

0.11 0 0.06 0.11 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:3,561



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THIS MAP IS NOT TO BE USED FOR NAVIGATION

Planning and Building Department

Application for Design Review by the County Coastside Design Review Committee

County Government Center ■ 455 County Center ■ Redwood City CA 94063
Mail Drop PLN 122 ■ 650.363.4161 ■ FAX 650.363.4849

Permit #: PLN 2016-00153

Other Permit #: _____

1. Basic Information

Applicant:

Name: ERIC COX

Address: 1003 EDWARDS POAV
BURLINGAME Zip: 94010

Phone, W: 650 343 8310 H: 650 678 4815

Email: engmex@kembcon

Owner (if different from Applicant):

Name: JC DIAZ MENENDEZ

Address: P.O. Box 3508 Half Moon Bay
Zip: 94019

Phone, W: 831 229 0804 H: _____

Email: jcm61984@yahoo.com

Architect or Designer (if different from Applicant):

Name: SAMR

Address: _____ Zip: _____

Phone, W: _____ H: _____ Email: _____

2. Project Site Information

Project location:

APN: 047-071-260

Address: SEVILLA AVE X SONORA
EL GRANADA Zip: 94018

Zoning: RL-1/S-171 DR

Parcel/lot size: 6,079 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe): _____

3. Project Description

Project:

- New Single Family Residence: _____ sq. ft.
- Addition to Residence: _____ sq. ft.
- Other: _____

Describe Project:

NEW TWO STORY SINGLE FAMILY RESIDENCE

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit

Kembcon Engineers
STRUCTURAL AND CIVIL ENGINEERS
P.O. Box 389,
Millbrae, California 94030

ERIC COX voice (650) 343-8310
STRUCTURAL ENGINEER fax (650) 343-8312
engineers@kembcon.com

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish (If different from existing, attach sample)	Check if matches existing
a. Exterior walls	WOOD FRAME HARDY SHINGLE	PLEASE SEE	<input type="checkbox"/>
b. Trim	WOOD	COLORS ELEVATIONS	<input type="checkbox"/>
c. Windows	VINYL		<input type="checkbox"/>
d. Doors	WOOD		<input type="checkbox"/>
e. Roof	ASPHALT SHINGLE		<input type="checkbox"/>
f. Chimneys	ASA PATENT FLUE		<input type="checkbox"/>
g. Decks & railings	WOOD		<input type="checkbox"/>
h. Stairs	WOOD		<input type="checkbox"/>
i. Retaining walls	CONCRETE @ BASEMENT		<input type="checkbox"/>
j. Fences	N/A		<input type="checkbox"/>
k. Accessory buildings	N/A		<input type="checkbox"/>
l. Garage/Carport	ATTACHED		<input type="checkbox"/>

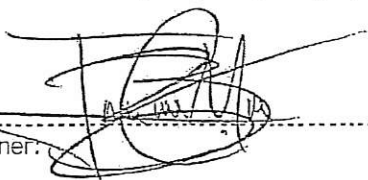
5. Required Findings

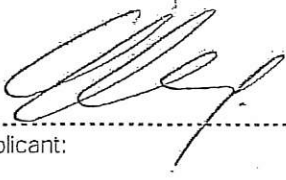
To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

- (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner: 

Applicant: 

Date: 4/13/16

Date: 13 APRIL 2016

4. Project Information

Does this project, the parcel on which it is located or the immediate vicinity involve or include:

- | | Yes | No |
|---|-------------------------------------|-------------------------------------|
| a. Demolition of existing housing units? (If yes, give value of owner-occupied units or current monthly rent of rental units in explanation below.) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b. Creeks, streams, lakes or ponds? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c. Wetlands (marshes, swamps, mudflats)? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d. Beaches? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e. Sand Dunes? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f. Sea cliff, coastal bluffs or blufftops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| g. Ridgetops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| h. Pampas Grass, invasive brooms or Weedy Thistle? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| i. Removal of trees or vegetation? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| j. Grading or alteration of landforms? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| k. Landscaping? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| l. Signs? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| m. Phone or utility line extensions or connections, either above or below ground (explain which)? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| n. Areas subject to flooding? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| o. Development on slopes 30% or steeper? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

- | | | |
|--|--------------------------|-------------------------------------|
| p. Between the sea and the nearest public road? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| q. Existing or proposed provisions for public access to the shoreline? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| r. Public or commercial recreation facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| s. Visitor-serving facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| t. Existing or proposed public trail easements? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Explain all Yes answers below. Indicate whether the item applies to the project itself, the parcel on which it is located, or the immediate vicinity (attach additional sheets if necessary):

- i - Removing weeds & shrubs
- j - Minor Grading @ house pad & driveway
- k - ADDING TREES
- m - extend utilities From end of Sevilla - phone & cable & gas

5. Staff Use Only

California Coastal Commission Jurisdiction

A. Does the Proposed Project Involve:

1. A subdivision, Certificate of Compliance Type B, Use Permit, or Planned Agricultural District Permit?

<input type="checkbox"/> Yes	<input type="checkbox"/> No
------------------------------	-----------------------------
2. Construction or grading within 100 feet of a stream or wetland?

<input type="checkbox"/> Yes	<input type="checkbox"/> No
------------------------------	-----------------------------
3. A parcel located between the sea and the first public through road paralleling the sea; 300 feet from the inland extent of any beach or mean high tide line if there is no beach; or within 300 feet of the top of the seaward face of a coastal bluff?

<input type="checkbox"/> Yes	<input type="checkbox"/> No
------------------------------	-----------------------------

Yes to any one of the above means that the Coastal Development Permit is appealable to the Coastal

Commission; a public hearing is always required.

B. Does the proposed project involve lands below the mean high tide line and lands where the public trust may exist? (See "Post CCP Certification Permit and Appeal Jurisdiction Map).

- | | |
|------------------------------|-----------------------------|
| <input type="checkbox"/> Yes | <input type="checkbox"/> No |
|------------------------------|-----------------------------|

Yes to above means that the California Coastal Commission retains permit jurisdiction over all or part of the proposed project. A Coastal Development Permit from that agency is required.

Reviewed by: _____

Planning and Building Department

455 County Center, 2nd Floor • Redwood City, CA • 94063
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

Certificate of Exemption
or Exclusion from a Coastal
Development Permit

Permit #: PLN 2016-0053
Permit #: BLD _____

Permanent Record
Microfilming Required

1. Basic Information

Owner
Name: JC & DIANE MENELENDEZ
Address: PO Box 3508 Half Moon Bay
Zip: 94019
Phone, W: 831 229 0804
Email Address: _____

Applicant
Name: ERIC COX, PPE
Address: 1003 EDWARDS ROAD
BURLINGAME, CA 94010
Zip: 94010
Phone, W: 650 3438310 H: 650 6784815
Email Address: engineers@kewbcon.com

2. Project Information

Project Description:
New Single Family
Residence
Assessor's Parcel Number(s):
047-021-260

Existing water source:
Utility connection NOT CONNECTED
 Well _____
Proposed water source:
 Utility connection _____
 Well _____
Staking of well location and property lines are required.
 Provide site plan depicting location and all trees.
 Will this require any grading or vegetation/tree removal? Yes No
If Yes, additional permits may be required. Such as: Tree Removal Permit, Grading Permit, Land Clearing Permit, Coastal Development Permit.

3. Signatures

We have reviewed this form as completed above and the basis for this exemption or exclusion. The information herein and the basis for exemption or exclusion are true and correct to the best of our knowledge and we hereby agree to carry out this project in accordance with the terms of the exemption/exclusion category selected on reverse. We also understand and agree that any exemption or exclusion issued for a water well and/or storage tank in the single family exclusion area will be invalidated in the event the future house, the well, and/or storage tank requires a variance.

[Signature] _____ 4/13/16 _____ [Signature] _____ 11 APRIL 2016
Owner Date Applicant Date

(Both Owner and Applicant must sign unless this Application for Exemption or Exclusion accompanies a Building Permit Application for which the Applicant is an agent for the Owner acceptable to the Building Inspection Section.)

Staff Use Only

4. Basis of Exemption or Exclusion

Use attached review sheet to determine basis of exemption and whether project qualifies. Review basis of exemption with applicant/owner and initial appropriate category below:

Initial

- A. Improvements to Existing Single Family Residence. [PRC 30610(a), CCAG 13250, ZR 6328.5(a)]
- B. Improvements to Existing Structure Other Than Single Family Residence or Public Works Facility. [PRC 30610(b), CCAG 13253, ZR 6328.5(b)]
- C. Existing Navigation Channel. [PRC 30610(c), ZR 6328.5(c)]
- D. Repair or Maintenance Activity. [PRC 30610(d), CCAG 13252, ZR 6328.5(d)]
- E. Single Family Residence Categorical Exclusion Area. [PRC 30610(e), CCAG 13240, AB 643, ZR 6328.5(e)]
- F. Agriculturally-Related Development Categorical Exclusion Area. [PRC 30610(e), CCAG 13240, ORDERS E-79-7 and E-81-1, ZR 6328.5(e)]
- G. Utility Connections. [PRC 30610(f), ZR 6328.5(f)]
- H. Replacement of Structures Following Disasters. [PRC 30610(g), ZR 6328.5(g)]
- I. Emergency Activities. [PRC 30611, ZR 6328.5(h)]
- J. Lot Line Adjustment. [ZR 6328.5(l)]
- K. Land Division for Public Recreation Purposes. [ZR 6328.5(l)]

5. Well Inspection - All Coastal Zone Areas

- Required Not Required

Inspection made by: _____ Date of Inspection: _____

Yes	No
<input type="checkbox"/>	<input type="checkbox"/> Removal of trees?
<input type="checkbox"/>	<input type="checkbox"/> If Yes, is tree removal permit included?
<input type="checkbox"/>	<input type="checkbox"/> Trimming of trees?
<input type="checkbox"/>	<input type="checkbox"/> Excessive removal of vegetation?
<input type="checkbox"/>	<input type="checkbox"/> Excessive grading? (If Yes, CDP is required)
<input type="checkbox"/>	<input type="checkbox"/> Erosion control plan required?

- Approval of Permit is subject to the following: (check if applicable)
- Submittal and Approval of a Tree Removal Permit
 - Submittal and Approval of a Grading Permit
 - Submittal and Approval of an Erosion Control Plan
 - Submittal and Approval of a Coastal Dev. Permit

6. Approval

I have reviewed the above-described project and have determined that it meets all criteria for the exemption/exclusion checked above.

Exemption/Exclusion is approved.

 Planning Department Date

Project is subject to the following condition(s) of approval:

7. Processing

- Fee collected
- Original Certificate of Exemption to Building Inspection file.
- Copies of Certificate of Exemption to:
 1. Applicant/Owner.
 2. Planning Department Exemption Binder.

- 3. Any relevant Planning or Building Inspection files.
- 4. California Coastal Commission, 45 Fremont Street, Suite 2000, San Francisco, CA 94105
- Update Permit+Plan Case Screen and Activities

Environmental Information Disclosure Form

PLN 2016-0053
 BLD _____

Project Address: SEVILLA AVENUE X STREET
SONORA AVE EUCALYPTA
 Assessor's Parcel No.: 047-021-260
R-1
 Zoning District: S-17/DR

Name of Owner: JC & DIANE MENDOZA
 Address: P.O. Box 3508 Half Moon Bay
94019 Phone: 831 229 0804
 Name of Applicant: ERIC COX
 Address: 1003 EDWARDS ROAD
BURUDGAVILLE CA 94010 Phone: 650-343-8310

Existing Site Conditions

Parcel size: 6079 SF

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation).

No development on the parcel, native & invasive weeds & shrubs, sloped site ~ 15% or less

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation: <u>210</u> c.y. Fill: <u>6</u> c.y.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

MINOR GRADING @ HOUSE PAD

Signature required on reverse →

2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
		a. Construction outside of the footprint of an existing, legal structure?
		b. Exterior construction within 100-feet of a stream?
		c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
		d. Land-use within a riparian area?
		e. Timber harvesting, mining, grazing or grading?
		f. Any work inside of a stream, riparian corridor, or shoreline?
		g. Release or capture of fish or commerce dealing with fish?
Please explain any "Yes" answers:		

3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
		a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u> If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
		b. <u>Land disturbance of 1 acre or more of area?</u> If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) prior to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

PERMITTING

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed:



(Applicant may sign)

Date: 11 APRIL 2016

Application for a Grading Permit

County Government Center • 455 County Center • Redwood City CA 94063
Mail Drop PLN 122 • 650 • 363 • 4161 • FAX 650 • 363 • 4849

Land Clearing Companion Page

Grading

Applicant's Name: ERIC COX

Primary Permit #: PLN2016-0053

Please fill out the general Planning Permit Application Form and this form when applying for a Grading Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

Land Clearing Operator

Name: N/A

Address _____

Zip: _____

Phone: _____

License #: _____

♦ Area to be cleared: _____ sq. ft.

♦ Average slope of area to be cleared: _____

♦ Type of vegetation to be removed: _____

♦ Disposal Site: _____

♦ Purpose of removal: _____

The land clearing plans must show:

- (1) Property lines.
- (2) Location of area to be cleared.

- (3) Existing structures
- (4) Erosion control measures.

Grading Operator

Name: PEARSON MORSE

Address: 720 AMBROSE DRIVE
SALINAS, CA

Zip: 93901

Phone: 831-236-4334

License #: 742182

Geotechnical Consultant

Name: JOSEPH MICHELLOCCI

Address: 1801 MURCHISON DRIVE
MILLBRAE, CA

Zip: 94030

Phone: 650-692-0163

License #: GE000593

Civil Engineer

Name: Ernie Cox

Address: 1003 EDWARDS ROAD
BURLINGAME, CA
Zip: 94016

Phone: 650 3438310

License #: 2A162

♦ Engineer's estimate of the quantity of materials to be moved:

cut: 182CY cubic yards

fill: 6CY cubic yards

Depth of cut: 6.70' MAX ft.

Depth of fill: 1.30' MAX ft.

♦ Haul site:

OX MOUNTAIN LANDFILL

♦ Purpose of grading:

NEW RESIDENCE & DRIVEWAY

♦ List Assessor's parcel numbers of any adjacent property owned by the owner or applicant, now or in the past:

—	—
—	—
—	—

The grading plans, 24"x36", prepared and signed by a civil engineer shall contain the following:

- (1) All of the proposed uses for which the proposed grading is necessary.
- (2) Boundary lines of the site.
- (3) If there is a proposed subdivision, each lot or parcel of land into which the site is proposed to be divided.
- (4) The location of any existing buildings, structures, easements or underground utilities on the property where the work is to be performed and the location of any buildings or structures on adjacent land within 50 feet of the proposed work.
- (5) Accurate contours showing the topography of the existing ground extending at least 10 feet outside all boundary lines of the project site.
- (6) Elevations, locations, extent and slope of all proposed final grading shown by contours. Location of any rock disposal areas, buttress fills, subdrains, or other special features to be included in the work.
- (7) A statement of the quantities of material to be excavated and/or filled and the amount of such material to be imported to, or exported from, the site.

- (8) Location and nature of known or suspected soil or geologic hazard areas.
- (9) Specifications, cross-sections, profiles, elevations, dimensions and construction details based on accurate field data.
- (10) Construction details for roads, watercourses, culverts, bridges and drainage devices, retaining walls, gabion walls, cribbing, dams, and other improvements existing or to be constructed, together with supporting calculations and maps.
- (11) Approximate boundaries of any areas with a history of flooding.
- (12) Location, width, direction or flow and approximate location of top and toes of banks or any watercourse.
- (13) General location and character of vegetation covering the site, including all trees proposed to be removed and all trees 12" dbh within 20 feet of the area to be disturbed.
- (14) Name and registration number of the registered California civil engineer under whose direction the grading plan is prepared.

PLN 2016-00153

Certificate of Compliance Type A (for parcel legalization)

Companion Page

1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Certificate of Compliance Type A. You must also submit all items listed below.

2. Basic Information

Civil Engineer/Land Surveyor (only if required)

Name: ERIC COX

Phone: 650-343-8310

Address: 1003 EDWARDS ROAD

PULLYOCAME, CA Zip: 94010

License #: C24162

3. Project Information

Street/road frontage or closest access:

SEVILLA ROAD X SONORA
E.G.

Existing development/uses on property:

NONE

Water supply:

well water district: COAST SIDE W/D

Sewage disposal:

septic sanitary district: GIRASOLA SANITARY DIST

Does legalization sought match current Assessor's Parcel boundaries? YES

4. Application Requirements

- Fees
- Land Division history, tracing history of parcel(s), including previous parcel(s) of which it is a part, back to last legal parcel or to its original creation. History shall include :
 - (1) the date the subject parcel was first created;
 - (2) all deed references (Document # or Volume/Book/Page);
 - (3) a map depicting the parcel boundaries; and
 - (4) a chain of title narrative that traces all such deed

- history from the parcel's initial creation to the present (current owner), with graphics references, where necessary, on accompanying maps
- If this legalization is triggered by the Witt/Abernathy cases, consult the 1-8-2010 "Legalization of Parcels" policy.
- Topographic and Boundary Survey of Parcel(s)
- Building permit history on the house or other principal use may be required, obtainable from the Building records or the "parcel history" from the Assessors Office.

NOTE: If, upon review of the Type A application, it is determined that a Type B Certificate of Compliance is required, a topographic and boundary survey will be required, as well as other possible property improvements and planning applications.



PLN2016-00153

PROJECT:
SINGLE-FAMILY HOME
SEVILLA AVENUE, EL GRANADA

COLORED FRONT ELEVATION

KEMBCON ENGINEERS
CIVIL AND STRUCTURAL ENGINEERS
P.O. BOX 389
MILLBRAE, CA 94030
VOICE 650.343.8310
FAX 650.343.8312
EMAIL: engineers@kembcon.com

COLOR &
MATERIALS
BOARD

1



HOUSE ENTRY ELEVATION

COLOR & MATERIALS BOARD	2
-------------------------------	---



FRONT PORCH ELEVATION

COLOR & MATERIALS BOARD	3
-------------------------------	---



ROOF SHINGLES

COLOR & MATERIALS BOARD	4
-------------------------------	---



HARDIE SHINGLE WOOD SIDING

COLOR & MATERIALS BOARD	5
-------------------------------	---



ANDERSEN WINDOWS & DOORS
SERIES 100

COLOR & MATERIALS BOARD	6
-------------------------------	---



EL DORADO ARCHITECTURAL
STONE VENEER
WEATHER EDGE

COLOR & MATERIALS BOARD	7
-------------------------------	---



STAMPED CONCRETE DRIVEWAY
AND PATIO FINISH

COLOR & MATERIALS BOARD	8
-------------------------------	---



SOLAR ENERGIZED
PATHWAY & GARDEN
LOW WATTAGE LIGHTS

COLOR & MATERIALS BOARD	9
-------------------------------	---



LOW WATTAGE WALL
HANG LIGHTS

COLOR & MATERIALS BOARD	10
-------------------------------	----



LOW WATTAGE PORCH
CEILING HANG LIGHT

COLOR & MATERIALS BOARD	11
-------------------------------	----



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EXPLORE SHINGLE COLOR OF THE YEAR >

EXPLORE SEASONAL COLOR PAIRINGS >

SELECT BY COLOR BLENDS

- BLACKS >
- GRAYS >
- BROWNS >
- REDS >
- BLUES >
- GREENS >

SELECT BY

- PERFORMANCE FEATURES >
- PRICE RANGE >



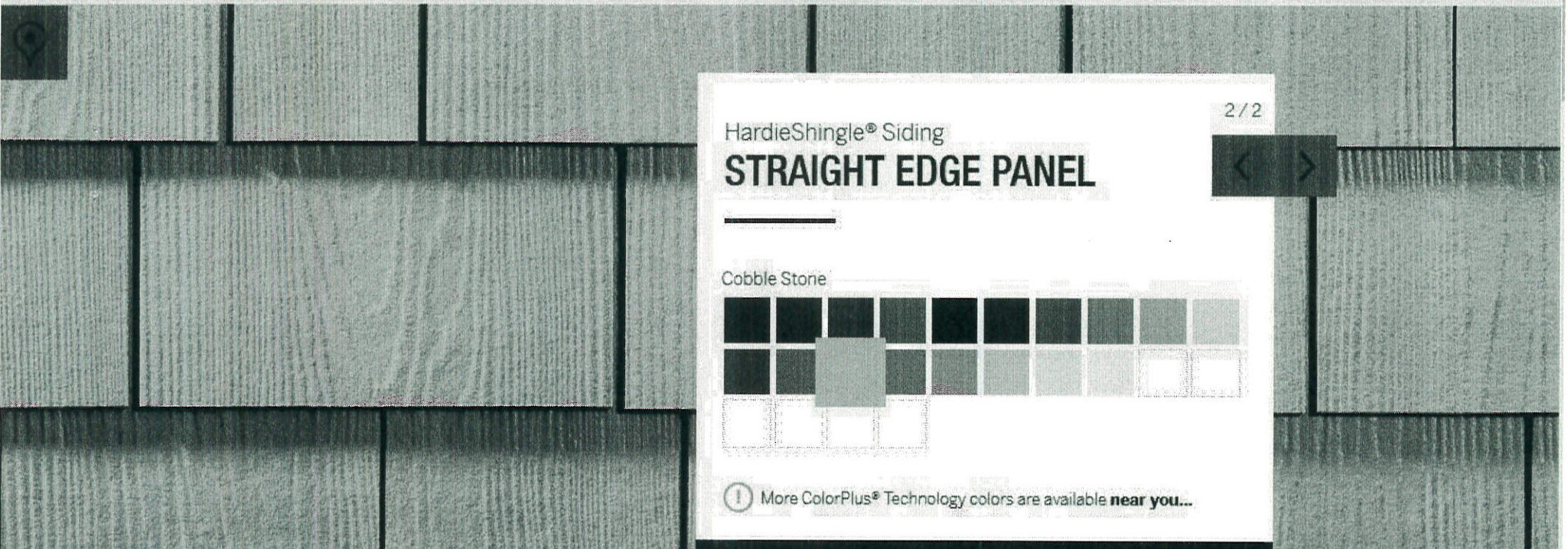
COLOR AND DESIGN

WHY HARDIE?

PRODUCTS

START YOUR PROJECT

PRODUCT SUPPORT

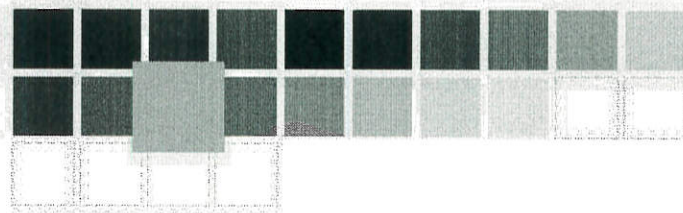


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2 / 2



Cobble Stone



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WINDOWS

DOORS

IDEAS & INSPIRATION

PARTS & SUPPORT

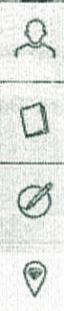
FOR PROS



100 Series - The Smart Alternative To Vinyl

Our budget-friendly series is engineered with Fibrex® composite material for durability, sustainability and energy-efficiency. It's twice as strong as vinyl and provides low-maintenance exteriors with clean corners for a refined look.





STEP 1. PICK YOUR DESIGN STYLES(S)

Traditional Modern

MY SELECTIONS

DESIGN:

SHAPE:

COLOR:

STYLE:

REGION:

VIEW THESE STONES

STEP 2. PICK YOUR DESIGN SHAPE(S)

Rectangular Linear Irregular Round



STEP 2. PICK YOUR DESIGN SHAPE(S)

Rectangular Linear Irregular Round

STEP 3. PICK YOUR COLOR HUE(S)

Blacks Earthen Browns White and Tans Creams and Golds

Burgundies Greys

MY SELECTIONS

DESIGN:

SHAPE:

COLOR:

STYLE:

REGION:

VIEW THESE STONES ▶





Keyword / Item #



Live Chat

Empty

CHECKOUT



Install

Help

Samples

Photo Gallery

Project Ideas

Industry

Testimonials

About Us

- SALE
- CLEARANCE
- QUICK SHIP PRODUCTS

SHOP BY STYLE

- ▶ Brick
- ▶ Rock / Stone
- ▶ Wood

SHOP BY PRODUCT

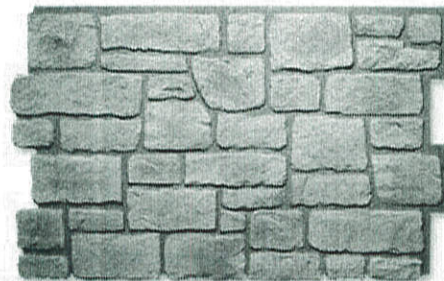
- ▶ Panels / Siding
- ▶ Corners
- ▶ Ledgers
- ▶ Window / Door Trim
- ▶ Columns / Posts
- ▶ Mailboxes
- ▶ Accessories

SHOP BY PANEL LINE

- ▶ Regency Panels
- ▶ Norwich Panels
- ▼ Carlton Panels
 - View All
 - Brick
 - Fieldstone
 - Cobblestone**
 - Ledgestone
 - Castle Rock
 - Wellman Panels

You are at Home > Carlton > Cobblestone

Carlton Cobblestone Tall Panels



CLOSEUPS >

DIMENSIONS >

MORE INFO >

Select color



D.Sky



Harvest



Smoke



Dakota



Limestone



S.Sand



S.Tan

\$107.59 each panel

Model:

CP-CS-PN-DB

Color:

Dakota Blend

Production Time:
Approx. 2 to 3 weeks

Quantity:

1

ADD TO CART

CHECKOUT

+ ADD TO WISHLIST

SPECIFICATIONS

DESCRIPTION

NEEDED FOR INSTALL

ACCESSORIES

SAMPLE

REVIEWS

Specifications of Carlton Cobblestone Dakota Blend Panel:

STAMPED CONCRETE

Bringing Life to a Dull World

HOME PHOTO GALLERY VIDEOS

FIND A CONTRACTOR BY POSTAL CODE

Bringing you by ConcreteNetwork.com

PHOTO BY: SUPERSTONE INC

PATTERNS & DESIGNS

- Most popular patterns
- Color schemes
- Where to get design ideas
- Five budget-friendly ideas
- Photos of basic designs
- Photos of elaborate designs

COST

- Stamped concrete cost
- Comparison chart: Stamped concrete vs. other paving materials
- How stamped concrete adds value

INSTALLATION

- Is it a DIY project?
- Step-by-step overview
- Methods of coloring
- Concrete Stamping Products

STAMPED CONCRETE STEP-BY-STEP OVERVIEW

Installing stamped concrete is challenging. You may be able to manage pouring and placing the concrete with minimal issues, but if you don't get the imprinting process just right, you'll be left with a permanent slab that can be difficult and expensive to repair. The outcome of stamped-concrete-gone-wrong cannot be easily undone. The stamps need to align, the pattern needs to be laid properly, and the texture needs to take right. Add to the mix that the whole process is constrained by time--concrete dries quickly enough to give you only a small window to stamp in. Read about these stamped concrete installation dos and don'ts.

If you're not contemplating DIY stamped concrete, then you can be relieved to know you're leaving all these variables in the hands of an experienced contractor for your project. In that case, take a look at this overview of the stamped concrete process. It's not comprehensive enough for the DIY-er, but it will give you, as the homeowner or business owner, a basic idea of what will be done when your projects is stamped. Follow the links to read more details about each step.



- 1. Subgrade Preparation** The subgrade makes a big difference in the overall performance and structural integrity of the slab. It must be well-compacted which will help prevent drainage and can prevent soil erosion under the concrete. Read more about proper subgrade preparation.

▶ Regency Panels

▶ Norwich Panels

▼ Carlton Panels

View All

Brick

Fieldstone

Cobblestone

Ledgestone

Castle Rock

▶ Wellington Panels

▶ Windsor Panels

▶ Nailon Siding

▶ Novi Siding

▶ York Siding

▶ Log Siding

▶ Woodland Panels



S.Tan

+ ADD TO WISHLIST

SPECIFICATIONS

DESCRIPTION

NEEDED FOR INSTALL

ACCESSORIES

SAMPLE

REVIEWS

Specifications of Carlton Cobblestone Dakota Blend Panel:

Model:	CP-CS-PN-DB
Line:	Carlton
Style:	Cobblestone
Color:	Dakota Blend
Type:	Panel
Edge Type:	Interlocking
Production Time:	Approx. 2 to 3 weeks
Material:	Polyurethane
Overall Dimensions:	48 1/4" Wide x 30 1/2" High x approx. 1" Thick
Coverage Dimensions:	45" Wide x 29 1/4" High
Stone Dimensions:	7" Wide x 4 1/2" High
Coverage:	Approx. 9.14 sq. ft.
Suggested Amount of Caulk / Glue:	For caulk: 1 tube for every 4 panels For glue: 1 tube for every 3 panels
Weight:	Approx. 11 lbs each panel
Exterior Use:	Weather Proof, near zero UV degradation
Interior Use:	Highly Durable, increases R-value
Area price: based on overall dimensions	Approx. \$10.53 / sq.ft.
Coverage price: based on coverage dimensions	Approx. \$11.77 / sq.ft.
Price per pound:	Approx. \$9.78 / lb.
Ships From:	Midwest Region

Compar.
Chart

Accessories

Photo
GalleryPanel
Selector

FAQ



Testimonials

Panel
CalculatorShipping
Quote

Installation

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A benefit of this panel is that the height makes a near perfect match to most Wainscotings and also fits under most standard windows. The ability to do this without having to use multiple panels or cutting, greatly reduces waste and install time.

▶ Regency Panels

▶ Norwich Panels

▼ Carlton Panels

View All

Brick

Fieldstone

Cobblestone

Ledgestone

Castle Rock

▶ Wellington Panels

▶ Windsor Panels

▶ Nailon Siding

▶ Novi Siding

▶ York Siding

▶ Log Siding

▶ Woodland Panels



+ ADD TO WISHLIST

SPECIFICATIONS

DESCRIPTION

NEEDED FOR INSTALL

ACCESSORIES

SAMPLE

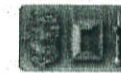
REVIEWS

Specifications of Carlton Cobblestone Dakota Blend Panel:

Model:	CP-CS-PN-DB
Line:	Carlton
Style:	Cobblestone
Color:	Dakota Blend
Type:	Panel
Edge Type:	Interlocking
Production Time:	Approx. 2 to 3 weeks
Material:	Polyurethane
Overall Dimensions:	48 1/4" Wide x 30 1/2" High x approx. 1" Thick
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Compar. Chart



Accessories



Photo Gallery



Panel Selector



FAQ



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▶ Regency Panels

▶ Norwich Panels

▼ Carlton Panels

View All

Brick

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Cobblestone

Ledgestone

Castle Rock

▶ Wellington Panels

▶ Windsor Panels

▶ Nailon Siding

▶ Novi Siding

▶ York Siding

▶ Log Siding

▶ Woodland Panels



S.Tan

+ ADD TO WISHLIST

SPECIFICATIONS

DESCRIPTION

NEEDED FOR INSTALL

ACCESSORIES

SAMPLE

REVIEWS

Specifications of Carlton Cobblestone Dakota Blend Panel:

Model:	CP-CS-PN-DB
Line:	Carlton
Style:	Cobblestone
Color:	Dakota Blend
Type:	Panel
Edge Type:	Interlocking
Production Time:	Approx. 2 to 3 weeks
Material:	Polyurethane
Overall Dimensions:	48 1/4" Wide x 30 1/2" High x approx. 1" Thick
Coverage Dimensions:	45" Wide x 29 1/4" High
Stone Dimensions:	7" Wide x 4 1/2" High
Coverage:	Approx. 9.14 sq. ft.
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Ships From:	Midwest Region

Compar.
Chart

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- ▶ Regency Panels
- ▶ Norwich Panels

▼ Carlton Panels

- View All
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▶ Nailon Siding

▶ Novi Siding

▶ York Siding

▶ Log Siding

▶ Woodland Panels



+ ADD TO WISHLIST

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DESCRIPTION

NEEDED FOR INSTALL

ACCESSORIES

SAMPLE

REVIEWS

Specifications of Carlton Cobblestone Dakota Blend Panel:

Model:	CP-CS-PN-DB
Line:	Carlton
Style:	Cobblestone
Color:	Dakota Blend
Type:	Panel
Edge Type:	Interlocking
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Material:	Polyurethane
Overall Dimensions:	48 1/4" Wide x 30 1/2" High x approx. 1" Thick
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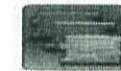
Compar. Chart



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Hampton Bay Model # MS14Mc-N2-CB-M10 ★★★★★ (126)

Solar Charcoal Brown LED Walk Light Set (10-Pack)

\$54.90



Specifications

Dimensions

Product Depth (in.)	4.33	Product Length (in.)	4.33 in
Product Height (in.)	15.62 in	Product Width (in.)	4.33 in

Details

Actual Color Temperature (K)	5000	Light Output (lumens)	2.4
Bulb Type Included	Integrated LED	Mounting Type	Ground
Color Rendering Index	65	Number of Bulbs Required	10
Color Temperature	Bright White	Number of Housings Included	10
Exterior Lighting Product Type	Walkway and Path Lighting	Outdoor Lighting Features	Dusk to Dawn, Weather Resistant
Fixture Color/Finish	Charcoal Brown	Power Type	Solar
Fixture Material	Stainless steel	Product Weight (lb.)	0.84lb
Glass/Lens Type	Clear	Returnable	90-Day
Included	No additional accessories	UL Listing	N-No UL Code Rating
Landscape Lighting Application	Walk & Path Lighting	Watt Equivalence	0.24

Warranty / Certifications

Certifications and Listings	No Certifications or Listings	Manufacturer Warranty	Two Year Limited Warranty
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Home Decorators Collection Model # HRR1691L ★★★★★ (10)

Lake Worth Oil-Rubbed Bronze LED Outdoor Wall Lantern

\$49.97



- Uses LED 10-Watt light source
- Durable aluminum construction with hand painted finish gives a sophisticated look
- 80 CRI
- Bright white color temperature
- [Click here for more information on Electronic Recycling Programs](#)

Instructions / Assembly

Warranty

You will need Adobe® Acrobat® Reader to view PDF documents. Download a free copy from the Adobe Web site.

Specifications

Dimensions

Product Depth (in.)	10.5	Product Length (in.)	10.13
Product Height (in.)	9.88	Product Width (in.)	10.38

Details

Actual Color Temperature (K)	3000	Number of Bulbs Required	0
Bulb Type Included	Integrated LED	Outdoor Lighting Features	Dark Sky,Weather Resistant,Weather Resistant
Color Rendering Index	80	Package Quantity	1
Color Temperature	Bright White	Power Type	Hardwired
Exterior Lighting Product Type	Outdoor Sconces	Product Weight (lb.)	1.39lb
Fixture Color/Finish	Oil-Rubbed Bronze	Returnable	90-Day
Glass/Lens Type	No glass/lens	Style	Modern



Feedback



Home Decorators Collection Model # HD-1200-LED ★★★★★ (0)

Oil-Rubbed Bronze Outdoor LED Medium Pendant with Clea...

\$89.98



Product Overview

Brentwood Exterior LED medium outdoor pendant, finished in Oil Rubbed Bronze and clear glass with an amber glass candle in the cente, reminiscent of turn-of-the-century detailing with today's technological advantages.

- Includes one 14-Watt LED lamp with an output of 980 Lumens, 90 CRI and 2700 +/- 100 color temperature
- Lamp height is 19 in., diameter is 9 in.
- Hardware and instructions are included for easy assembly and installation
- ETL safety listing demonstrate this product has met minimum requirements of widely accepted product safety standards

Info & Guides

Warranty

You will need Adobe® Acrobat® Reader to view PDF documents. Download a free copy from the Adobe Web site.

Specifications

Dimensions

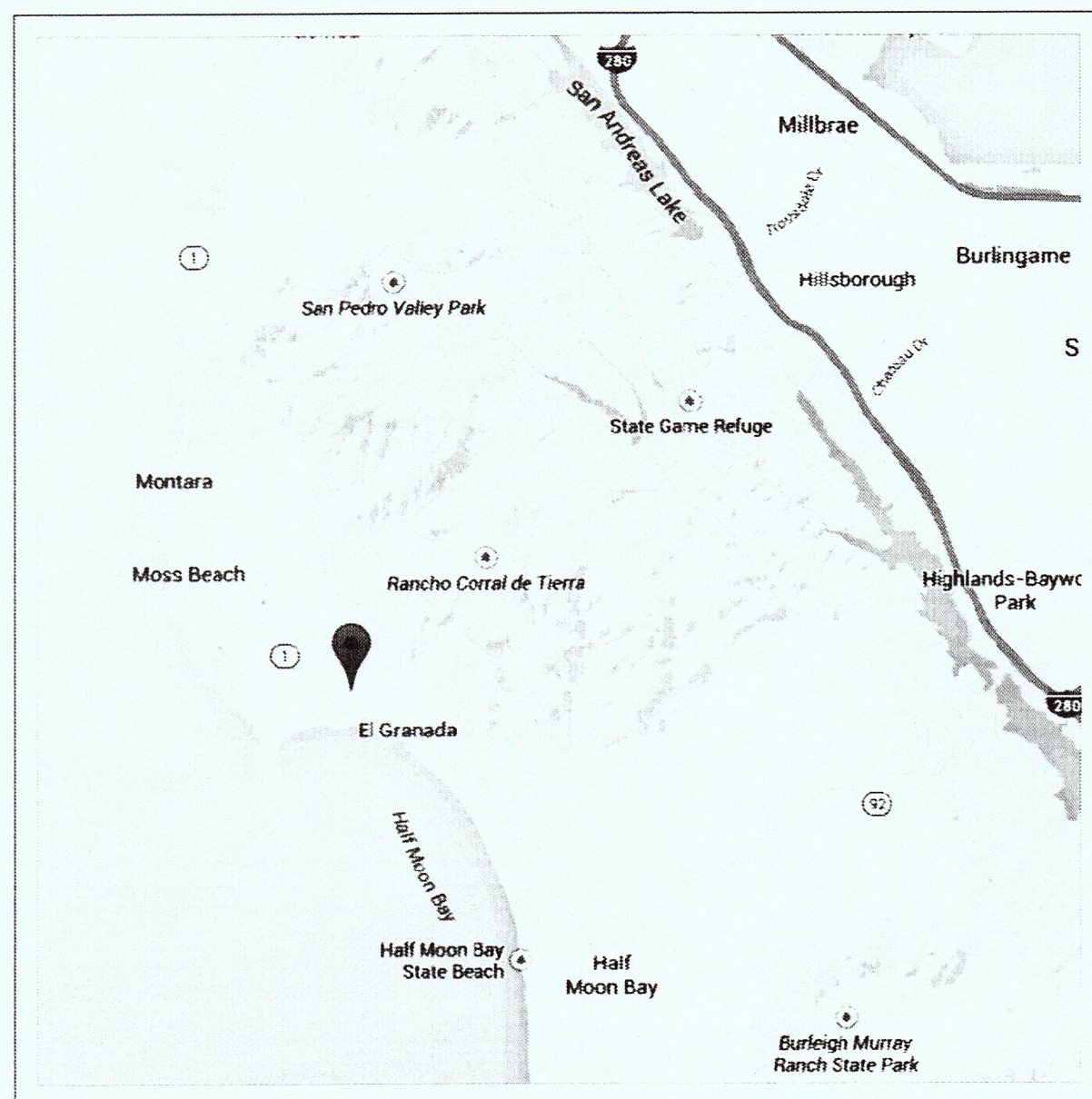
Assembled Depth (in.)	9.00 in	Product Depth (in.)	9
Assembled Height (in.)	14.50 in	Product Height (in.)	19
Assembled Width (in.)	9.00 in	Product Length (in.)	19
Maximum Hanging Length (in.)	88	Product Width (in.)	9

Details

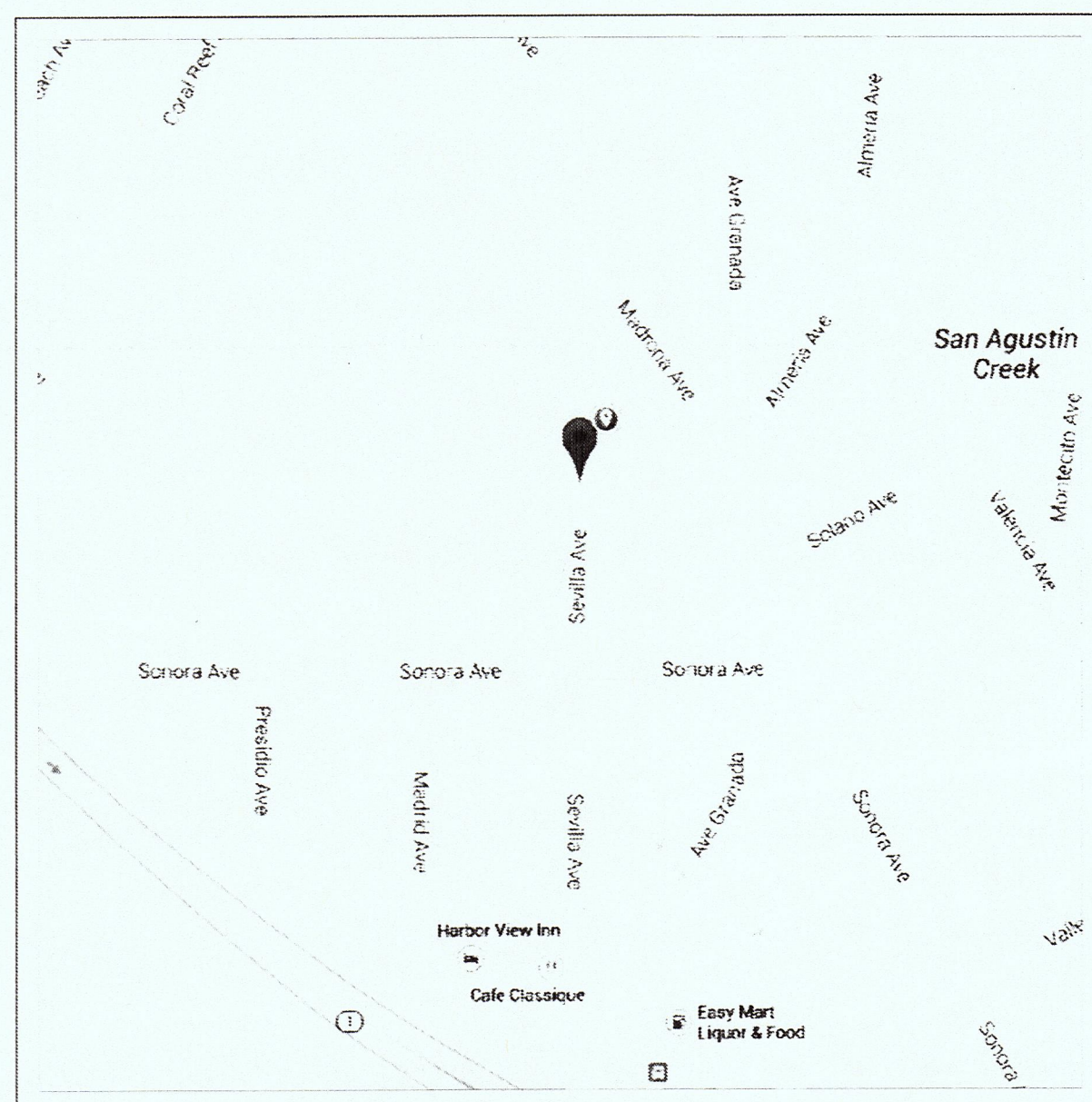
Actual Color Temperature (K)	2900	Light Output (lumens)	509
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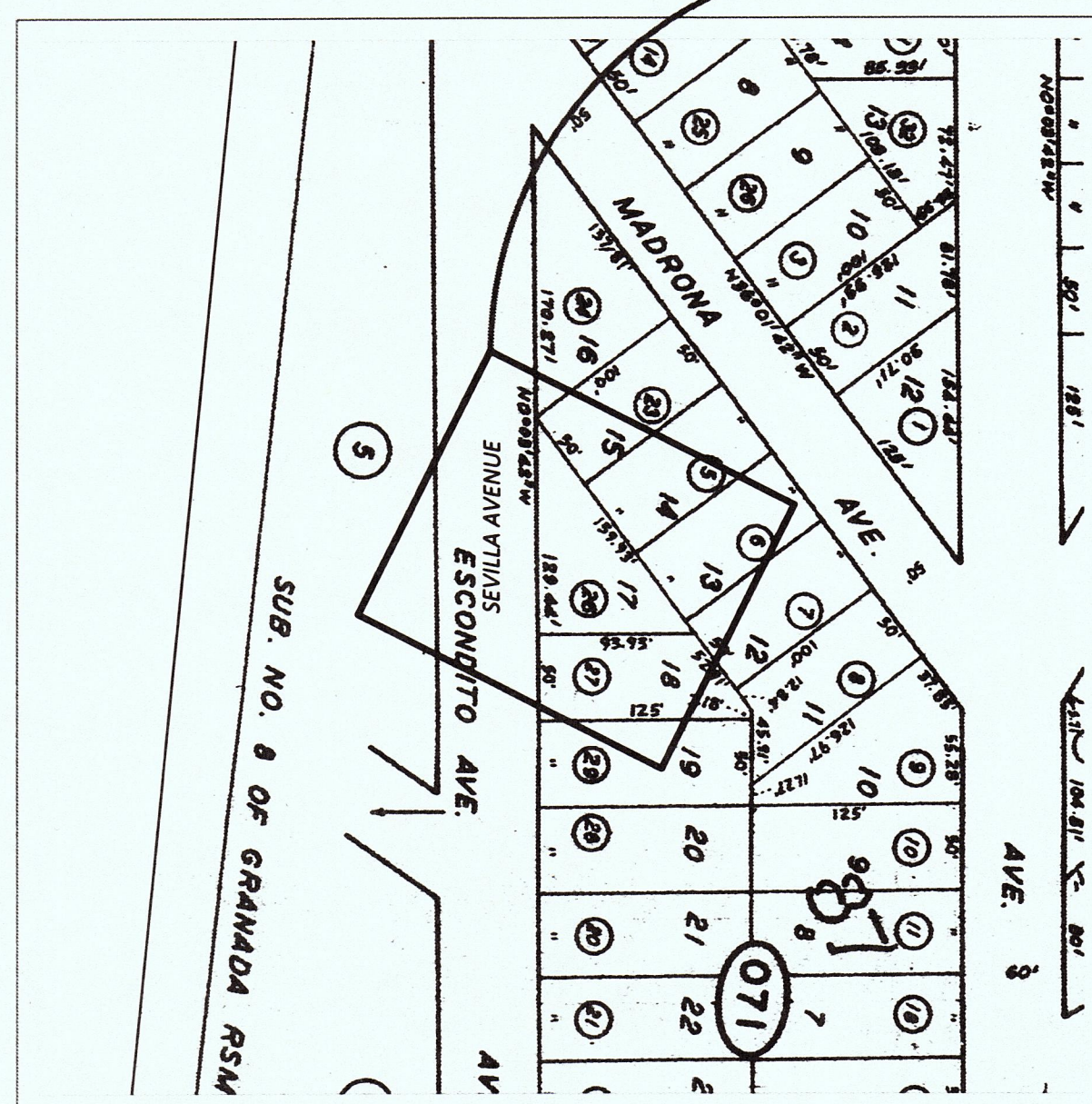
Feedback



1 VICINITY MAP
NTS



2 LOCATION MAP
NTS



3 PARCEL MAP
NTS

PROJECT DATA:

Site Address : Sevilla Ave. Granada, CA.
 Owner : Juan Carlos & Diane Menendez
 APN : 047-071-260
 Occupancy : Group R

Construction Type : V3
 Zone : R3
 Lot Size : 6,079 sf.
 Proposed Lot Coverage : 1,378 sf.
 Max allowed lot coverage : 1,378 / 6,079 = 22 %
 Conditioned Space : 2,173 sf.
 Max allowed lot coverage : 2,173 / 6,079 = 36 %

Conditioned Space : 2,173 / 6,079 = 36 %
 First Floor : 1,203 sf.
 Second Floor : +978 sf.
 Total = 2,181 sf.

Unconditioned Space : +728 sf.
 Total Area = 2,909 sf.

FAR = 2,909 / 6,079 = 47%

ARCHITECTURAL SYMBOLS:

- (E) WALL
- (N) WALL
- WALL TO BE REMOVED
- DASHED LINES, ITEM ABOVE OR BELOW, U.N.O.
- PROPERTY LINE

- SECTION MARK NO. REFER TO SAME SHEET
- DETAIL DRAWING NUMBER REFER TO THIS SHEET

- (E) EXISTING
- (N) NEW
- SSD SEE STRUCTURAL DETAILS
- DS DOWN SPOUT
- FD FLOOR DRAIN

SCOPE OF WORK:

1. New Single Family Residence.

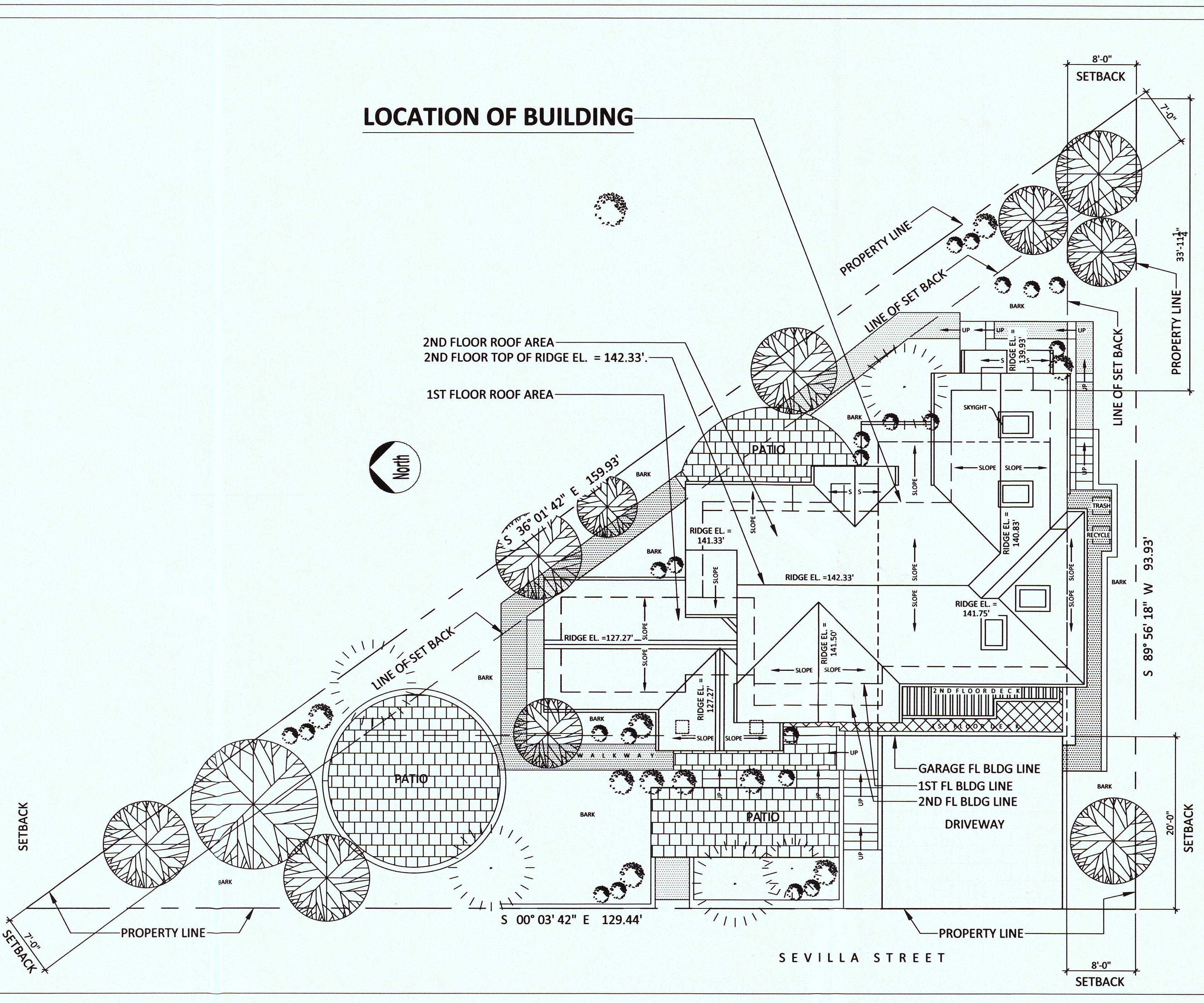
INDEX:

ARCHITECTURAL

- A0: SITE & NOTES
- A0.1: SITE DEVELOPMENT & AREA DISTRIBUTION & LANDSCAPE PLAN
- A0.2: ROOF PLAN & TOPOGRAPHY
- A1: FLOOR PLANS WITH TOPOGRAPHY
- A1.1: GARAGE FLOOR PLAN & FIRST FLOOR PLAN
- A2: SECOND FLOOR PLAN
- A3: ELEVATIONS
- A4: ELEVATIONS
- A5: SECTIONS

STRUCTURAL

- S0: STRUCTURAL NOTES
- S1: FOUNDATION PLAN AND GRADE BEAMS
- S1.1: CRIPPLE WALL PLAN
- S2: FIRST FLOOR FRAMING PLAN & WALLS BELOW
- S3: FIRST FLOOR BRACED WALLS & HEADERS PLANS
- S4: SECOND FLOOR FRAMING PLAN & WALLS BELOW
- S5: SECOND FLOOR BRACED WALLS & HEADERS PLANS
- S6: FIRST FLOOR & SECOND FLOOR CEILING FRAMING PLAN & WALLS BELOW
- S6.1: ATTIC BRACED WALL PLAN
- S7: ROOF FRAMING PLAN
- S8: DETAILS
- S9: DETAILS



4 THE SITE PLAN
1/8"=1'-0"

GENERAL NOTES:

1. The structural plans and calculations have been prepared for use by a knowledgeable builder.
2. All new construction shall conform to the California Building Code, 2013 Edition, and The County of San Mateo Building and Planning Codes.
3. Do not scale the drawings: if in doubt, call the engineer.
4. Roof live load is 20 psf, reduced for slope as applicable, floor live load is 40 psf, ceiling/attic live load is 10 psf.
5. The engineer of record is Eric Cox, R.S.E., an employee of Kembcon Engineers. Call him with any questions regarding the structure at 650 343 3810.

RECEIVED
MAR 30 2017
San Mateo County
Planning and Building Department

REVISIONS	BY

KEMBCON ENGINEERS
 CIVIL AND STRUCTURAL ENGINEERS
 P.O. BOX 389
 MILLBRAE, CA 94030
 VOICE 650.343.8310
 FAX 650.343.8312
 EMAIL: engineers@kembcon.com



24-Mar-17

PROPOSED NEW RESIDENCE
 # Sevilla Avenue,
 El Granada, CA. 94037

SITE & NOTES

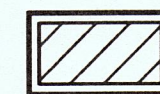

DATE:	Jan. 7, 2016
SCALE:	AS SHOWN
DRAWN:	AFT
SHEET:	A0

A0

PLAN 2016-00153

LEGEND & AREAS:

TOTAL LOT AREA: 6,079 SF


 BUILDING COVERAGE: 1,378 SF
 OPEN SPACE: 4,701 SF

HARDSCAPE: 1,820 SF

IMPERVIOUS AREAS:

 CONCRETE: 1,537 SF

PERVIOUS AREAS:

 GRASS TURF PAVERS: 404 SF
 70 % CONCRETE 283 SF
 30 % GRASS 121 SF

SOFTSCAPE: 2,764 SF

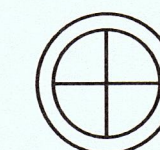
 BARK: 2,459 SF
 TREES (NEW) NO EXISTING: 105 SF
 CALIFORNIA FESCUE: 96 SF

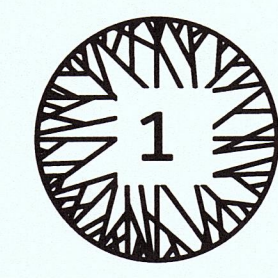
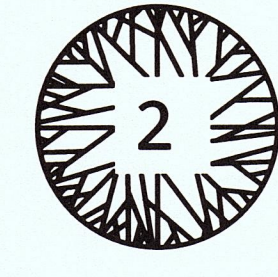




TOTAL HARDSCAPE & SOFTSCAPE = 4,701 SF

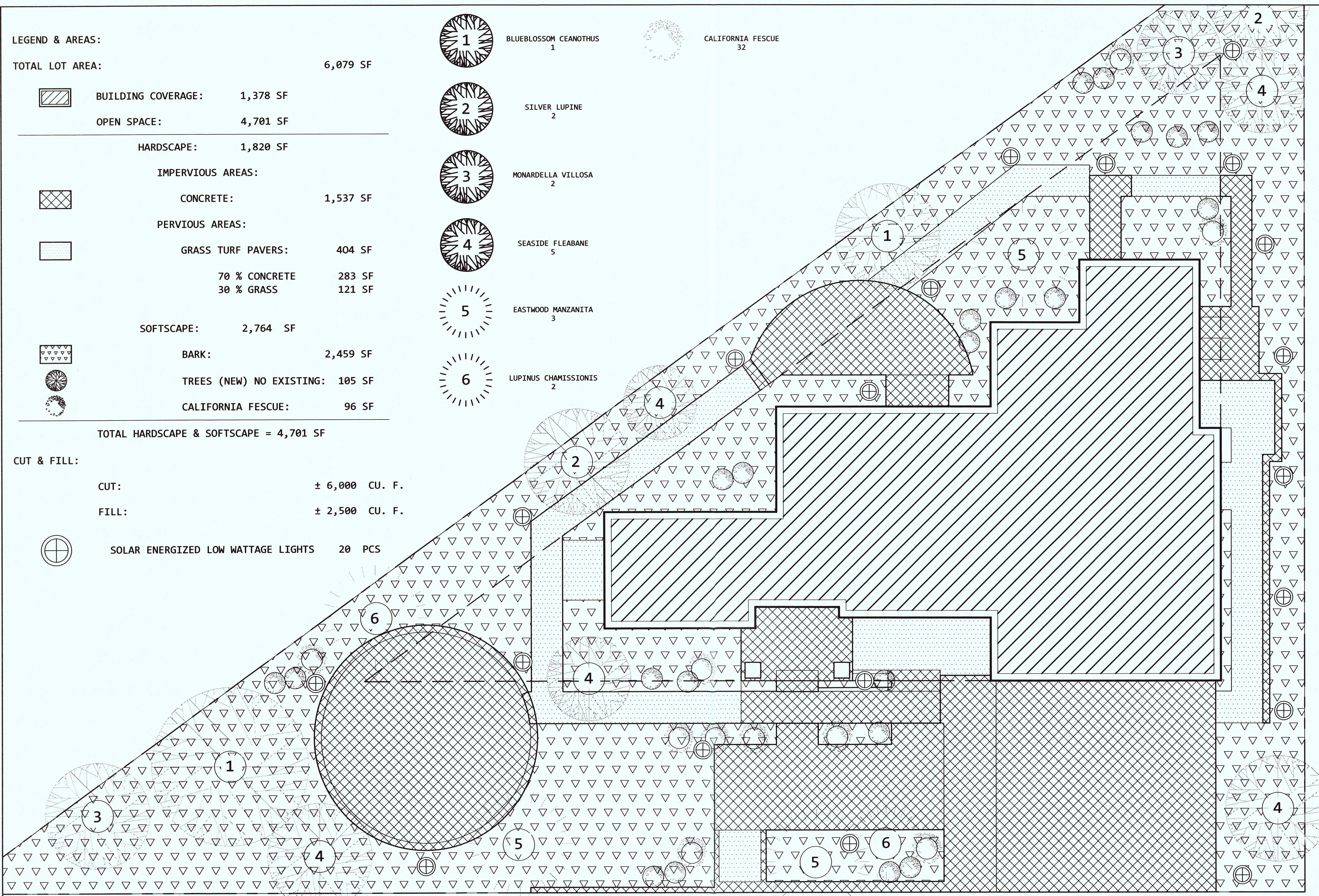
CUT & FILL:

CUT: ± 6,000 CU. F.

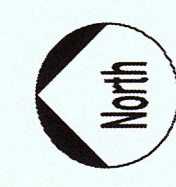
FILL: ± 2,500 CU. F.

 SOLAR ENERGIZED LOW WATTAGE LIGHTS 20 PCS

-  1 BLUEBLOSSOM CEANOTHUS 1 CALIFORNIA FESCUE 32
-  2 SILVER LUPINE 2
-  3 MONARDELLA VILLOSA 2
-  4 SEASIDE FLEABANE 5
-  5 EASTWOOD MANZANITA 3
-  6 LUPINUS CHAMISSONIS 2



1 SITE DEVELOPMENT / AREA DISTRIBUTION / LANDSCAPE
 1/4"=1'-0"



REVISIONS	BY

KEMBCON ENGINEERS
 CIVIL AND STRUCTURAL ENGINEERS
 P.O. BOX 389
 MILLBRAE, CA 94030
 VOICE 650.343.8310
 FAX 650.343.8312
 EMAIL: engineers@kembcon.com



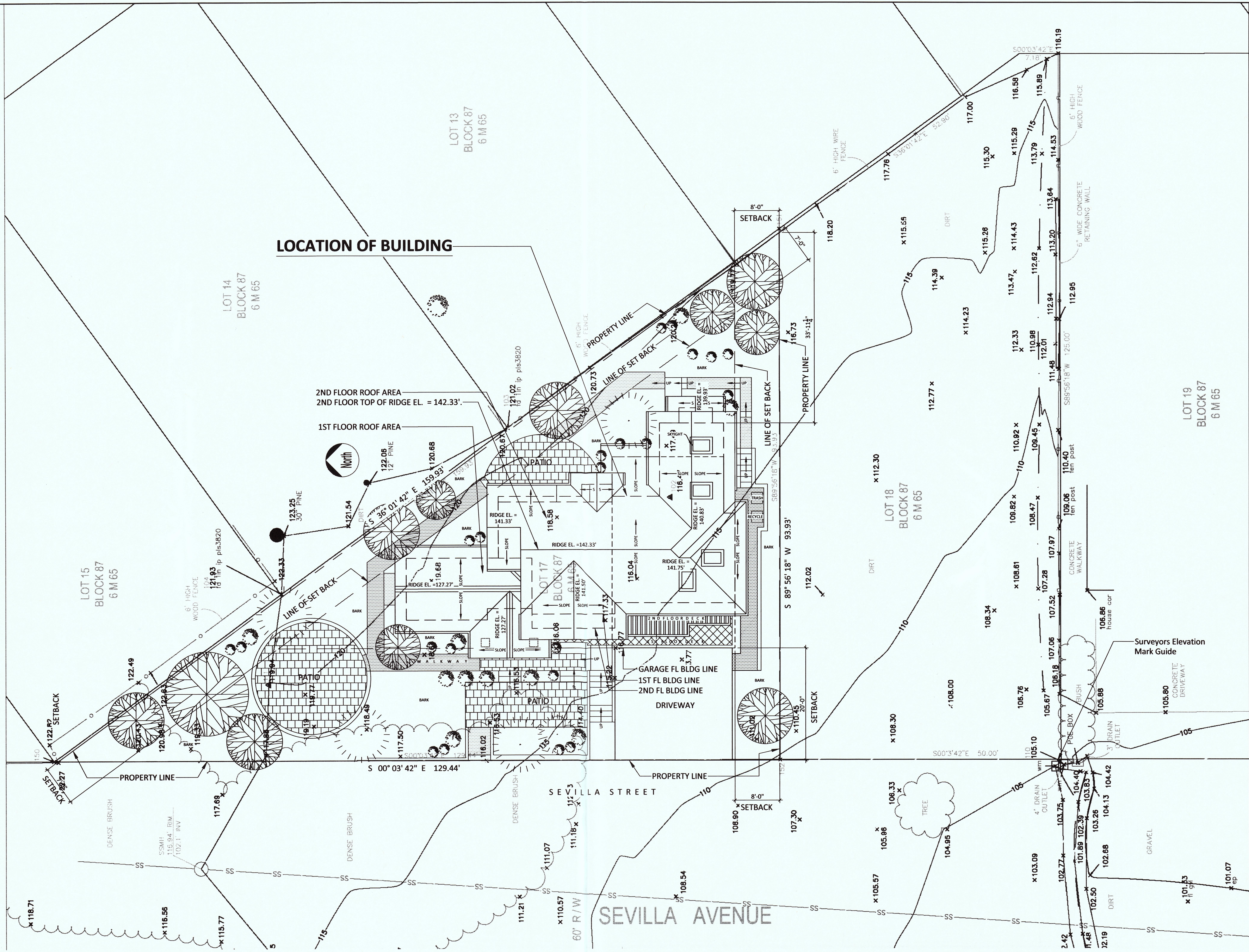
24-Mar-17

PROPOSED NEW RESIDENCE
 # Sevilla Avenue,
 El Granada, CA. 94037

**SITE DEVELOPMENT AND
 AREA DISTRIBUTION AND
 LANDSCAPE PLAN**

DATE: Jan. 7, 2016
 SCALE: AS SHOWN
 DRAWN: AFT
 SHEET:

A0.1



LOCATION OF BUILDING

1 ROOF PLAN WITH TOPOGRAPHY
1/8"=1'-0"

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CIVIL AND STRUCTURAL ENGINEERS
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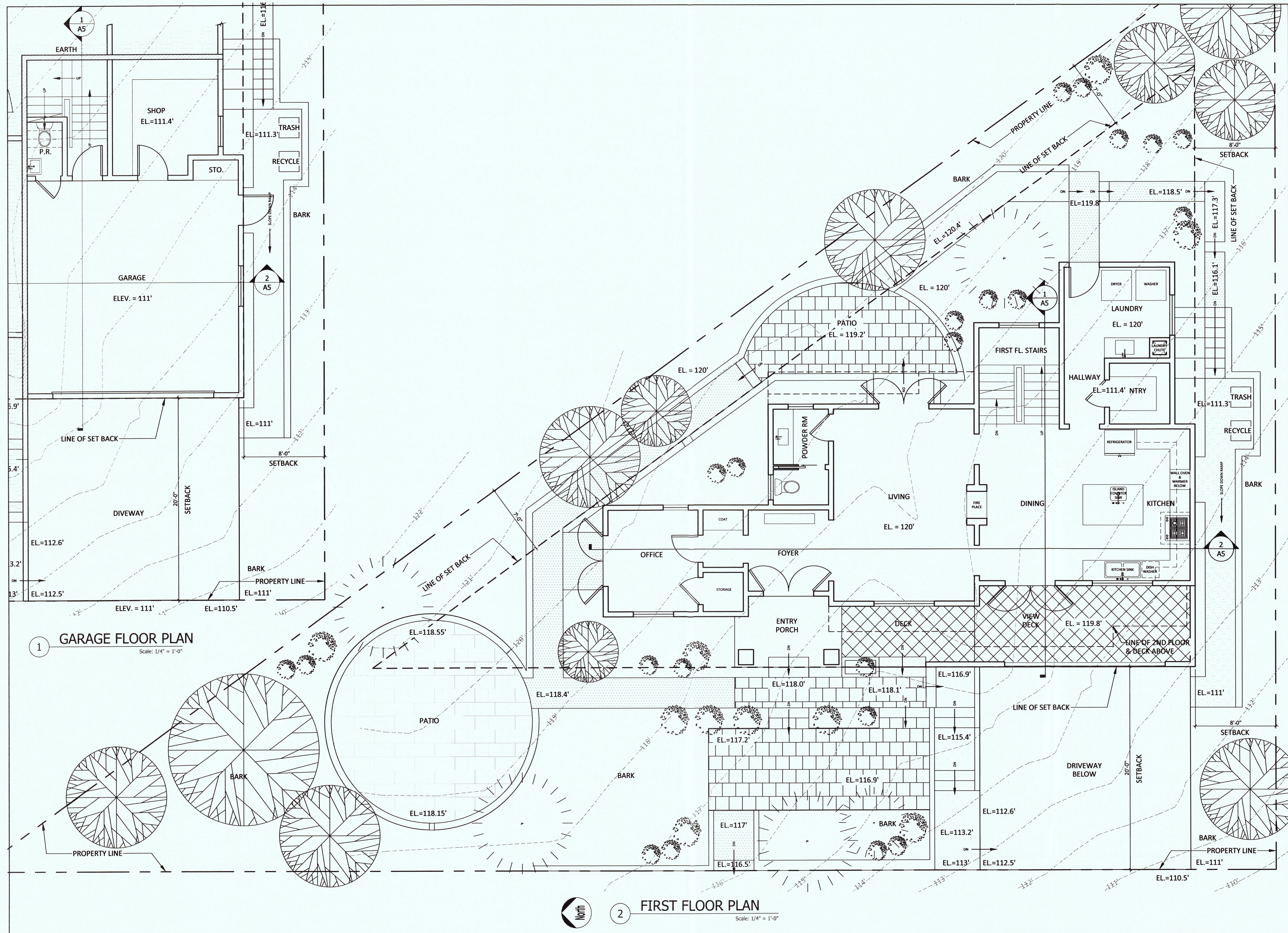
24-Mar-17

PROPOSED NEW RESIDENCE
Sevilla Avenue,
El Granada, CA. 94037

ROOF PLAN WITH TOPOGRAPHY

DATE: Jan. 7, 2016
SCALE: AS SHOWN
DRAWN: AFT
SHEET:

A0.2



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 FAX 650.343.8312
 EMAIL: engineers@kembcon.com



24-Mar-17

PROPOSED NEW RESIDENCE
 # Sevilla Avenue,
 El Granada, CA. 94037

**FIRST FLOOR PLAN
 & GARAGE FLOOR PLAN**

DATE: #####
 SCALE: AS SHOWN
 DRAWN: AFT
 JOB:

A1

REVISIONS	BY

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 CIVIL AND STRUCTURAL ENGINEERS
 1111 BRIDGEWAY, SUITE 100
 MILLBRAE, CA 94030
 VOICE 650.343.8310
 FAX 650.343.8312
 EMAIL: engineers@kembcon.com



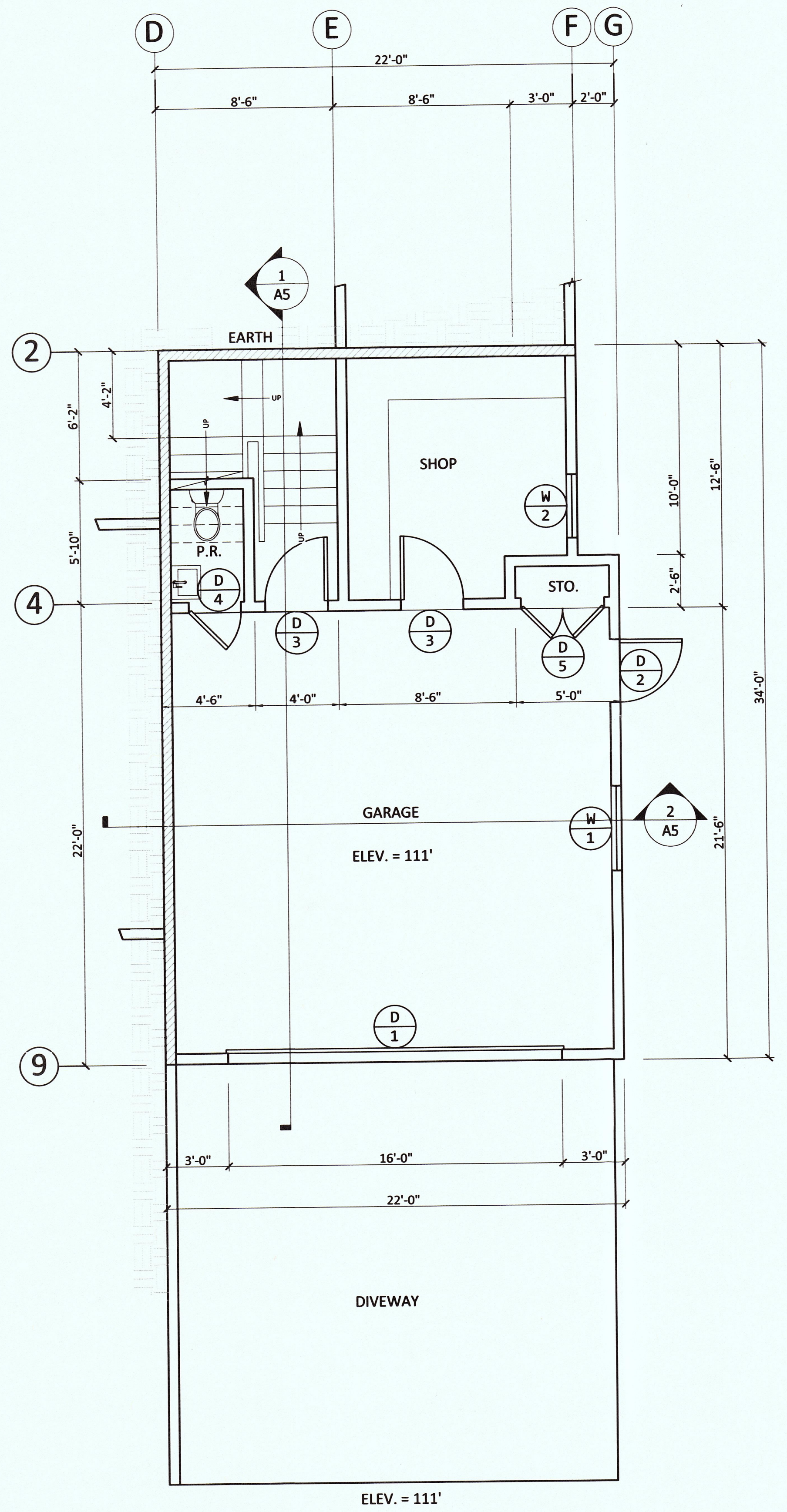
27-Mar-17

PROPOSED NEW RESIDENCE
 # Sevilla Avenue,
 El Granada, CA. 94037

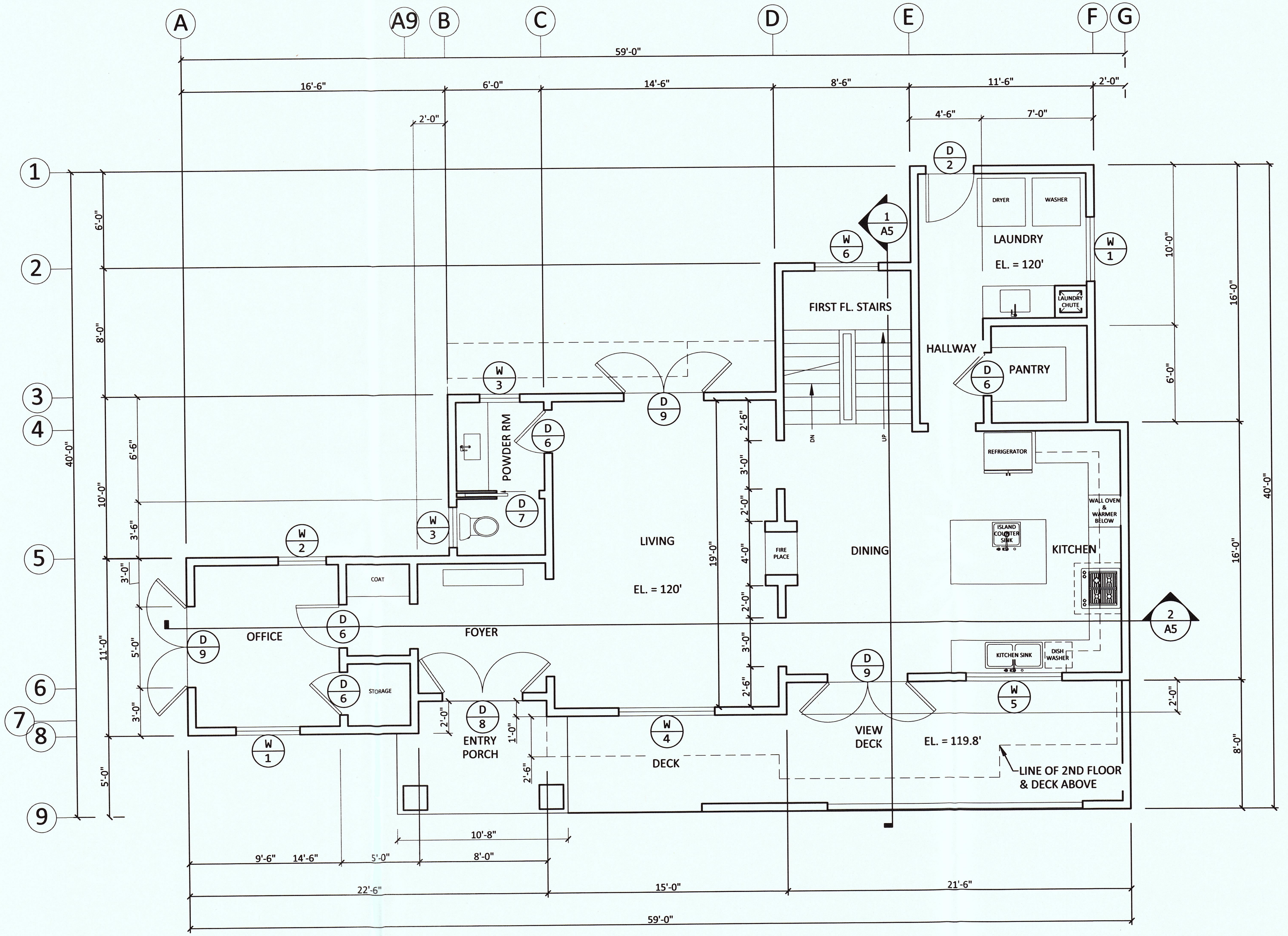
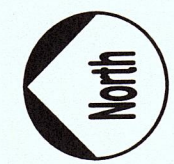
**FIRST FLOOR PLAN
 & GARAGE FLOOR PLAN**

DATE: #####
 SCALE: AS SHOWN
 DRAWN: AFT
 JOB:

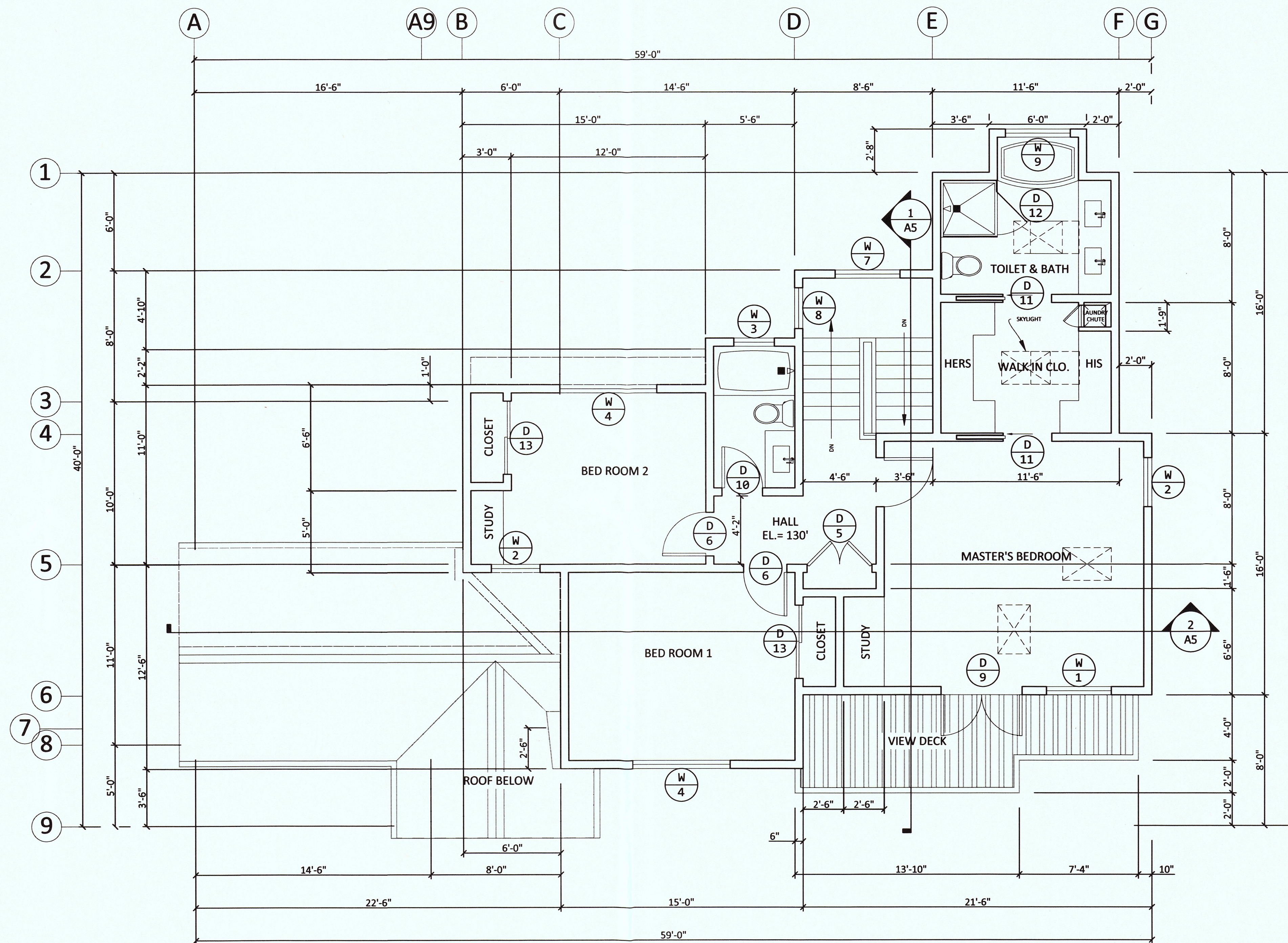
A1.1



1 GARAGE FLOOR PLAN
 Scale: 1/4" = 1'-0"



2 FIRST FLOOR PLAN
 Scale: 1/4" = 1'-0"



1 SECOND FLOOR PLAN

Scale: 1/4" = 1'-0"

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 FAX 650.343.8312
 EMAIL: engineers@kembcon.com



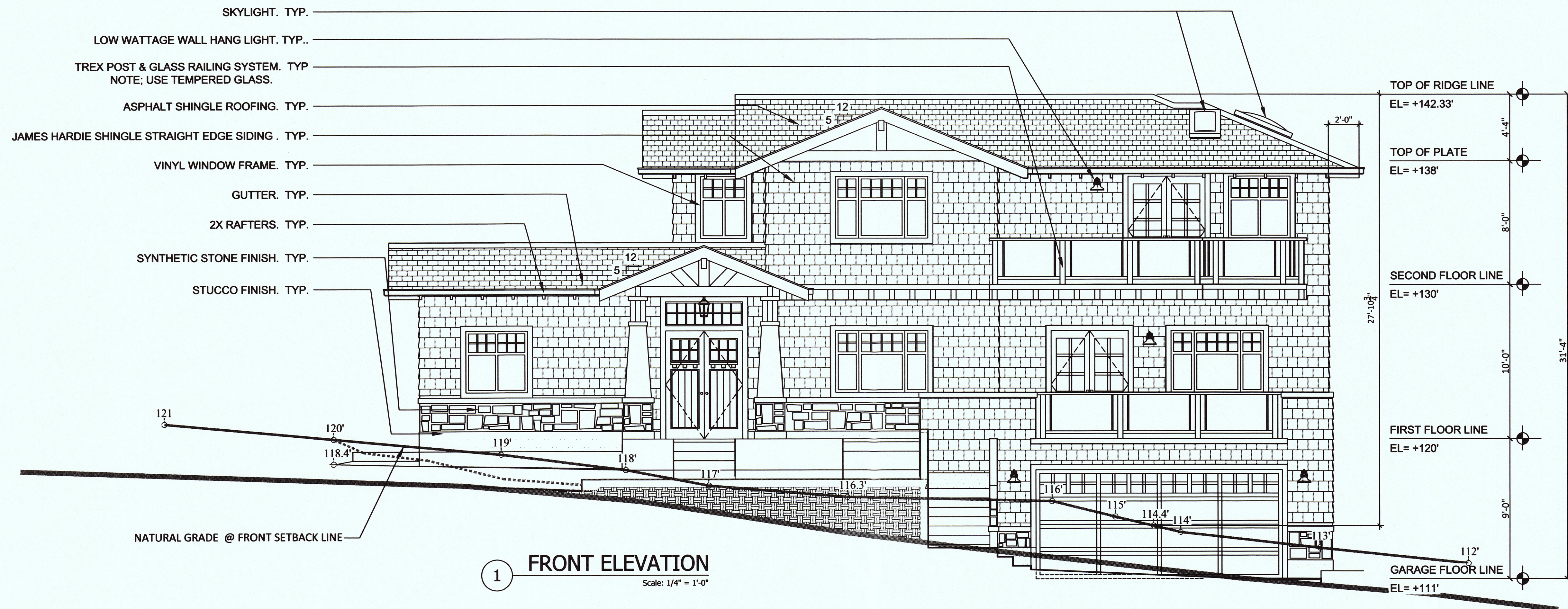
27-Mar-17

PROPOSED NEW RESIDENCE
 # Sevilla Avenue,
 El Granada, CA. 94037

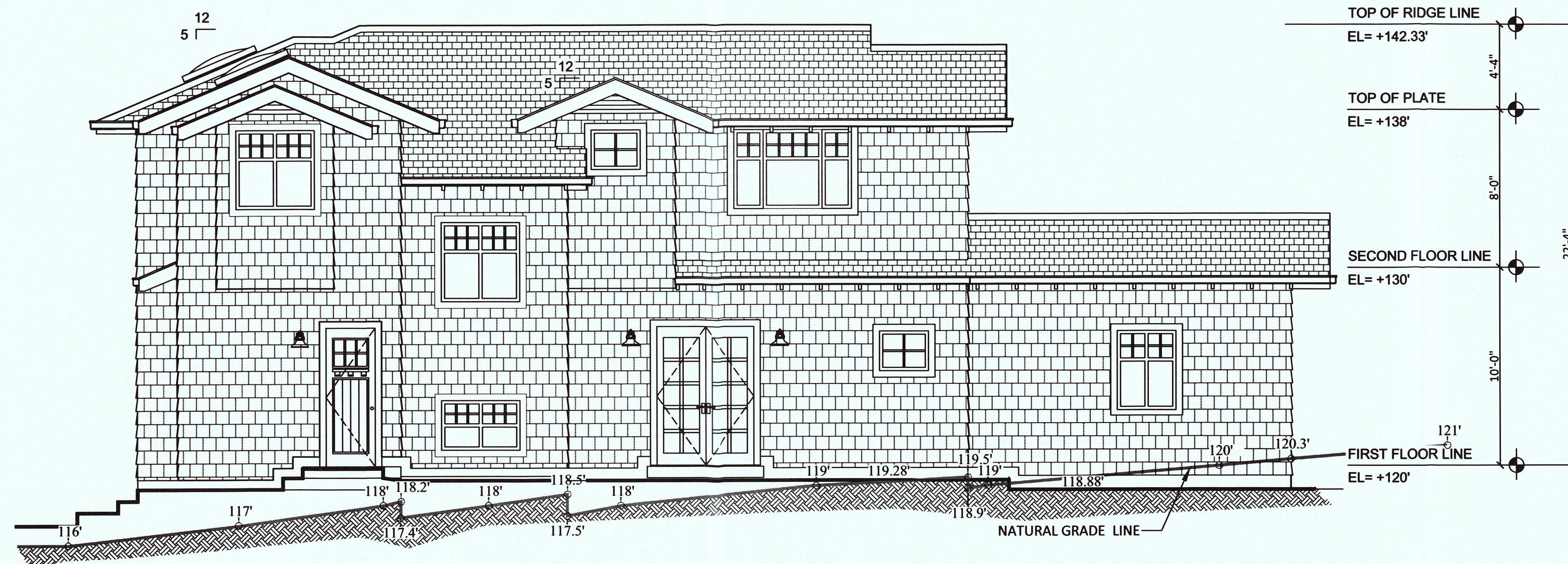
SECOND FLOOR PLAN

DATE: #####
 SCALE: AS SHOWN
 DRAWN: AFT
 JOB:

A2



1 FRONT ELEVATION
Scale: 1/4" = 1'-0"



2 REAR ELEVATION
Scale: 1/4" = 1'-0"

REVISIONS	BY

KEMBCON ENGINEERS
CIVIL AND STRUCTURAL ENGINEERS
P.O. BOX 389
MILLBRAE, CA 94030
VOICE 650.343.8310
FAX 650.343.8312
EMAIL: engineers@kembcon.com



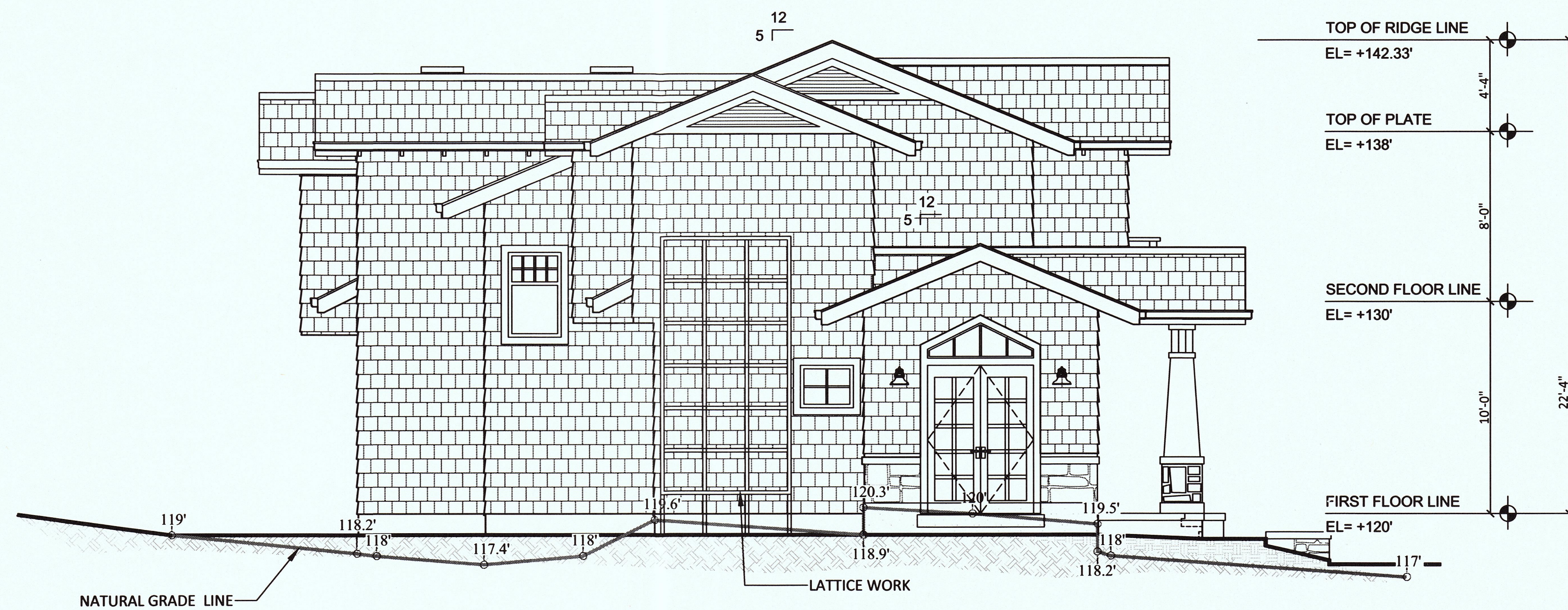
28-Mar-17

PROPOSED NEW RESIDENCE
Sevilla Avenue,
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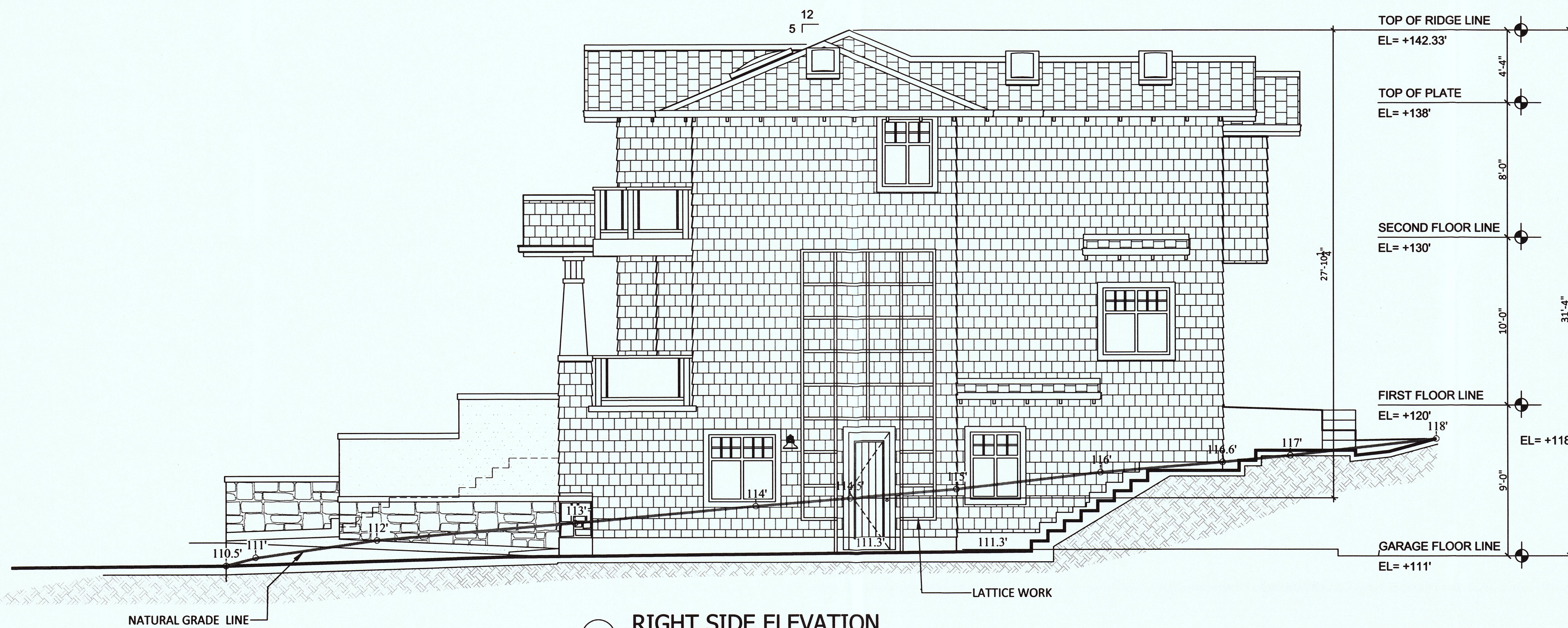
ELEVATIONS

DATE: Jan. 7, 2016
SCALE: AS SHOWN
DRAWN: AFT
JOB:

A3



1 LEFT SIDE ELEVATION
Scale: 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION
Scale: 1/4" = 1'-0"

REVISIONS	BY

KEMBCON ENGINEERS
CIVIL AND STRUCTURAL ENGINEERS
P.O. BOX 389
MILLBRAE, CA 94030
VOICE 650.343.8310
FAX 650.343.8312
EMAIL: engineers@kembcon.com



28-Mar-17

PROPOSED NEW RESIDENCE
Sevilla Avenue,
El Granada, CA. 94037

ELEVATIONS

DATE: Jan. 7, 2016
SCALE: AS SHOWN
DRAWN: AFT
JOB:

A4

REVISIONS	BY

KEMBCON ENGINEERS
 CIVIL AND STRUCTURAL ENGINEERS
 P.O. BOX 380
 MILLBRAE, CA 94030
 VOICE 650.343.8310
 FAX 650.343.8312
 EMAIL: engineers@kembcon.com



28-Mar-17

PROPOSED NEW RESIDENCE
 # Sevilla Avenue,
 El Granada, CA. 94037

SECTIONS

DATE: Jan. 7, 2016
 SCALE: AS SHOWN
 DRAWN: AFT
 JOB:

A5

