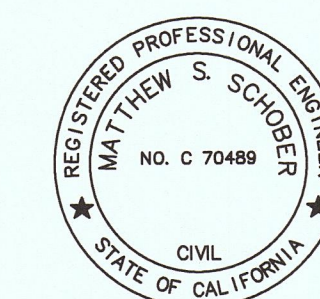
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REVISIONS	BY
DATE	12/10/15
SCALE	1"=10'
DRAWN	MS
JOB NO.	9.1670
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SHEET	C3
OF	4 SHEETS



PREPARED AND SUBMITTED BY:
MATTHEW S. SCHOBERT
 P.E. C 70489 DATE

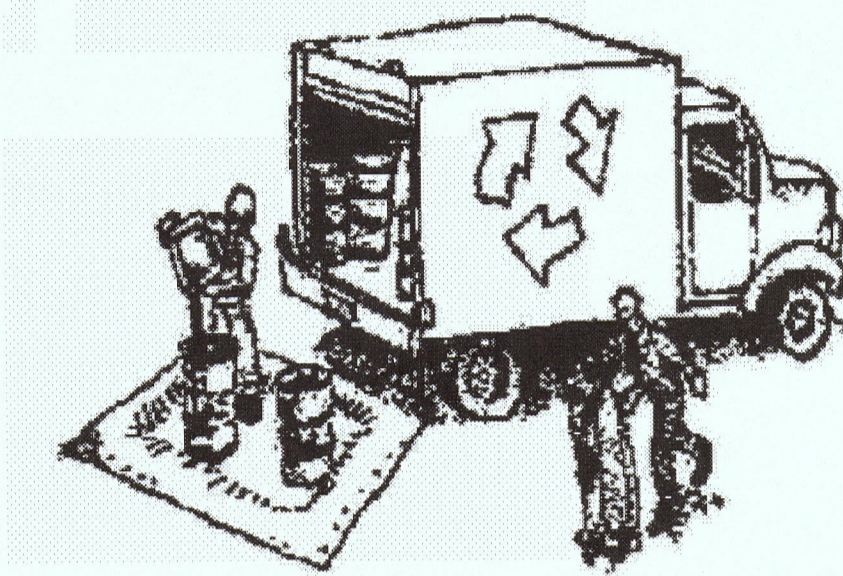
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Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



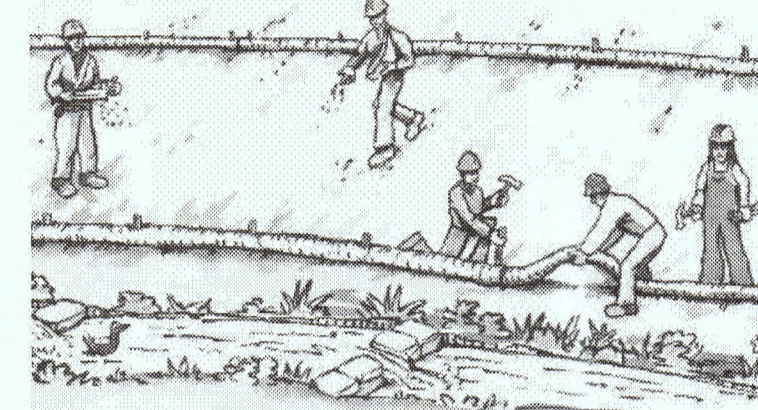
Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving

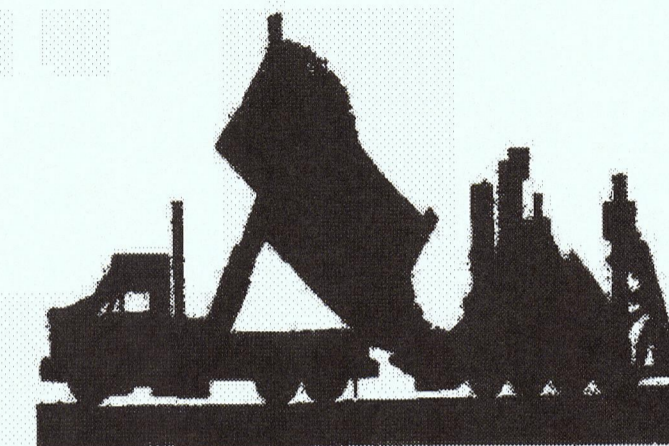


- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work

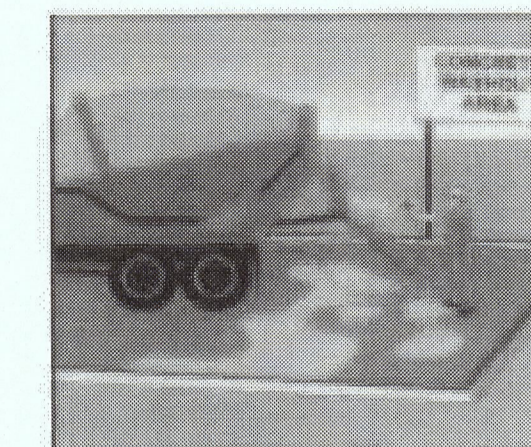


- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

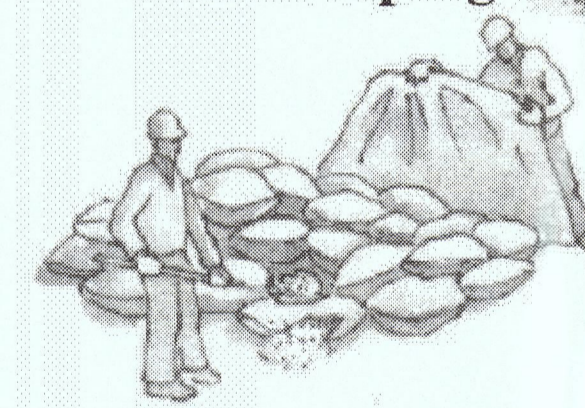
- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



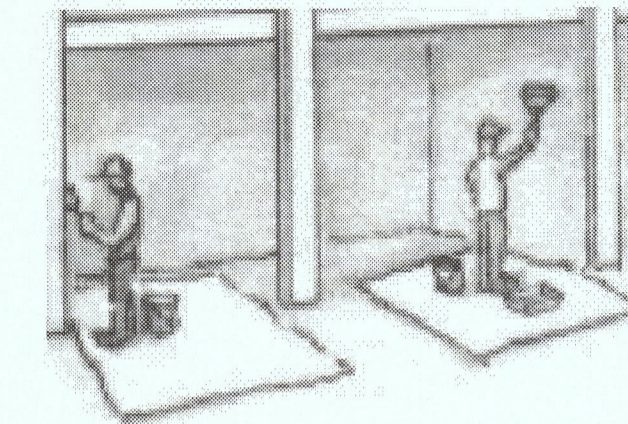
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

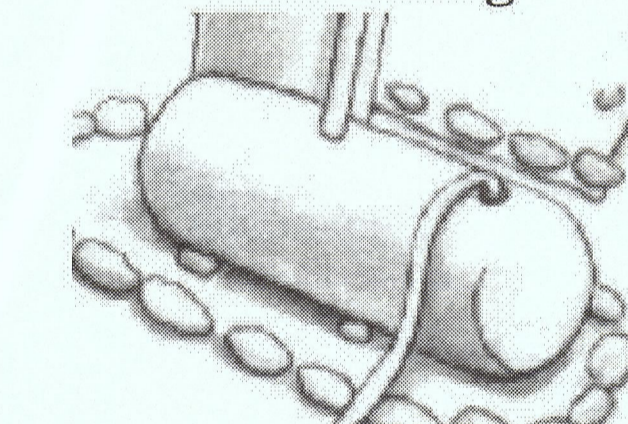
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

CONSTRUCTION BMPs
 VOSSUGH RESIDENCE
 PREPARED FOR: MASSOUD VOSSUGH



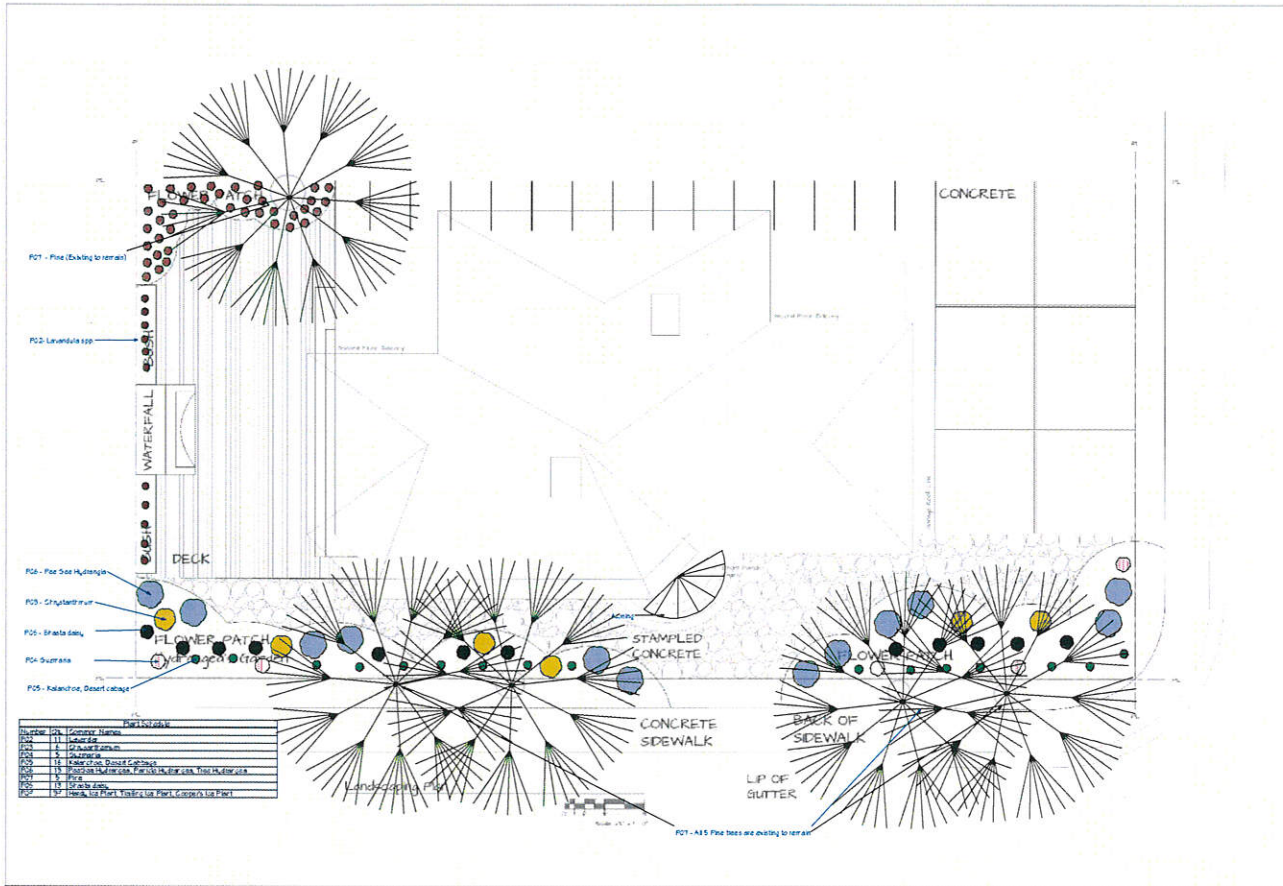
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REVISIONS	BY

DATE 12/10/15
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Rev	Date / Revision
1	8/20/2014
2	8/22/2014
3	8/25/2014
4	8/26/2014
5	8/27/2014
6	8/27/2014
7	8/27/2014

Project Name: **Village Residence**
 Address: **11111 Village Road**
 City: **Atlanta, GA**
 State: **GA**
 Zip: **30328**
 Client: **Mr. & Mrs. [Name]**
 Date: **8/20/2014**

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A8