

Planning and Building Department

Application for Design Review by the County Coastside Design Review Committee

County Government Center ■ 455 County Center ■ Redwood City CA 94063
Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

Permit #: PLN 2016-00075

Other Permit #: _____

1. Basic Information

Applicant:

Name: Chris Ridgway Architect, Inc.

Address: 670 Poplar St

Half Moon Bay CA Zip: 94019

Phone: 650.622.8301 H: _____

Email: crarchitect@coastside.net

Owner (if different from Applicant):

Name: Mary Beveridge

Address: 1107 2nd Ave. #308

Redwood City CA Zip: 94063

Phone: 408.921.2428 H: _____

Email: beveridge.mary@gmail.com

Architect or Designer (if different from Applicant):

Name: same

Address: _____ Zip: _____

Phone, W: _____ H: _____ Email: _____

2. Project Site Information

Project location:

APN: 047.271.170

Address: Alhambra & Isabella

El Granada CA Zip: 94018

Zoning: R-3/S-3/DR/CD

Parcel/lot size: 5,276 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe): _____

3. Project Description

Project:

- New Single Family Residence: 2,877 sq. ft
- Addition to Residence: _____ sq. ft
- Other: _____

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

Describe Project:

Construction of a new wood-framed two-story residence & detached garage

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish	Check if matches existing
		(If different from existing, attach sample)	
a. Exterior walls	Stucco	Benjamin Moore "Cedar Key"	<input type="checkbox"/>
b. Trim	Stucco or wood	B.M. "Blanchard Brown"	<input type="checkbox"/>
c. Windows	Aluminum	Black Anodized	<input type="checkbox"/>
d. Doors	Aluminum	Black Anodized	<input type="checkbox"/>
e. Roof	Composition Shingles	Charcoal	<input type="checkbox"/>
f. Chimneys	n/a	n/a	<input type="checkbox"/>
g. Decks & railings	Aluminum	Black anodized	<input type="checkbox"/>
h. Stairs	No exterior	n/a	<input type="checkbox"/>
i. Retaining walls	n/a	n/a	<input type="checkbox"/>
j. Fences	single		<input type="checkbox"/>
k. Accessory buildings	n/a	n/a	<input type="checkbox"/>
l. Garage/Carport	Stucco	Benjamin Moore "Cedar Key"	<input type="checkbox"/>

5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

- (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Monica Luisa Beveridge
Owner:

[Signature]
Applicant:

2.19.16
Date:

2/19/16
Date:

Design Review Application Submittal Checklist

During the Design Stage, this checklist is intended to be used by the Applicant up to the time of the submittal of a complete application to the Current Planning Staff. This checklist is used to certify Pre-application Conference Attendance and to help the Applicant compile all the materials and information required for complete application submittal. At the time of project submittal, the Applicant should bring this checklist to the Planning Counter Staff, as this checklist will be used to review the completeness of the application submittal.

DESIGN STAGE

1. DESIGN SHALL CONFORM TO APPLICABLE REGULATIONS AND STANDARDS

The following samples are enclosed in this packet to illustrate materials required for application (see application requirements):

- a. *Maximum Building Heights in Unincorporated San Mateo County*
- b. *Survey Sample*
- c. *Sample Primary Building Elevation (Guidance for Presentation of Color and Exterior Material Samples)*

Other regulations and standards are available at the Planning and Building Department's Website and at the Planning Counter:

- a. *Midcoast Design Review Standards*
- b. *Design Review (DR) Zoning District Regulations (includes Bayside DR Standards and Required Findings for Permit Approval)*
- c. *Coastside Design Review Committee (CDRC) Policies on the Story Pole Installation and Major/Minor Modifications*

2. PRE-APPLICATION CONFERENCE REQUIREMENT

Prior to finalizing the design of a project in the Design Review District and submitting an application for Design Review, the project designer (which can be the owner) must participate in a pre-application conference with a planner. The purpose of the pre-application conference is to assure that the designer and owner are aware of the design standards, expectations, and application requirements of the County prior to finalizing the design of a project. Applications which have not been signed for certification of pre-application attendance are considered incomplete and will not be accepted by the Current Planning Section. Pre-application conferences may be arranged by appointment by calling 650/363-1825.

CERTIFICATION OF CONFERENCE ATTENDANCE

On June 24, 2015, the project designer/architect attended a pre-application conference in relation to the development project located at Ave. Alvarado E.G.

[Signature]
Planner

PPE 2015-0034
Pre-Application Case No.

Notes:

Note: Staff, please add pre-application project review notes as a parcel tag to the property.

APPLICATION STAGE

3. APPLICATION REQUIREMENTS

The following items are necessary for submittal of a complete application:

- a. Proof of owner's interest in property (copy of deed, tax bill, etc.).
- b. Completed Design Review Application Form.
- c. Owner's concurrence shall be provided if owner does not sign application.
- d. C.3 and C.6 Development Review Checklist (if project will result in 2,500 sq. ft. or more of impervious surface).
- e. Completed Environmental Information Form.
- f. Any required supplemental forms.
- g. Fees as set by resolution of the Board of Supervisors.
- h. A brief written explanation of how the design of the project conforms to the Design Review standards.
- i. Four (4) 8 1/2" x 11" color copies of exterior color/material (wall, trim, windows, accent). Include color chips from paint stores or manufacturers. Fire-rated materials are required in State Responsibility Areas (SRA) or Local Responsibility Areas (LRA). If specific materials are proposed, they must comply with this requirement.
- j. Five (5) full-scaled sets of preliminary drawings (not construction plans, minimum 18" x 24" paper size).
- k. One (1) set of 8 1/2" x 11" paper reproductions of site plan, floor plans, building elevations and cross section.

- I. Coastside Design Review Districts: Electronic file of plans (prefer PDF of vector drawings) on disc.

PLAN SETS SHALL INCLUDE THE FOLLOWING INFORMATION:

SURVEYS

- o A stamped topographical and boundary survey prepared by a licensed land surveyor or a registered civil engineer (minimum scale of 1 inch = 10 feet). A stamped boundary survey is required for additions located less than 5 feet from a minimum setback line.
- o Survey(s) shall show baseline elevation datum point and its elevation as established by a licensed land surveyor or engineer. This datum point shall be used during construction to verify the elevation of the finished floors relative to the existing natural grade of the site or finished grade depending on the applicable zoning district; garage slab, finished first floor, peak roof elevation.

SITE PLAN (Based on Survey)

- o Information Table on Title Sheet showing: Assessor's Parcel Number/Address, Zoning District, parcel size, square footage of structures (existing and proposed), lot coverage with calculations (maximum allowed and proposed), and floor area ratio (FAR) with calculations (maximum allowed and proposed).
- o Property Lines: Clearly defined and accurate, including their respective linear lengths.
- o All existing and proposed improvements (clearly differentiated), including buildings, structures, decks, paving, fences, walls, etc. If, in the case of additions, minimum setback compliance is proposed, a focused boundary survey shall be submitted confirming the exact location of the existing and proposed addition's distance to the closest property line.
- o Dimensions of all setbacks from the structure to the property line.
- o Any easements (public and private) and utility lines. Access easement should be deducted from lot area for purposes of lot coverage and floor area ratio (FAR).
- o Existing grade and proposed grade contour lines as they relate to finished floor levels. Define grading and areas of disturbance by shading.
- o Height and location of all existing and new fences and walls.
- o Location and type of new and existing utility lines (this may be provided on a separate Utility Plan).
- o Tree Plan showing:
 - o Bayside DR Districts (Emerald Lake Hills, Palomar Park, Devonshire): All existing trees 6" in diameter or 19" in circumference (significant trees). Number trees on plans and identify species/type.
 - o Outside of Bayside DR Districts: All existing trees 12" in diameter or 38" in circumference (significant trees). Number trees on plans and identify species/type.

- ◇ Trees to be removed, as marked with an "X." List type and size here or attach a list:
-

- ◇ An arborist report is required for trees proposed for removal on the basis of poor health, potential hazard, or when a tree is proposed to remain and within 5 feet of a proposed structure.

- o New houses in Emerald Lake Hills: The location of two (2) guest parking stalls is required. Guest parking stalls are recommended elsewhere. If the garage/carport is located less than 20 feet from front property line, site plan shall be expanded to show how guest parking will be accommodated on- and/or off-site to the satisfaction of the Department of Public Works.

BUILDING ELEVATIONS

- ✓ Minimum scale of 1/4 inch = 1 foot.
- ✓ Natural grade clearly indicated on elevation plans in relation to all exterior walls.
- ✓ Building heights (in feet with benchmark as the base reference) of all elevations, including garage, first floor and roof ridgelines.
- ✓ Front, sides, and rear building elevations: In cases of additions/alterations to existing buildings, the existing and proposed development shall be clearly differentiated.
- ✓ Show decks, exterior lights, and other structures or fixtures.
- ✓ Daylight Planes.
- ✓ Identify type of roof and exterior materials to be used. Include manufacturer's brochure, if available. Fire-rated materials are required in fire hazard severity zones (a list of approved materials is available at the Planning Counter).

FLOOR PLANS

- ✓ Show dimensions and floor area calculations of each floor.
- ✓ In cases of additions/alterations to existing buildings, the existing and proposed development shall be clearly differentiated.

- BUILDING CROSS SECTION:** Short and long cross sections showing maximum height, with elevation callouts of first floor, finished grade, and ridge height. Elevation callouts shall be consistent with the datum point provided on survey.

GRADING PLAN: *by hand*

- ✓ Include amounts of cut and fill in cubic yards. Total = Cut + Fill.
- o A soils report is required for grading permits. See Grading Regulations.

ROOF PLAN: Include ridgeline elevations.

ACCESS AND DRAINAGE PLANS (Required by the Department of Public Works):

- o Driveway profile (stipulating driveway slope), from centerline of roadway to garage slab: Minimum 20-foot wide access from the public road and driveway profile with a maximum slope of 20%.
- o Site Distance Study by civil engineer (required on a case-by-case basis).
- o Drainage Plans.

ADDITIONAL SUBMITTAL REQUIREMENTS:

LIGHTING:

- o ✓ Exterior lighting shall be minimized and designed with a specific activity in mind so that outdoor areas will be illuminated no more than necessary to support the activity designed for that area.
- o ✓ Include manufacturer's brochure(s) of all exterior light fixtures: Exterior lighting should be subdued and indirect, and glaring fixtures should be avoided. Low-level lighting directed at the ground is preferred.

LANDSCAPE PLAN:

- o ✓ Landscape/tree replacement plan, including the location, size and type of replacement trees to be planted. (Removal of any significant tree shall be replaced at a 1:1 ratio on the Coastsides and up to 3:1 in the Bayside Design Review Districts.)
- o ✓ Coastsides Design Review Districts: All landscaping shall be drought-tolerant, and either native or non-invasive plant species. This requirement does not apply to fruit or vegetable gardens. Landscape plans shall include provisions for watering plants as needed to ensure initial plant growth. Plantings appropriate for the coastal climate should be selected. Placement of landscaping shall present a natural appearance (e.g., avoid linear configurations) and provide a smooth transition between development and open areas (e.g., planting of various heights).

PROJECT NOTICING STAGE (10 DAYS PRIOR TO HEARING)

4. NOTICING REQUIREMENTS

Applicant will be mailed a "NOTICE OF DESIGN REVIEW" cards which SHALL be posted on your parcel, visible from the street beginning ten (10) calendar days prior to and remaining posted through the date of your confirmed Design Review Committee hearing.

Please indicate party responsible for posting the sign here: _____

5. STORY POLES

Story Poles are required for Coastsides projects. See "*Coastsides Design Review Committee (CDRC) Policies on the Story Pole Installation and Major/Minor Modifications*," which outlines story pole requirements.

San Mateo County Planning & Building Department

Maximum Building Heights in Unincorporated San Mateo County

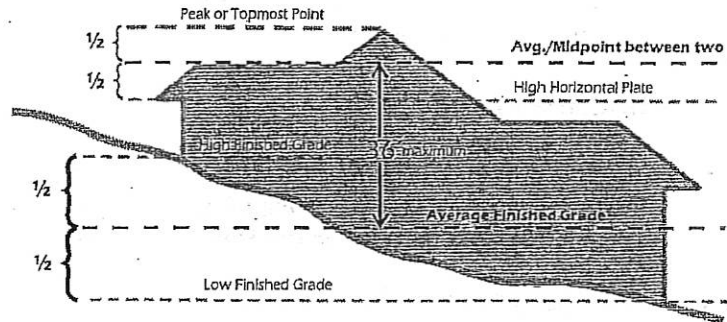
Heights Verification, per County procedures, is required for all homes, designed within 2 feet of the maximum height limit, and is required for all homes in Design Review Districts, regardless of proposed height. See Planner for additional information.

NOTE: All elevation exhibits shown below are intended only as examples to illustrate how height is generally calculated for the cited zoning districts; height compliance confirmation is applicable to all elevation plans (critical with variable topography). Always refer to the respective building height regulations for the applicable zoning district.

Zoning/Combining Districts: S-1 thru S-11, S-81, S-83, SS-103, S-108, RM RM-CZ, TPZ, TPZ-CZ, PAD:

35 ft./36 ft. Height Limit

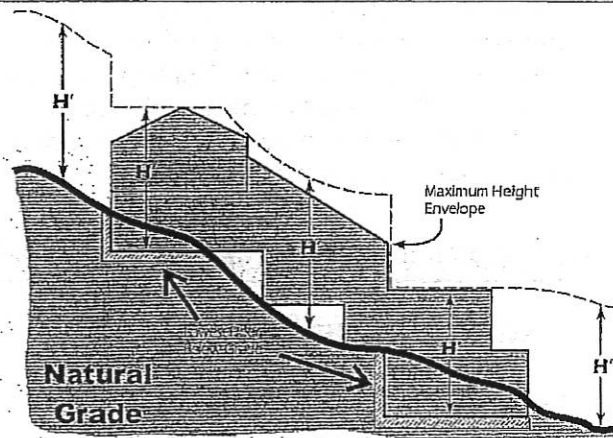
(Average Finished Grade to Average Roofline)



Zoning/Combining Districts: S-71, S-91, S-102, RH

28 ft. to 30 ft. Height Limit

(Natural Grade² or lowest floor below grade) to topmost point of the building immediately above).



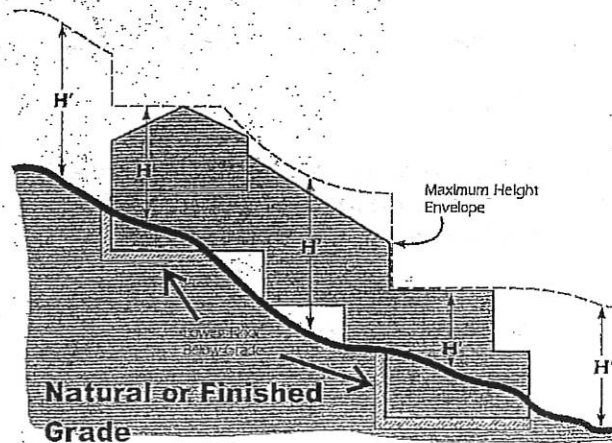
Zoning/Combining Districts: S-17, S-50, S-72 thru S-74, S-82, S-90, S-92 thru S-94, S-100, S-105

(Natural Grade² to topmost point of building immediately above).

28 ft. to 33 ft. Height Limit

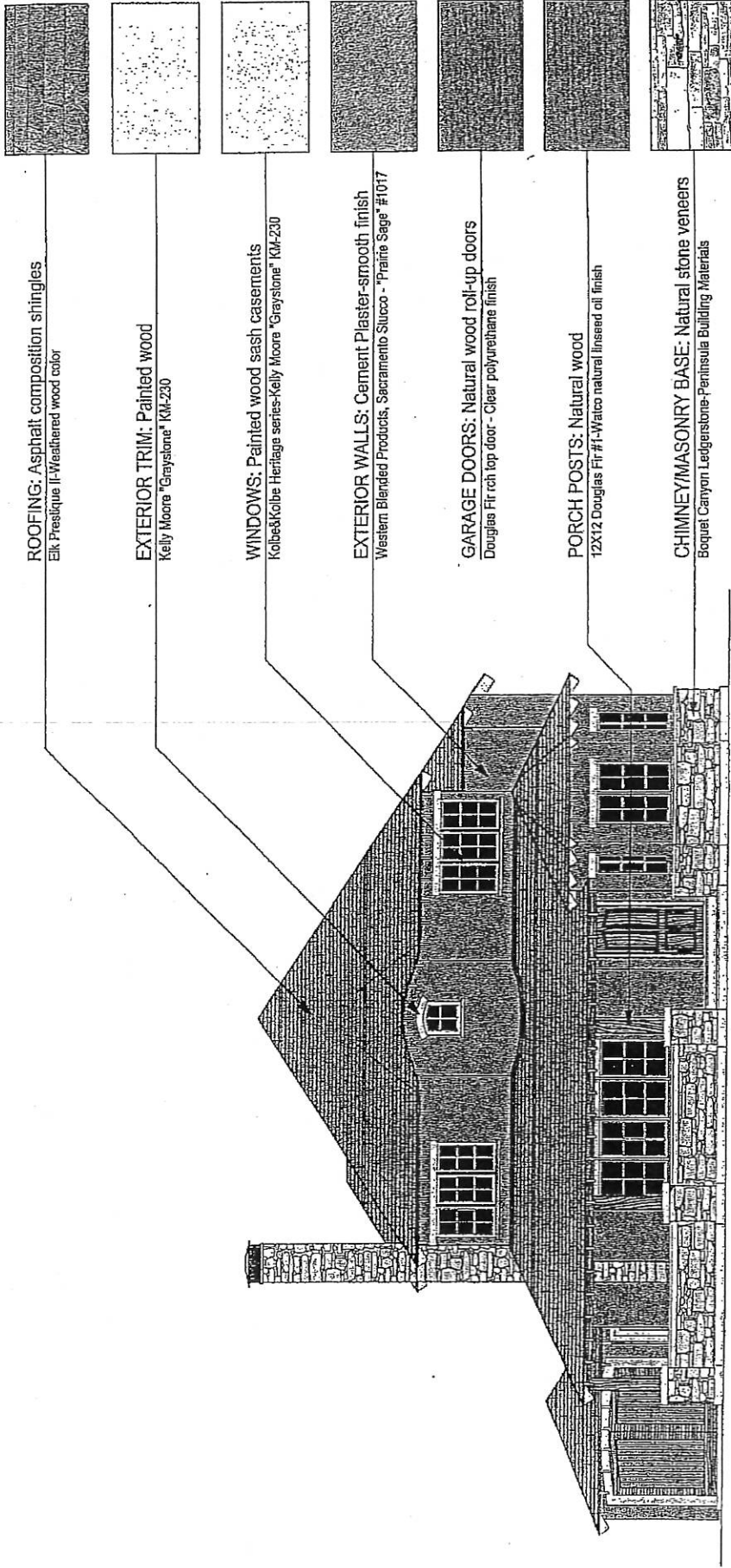
Zoning/Combining Districts: S-95, S-101, S-104, S-106, S-110

(Natural Grade² or Finished Grade¹ to topmost point of building immediately above, whichever is lower).



28 ft. to 30 ft. Height Limit

¹ Finished Grade (pursuit to sec. 6102.14) is defined as the topographic contours which result after completion of construction on the site. Average finished grade is the average level of the finished grade adjacent to building walls. The outer edges of projecting decks & balconies shall not be counted as "walls" if they are unenclosed below (supporting posts OK) & uncovered above. The average grade shall be calculated by topographic elevations noted at all building wall corners, noted both on the site plan & corresponding elevation plans.
² Natural Grade is defined as the topographic contours which exist prior to any disturbance related to construction on the site.



ROOFING: Asphalt composition shingles
Elk Prestique II-Weathered wood color

EXTERIOR TRIM: Painted wood
Kelly Moore "Graystone" KM-230

WINDOWS: Painted wood sash casements
Kolbe&Kolbe Heritage series-Kelly Moore "Graystone" KM-230

EXTERIOR WALLS: Cement Plaster-smooth finish
Western Blended Products, Sacramento Slucco - "Prairie Sage" #1017

GARAGE DOORS: Natural wood roll-up doors
Douglas Fir rch top door - Clear polyurethane finish

PORCH POSTS: Natural wood
12X12 Douglas Fir #1-Walco natural linseed oil finish

CHIMNEY/MASONRY BASE: Natural stone veneers
Boquet Canyon Ledgerstone-Peninsula Building Materials

SAMPLE PRIMARY BUILDING ELEVATION: Project Location

ABC Architects, Any Town, CA (650) 123-4567

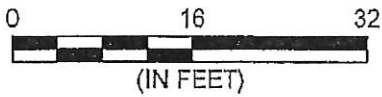
The colors and materials represented here have been approved by the San Mateo County Design Review Board. Please call (650) 363-4161 with any questions, comments, or concerns.
This is project #2003-0001. (psd/design review colors (dark wood).psd 7-12-04 .sw)

San Mateo County Planning & Building Department

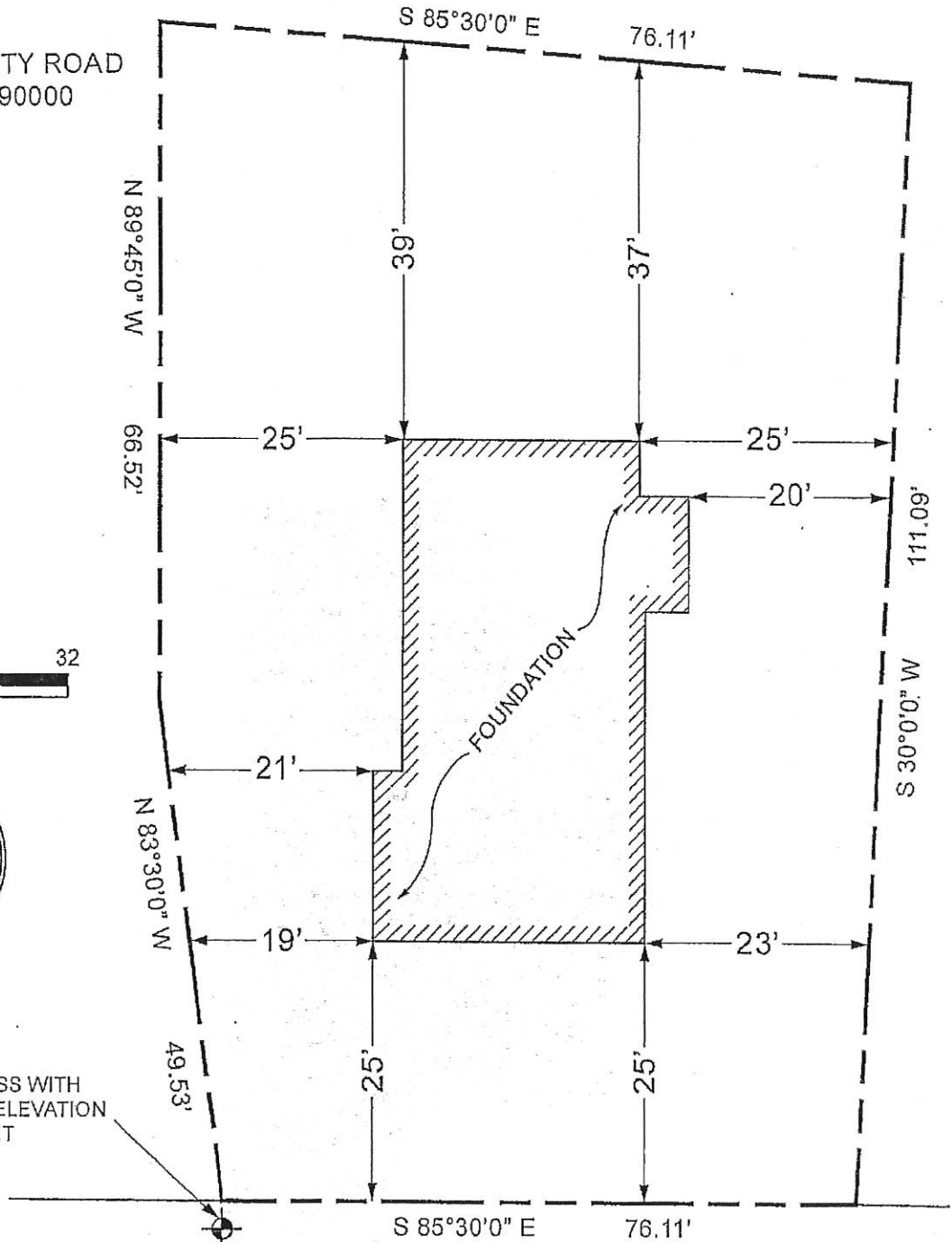
SURVEY SAMPLE

PROJECT SITE
12345 OLD COUNTY ROAD
ANYWHERE, CA 90000

APN
100-010-001



SCRIBED CROSS WITH
AN ASSUMED ELEVATION
OF 100.00 FEET



OLD COUNTY ROAD

COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT

Survey Requirements
(For: Survey Professional)

Project Address: _____

Assessor's Parcel Number: _____

The front of this property for survey purposes is:

A Survey is always required for new construction within 5 feet of a required setback. For other cases of when a Survey is required, please contact Planning and Building staff.

The minimal information needed on a Site Planning Survey varies depending on the project. Below is to help define the minimal information needed by the Planning and Building Department based on the type of project proposed, and can be passed to the appropriate licensed professional for clarification.

REQUIRED		
Yes	No	PROPERTY LINES
		Front
		Rear
		Right Side
		Left Side
		Other
		EXISTING DEVELOPMENT - A minimum of 2 dimensions must be clearly indicated from each property line required above to the nearest existing development.
		Residence: <input type="checkbox"/> front wall <input type="checkbox"/> rear wall <input type="checkbox"/> right wall <input type="checkbox"/> left wall <input type="checkbox"/> other
		Detached accessory building (garage, carport, storage shed, playhouse, other): <input type="checkbox"/> front wall <input type="checkbox"/> rear wall <input type="checkbox"/> right wall <input type="checkbox"/> left wall <input type="checkbox"/> other
		Detached accessory structure (gazebo, trellis, fence, retaining wall, play structure, swimming pool, other).
		Driveways, paved areas (e.g., patios, parking areas).
		Well and/or septic system.
		NATURAL ENVIRONMENT
		Trees ($\geq 6"$ d.b.h. in Emerald Lake Hills area or $\geq 12"$ d.b.h. in any residential zoning district), show actual diameter at breast height and dripline.
		Waterways
		Topographical contours; extent of topographical contours on-site.
		OTHER
		Benchmark with elevation identified (for height verification purposes). See Height Verification Handout for further details.



1. 2. 3. 4. 5. 6. 7. 8. 9. 10. 11. 12. 13. 14. 15. 16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. 27. 28. 29. 30. 31. 32. 33. 34. 35. 36. 37. 38. 39. 40. 41. 42. 43. 44. 45. 46. 47. 48. 49. 50. 51. 52. 53. 54. 55. 56. 57. 58. 59. 60. 61. 62. 63. 64. 65. 66. 67. 68. 69. 70. 71. 72. 73. 74. 75. 76. 77. 78. 79. 80. 81. 82. 83. 84. 85. 86. 87. 88. 89. 90. 91. 92. 93. 94. 95. 96. 97. 98. 99. 100.

Environmental Information Disclosure Form

PLN _____
BLD _____

Project Address:

Alhambra & Isabella
St Granada CA 94018

Assessor's Parcel No.: 047-271-170

Zoning District: R-3/S-3/DR/CD

Name of Owner: Mary Beveridge
Address: 1107 2nd Ave #308
RMC CA 94063 Phone: 1.408.921.2428
Name of Applicant: Chris Ridgway Architect, Inc
Address: 670 Poplar St
Half Moon Bay Phone: 650.622.6301

Existing Site Conditions

Parcel size: 5,276

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation).

Proposing a new wood-framed 2-story residence on a relatively flat lot... No easements, no creeks, natural vegetation..

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

| Yes | No | Will this project involve: |
|-----|----|---|
| | ✓ | a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft? |
| | ✓ | b. Construction of a new multi-family residential structure having 5 or more units? |
| | ✓ | c. Construction of a commercial structure > 2,500 sq.ft? |
| ✓ | | d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)?
If yes, how many trees to be removed? 5 |
| ✓ | | e. Land clearing or grading?
If yes, please state amount in cubic yards (c.y.):
Excavation: 125 c.y. Fill: 10 c.y. |
| | ✓ | f. Subdivision of land into 5 or more parcels? |
| | ✓ | g. Construction within a State or County scenic corridor? |
| | ✓ | h. Construction within a sensitive habitat? |
| | ✓ | i. Construction within a hazard area (i.e. seismic fault, landslide, flood)? |
| | ✓ | j. Construction on a hazardous waste site (check with Co. Env. Health Division)? |

Please explain all "Yes" answers:

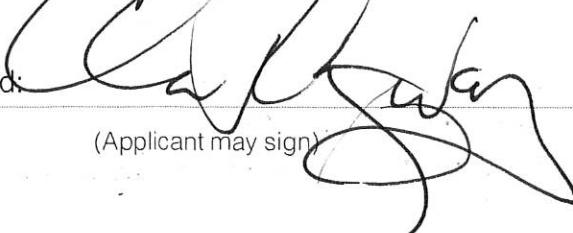
D: We are removing (2) trees in the vacant lot to accommodate the design, but will replace them with a min. of 5
E: Typical land grading for crawl space, etc. See Civil Drawings

| 2. National Marine Fisheries Rule 4(d) Review | | |
|---|----|--|
| Yes | No | Will the project involve: |
| | ✓ | a. Construction outside of the footprint of an existing, legal structure? |
| | ✓ | b. Exterior construction within 100-feet of a stream? |
| | ✓ | c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope? |
| | ✓ | d. Land-use within a riparian area? |
| | ✓ | e. Timber harvesting, mining, grazing or grading? |
| | ✓ | f. Any work inside of a stream, riparian corridor, or shoreline? |
| | ✓ | g. Release or capture of fish or commerce dealing with fish? |
| Please explain any "Yes" answers: | | |
| | | |
| | | |
| | | |
| | | |

| 3. National Pollutant Discharge Elimination System (NPDES) Review | | |
|---|----|---|
| Yes | No | Will the project involve: |
| | ✓ | a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u>
If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements. |
| | ✓ | b. <u>Land disturbance of 1 acre or more of area?</u>
If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <u>prior</u> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit. |

Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed:  Date: 2.19.16
 (Applicant may sign)

Application for a Coastal Development Permit

455 County Center, 2nd Floor • Redwood City, CA 94063
 Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

Companion Page

Applicant's Name: Chris Ridgway Architect Inc
 Primary Permit #: _____

1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Coastal Development Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

2. Basic Information

Does the owner or applicant own any adjacent property not listed?

Yes No

If yes, list Assessor's Parcel Number(s):

Have you or anyone else previously applied to either the County of San Mateo or the California Coastal Commission for a Coastal Development Permit for this or a similar project at this location?

Yes No

If yes, explain (include date and application file numbers).

3. Materials and Finish of Proposed Buildings or Structures

Note: By completing this section you do not need to file a separate application for Design Review Approval.

| Fill in Blanks: | Material | Color/Finish | Check if matches existing |
|------------------------|-----------------------------|--|---------------------------|
| a. Exterior Walls | <u>stucco</u> | <u>Benjamin Moore "Cedar Key"</u> | <input type="checkbox"/> |
| b. Trim | <u>stucco or wood</u> | <u>Benjamin Moore "Blanchport Brown"</u> | <input type="checkbox"/> |
| c. Roof | <u>Composition Shingles</u> | <u>Charcoal</u> | <input type="checkbox"/> |
| d. Chimneys | <u>n/a</u> | <u>n/a</u> | <input type="checkbox"/> |
| e. Accessory Buildings | <u>n/a</u> | <u>n/a</u> | <input type="checkbox"/> |
| f. Decks/Stairs | <u>No exterior stairs</u> | <u>Aluminum - Black Anodized</u> | <input type="checkbox"/> |
| g. Retaining Walls | <u>n/a</u> | <u>n/a</u> | <input type="checkbox"/> |
| h. Fences | <u>single</u> | <u>n/a</u> | <input type="checkbox"/> |
| i. Storage Tanks | <u>n/a</u> | <u>n/a</u> | <input type="checkbox"/> |

4. Project Information

Does this project, the parcel on which it is located or the immediate vicinity involve or include:

- | | Yes | No |
|---|-------------------------------------|-------------------------------------|
| a. Demolition of existing housing units? (If yes, give value of owner-occupied units or current monthly rent of rental units in explanation below.) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b. Creeks, streams, lakes or ponds? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c. Wetlands (marshes, swamps, mudflats)? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d. Beaches? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e. Sand Dunes? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f. Sea cliff, coastal bluffs or blufftops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| g. Ridgetops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| h. Pampas Grass, invasive brooms or Weedy Thistle? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| i. Removal of trees or vegetation? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| j. Grading or alteration of landforms? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| k. Landscaping? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| l. Signs? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| m. Phone or utility line extensions or connections, either above or below ground (explain which)? | <input type="checkbox"/> | <input type="checkbox"/> |
| n. Areas subject to flooding? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| o. Development on slopes 30% or steeper? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

- | | | |
|--|--------------------------|-------------------------------------|
| p. Between the sea and the nearest public road? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| q. Existing or proposed provisions for public access to the shoreline? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| r. Public or commercial recreation facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| s. Visitor-serving facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| t. Existing or proposed public trail easements? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Explain all Yes answers below. Indicate whether the item applies to the project itself, the parcel on which it is located, or the immediate vicinity (attach additional sheets if necessary):

i) We are removing 5-12 trees in this vacant lot to accommodate the design but will replace them with 5 new ones, min.
 j) For draft space, etc. See Civil Designer
 k) We are proposing a new Landscape Plan that is drought conscious in design... Only for the project lot.

5. Staff Use Only

California Coastal Commission Jurisdiction

A. Does the Proposed Project Involve:

- A subdivision, Certificate of Compliance Type B, Use Permit, or Planned Agricultural District Permit?

Yes No
- Construction or grading within 100 feet of a stream or wetland?

Yes No
- A parcel located between the sea and the first public through road paralleling the sea; 300 feet from the inland extent of any beach or mean high tide line if there is no beach; or within 300 feet of the top of the seaward face of a coastal bluff?

Yes No

Yes to any one of the above means that the Coastal Development Permit is appealable to the Coastal

Commission; a public hearing is always required.

B. Does the proposed project involve lands below the mean high tide line and lands where the public trust may exist? (See "Post CCP Certification Permit and Appeal Jurisdiction Map).

Yes No

Yes to above means that the California Coastal Commission retains permit jurisdiction over all or part of the proposed project. A Coastal Development Permit from that agency is required.

Reviewed by: _____

Planning and Building Department

455 County Center, 2nd Floor • Redwood City CA 94063
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849
www.co.sanmateo.ca.us/planning

Planning Permit Application Form

PLN: 2016-00075
BLD:

Applicant/Owner Information

Applicant: CHAS RIDGWAY
Mailing Address: 670 POPLAR STREET
HALF MOON BAY CA 94019 Zip:
Phone, W: 650 622-6301 H:
E-mail Address: CRarchitect@coastside.net FAX:

| | |
|-----------------------------------|--------------------|
| Name of Owner (1): Mary Beveridge | Name of Owner (2): |
| Mailing Address: 408 | Mailing Address: |
| Zip: | Zip: |
| Phone, W: 408 921-2428 | Phone, W: |
| H: | H: |
| E-mail Address: | E-mail Address: |

Project Information

| | |
|--|--|
| Project Location (address):
Isabella Ave & Alhambra Ave
Miramonte, CA | Assessor's Parcel Numbers:
047-271-176 |
| Zoning: R3/S-3/DR/CD | Parcel/lot size: SF (Square Feet) |


List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)
New Single Family house with detached garages

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):
Slightly sloping lot

Describe Existing Structures and/or Development:
No structures on the existing house

Signatures

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature:
Owner's signature:
Applicant's signature:  - CHRIS RIDGWAY ARCHITECT

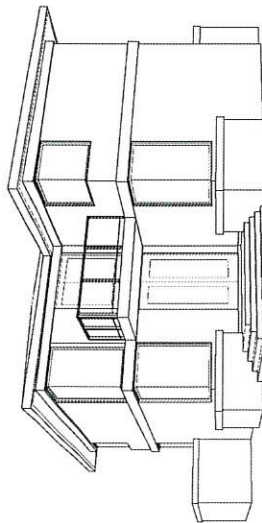
LIST OF DRAWINGS
FOR DESIGN REVIEW

| | |
|-------|---|
| A1.1 | TITLE PAGE, PERSPECTIVES & COLOR BOARD |
| A1.2 | SITE PLAN AND DATA |
| A1.3 | GENERAL NOTES |
| B1-1 | SURVEY BY ROT LAND SURVEYING |
| C1-C4 | CIVIL ENGINEERING PLANS BY P.E.C., INC. |
| L1-6 | LANDSCAPE PLAN |

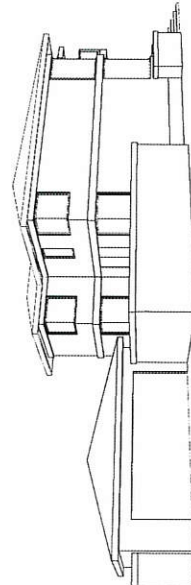
| | |
|------|-------------------|
| A2.1 | FIRST FLOOR PLAN |
| A2.2 | SECOND FLOOR PLAN |
| A2.3 | ROOF PLAN |

| | |
|------|------------|
| A3.1 | ELEVATIONS |
| A3.2 | ELEVATIONS |

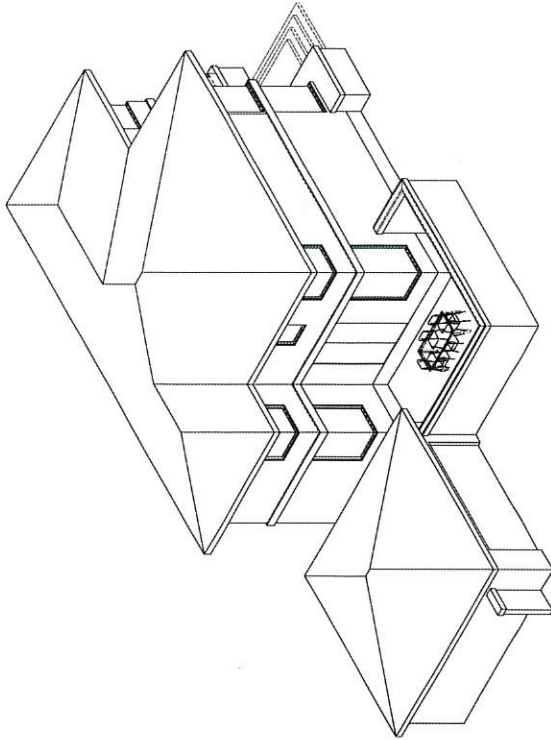
| | |
|------|----------|
| A4.1 | SECTIONS |
|------|----------|



PERSPECTIVE AT CORNER OF ALHAMBRA & ISABELLA



PERSPECTIVE AT ISABELLA AVE



BIRDCOPE VIEW FROM ISABELLA AVE



PROPOSED DESIGN

STUCCO WALL: BENJAMIN MOORE - "CEDAR KEY" (STUCCO WALL FINISH TO BE PROVIDED)

ROOF: COMPOSITION SHINGLES: TIMBERLINE ULTRA HD CHARCOAL

OUTLET TO BE PAINTED WITH BENJAMIN MOORE "BRANCHFORD BROOK", USE COPPER OR GALVANIZED



BALCONY RAIL: ALUMINUM BLACK ANODIZED BELLY BAND: BENJAMIN MOORE - "BRANCHFORD BROOK"

WINDOWS: ALUMINUM BLACK ANODIZED BY FLEETWOOD, SLOMBERG OR TILGARD FRONT DOOR: ALUMINUM BLACK ANODIZED

COLOR BOARD



CHRIS RIDGWAY ARCHITECT, INC.
400 POPPERS STREET, HALF MOON BAY, CA 94018
PH: 650-427-6191, WWW.CRAARCHITECT.COM
EMAIL: CRAARCHITECT@GMAIL.COM

NEW RESIDENCE FOR
MARY BEVERIDGE
ADDRESS: AVENUE ALHAMBRA & AVENUE ISABELLA
E. PALMDALE, CA 91018
APN: 041-71-110

JOB # 1503
SCALE AS NOTED
DATE 07/15/16

SHEET
A1.1



PLANNING DEPARTMENT, COUNTY OF SAN MATEO
PLANNER: BUD GAVE THE INFORMATION: SUPERVISOR
ZONING: R3-18(S)DN(C)
A.P.N.: 041-311-110

| AREA INCLUDED IN | SQUARE FOOTAGE |
|------------------|----------------|
| FLOOR AREA | 1,139 |
| SITE COVERAGE | 9.6% |
| | 133 |
| | 1,871 |

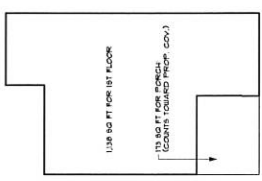
| AREA | 1ST FLOOR | 2ND FLOOR | TOTAL 1ST FLOOR |
|--------------------------------|-----------|-----------|-----------------|
| FIRST FLOOR EXCLUDING GARAGE | X | X | X |
| GARAGE | X | X | X |
| ENTRY PORCH (OVER 4 FEET DEEP) | X | X | X |
| TOTAL 1ST FLOOR | X | X | X |

| | |
|-------|-------------------------------|
| 1,871 | OUR SITE COVERAGE |
| 9.6% | PERCENTAGE OF SITE COVERAGE |
| 5,776 | LOT SIZE |
| 2,638 | HARVEST SITE COVERAGE ALLOWED |
| 871 | 80 FT. WIDE UNDER |

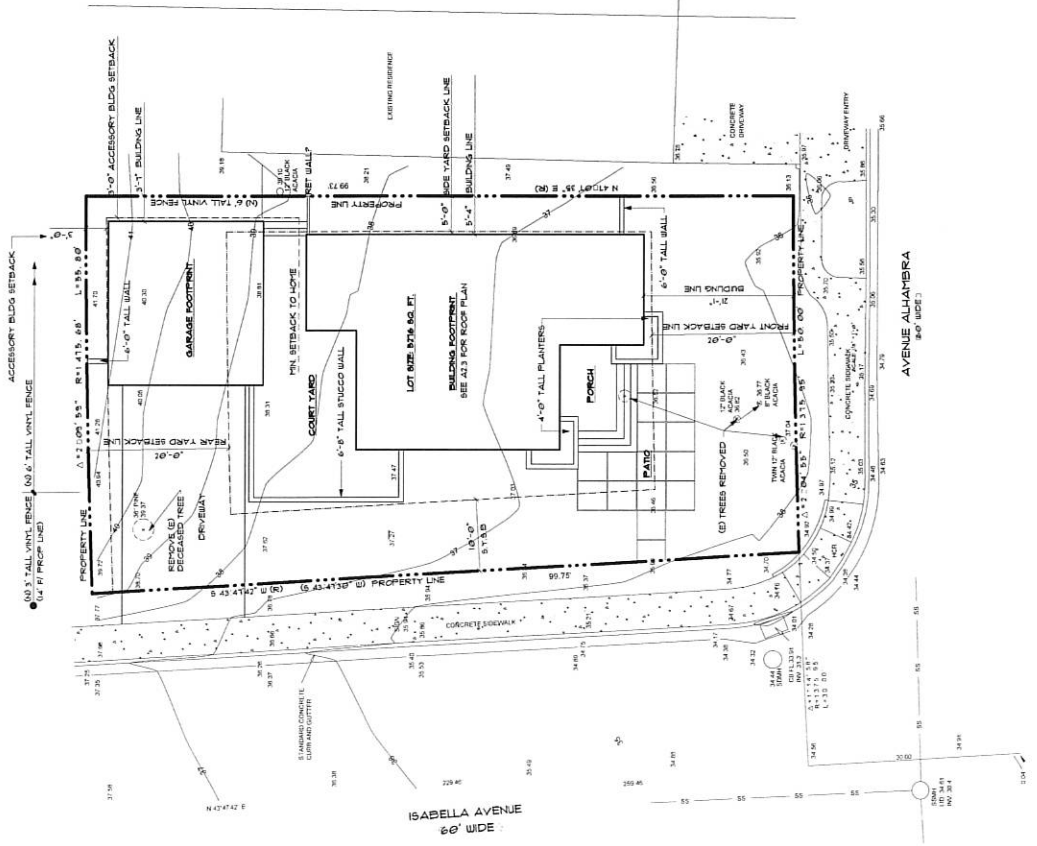
| | |
|-------|----------------------------------|
| 2,871 | OUR TOTAL FLOOR AREA |
| N/A | PERCENTAGE OF FLOOR AREA ALLOWED |
| 5,776 | LOT SIZE |
| N/A | HARVEST FLOOR AREA ALLOWED |

UNDERGROUND ELECTRICAL SERVICE SHALL BE PROVIDED IN (B) FLOOR AREAS & RELOCATED WHERE THE ESTIMATED COST OF CONDUIT, LABOR, MATERIALS, AND EQUIPMENT IS GREATER THAN THE ESTIMATED COST OF THE ABOVE. UNDERGROUND SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE CALIFORNIA ELECTRICAL SERVICE UNDERGROUND CODE (C.E.S.U.G.C.) (PART 1) AND (PART 2) PER MUNICIPAL CODE SECTION 14.04.010 (A).

ALL CONSTRUCTION SHALL CONFORM TO:
2013 CALIFORNIA RESIDENTIAL CODE
2013 CALIFORNIA BUILDING CODE
2013 CALIFORNIA MECHANICAL CODE
2013 CALIFORNIA PLUMBING CODE
2013 CALIFORNIA FIRE CODE
2013 CALIFORNIA ELECTRICAL CODE
2013 CALIFORNIA ENERGY CODE
2013 CALIFORNIA GREEN BUILDING CODE STANDARDS
OCCUPANCY GROUP: R-3J
TYPE OF CONSTRUCTION: TYPE V-B
GRADE OF WORK: CONCRETE, OF A NEW WOOD FRAMED, TWO-STORY RESIDENCE
THE BUILDING SHALL BE EQUIPPED AND PROTECTED BY AUTOMATIC FIRE SPRINKLERS



1ST FLOOR PLAN SCALE: 1/8" = 1'-0"
2ND FLOOR PLAN SCALE: 1/8" = 1'-0"



EXISTING TREE INDICANT



SITE PLAN SCALE: 1/8" = 1'-0"

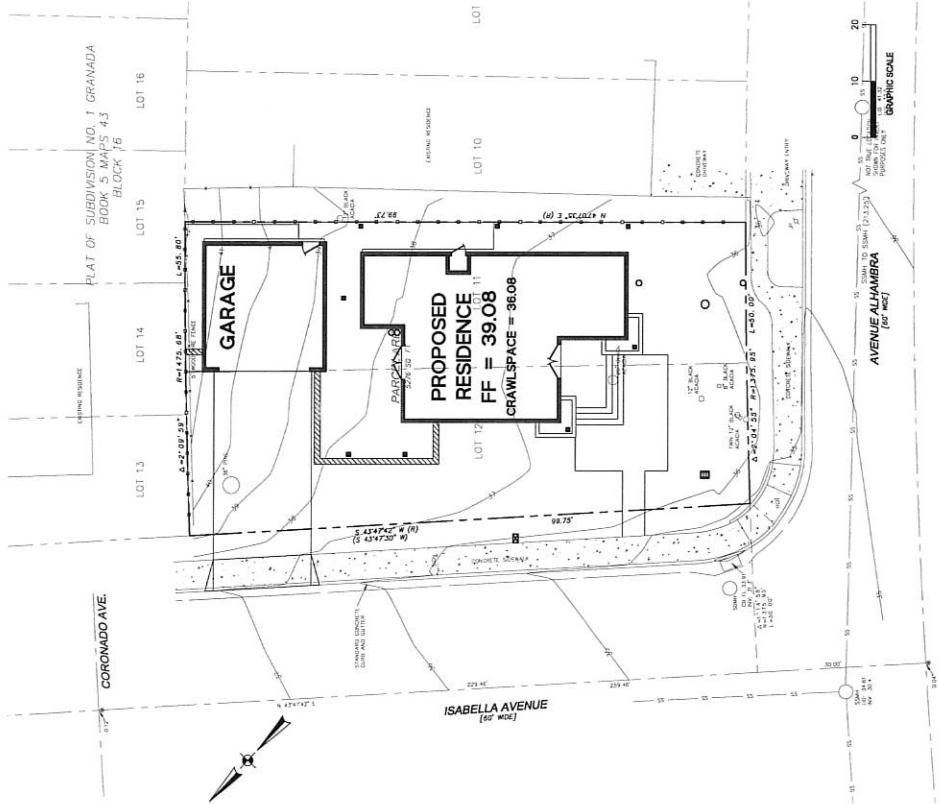
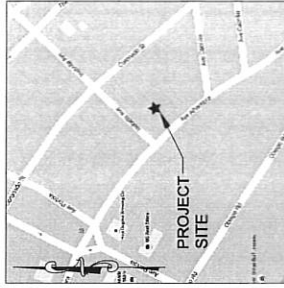
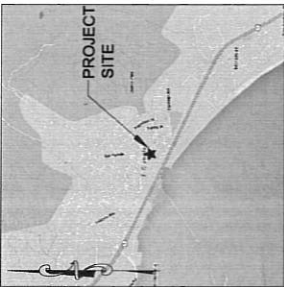


VICINITY MAP
PROJECT SITE: AVE ALHAMBRA & AVE ISABELLA



LOCATION MAP
VACANT LAND: AVE ALHAMBRA & AVE ISABELLA

BEVERIDGE RESIDENCE ISABELLA AVENUE AT ALHAMBRA AVENUE EL GRANADA (SMCO), CA 94018



ABBREVIATIONS

- AB AGGREGATE BASE
- AC ASPHALT CONCRETE
- ADT ADJUSTED TRAFFIC
- BP BACKFLOW PREVENTION DEVICE
- CB CATCH BASIN
- CC CONCRETE
- CD CONCRETE DETAIL
- DD DECK DRAIN
- DDV DOWNSPOUT
- DS DOWNSPOUT
- DWY DRAINWAY
- ELC ELECTRICAL
- EP EDGE OF PAVEMENT
- FC FACE OF CURB ELEVATION
- FF FINISHED FLOOR ELEVATION
- FL FLOW LINE ELEVATION
- FM FORCE MAIN LINE ELEVATION
- FP FINISHED PAVEMENT ELEVATION
- GB GRADE BREAK
- GM GATE VALVE
- GW GATE VALVE
- HW HEATED WATER LINE
- IP JOINT POLE
- JP JOINT POLE
- LF LINEAR FEET
- LN LINE
- NI NEW
- POC POST INDICATOR VALVE
- RF RIM ELEVATION
- RM RIM
- SBP SEE ARCHITECTURAL PLANS
- SD SEE DETECHNICAL REPORT
- SE SEE ELECTRICAL PLAN
- SLP SEE LANDSCAPE PLAN
- SP SEE PLUMBING PLANS
- SSD SEE SANITARY DRAIN CLEANOUT
- SSO SEE SANITARY OVERFLOW CLEANOUT
- TV TOP OF WALL ELEVATION
- VO VERTICAL CURB
- W DOMESTIC WATER LINE
- WV WATER VALVE

EARTHWORK QUANTITIES

| | |
|--|----------|
| CUT | 126 C.Y. |
| FILL | 10 C.Y. |
| TO BE MOVED 136 C.Y. (CUT/OFF-HALL) | |
| BALANCE 136 C.Y. (CUT/OFF-HALL) | |
| EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL CALCULATE THESE QUANTITIES FOR BIDDING AND COST ESTIMATING PURPOSES. | |

- ### LEGEND
- EXISTING
 - PROPOSED
 - SANITARY SEWER
 - STORM DRAIN
 - STORM SUB-DRAIN (PERFORATED PIPE)
 - TRANSITION FROM PERF. PIPE TO SOLID PIPE
 - FORCE MAIN
 - FIRE WATER LINE
 - DOMESTIC WATER SERVICE
 - IRRIGATION SERVICE
 - TELEPHONE GAS
 - ELECTRIC
 - JOINT TRENCH
 - FENCE
 - CLEAN OUT
 - DOUBLE DETECTOR CHECK VALVE
 - POST INDICATOR VALVE
 - VALVE
 - NEW
 - STREET LIGHT
 - AREA DRAIN
 - CATCH BASIN
 - FIRE HYDRANT
 - FIRE DEPARTMENT CONNECTION
 - BENCHMARK
 - MANHOLE
 - POCKET
 - FLASH BLOCK
 - CONTOURS
 - PROPERTY LINE
 - SETBACK

SHEET INDEX

| SHEET NO. | DESCRIPTION |
|-----------|---------------------------|
| C-0 | TITLE SHEET |
| C-1 | GRADING AND UTILITY PLAN |
| C-2 | EROSION CONTROL PLAN |
| C-3 | BEST MANAGEMENT PRACTICES |
| C-4 | DETAIL SHEET |
| C-4.1 | DETAIL SHEET |

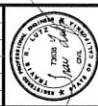
HYDROLOGY

| (1) IMPERVIOUS AREA | (2) PERVIOUS AREA | STORAGE VOL. PROVIDED | STORAGE VOL. REQUIRED |
|---------------------|-------------------|-----------------------|-----------------------|
| 9.9F | 2.54F | 93 CF | 106 CF |



PRECISION ENGINEERING AND CONSTRUCTION INC.
1500 20TH STREET
SAN FRANCISCO, CA 94133
TEL: 415.774.1000
FAX: 415.774.1001
WWW.PRECISIONENGINEERING.COM

| DATE | REVISIONS |
|------|-----------|
| | |
| | |
| | |
| | |



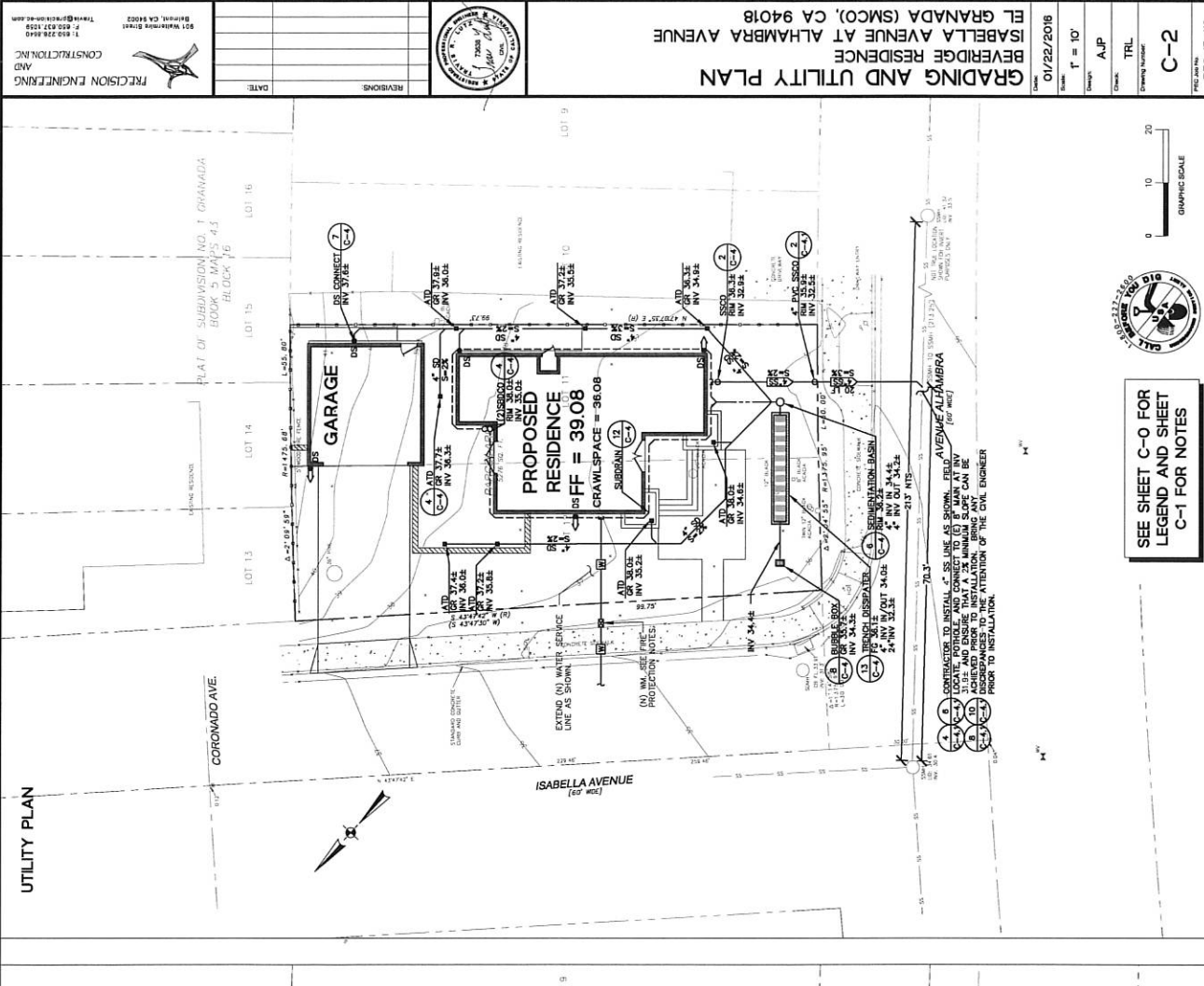
TITLE SHEET
BEVERIDGE RESIDENCE
ISABELLA AVENUE AT ALHAMBRA AVENUE
EL GRANADA (SMCO), CA 94018

DATE: 01/22/2016
AS SHOWN
A.I.P.
TRL
C-O
PEC 15-112

PAVEMENT LEGEND:
 SEE SHEET C-1 FOR PAVEMENT SCHEDULES AND OVER-EXCAVATION REQUIREMENTS. SEE ARCHITECTURAL PLANS FOR EXACT MATERIAL SELECTION.

- CONCRETE
- TRUSS ROOF
- GRAVEL
- 4" MINIMUM OF CONCRETE WITH BARS 18" O.C. - EACH WAY OVER 4" MIN OF CLASS II AGGREGATE BASE.

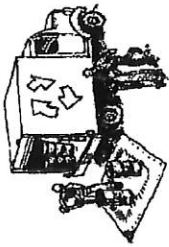
GRADING PLAN



Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



- Non-Hazardous Materials**
- Beam and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
 - Use (but don't overuse) reclaimed water for dust control.
- Hazardous Materials**
- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
 - Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
 - Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
 - Arrange for appropriate disposal of all hazardous wastes.

- Waste Management**
- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
 - Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
 - Clean or replace portable toilets, and inspect them frequently for leaks and spills.
 - Dispose of all wastes and debris properly. Recycle materials and waste that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gypsum board, pipe, etc.)
 - Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

- Construction Entrances and Perimeter**
- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
 - Sweep or vacuum any street tracking immediately, and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



- Maintenance and Parking**
- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
 - Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
 - If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and use a drip pan to catch any fuel that leaks or drips.
 - If, vehicles or equipment cleaning must be done onsite, clean up any spills immediately, and never allow raw wash water to run into gutters, streets, storm drains, or surface waters.
 - Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and until repairs are made.
- Use drip pans to catch leaks.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled, litter, and/or rags.
- Use dry cleaning in cloth (absorbent materials, oil, litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil, to report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber mats) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as filter fabric, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and submit results to the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells.
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from collecting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sweeping & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- If swept slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



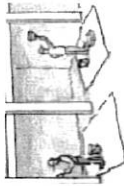
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas.
- Use concrete tins and dispose of its surplus.
- When using exposed aggregate, remove wash water from aggregate storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or dump onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under cover.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Painting & Paint Removal



- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and dispose of rags in 55-gallon drums. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from rain-brushes should be swept up or collected in plastic drip cloths and disposed of as trash.
- Chemical paint strippers, residues and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering

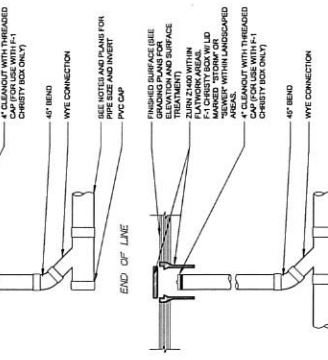
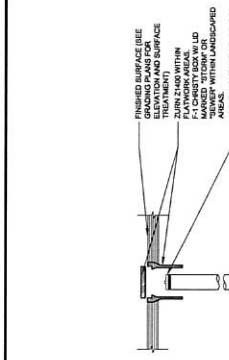
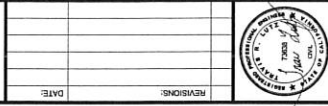


- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Diver run-on water from offsite away from all denuded areas.
- When dewatering, notify and obtain approval from the local municipality or storm drain. Filtration or devices through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

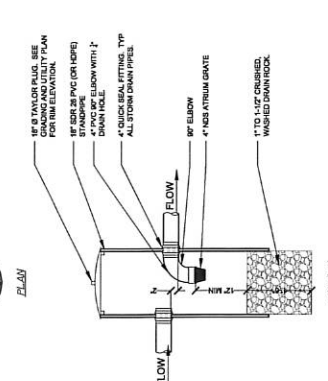
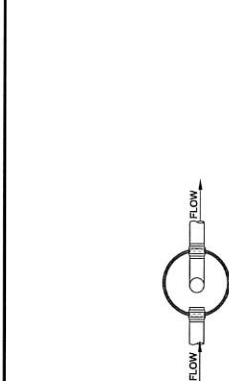
Storm drain polluters may be liable for fines of up to \$10,000 per day!

| | |
|------------|--|
| DATE: | |
| REVISIONS: | |

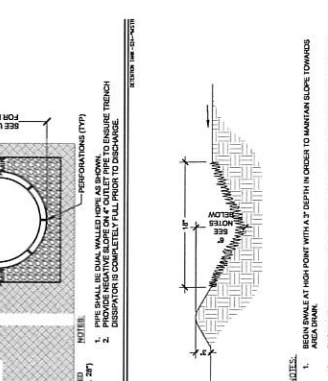
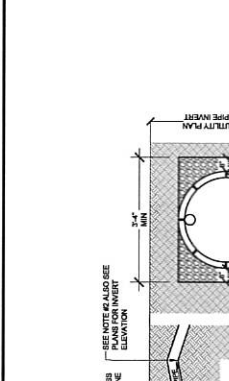




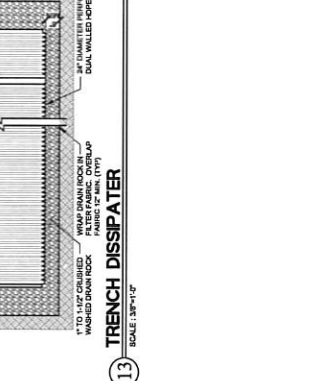
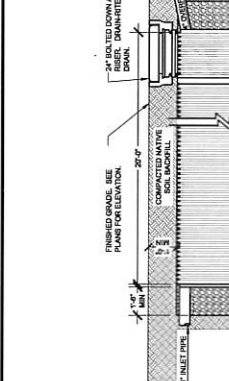
2 CLEANOUT NON-TRAFFIC RATED
 SCALE: 3/4"=1'-0"
 SHEET NO. 15-112-02



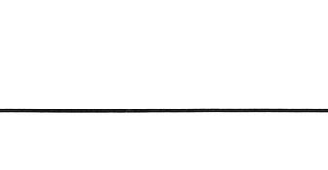
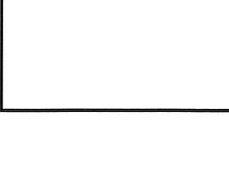
4 SQUARE ATRIUM DRAIN
 SCALE: 1/4"=1'-0"
 SHEET NO. 15-112-03



6 SEDIMENT BASIN
 SCALE: 3/4"=1'-0"
 SHEET NO. 15-112-05



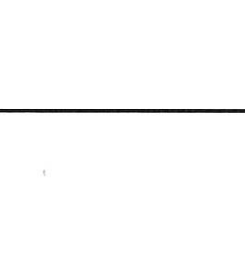
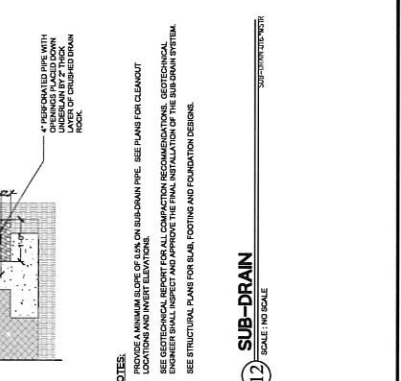
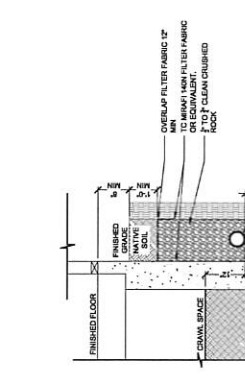
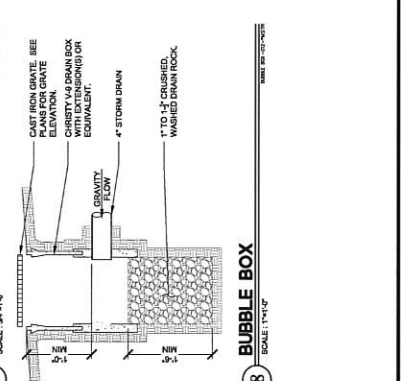
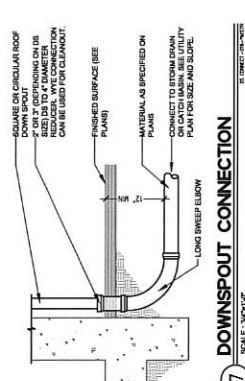
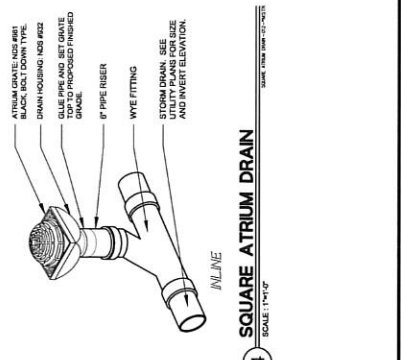
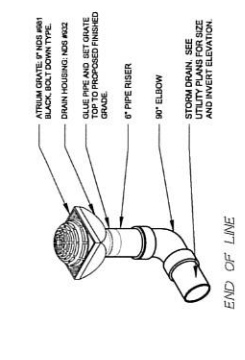
8 BUBBLE BOX
 SCALE: 1/4"=1'-0"
 SHEET NO. 15-112-06



10 GRASS SWALE
 SCALE: NO SCALE
 SHEET NO. 15-112-07



12 SUB-DRAIN
 SCALE: NO SCALE
 SHEET NO. 15-112-08



13 TRENCH DISSIPATER
 SCALE: 3/8"=1'-0"
 SHEET NO. 15-112-09

14 TRENCH DISSIPATER
 SCALE: 3/8"=1'-0"
 SHEET NO. 15-112-10

15 TRENCH DISSIPATER
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 SHEET NO. 15-112-11

16 TRENCH DISSIPATER
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17 TRENCH DISSIPATER
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18 TRENCH DISSIPATER
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19 TRENCH DISSIPATER
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20 TRENCH DISSIPATER
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21 TRENCH DISSIPATER
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58 TRENCH DISSIPATER
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66 TRENCH DISSIPATER
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69 TRENCH DISSIPATER
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70 TRENCH DISSIPATER
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71 TRENCH DISSIPATER
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72 TRENCH DISSIPATER
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73 TRENCH DISSIPATER
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74 TRENCH DISSIPATER
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75 TRENCH DISSIPATER
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76 TRENCH DISSIPATER
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77 TRENCH DISSIPATER
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78 TRENCH DISSIPATER
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80 TRENCH DISSIPATER
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81 TRENCH DISSIPATER
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84 TRENCH DISSIPATER
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85 TRENCH DISSIPATER
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86 TRENCH DISSIPATER
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87 TRENCH DISSIPATER
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88 TRENCH DISSIPATER
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92 TRENCH DISSIPATER
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93 TRENCH DISSIPATER
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94 TRENCH DISSIPATER
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96 TRENCH DISSIPATER
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99 TRENCH DISSIPATER
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100 TRENCH DISSIPATER
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101 TRENCH DISSIPATER
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102 TRENCH DISSIPATER
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103 TRENCH DISSIPATER
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104 TRENCH DISSIPATER
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105 TRENCH DISSIPATER
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106 TRENCH DISSIPATER
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107 TRENCH DISSIPATER
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108 TRENCH DISSIPATER
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109 TRENCH DISSIPATER
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113 TRENCH DISSIPATER
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114 TRENCH DISSIPATER
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115 TRENCH DISSIPATER
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 SHEET NO. 15-112-111

116 TRENCH DISSIPATER
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117 TRENCH DISSIPATER
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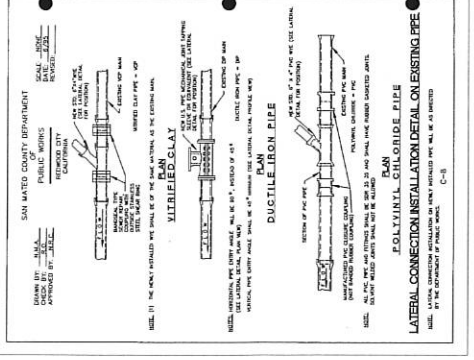
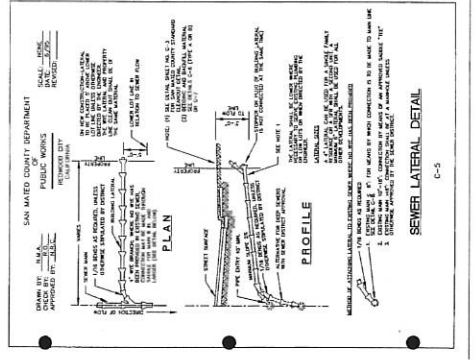
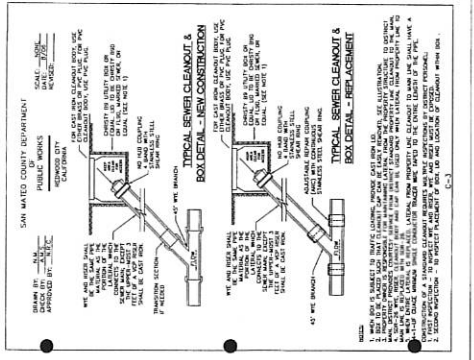
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 SCALE: 3/8"=1'-0"
 SHEET NO. 15-112-114

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 SCALE: 3/8"=1'-0"
 SHEET NO. 15-112-115

120 TRENCH DISSIPATER
 SCALE: 3/8"=1'-0"
 SHEET NO. 15-112-116

121 TRENCH DISSIPATER
 SCALE: 3/8"=1'-0"
 SHEET NO. 15-112-117

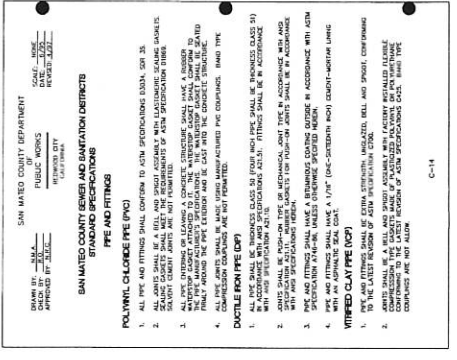
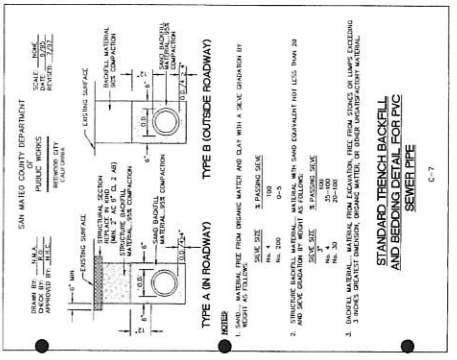
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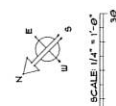
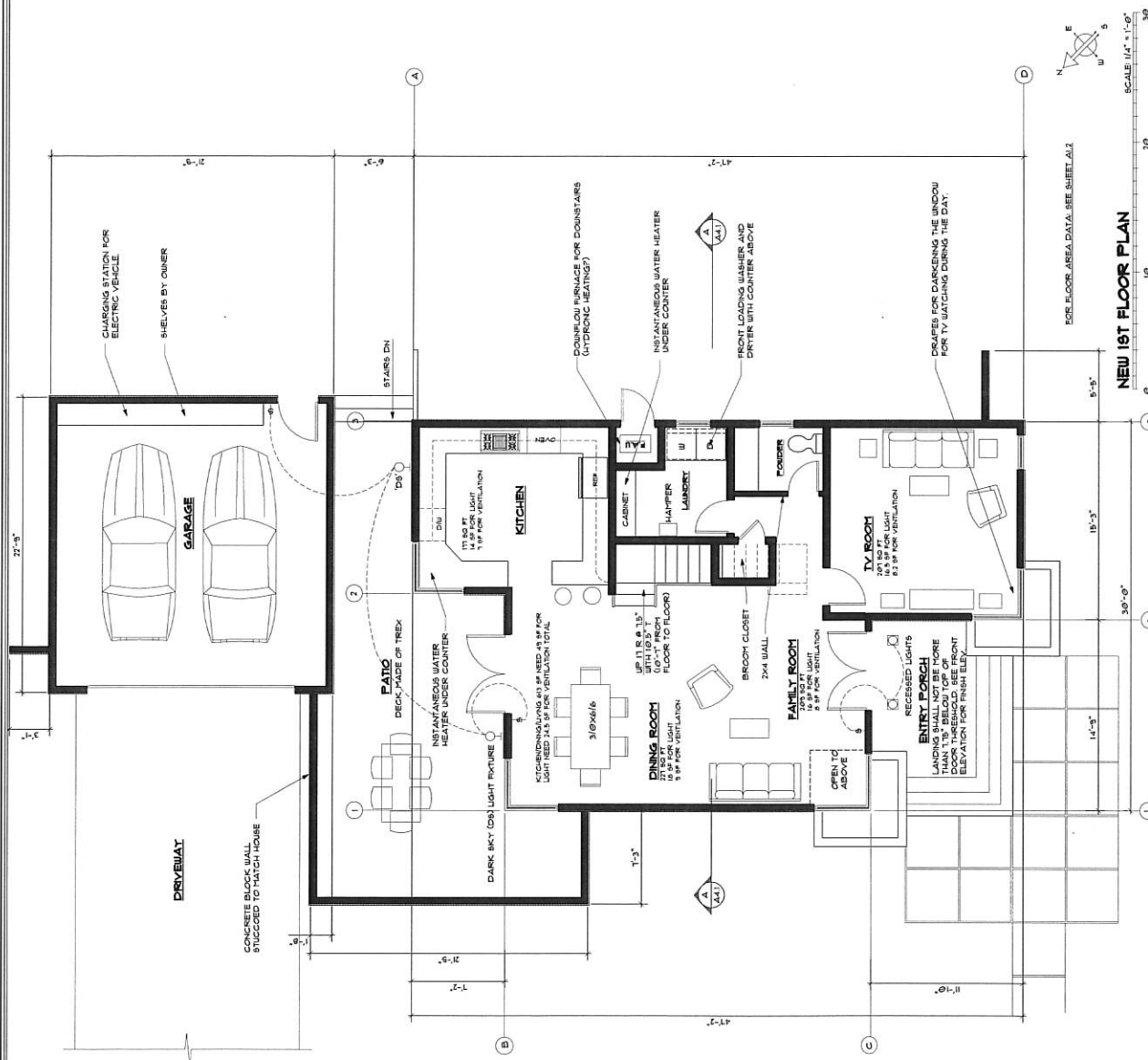


10 COUNTY CLEANOUT

6 COUNTY LATERAL

8 PIPE AND FITTINGS





FOR FLOOR AREA DATA SEE SHEET A1.2

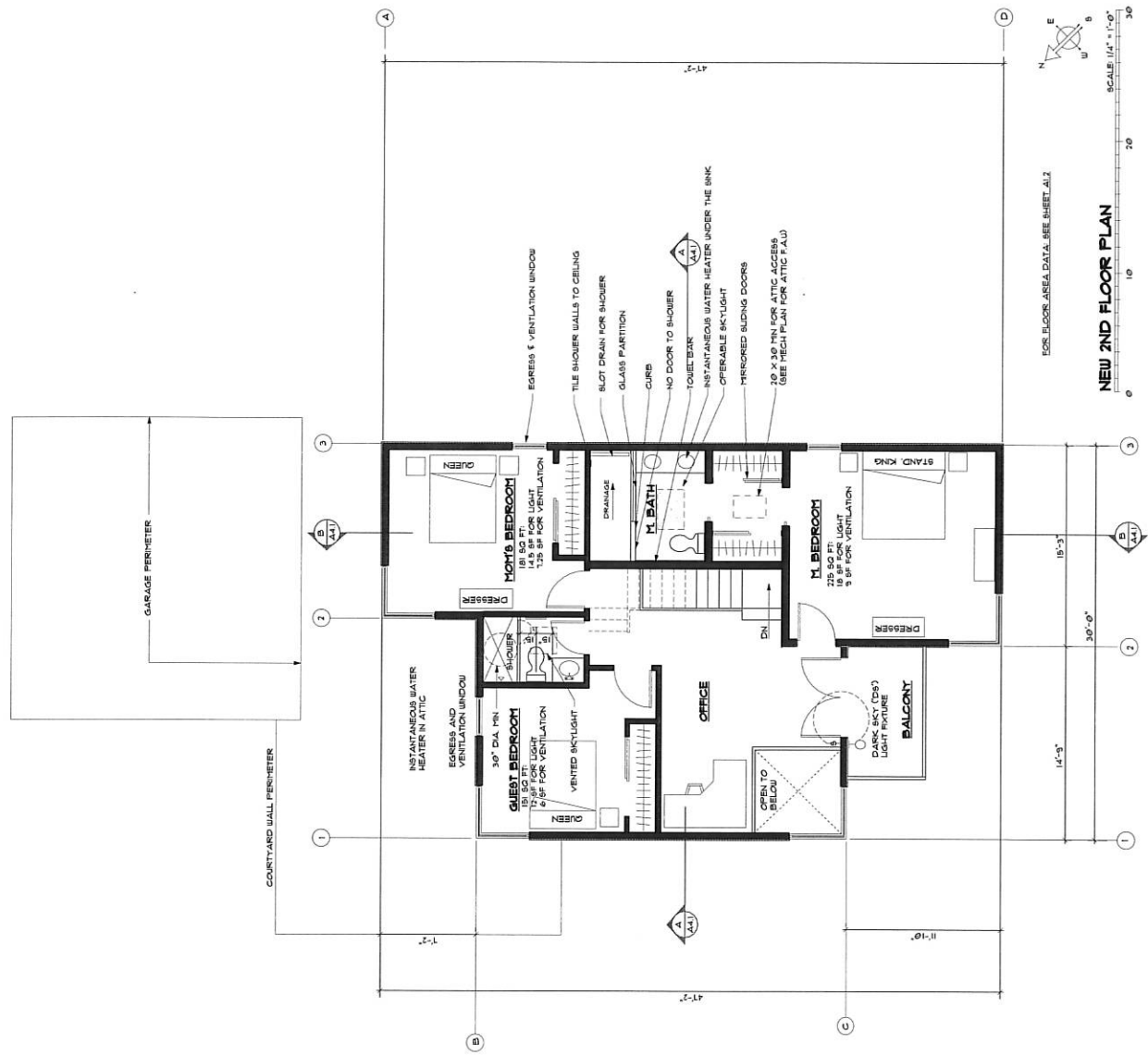
NEW 1ST FLOOR PLAN

SCALE 1/4" = 1'-0"
 10 20 30

GENERAL
 VERIFY ALL DIMENSIONS IN FIELD. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ARCHITECT'S DIMENSIONS, AND TO CORRECT DISCREPANCIES, OMISSIONS AND/OR ANY OTHER ERRORS OF THE WORK IDENTIFIED WITHIN THESE DRAWINGS. DO NOT SCALE PLANS.
 ALL DIMENSIONS ARE TO THE FACE OF STUD (W.O.S.) UNLESS OTHERWISE NOTED.
 DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED OR NOTED OTHERWISE.
 THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL FIELD CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL DIMENSIONS PRIOR TO COMMENCEMENT OF ANY WORK. IN THE EVENT WORK CONTRADICTS OWNER'S ATTENTION PRIOR TO COMMENCING ANY WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CORRECTIVE MEASURES OR ERRORS.
 5/8" THICK TYPE "X" GYPSUM BOARD SHALL BE USED TO SEPARATE THE GARAGE FROM LIVING SPACE. THIS APPLIES TO THE CEILING IF THERE IS A 2ND STORY.
 ALL VERTICAL JOINTS OF GYPSUM BOARD OR PLUMBWOOD SHALL OCCUR OVER STUDS.
 CONTRACTOR SHALL COMPLETE ALL WORK SHOWN ON THESE DRAWINGS AND PROVIDE THE OWNER WITH ALL MANUFACTURER'S MANUALS FOR EQUIPMENT SPECIFICALLY ADDRESSING FREQUENT OPERATION AND MAINTENANCE REQUIREMENTS.
 SET ALL NEW EXTERIOR WALL SOLE PLATES ON CONTINUOUS DUCT INSULATION STYF.
 CONTRACTOR SHALL COORDINATE SPECIFIC DESIGN OF ALL HILL WORK AND CABINETRY WITH ARCHITECT AND/OR OWNER. SHOP DRAWINGS MAY BE REQUIRED BY THE ARCHITECT FOR REVISIONS.
 IF ASBESTOS IS SUSPECTED TO BE IN THE HOUSE, THE OWNER SHALL HIRE AN ASBESTOS CONSULTANT TO TEST FOR ASBESTOS. THE CONTRACTOR SHALL HIRE A HAZARDOUS WASTE REMEDIATION CONTRACTOR TO REMOVE ASBESTOS FROM THE HOUSE PER FEDERAL, STATE AND LOCAL REQUIREMENTS.
 ALL EXISTING CONSTRUCTION AND FINISHES AS MAY BE DAMAGED DURING CONSTRUCTION SHALL BE PATCHED AND REPAIRED TO MATCH EXISTING ADJACENT FINISHES. VERIFY ALL CONDITIONS IN FIELD PRIOR TO COMMENCEMENT OF WORK.
 DOOR AND WINDOW SILL MATCHING OR SHALL BE SELECTED BY ARCHITECT AND/OR OWNER. ALL DOOR AND WINDOW SILL MATCHING OR SHALL BE SELECTED BY ARCHITECT AND/OR OWNER.
 ALL WINDOWS SHALL BE SINGLE-GLAZED "LOW-E" OR DOUBLE-GLAZED INSULATED TYPE UNLESS OTHERWISE NOTED. ALL WINDOWS SHALL MEET STATE ENERGY STANDARDS FOR CONTROL OF AIR LEAKAGE. ALL WINDOWS SHALL BE CERTIFIED AND LABELED INDICATING COMPLIANCE WITH STANDARDS. ALL OPERABLE WINDOWS SHALL BE EQUIPPED WITH AN AUXILIARY SECURITY LOCKING DEVICE THAT MEETS THE REQUIREMENTS OF THE LOCAL FIRE DEPARTMENT.
 ALL WEATHER EXPOSURES TO THE WEATHER SHALL BE INSTALLED WITH CORROSION PROTECTION AS APPROPRIATE.
 ALL GLAZING ADJACENT TO SLIDING GLASS DOORS, WHEREVER WAREHOUSE CLOSET DOORS, SHOWER AND BATH ENCLOSURES, ETC) SHALL BE TEMPERED GLASS. MEETING MINIMUM REQUIREMENTS.
 ALL STUD WALLS OVER 8'-0" IN HEIGHT SHALL HAVE FIRE BLOCKING AT MID-SPAN TYPICAL FIRE BLOCKING TO BE PROVIDED.
 CONTRACTOR SHALL INSTALL WATERPROOF GYPSUM BOARD AT ALL "WET" LOCATIONS. CONTRACTOR SHALL VERIFY ALL WATERPROOFING IS COMPLETE AND WORKING AT ALL EDGES AND AT 17'-0" AT ALL INTERSECTING SUPPORTS. ALL VERTICAL JOINTS OF GREEN BOARD SHALL OCCUR OVER STUDS. ALL HORIZONTAL JOINTS SHALL OCCUR OVER 2X4 PLATES.
WET VENTS
 THE ARCHITECT AND ENGINEER MUST HAVE SITE OBSERVATION.
 THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND ENGINEER OF ANY CONSTRUCTION AND NOTIFICATION IN ADVANCE ABOUT MEETINGS AT WHICH HE WILL NEED TO BE PRESENT. IF THERE IS A MEETING, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND ENGINEER IN ADVANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POTENTIAL PROBLEMS SINCE THE ARCHITECT'S VISITS TO THE JOB SITE ARE LIMITED AND PRE-CONSTRUCTION MEETINGS ARE LIMITED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS TO BUILD PER THE PLANS, PER BUILDING CODES AND USE SOUND BUILDING PRACTICES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR THE CONSTRUCTION TO BE DONE CORRECTLY.
 THE CONTRACTOR MUST CONTACT THE SOILS ENGINEER AND SET UP MEETINGS AS CALLED FOR IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND ENGINEER OF ANY MEETINGS.
 THE ARCHITECT SHALL VISIT THE JOB SITE DURING THE FORMING OF THE FOUNDATION. THE FLOOR SHALL BE REINFORCED IN PLACE. THE ARCHITECT SHALL VISIT THE JOB SITE DURING THE INSTALLATION OF THE SECOND FLOOR JOINTS TO OBSERVE THE WORK AND REVIEW THE SECOND FLOOR WALLS AND THE ROOF PLANS TO CORRECT.
 THERE WILL BE MEETINGS BETWEEN THE ARCHITECT AND ROOFING CONTRACTOR TO DISCUSS THE ROOF AND ITS FLASHINGS.
 THERE WILL NEED TO BE MEETINGS TO REVIEW THE FINISH WORK AS DECIDED BETWEEN THE OWNER, ARCHITECT AND CONTRACTOR OR AS MENTIONED LATER IN THESE SPECIFICATIONS.
 MEETINGS FOR THE FINISH LIST.

GYPSUM BOARD
 ON THE DOOR TO THE GARAGE USE 1/2" 1/2" SOLID CORE DOOR WITH SELF-CLOSING MECHANISM. AT EXTERIOR DOORS SHALL BE LOCATED NOT MORE THAN 1/4" BELOW DOOR'S THRESHOLD.
 THE TOP OF THE EXTERIOR CONCRETE SLAB IS 3" BELOW THE FINISH FLOOR. THIS MEETS THE REQUIREMENTS OF THE LOCAL FIRE DEPARTMENT. THE FINISH FLOOR SHALL BE A MINIMUM OF 3/4" DEEP.

GYPSUM BOARD
 IF THERE IS A SECOND FLOOR ABOVE THE GARAGE, USE 5/8" TYPE X GYPSUM BOARD ON CEILING.
DOORS
 ON THE DOOR TO THE GARAGE USE 1/2" 1/2" SOLID CORE DOOR WITH SELF-CLOSING MECHANISM. AT EXTERIOR DOORS SHALL BE LOCATED NOT MORE THAN 1/4" BELOW DOOR'S THRESHOLD.
 THE TOP OF THE EXTERIOR CONCRETE SLAB IS 3" BELOW THE FINISH FLOOR. THIS MEETS THE REQUIREMENTS OF THE LOCAL FIRE DEPARTMENT. THE FINISH FLOOR SHALL BE A MINIMUM OF 3/4" DEEP.



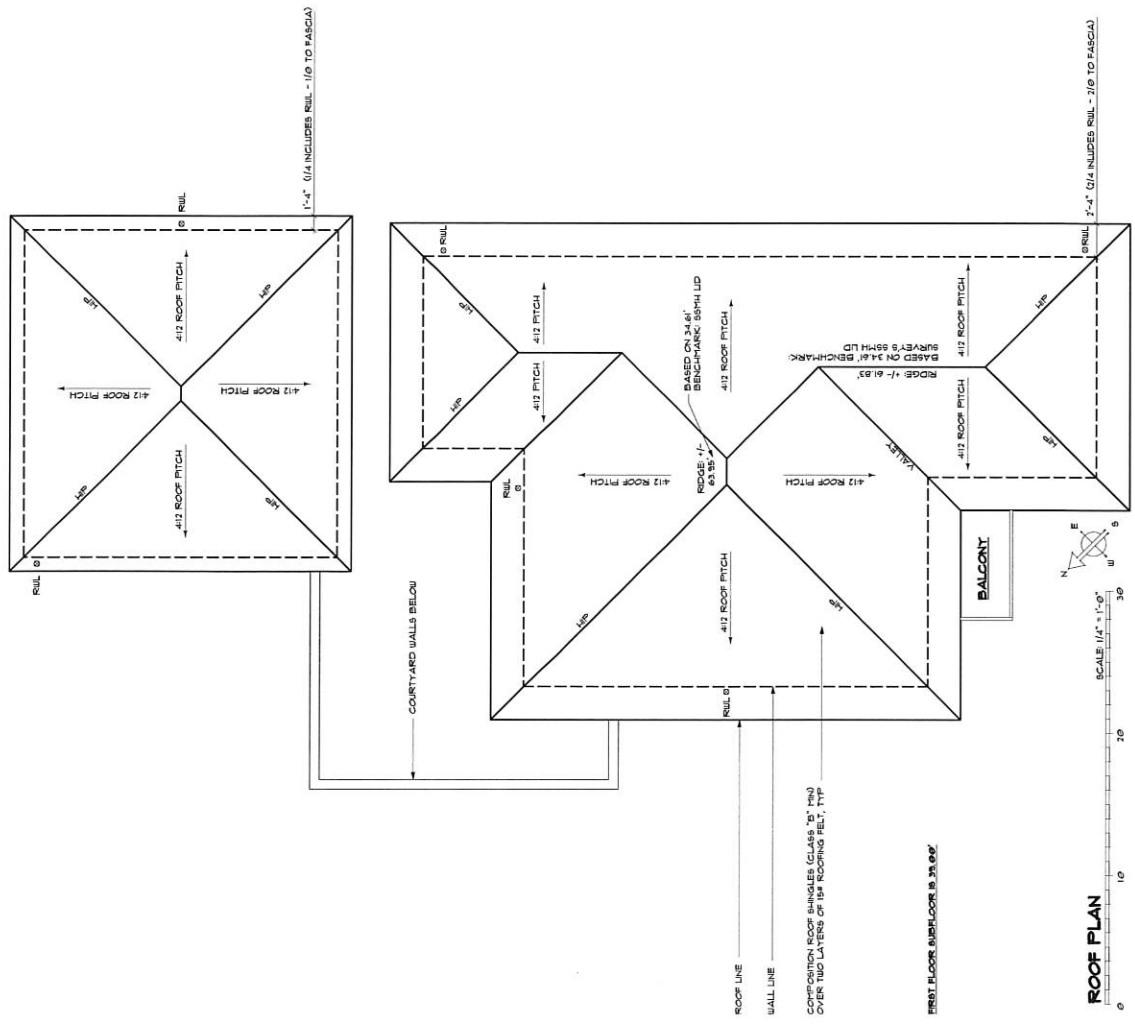
FOR FLOOR AREA DATA SEE SHEET A1.2
 SCALE: 1/4" = 1'-0"
 NEW 2ND FLOOR PLAN

GUARD RAILS
 GUARD RAILS SHALL BE NO LESS THAN 42" ABOVE FINISH FLOOR.
 ALL RAILINGS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERN SUCH AS A SPHERE OR 4" DIA. BALLS SPACED AT 4" ON CENTER.
 GUARD RAILS ARE ONLY REQUIRED IN LOCATIONS WHICH ARE MORE THAN 30" ABOVE GRADE OR THE FLOOR BELOW.
 ON EXTERIOR RAILINGS REVIEW ANCHORING OR BRACKETING IN FIELD WITH THE STRUCTURAL ENGINEER. TAKE EXTRA CARE IN BRACKETING AROUND THE DOWNERS SINCE THEY ARE PRONE TO LEAKING. REVIEW DETAIL WITH ARCHITECT.

STAIRS
 ALL STAIRS TO HAVE A HANDRAIL (UNLESS OTHERWISE NOTED) THAT SHALL BE NO LESS THAN 1 1/4" & NO GREATER THAN 1 7/8" PROJECTING NO LESS THAN 1 1/2" FROM THE WALL. THE HANDRAIL SHALL BE A MINIMUM OF 1 1/2" DIA. AND SHALL BE FINISHED TO MATCH THE FINISH OF THE WALLS. THE HANDRAIL SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERN SUCH AS A SPHERE OR 4" DIA. BALLS SPACED AT 4" ON CENTER. SHALL NOT PASS THROUGH
 ON EXTERIOR STAIRS USE 4" RISERS AND 14" TREAD
 STAIRWAYS LEAVING LESS THAN 4 RISERS AND SERVING ONE DWELLING UNIT IN GROUP R, DIVISION 1 OR 3, SHALL HAVE ANCHORS TO CEILING (SEE 05053.3.3)
 ALL STAIRS SHALL HAVE 4" DIA. HANDRAILS & 1" DIA. INTERMEDIATE RAILS & 1" DIA. BALLS UNDER STAIRS
 STAIRS SHALL HAVE A MINIMUM OF 6" HEADROOM HEIGHT
 36" HIGH STAIR BODYS

ACCESS PANELS
 ATTIC ACCESS PANEL 30" X 30" MINIMUM & APPROPRIATE TO REMOVE BARRAGE PIN UNDER FLOOR
 ACCESS PANEL 24" X 24"

MISC.
 USE 2X4 STUDS ON ALL WALLS UNLESS NOTED OTHERWISE
 ALL WALLS SHALL BE FINISHED TO MATCH THE FINISH OF THE WALLS TO WHICH THEY ARE ADJACENT
 FLEED FOR THE WATER HEATER AND THE BARRAGE PIN CONSTRUCTION THE THICKNESS OF WALLS WITH EXHAUST AIR FANS THROUGH SECOND FLOOR WALLS
 THE MECHANICAL CONTRACTOR SHALL ADVISE BEFORE CONSTRUCTION THE THICKNESS OF WALLS FOR ALL OUT-SWINGING EXTERIOR DOOR SHALL HAVE MINIMUM 36-INCH DEEP LANDING OUTSIDE AND A THRESHOLD NOT MORE THAN 0.75 INCH IN SLIDING DOORS AND 0.5 INCH IN OTHER DOORS.
 ALL INSULATING EXTERIOR DOOR SHALL HAVE A MINIMUM 36-INCH DEEP LANDING OUTSIDE AND A THRESHOLD NOT MORE THAN 0.75 INCH IN SLIDING DOORS AND 0.5 INCH IN OTHER DOORS. THE ENTRY DOOR CAN HAVE A SINGLE STEP WITH A THRESHOLD OF 7" INCHES.
 NO ABS OR PVC PIPING FOR THE WASTE & VENT PIPING PER SECTION 10.1.1 OF THE CPIC



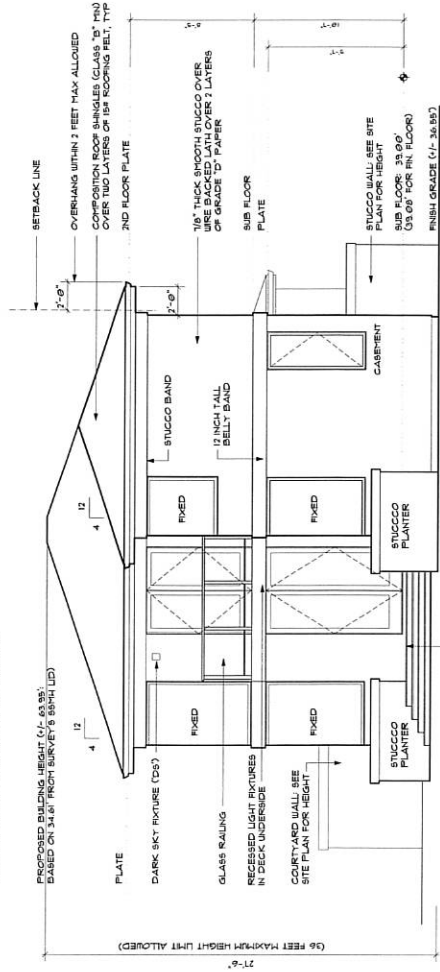
FIRST FLOOR IMPROVEMENTS 2016

ROOF PLAN



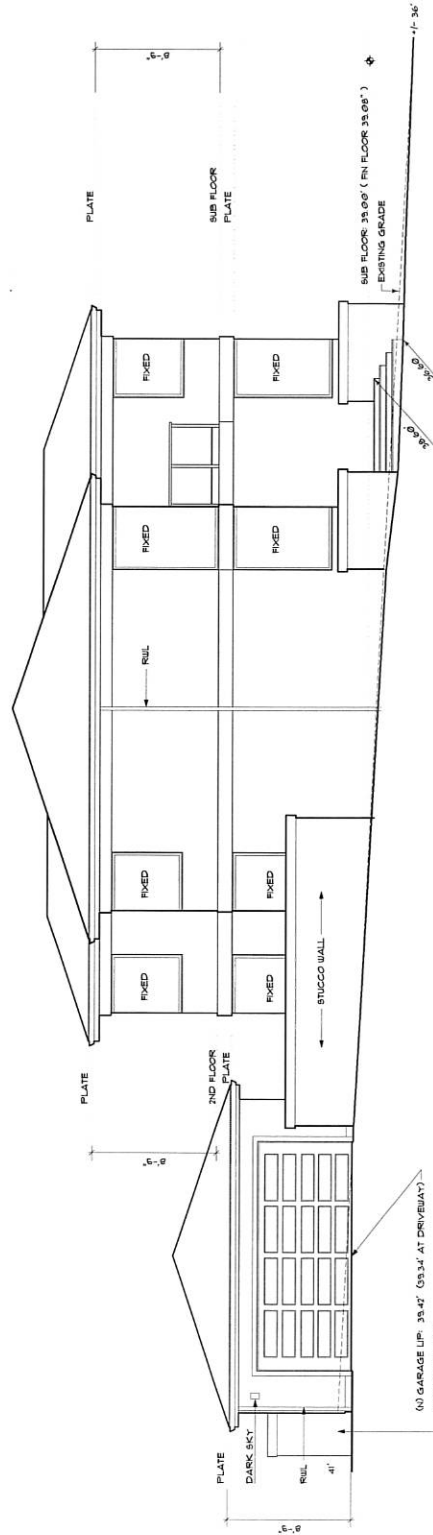
36 FOOT MAXIMUM HEIGHT LIMIT

NO DAYLIGHT PLANE RESTRICTIONS IN THIS ZONING



FRONT ELEVATION

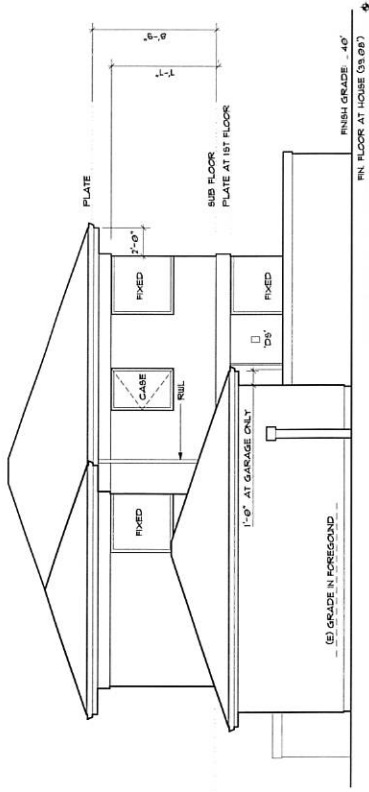
SCALE 1/4" = 1'-0"



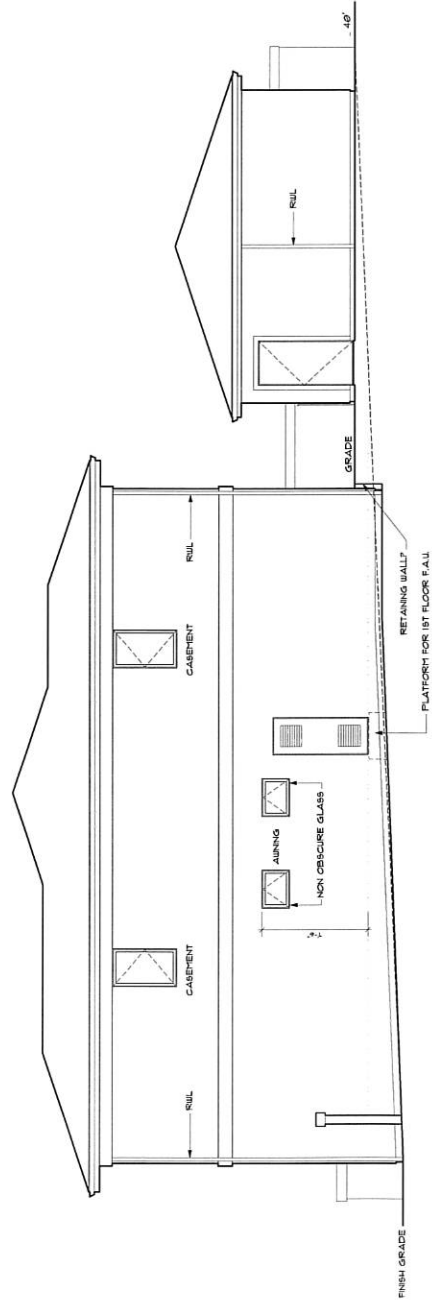
LEFT SIDE ELEVATION

SCALE 1/4" = 1'-0"

SEE CIVIL PLANS FOR FINAL GRADING ON THIS ELEVATION AND ON ALL SIDES



REAR ELEVATION

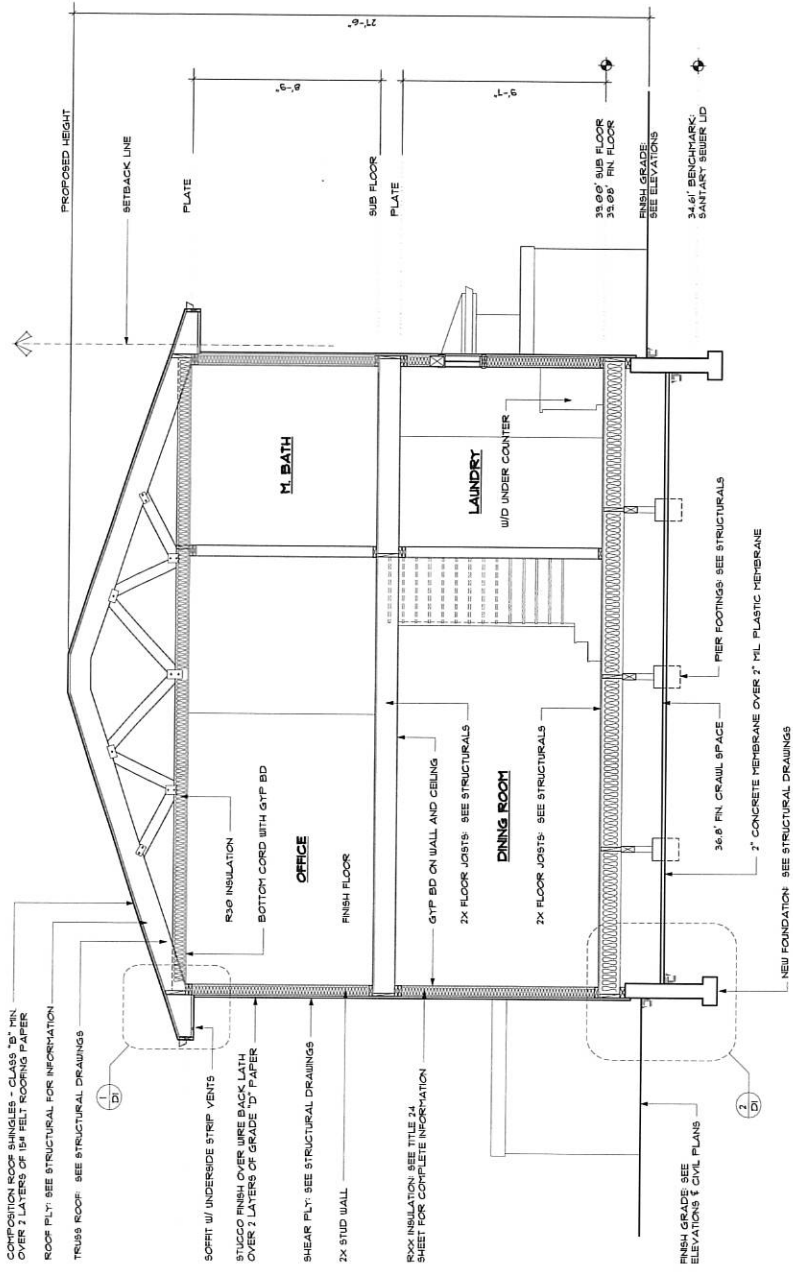


RIGHT SIDE ELEVATION





36 FOOT MAX. BUILDING HEIGHT LIMIT



ROOF: COMPOSITION SHINGLES: **TIMBERLINE ULTRA HD CHARCOAL**



(/Residential_Roofing/Shingles/Timberline_HD_Formerly_Timberline
Timberline HD - Charcoal

GUTTER TO BE PAINTED WITH BENJAMIN MOORE
"BRANCHPORT BROWN": USE COPPER OR GALVANIZED



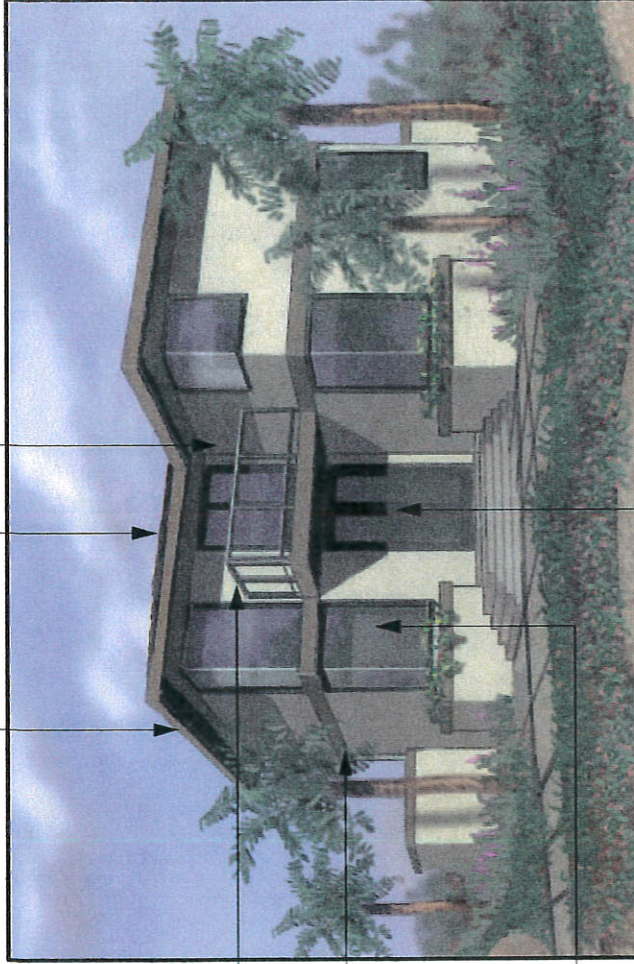
BALCONY RAIL: ALUMINUM BLACK ANODIZED

BELLY BAND: BENJAMIN MOORE -
"BRANCHPORT BROWN"



WINDOWS: ALUMINUM BLACK ANODIZED BY
FLEETWOOD, BLOMBERG OR MILGARD

FRONT DOOR: ALUMINUM BLACK ANODIZED



STUCCO WALL: BENJAMIN
MOORE - "CEDAR KEY"
(STUCCO WALL FINISH TO
BE SMOOTH)



COLOR BOARD

PROJECT: MARY BEVERIDGE
CHRIS RIDGWAY ARCHITECT, INC
670 POPLAR ST., HALF MOON BAY, CA 94019
CRARCHITECT@COASTSIDE.NET 650.622.6301

PW 2016 - 00075

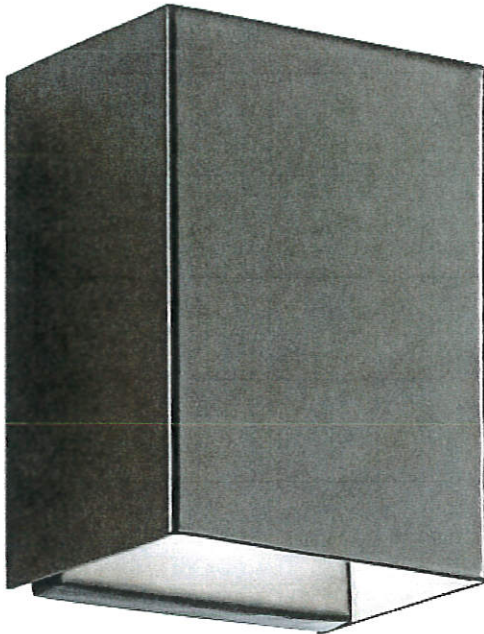
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Kichler Walden 7 1/4" High Bronze Outdoor LED Wall Light

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Style # 8W060

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Add an energy-efficient bronze outdoor downlight to your home with this basic rectangular design that will fit in anywhere.

This simple but stylish, small outdoor LED wall light is designed to complement everyday exterior accents like eaves, railings and trim. With a versatile look that's perfect for a wide range of homes, this rectangular metal downlight is open on the bottom and closed on top, finished on the outside in architectural bronze, and inside with sandblasted glass to optimize reflectivity. **This single-light, energy-efficient exterior fixture from Kichler is both Dark Sky compliant and ADA compliant.**

- Modern square-cylinder, 1-light LED outdoor wall light.
- Architectural bronze finish.
- Sandblasted clear glass interior to optimize reflectivity.
- Metal construction.
- Open-bottom downlight.
- ADA compliant.
- **Dark Sky compliant.**
- CA Title 24 compliant.
- Dimmable with electronic low voltage dimmer, or LED rated dimmer.
- 10 watt integrated LED module.
- 648 lumen light output; comparable to a 60 watt incandescent bulb.
- 3000K color temperature; 90 CRI.

Ideas

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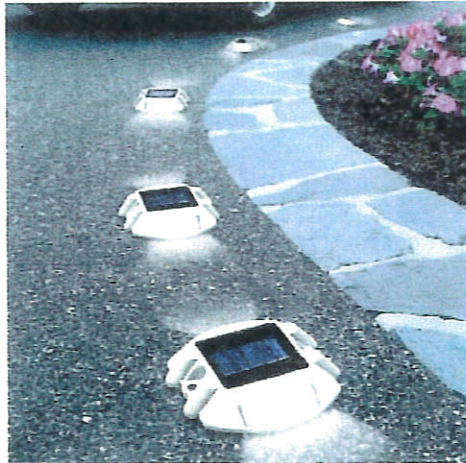
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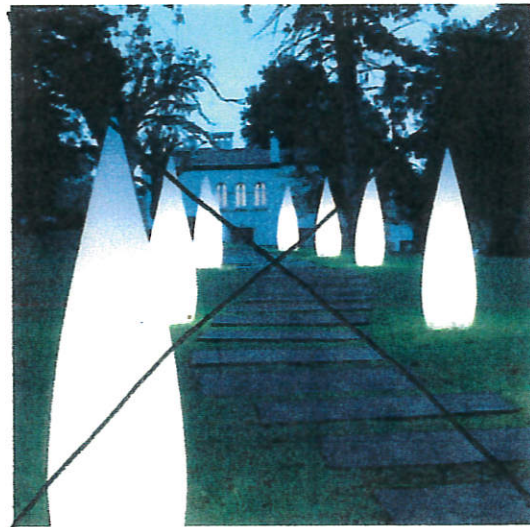


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Contemporary Outdoor Lighting

Some are designed specifically for use in water. Usually in the form of a ball or disc and swim in the fountain or pond, giving a slight sheen of the surface. Small solar panels can be disguised as rocks or plants. Recently, artificial flowers with petals of optical fibers are also a big hit. You can put them in a flower bed to give it more color and brightness at night. If you stop at lights operating at low voltage, note that they are ideal for **contemporary outdoor lighting** of wooded trails or installation under canopies and bridges. You can hide them behind plants, rocks or statue. With their help we will **contemporary outdoor lighting** features of the garden.



Modern Outdoor Lighting

One of the most important areas to highlight are the paths. Even if you have carpet and are simply trampled grass to make them safe and convenient to use at night. Good to see clearly where you walk, but the use of flashlights or bright **modern outdoor lighting** is not successful, because when you switch to a darker section of the garden, your eyes will need time to become accustomed to darkness and now you will not see anything. More efficient to use diffuse, soft light.

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Mulch

Mocha Chip

Mocha Chip



sku=MOCHA_CHIP

2" or less processed wood product which is colored with a UV protected colorant. Natural ferric oxide dye which lasts long without fading. Great for commercial applications, an excellent alternative to fir bark.

We sell the mulch in one cubic foot bags, we supply the bags and you fill them. For larger areas you'll want to purchase the mulch by the cubic yard. We can load your truck or for a fee you can use our rental truck or have us deliver the mulch to you. For orders over 50 yards please call us for direct pricing.

U-Sack \$3.00

Yard \$42.00

Add to Shopping List Calculator

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Dwarf Mondo Grass
Ophiopogon japonicus 'Nanus'

Item #6312 USDA Hardiness Zone: 6 - 11



Availability

Buy Online Now and Pick-Up at your local Garden Center »

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Plant Description

Creates a lush groundcover of dense, dark green grass-like clumps. This dwarf is only half the size of the species. Excellent as an edging plant or tucked into rocks for a pleasing contrast.

Overview

Light Needs:

Filtered sun

Key Feature:

Easy Care Plant

Watering Needs:

Water regularly, when top 3 in. of soil is dry.

Blooms:

Summer

Average Landscape Size:

Slow growing clumps 4 to 6 in. tall.

Landscape Uses:

Border , Coastal Exposure , Rock Garden , Woodland Garden

Detail

Care

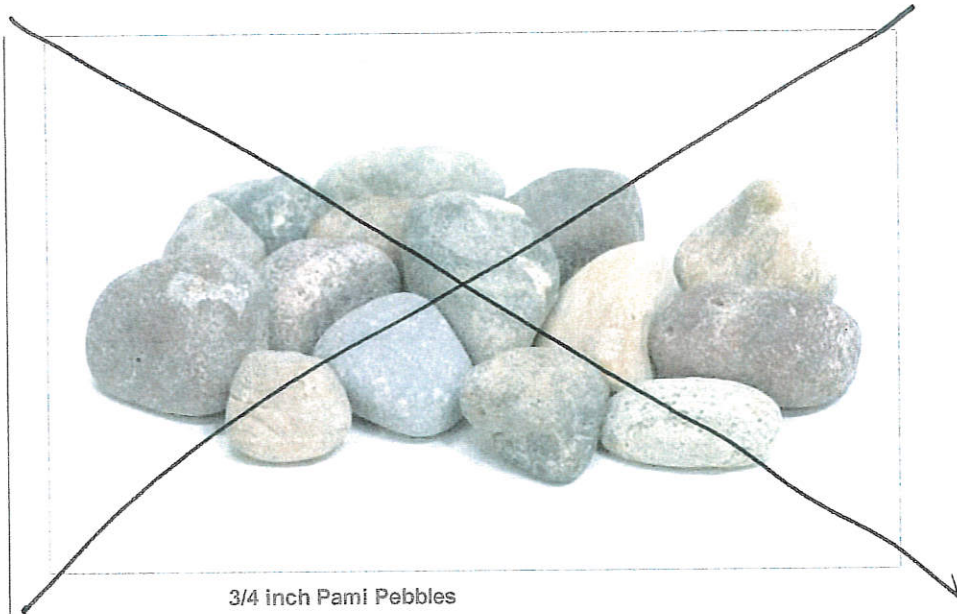
Plants in the spotlight



Item #5623
 Low Chill Requirement
 Bountiful Blue® Blueberry
 Vaccinium corymbosum 'FLX-2' P.P.# 19,381



Item #3629
 Easy Care Plant
 Flower Carpet® Amber Groundcover Rose
 Rosa x 'NOA97400A' P.P.A.F.




3/4 inch Pami Pebbles

sku - 34PAMI

U-Sack \$16.25

Ton \$265.00

1.25 Ton per Cubic Yard

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Quartz Pebbles

A mixture of rounded and angular pebbles, including black, white and grey with a few rust colored pebbles. Commonly used for garden ground cover, pathways, planting beds and walkways.

We sell these pebbles by the tone or by the U-Sack. With the U-Sacks, one full bag weighs 100 pounds, but you can fill them 1/4, 1/2 or 3/4 full for easier carrying.

For larger areas you will want to purchase the pebbles by the ton. WE can load your pickup truck or for a fee, you can rent one of our dump trucks. We also deliver to your job site or home. If you need increments of 25 tons please call us for special pricing.



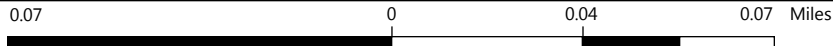
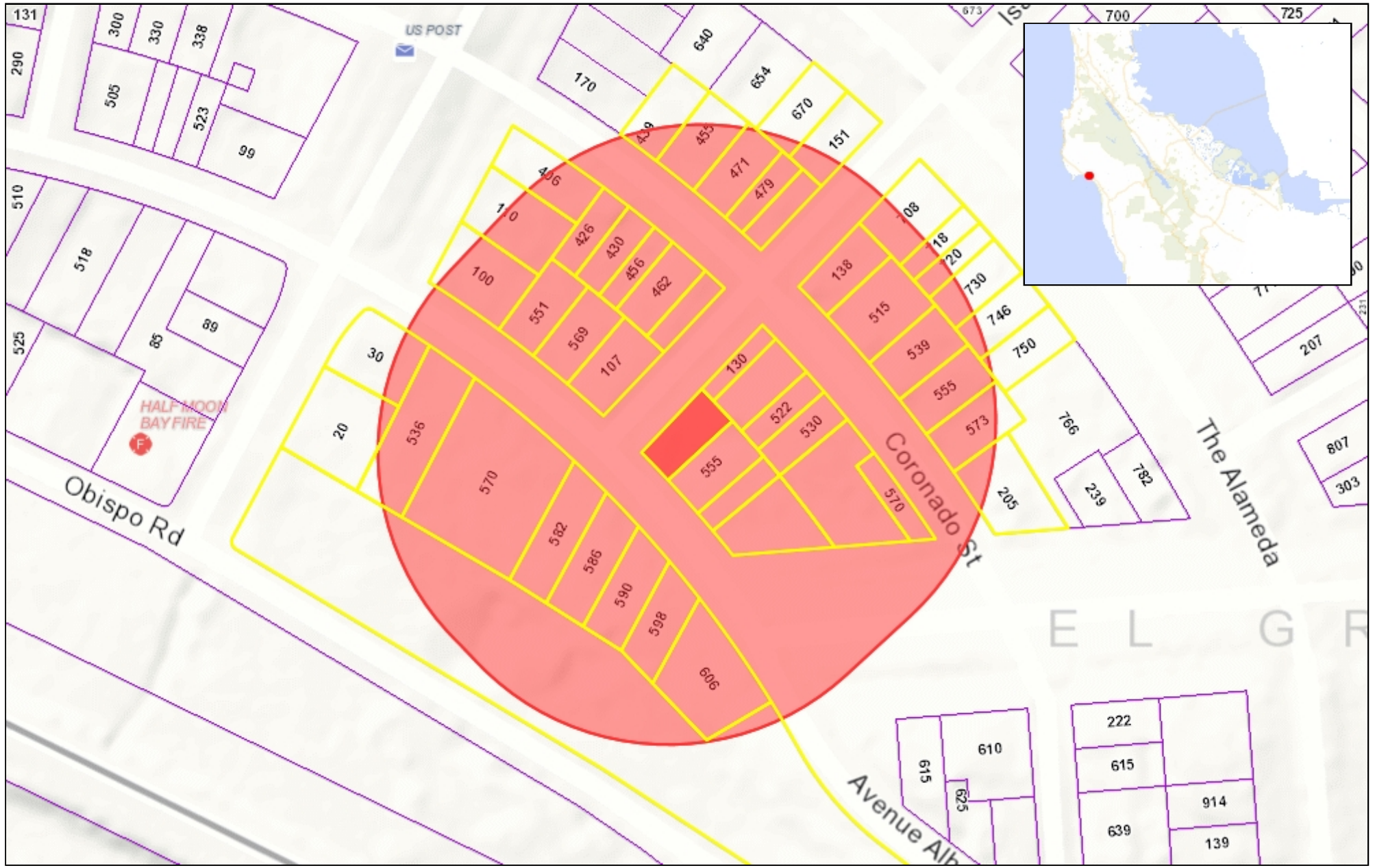
1/4 inch Quartz Pebbles

sku - 14QP

Good for pathways, parking strips, planting beds. 1/4" and 1/2" Quartz also looks nice exposed in concrete.

U-Sack \$6.50

Ton \$96.00



WGS_1984_Web_Mercator_Auxiliary_Sphere
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1:2,256

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