

**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** April 27, 2016

**TO:** Planning Commission

**FROM:** Planning Staff

**SUBJECT:** EXECUTIVE SUMMARY: Consideration of the certification of an Initial Study/Negative Declaration, pursuant to the California Environmental Quality Act (CEQA), a Non-Conforming Use Permit, a Coastal Development Permit, and a Design Review Permit, pursuant to Sections 6133.3.b, 6328.4, and 6565.3 of the San Mateo County Zoning Regulations, respectively, to allow construction of a 1,485 sq. ft. new single-family residence, plus a 388 sq. ft. attached two-car garage on a 3,916 sq. ft. non-conforming legal parcel, where 5,000 sq. ft. is the minimum required. The Non-Conforming Use Permit is required to allow a rear setback of 15 feet, 5 inches, where the minimum required is 20 feet. No significant trees are proposed for removal and only minimal grading is involved. The project is appealable to the California Coastal Commission.

County File Number: PLN 2015-00243 (Kalpakoff)

**PROPOSAL**

The applicant, Steve Kalpakoff, requests approval to construct a new single-family residence, and an attached two-car garage on a 3,916 sq. ft. non-conforming legal parcel, where 5,000 sq. ft. is the minimum parcel size of the R-1/S-17 Zoning District. The proposed new residence would be located 15 feet, 5 inches, from the rear property line due to the presence of a fault located within the front setback area of the parcel that requires 10-foot setbacks from the fault trace to comply with the project geologist's recommendations. The new residence consists of a first floor entryway, garage, and master bedroom and bath. The second floor consists of a dining room, kitchen, and living room, and the third floor consists of a den, bath, and balcony. No trees are proposed for removal and the site is generally flat. The project site is partially located in the Cabrillo Highway Scenic Corridor, and is within the California Coastal Commission's appeals jurisdiction.

## **RECOMMENDATION**

That the Planning Commission certify the Initial Study/Negative Declaration and approve the Non-Conforming Use Permit and Design Review Permit, County File Number PLN 2015-00243, based on and subject to the required findings and conditions of approval listed in Attachment A.

## **SUMMARY**

The project site is an undeveloped lot located at Cypress Avenue and Park Way, within a general area of developed parcels in the unincorporated Moss Beach area of San Mateo County. The subject site is fairly flat in topography with vegetation consisting of brush and grass. Cypress Avenue and the Fitzgerald Marine Reserve Bluff Trail are located westward, Park Way and the Seal Cove area are located to the north, and developed parcels, south and east, bound this parcel. The project site is also partially located within a County Scenic Corridor where there is partial visibility of the site from a short segment of Cabrillo Highway at Cypress Avenue. Developed parcels and mature trees screen the residence from this vantage point.

The project conforms to applicable policies of the County's General Plan and the San Mateo County Local Coastal Program (LCP). The project complies with General Plan policies regarding water and wastewater supply, as the property is within the urban area of Moss Beach, where public facilities, services, and utilities are available. The project would connect to the Montara Water and Sanitary District (MWSD) for water supply and wastewater treatment, where MWSD has indicated that there is adequate capacity to serve the project.

The project is also consistent with the Half Moon Bay Airport Land Use Compatibility Plan (ALUCP). The project site is located in Runway Safety Zone 2 of the Airport Influence Area (AIA), and the proposed height of the residence, at 27 feet, would not penetrate the established airspace threshold.

The Coastside Design Review Committee (CDRC) considered the project at the September 10 and November 12, 2015 meetings and determined that the project complies with applicable Design Review Standards and recommended project approval. The CDRC found that the project, as designed and conditioned, complements the dominant style of the neighborhood residences. Also, the CDRC determined that the project adequately protects neighbors' privacy and views; is well articulated; uses colors and materials that appear natural; incorporates drought-tolerant, native and non-invasive plant species; and uses downward-directed exterior lighting fixtures.

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**PROPOSAL**

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**RECOMMENDATION**

That the Planning Commission certify the Initial Study/Negative Declaration and approve the Non-Conforming Use Permit and Design Review Permit, County File

Number PLN 2015-00243, based on and subject to the required findings and conditions of approval listed in Attachment A.

## **BACKGROUND**

Report Prepared By: Dennis P. Aguirre, Project Planner, Telephone 650/363-1867

Applicant and Owner: Steve Kalpakoff

Location: Cypress Avenue and Park Way, Moss Beach

APN: 037-225-010

Parcel Size: 3,916 sq. ft.

Parcel Legality: Certificate of Compliance (Type A), recorded on July 14, 2015

Existing Zoning: R-1/S-17/DR/GH/CD (Single-Family Residential District/S-17 Combining District with 5,000 sq. ft. minimum parcel size/Design Review/Geologic Hazard/Coastal Development)

General Plan Designation: Medium Density Residential (6.1-8.0 dwelling units per acre)

Sphere-of-Influence: City of Half Moon Bay

Existing Land Use: Undeveloped Parcel

Water and Sewer Services: Montara Water and Sanitary District

Flood Zone: Zone X, Areas of Minimal Flooding, Community Panel No. 06081 C0119E, effective October 16, 2012.

Environmental Evaluation: Negative Declaration published with a public review period starting on April 4, 2016 and ending on April 25, 2016 (see Attachment G).

Setting: The project site is an undeveloped lot located at Cypress Avenue and Park Way, within a general area of developed parcels in the unincorporated Moss Beach area of San Mateo County. The subject site is fairly flat in topography with vegetation consisting of brush and grass. Cypress Avenue and the Fitzgerald Marine Reserve Bluff Trail are located westward, Park Way and the Seal Cove area are located to the north, and developed parcels south and east bound this parcel.

Chronology:

<u>Date</u>	<u>Action</u>
June 11, 2015	- Application submitted.
July 14, 2015	- Certificate of Compliance (Type A) recorded.
September 10, 2015	- Coastside Design Review Committee continues review of the proposal, recommending redesign of the residence to bring the design into conformance with applicable design standards and to address neighbors' concerns.
November 12, 2015	- Coastside Design Review Committee recommends approval of the revised design.
April 4, 2016	- Release of Negative Declaration and start of 20-day public review period
April 25, 2016	- Close of Negative Declaration public review period.
April 27, 2016	- Planning Commission public hearing.

**DISCUSSION**

A. KEY ISSUES

1. Conformance with the General Plan

The proposed residence is consistent with the General Plan's Medium Density Residential land use designation for the site. The project involves the construction of a single-family residence at the property within a developed single-family residential neighborhood. The General Plan designates the Montara-Moss Beach-El Granada area as existing Urban Community, which incorporates a mix of residential, commercial, and industrial land uses per the Land Use Objectives for Urban Communities.

Upon review of the applicable provisions of the General Plan, staff has determined that the project complies with applicable General Plan Policies, including the following:

Historical and Archaeological Resources Policy 5.20 (*Site Survey*) requires that sites proposed for new development be investigated to determine whether archaeological/paleontological resources are contained on-site. A mitigation plan prepared by a qualified professional is also required that includes adequate measures to protect the resource, and to be reviewed

and implemented as part of the project, prior to approval of development for these sites. Staff forwarded the project referral to California Historical Resources Information System (CHRIS) for review and comments. Based on the review of their records, the project area contains or is adjacent to an archaeological site referred to as a prehistoric shellmound (see Attachment I). The corresponding recommendation from CHRIS requires that a qualified professional assess the status of the resource and provide project specific recommendations. The applicant will submit this report for review prior to the Planning Commission meeting in order for staff to prepare an updated status on potential environmental impacts. In the event that the prehistoric shellmound is found to be on-site, or in close proximity to the project site to require protective mitigation measures, the Initial Study/Negative Declaration will be revised and re-circulated, pursuant to CEQA. An addendum to this report will also be prepared by staff to address compliance with applicable regulations and standards. Otherwise, Condition Nos. 14 through 17 are adequate measures for compliance with this policy.

Urban Land Use Policy 8.30 (*Infilling*) encourages the infilling of urban areas where infrastructure and services are available. The project complies with this policy, as the subject site is located within a developed residential area of Moss Beach.

Water Supply Policy 10.10 (*Water Suppliers in Urban Areas*) and Wastewater Policy 11.5 (*Wastewater Management in Urban Areas*) require consideration of water systems as the preferred method of water supply and sewerage systems as the appropriate method of wastewater management in urban areas. The Montara Water and Sanitary District, as the service provider for this urban area, has confirmed that a water service and sewer connection is available for this site.

2. Conformance with the Local Coastal Program

Staff has determined that the project, as conditioned, is in compliance with applicable Local Coastal Program (LCP) policies, including the relevant components discussed below:

a. Locating and Planning New Development Component

LCP Policy 1.18 (*Location of New Development*) directs new development to existing urban areas in order to discourage urban sprawl and maximize the efficiency of public facilities, services and utilities. Also, the policy requires new development to be concentrated in urban areas by requiring the “infilling” of existing residential subdivisions. Policy 1.20 (*Definition of Infill*) defines infill as the development of vacant land in urban areas that is subdivided and

zoned for development at densities greater than 1 dwelling unit per 5 acres, and/or served by sewer and water. The project complies with these policies as the subject property is within the existing residential Marine View Beach Subdivision in the urban area of Moss Beach, where public facilities, services and utilities are available.

LCP Policy 1.23 (*Timing of New Housing Development in the Midcoast*) limits the maximum number of new dwelling units built in the urban Midcoast to 40 units per calendar year so that roads, public services and facilities and community infrastructure are not overburdened by impacts of new residential development. Staff anticipates that the building permits to be issued for the 2016 calendar year will not exceed this limit, based on projections and estimates of current applications for building permits received for 2015.

LCP Policy 1.25 (*Protection of Archaeological/Paleontological Resources*) calls for the same requirements specified in the General Plan Policy 5.2 as discussed above.

b. Visual Resources Component

LCP Policy 8.12(a) (*General Regulations*) applies the Design Review Zoning District to urbanized areas of the Coastal Zone, which includes Moss Beach. The project is, therefore, subject to Section 6565.20 of the Zoning Regulations. As discussed in Section 4.b of this report, the Coastside Design Review Committee (CDRC) considered this project at the regularly scheduled CDRC meetings of September 10 and November 12, 2015, and determined it is in compliance with applicable Design Review Standards, and recommended approval. See further discussion in Section 4.b.

LCP Policy 8.13 (*Special Design Guidelines for Coastal Communities*) establishes design guidelines for Montara, Moss Beach, El Granada, and Miramar. The proposed home complies with these guidelines as follows:

- (1) On-site grading is not extensive and only limited to standard construction activity.
- (2) The proposed residence uses materials with a natural appearance such as wood siding and composition roof shingles.
- (3) The proposed residence uses hip roofs for the project, utilizing non-reflective, composite roof shingles as the primary roof material.

- (4) The enhanced facade articulation brings the proposed structure to a scale compatible with the homes in the neighborhood.
- 5) The public and private views from Cypress Avenue and Park Way and other private properties in the neighborhood are maintained as a result of the proposed well-articulated design of the new residence and the adequate level of new landscaping.

LCP Policy 8.32 (a) and (c) (*Regulation of Scenic Corridors in Urban Areas*) requires the application of the Design Review (DR) Ordinance, and specific design guidelines that govern residential development in the coastal communities in the unincorporated area, including El Granada. The project complies with this policy as discussed above (LCP Policy 8.13) and Section 4.b below (*Conformance with Design Review Standards*).

c. Hazards Component

LCP Policy 9.3 (*Regulation of Geologic Hazard Areas*) requires the application of the Resource Management (RM) Zoning Ordinance, Section 6326.3 (*Seismic Fault/Fracture Area Criteria*), to sites located in a designated geologic hazard area. Single-family residential structures are allowed in this area subject to the submittal of a detailed geologic site investigation prepared by a geologist registered in the State of California, and adequate engineering design, indicating that the site is suitable for development. The policy prohibits location of structures across the trace of an active fault.

The geotechnical report, dated June 3, 2015, prepared by Sigma Prime Geosciences (see Attachment F), indicates that the site is suitable for development contingent upon the implementation of the report's geotechnical recommendations. The recommendations include, but are not limited to, installing a mat slab foundation. The site has been determined to be outside of landslide areas. Also, the possibility of fault rupture is highly unlikely based on the location of the main fault trace being 225 feet southwest of the property. A secondary fault trace was found on the property with about 1 foot of vertical offset. The house design and location incorporate the recommendations of the Geotechnical Report, where a setback of 10 feet from the fault trace is proposed.

LCP Policy 9.10 (*Geotechnical Investigation of Building Sites*) requires the County Geologist or an independent certified consulting engineering geologist to review building permits in hazard areas for evaluation of potential geotechnical problems and to review and approve all required investigations for adequacy.



The County Geologist completed a preliminary review of the geotechnical report and found that it adequately addresses potential geotechnical hazards for the purposes of planning permit approval. As required by Policy 9.10, further review will be required at the building permit stage. Accordingly, Condition No. 40 states: The applicant shall submit an updated geotechnical report at the building application stage, as is standard for the County's geotechnical review.

d. Shoreline Access Component

Policy 10.1 (*Permit Conditions for Shoreline Access*) requires shoreline access provision as a condition of granting development permits for any public or private development between the sea and the nearest road. The subject site is located between the Pacific Ocean westward and Airport Street eastward and is therefore subject to this policy; Airport Street is the first through road to the east of the subject parcel.

Policy 10.12(a) (*Residential Areas*) also requires that vertical access be provided at the ends of streets perpendicular to the shoreline. The project complies with this policy based on the existing vertical access provided by Cypress Avenue to the shoreline area westward. Unobstructed scenic vistas to the Pacific Ocean are available at the end of this access thoroughfare. The existence of this access point also complies with the requirements of Section 30212 of the California Coastal Act such that no additional access points are required.

3. Conformance with the Half Moon Bay Airport Land Use Compatibility Plan (HAF ALUCP)

Upon review of the provisions of the Half Moon Bay Airport (HAF) Airport Land Use Compatibility Plan (ALUCP) for the environs of Half Moon Bay Airport, as adopted by the City/County Association of Governments (C/CAG) on October 9, 2014, staff has determined that the project complies with the safety, noise and height limit criteria for compatibility. The project site is located in the Inner Approach/Departure Zone 2 (IADZ) where the risk level is considered to be high because of low altitude ceilings determined to be typically at 200 to 400 feet above runway elevation. The proposed project satisfies the criteria set forth in Section 4.2.2.3 of the HAF ALUCP to allow residential infill development in this zone. The proposed height of 27 feet would not penetrate the established airspace threshold. Also, the project site is outside of the defined aircraft noise exposure contours and, therefore, would not be exposed to high levels of aircraft noise. As required by LCP Policy 1.36(b) (*Half Moon Bay Airport Influence Area Requirements*), any future transfer of this property must comply with the real estate disclosure

requirements specified in Chapter 496, California Statutes of 2002. This requirement is included as Condition No. 41.

4. Conformance with the Zoning Regulations

a. Conformance with S-17 District Development Standards

With the exception of the rear setback for which a use permit is sought, the proposal complies with the property’s R-1/S-17 Zoning designation, as indicated in the following table:

	<b>S-17 Development Standards</b>	<b>Proposed</b>
Minimum Site Area	5,000 sq. ft.	3,916 sq. ft. (existing)
Maximum Floor Area	1,880 sq. ft. (48% maximum)	1,870 sq. ft. (48%)
Maximum Building Site Coverage	1,370 sq. ft. (35% maximum)	1,077 sq. ft. (27%)
Minimum Front Setback	20 ft.	38 ft. - 6 in.
Minimum Rear Setback	20 ft.	15 ft. - 5 in.*
Minimum Right Side Setback	5 ft.	5 ft.
Minimum Left Side Setback	10 ft.	10 ft.
Maximum Building Height	28 ft.	27 ft.
Minimum Covered Parking Spaces	2	2
Facade Articulation	Finding made by CDRC	Finding made by CDRC
* Development on an unimproved non-conforming parcel that does not conform with the Zoning Regulations in effect requires a Use Permit per Section 6133.3.b(1)(b) of the County Zoning Regulations (See Section 6, Use Permit, discussion below).		

The proposed two-story residence meets the zoning district height standards and includes a design, scale and size compatible with other residences located in the vicinity, including a proposed lot coverage of 27% (1,077 sq. ft.) of total lot size, where 35% (1,370 sq. ft.) is the maximum allowed. Additionally, the total floor area proposed is 48% (1,870 sq. ft.) of total lot size, where 48% (1,880 sq. ft.) is the maximum allowed.

b. Conformance with Design Review District Standards

The Coastsides Design Review Committee (CDRC) considered the project at a regularly scheduled CDRC meetings of September 10 and November 12, 2015, where the CDRC adopted findings to recommend project approval, pursuant to the Design Review Standards for One-Family Residential Development in the Midcoast, Section 6565.20 of the San Mateo County Zoning Regulations, specifically elaborated as follows (see Attachment D):

- (1) The proposed design incorporates adequate step-down of the structure conforming it to existing grade. Architectural elements, such as decks, bay windows, and balconies, contribute to the wall articulation of the structure (Section 6565.20(D)1e).
- (2) The second and third floor levels are located toward the center of the first story and away from the property lines (Section 6565.20(D)1c).
- (3) The proposed materials, such as stone, wood, metal, and colors, appear warm and natural and complement the neighboring residences. Condition No. 2.a requires the replacement of the existing chain link fence for more compatibility with the proposed architectural style of the residence (Section 6565.20(D)4).
- (4) As proposed and conditioned, the downward lighting fixtures integrate well with the overall design of the residence. Condition No. 2.b requires the removal of the exterior landscape lighting fixtures from the plans (Section 6565.20(F)4).

5. Conformance with Geological Hazards (GH) District Standards

The site is located in the Geological Hazard Area Zone 3. Section 6296.2. (*Description of Hazardous Zones in Seal Cove Area*) allows development in Zone 3 if suitable mitigation measures including, but not limited to, siting of homes away from active faults, structural and foundation design and adequate surface drainage plans are applied as recommended by a required geotechnical investigation. As discussed in Section 2.c., a geotechnical report has been prepared indicating that the site, based on the site's Zone 3 location, is suitable for development contingent upon the implementation of the report's geotechnical recommendations.

Pursuant to Section 6295.4 of the San Mateo County Zoning Regulations, building permits shall not be approved unless the County Geologist has evaluated the project to show compliance with applicable district regulations. The project has received preliminary review by the County Geologist, who has authorized the project to move forward, pending submittal of a more detailed soils report at the building permit stage, as is standard for the County's geotechnical review.

In accordance with GH District Regulations, the applicant will be required to record a deed restriction acknowledging the property's location in Zone 3 of the Seal Cove Geologic Hazards District, as required by Condition No. 40, which reads as follows: Pursuant to Section 6294.4(2) of the San Mateo County Zoning Ordinance, the applicant shall record the following deed restriction with the San Mateo County Recorder's Office stated as follows,

prior to the issuance of the building permit: "This property is located in Zone 3 of the Seal Cove Geologic Hazards District established by Section 6296 of the San Mateo County Ordinance Code, Zoning Annex. Maps of this district are on file with the San Mateo County Planning and Building Department."

6. Conformance with Use Permit Findings

Staff's recommendation to approve the project is based on project compliance with findings pursuant to Section 6133.3.b(3) of the San Mateo County Zoning Regulations elaborated as follows:

- a. The proposed development is proportioned to the size of the parcel on which it is being built.

The lot coverage and floor areas remain compliant with the S 17 Zoning District development standards. The total lot coverage of 27% (1,077 sq. ft.) is less than the maximum allowed of 35% (1,370 sq. ft.), while the total floor area proposed of 48% (1,870 sq. ft.) is at the maximum allowed of 48% (1,880 sq. ft.). The project is adequately proportioned to the parcel size based on the proposal to locate the structure beyond the setbacks of the fault trace.

- b. All opportunities to acquire additional contiguous land in order to achieve conformity with the zoning regulations currently in effect have been investigated and proven to be infeasible.

An effort was undertaken by the applicant to explore the possibility of purchasing adjacent properties. Purchase offer letters were forwarded to two neighbors (see Attachment H). The offers were not acknowledged since neither replies nor counter-offers were received from the potential sellers. Based on this outcome, mitigation of the parcel size non-conformity via parcel mergers has been proven infeasible.

- c. The proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible.

The proposed development conforms with the development rear setback of the zoning district to the furthest extent feasible given the location of the fault trace on the property. The proposed residence provides a 15'-5" rear setback where a minimum of 20' is required, encroaching 4'-7" in to the setback. The 4'-7" encroachment is reasonable to allow a 10' setback of development from the fault trace, as recommended by the project geotechnical consultant and supported by the County Geologist.

- d. The establishment, maintenance, and/or conducting of the proposed use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood.

The proposed height of 27 feet for the new residence, the well-articulated facades, and the adequate setbacks bring the structure into scale with the established neighborhood context.

- e. The use permit approval does not constitute a granting of special privileges.

The use permit would allow the use of this parcel for residential development in keeping with the rest of the parcels in this residential neighborhood that include at least two other non-conforming parcels.

#### B. ENVIRONMENTAL REVIEW

Due to potential impacts associated with the presence of a fault trace within the front setback area of the project site, an Initial Study/Negative Declaration (IS/ND) has been prepared for the project, pursuant to the California Environmental Quality Act (CEQA). The IS/ND found potential project impacts in the areas of geologic hazards impacts to traffic and pedestrian patterns, and impacts to park services. Based on mitigations incorporated into project design, the IS/ND found no significant impacts associated with the project. Therefore, no mitigation measures are necessary. The IS/ND (Attachment G) was published on April 4, 2016, with a 20-day review period ending on April 25, 2016. As of the writing of this report, no comments have been received. Any comments received will be addressed at the public hearing.

#### C. REVIEW BY THE MIDCOAST COMMUNITY COUNCIL

The Midcoast Community Council (MCC) did not forward a response to staff's referral for this project. The MCC has been notified of the Planning Commission's review of this project.

#### D. REVIEW BY THE CALIFORNIA COASTAL COMMISSION

The California Coastal Commission (CCC) did not forward a response to staff's referral for this project. The CCC has been notified of the Planning Commission's review of this project.

E. OTHER REVIEWING AGENCIES

Building Inspection Section  
Department of Public Works  
Geotechnical Section  
Coastside Fire Protection District  
Montara Water and Sanitary District  
California Historical Resources Information System

**ATTACHMENTS**

- A. Recommended Findings and Conditions of Approval
- B. Vicinity Map
- C. Project Plans
- D. Coastside Design Review Committee Recommendation of Approval Letter, dated April 7, 2016
- E. Site Photos
- F. Geotechnical Report
- G. Initial Study/Negative Declaration, dated April 4, 2016
- H. Offer Letters
- I. California Historical Resources Information System Comment Letter

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County of San Mateo  
Planning and Building Department

**RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL**

Permit or Project File Number: PLN 2015-00243

Hearing Date: April 27, 2016

Prepared By: Dennis P. Aguirre  
Project Planner

For Adoption By: Planning Commission

**RECOMMENDED FINDINGS**

Regarding the Environmental Review, Find:

1. That the Initial Study/Negative Declaration is complete, correct and adequate, and prepared in accordance with the California Environmental Quality Act and applicable State and County Guidelines.
2. That, on the basis of the Initial Study/Negative Declaration and comments hereto, there is no evidence that the project will have a significant effect on the environment. The Initial Study/Negative Declaration found potential project impacts in the areas of geologic hazards impacts to traffic and pedestrian patterns, and impacts to park services. Based on mitigations incorporated into project design, Analysis 3 in the IS/ND found no significant impacts associated with the project. Therefore, no mitigation measures are necessary.
3. That the Initial Study/Negative Declaration reflects the independent judgment of San Mateo County.

Regarding the Coastal Development Permit, Find:

4. That the project, as described in the application and accompanying materials required by the Zoning Regulations, Section 6328.4, and as conditioned in accordance with Section 6328.14, conforms with the applicable policies and required findings of the San Mateo County Local Coastal Program (LCP). Specifically, the project complies with policies requiring infill development and policies of the Hazard Component.
5. That the number of building permits for the construction of single-family residences issued in the calendar year would not exceed the limits of LCP Policy 1.23.

Regarding the Design Review, Find:

6. That, with the conditions of approval recommended by the Coastside Design Review Committee at its meetings of September 10 and November 12, 2015, the project is in compliance with the Design Review Standards for the Midcoast. The project, as designed and conditioned, complements the dominant style of the neighborhood residences. The project adequately protects neighbors' privacy and views; is well articulated; uses colors and materials that appear natural; incorporates drought tolerant, native and non-invasive plant species; and uses downward-directed exterior lighting fixtures.

Regarding the Use Permit, Find:

7. Pursuant to Section 6133.3.b(3) of the San Mateo County Zoning Regulations:
  - a. That the proposed development is proportioned to the size of the parcel on which it is being built. The lot coverage and floor areas remain compliant with the S-17 Zoning District development standards. The total lot coverage of 27% (1,077 sq. ft.) is less than the maximum allowed of 35% (1,370 sq. ft.), while the total floor area proposed of 48% (1,870 sq. ft.) is at the maximum allowed of 48% (1,880 sq. ft.). The project is adequately proportioned to the parcel size based on the proposal to locate the structure beyond the setbacks of the fault trace.
  - b. That all opportunities to acquire additional contiguous land in order to achieve conformity with the zoning regulations currently in effect have been investigated and proven to be infeasible. An effort was undertaken by the applicant to explore the possibility of purchasing adjacent properties. Purchase offer letters were forwarded to two neighbors (see Attachment H). The offers were not acknowledged since neither replies nor counter-offers were received from the potential sellers. Based on this outcome, mitigation of the parcel size non-conformity via parcel mergers has been proven infeasible.
  - c. That the proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible. The proposed development conforms with the development rear setback of the zoning district to the furthest extent feasible given the location of the fault trace on the property. The proposed residence provides a 15'-5" rear setback where a minimum of 20' is required, encroaching 4'-7" in to the setback. The 4'-7" encroachment is reasonable to allow a 10' setback of development from the fault trace, as recommended by the project geotechnical consultant and supported by the County Geologist.
  - d. That the establishment, maintenance, and/or conducting of the proposed use will not, under the circumstances of the particular case, result in a



significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood. The proposed height of 27 feet for the new residence, the well-articulated facades, and the adequate setbacks bring the structure into scale with the established neighborhood context.

- e. That the use permit approval does not constitute a granting of special privileges. The use permit would allow the use of this parcel for residential development in keeping with the rest of the parcels in this residential neighborhood that include at least two other non-conforming parcels.

## **RECOMMENDED CONDITIONS OF APPROVAL**

### **Current Planning Section**

1. The project shall be constructed in compliance with the plans approved by the Planning Commission on April 27, 2016. Any changes or revisions to the approved plans shall be submitted to the Design Review Officer for review and approval prior to implementation. Minor adjustments to the project may be approved by the Design Review Officer if they are consistent with the intent of and are in substantial conformance with this approval. Alternatively, the Design Review Officer may refer consideration of the revisions to the Coastside Design Review Committee, with applicable fees to be paid by the applicant.
2. The Non-Conforming Use Permit and Design Review approvals shall be valid for five (5) years from the date of final approval in which time a building permit shall be issued and a completed inspection (to the satisfaction of the building Inspector) shall have occurred within 180 days of its issuance. One (1) one-year extension of these permits will be considered upon written request and payment of the applicable fees sixty (60) days prior to the permits' expiration.
3. The applicant shall submit the following items and/or indicate the following on the plans submitted for a building permit, as stipulated by the Coastside Design Review Committee:
  - a. Replace the existing chain link fence for more compatibility with the proposed architectural style of the residence.
  - b. Remove the exterior landscape lighting fixtures from the plans.
4. The applicant shall provide "finished floor elevation verification" to certify that the structure is actually constructed at the height shown on the submitted plans. The applicant shall have a licensed land surveyor or engineer establish a baseline elevation datum point in the vicinity of the construction site.

- a. The applicant shall maintain the datum point so that it will not be disturbed by the proposed construction activities until final approval of the building permit.
  - b. This datum point and its elevation shall be shown on the submitted site plan. This datum point shall be used during construction to verify the elevation of the finished floors relative to the existing natural or to the grade of the site (finished grade).
  - c. Prior to Planning approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades.
  - d. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).
  - e. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.
  - f. If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.
5. During project construction, the applicant shall, pursuant to Chapter 4.100 of the San Mateo County Ordinance Code, minimize the transport and discharge of stormwater runoff from the construction site into storm drain systems and water bodies by:
- a. Using filtration materials on storm drain covers to remove sediment from dewatering effluent.
  - b. Stabilizing all denuded areas and maintaining erosion control measures continuously between October 1 and April 30.

- c. Removing spoils promptly, and avoiding stockpiling of fill materials, when rain is forecast. If rain threatens, stockpiled soils and other materials shall be covered with a tarp or other waterproof material.
  - d. Storing, handling, and disposing of construction materials and wastes so as to avoid their entry to the storm drain system or water body.
  - e. Avoiding cleaning, fueling or maintaining vehicles on-site, except in an area designated to contain and treat runoff.
  - f. Limiting and timing application of pesticides and fertilizers to avoid polluting runoff.
6. The applicant shall include an erosion and sediment control plan meeting County guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and to prevent erosion and sedimentation off-site.
  7. The applicant shall apply for a building permit and shall adhere to all requirements of the Building Inspection Section, the Department of Public Works, and the Coastside Fire Protection District.
  8. No site disturbances shall occur, including any grading or vegetation removal, until a building permit has been issued.
  9. To reduce the impact of construction activities on neighboring properties, comply with the following:
    - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
    - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
    - c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the right-of-way on Cypress Avenue and Park Way. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on Cypress Avenue and Park Way. There shall be no storage of construction vehicles in the public right-of-way.

10. The exterior color samples submitted to the Coastside Design Review Committee are approved. Color verification shall occur in the field after the applicant has applied the approved materials and colors but before a final inspection has been scheduled.
11. Installation of the approved landscape plan is required prior to final inspection.
12. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 5:00 p.m. Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo Ordinance Code Section 4.88.360).
13. The project site is located within the Fitzgerald Area of Special Biological Significance (ASBS) Watershed. Runoff and other polluted discharges from the site are prohibited. Development shall minimize erosion, treat stormwater from new/replaced impervious surfaces, and prevent polluted discharges into the ASBS or a County storm drain (e.g., car washing in a driveway or street, pesticide application on lawn).
14. The project site is located within the Fitzgerald Area of Special Biological Significance (ASBS) Watershed and is considered a Construction Stormwater Regulated Site. Weekly construction inspections are required throughout the duration of land disturbance during the rainy season (October 1 to through April 30) for sites within the ASBS Watershed, as required by the State Water Resources Control Board General Exceptions to the California Ocean Plan with Special Protections adopted on March 20, 2012.
15. In the event that any human remains are encountered during site disturbance, all ground-disturbing work shall cease immediately and the County coroner shall be notified immediately. If the coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within 24 hours. A qualified archaeologist, in consultation with the Native American Heritage Commission, shall recommend subsequent measures for disposition of the remains.
16. If archaeological and/or cultural resources are encountered during grading or construction activities, work shall be temporarily halted in the vicinity within 30 feet of the discovered materials and workers shall avoid altering the materials and their context until a qualified professional archaeologist has evaluated the situation and provided appropriate recommendations. The project applicant or archaeologist shall immediately notify the Current Planning Section of any discoveries made and shall provide the Current Planning Section with a copy of the archaeologist's report and recommendations for the Community Development Director's review and approval, prior to any further grading or construction activity in the vicinity.

17. A discovery of a paleontological specimen during any phase of the project shall result in a work stoppage in the vicinity of the find until it can be evaluated by a professional paleontologist. Should loss or damage be detected, additional protective measures or further action (e.g., resource removal), as determined by a professional paleontologist and as reviewed and approved by the Community Development Director, shall be implemented to mitigate the impact.

#### Building Inspection Section

18. The applicant shall apply for a building permit.

#### Montara Water and Sanitary District

19. Prior to the issuance of a building permit, the applicant shall obtain Domestic Water/Fire Protection Connection and Sewer Permits, including the submittal of adequate fire flow calculations from a Certified Fire Protection Contractor.

#### Department of Public Works

20. Prior to the issuance of the building permit, the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Department of Public Works for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works for review and approval. In addition, since this project has the potential to discharge to the Area of Special Biological Significance (ASBS), all stormwater shall be treated prior to disposal.
21. Prior to the issuance of the building permit, the applicant shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20%) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.
22. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including

review of the plans, have been met and an encroachment permit issued. The applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.

23. Prior to the issuance of the building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No. 3277.

#### Coastside Fire Protection District

24. Smoke detectors which are hardwired: As per the California Building Code, State Fire Marshal Regulations, and Coastside Fire Protection District Ordinance No. 2013-03, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hardwired, interconnected, and have battery backup. These detectors are required to be placed in each new and reconditioned sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final.
25. Escape or rescue windows shall have a minimum net clear openable area of 5.7 sq. ft. Five (5) sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor.
26. Identify rescue windows in each bedroom and verify that they meet all requirements. Add this to plans.
27. Occupancy Separation: As per the 2010 CBC, Section 406.1.4, a 1-hour occupancy separation wall shall be installed with a solid core, 20-minute fire rated, self-closing door assembly with a smoke gasket between the garage and the residence. All electrical boxes installed in rated walls shall be metal or protected.
28. Address Numbers: As per Coastside Fire Protection District Ordinance No. 2013-03, building identification shall be conspicuously posted and visible from the street. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON-SITE.) The letters/numerals for permanent address signs shall be 4 inches in height with a minimum 3/4-inch stroke. Such letters/numerals shall be internally illuminated and facing the direction of access. Finished height of bottom of address light unit shall be greater than or equal to 6 feet from the finished grade. When the building is served by a long driveway or is otherwise obscured, a 6-inch by 18-inch green reflective metal sign with 3-inch reflective numbers/letters similar to Hy-Ko 911 or

equivalent shall be placed at the entrance from the nearest public roadway. See Fire Ordinance for standard sign.

29. Add the following note to the plans: New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least 6 feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire Protection District. This remote signage shall consist of a 6-inch by 18-inch green reflective metal sign with 3-inch reflective numbers/letters similar to Hy-Ko 911 or equivalent.
30. Roof Covering: As per Coastside Fire Protection District Ordinance No. 2013-03, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.
31. Vegetation Management: As per the Coastside Fire Protection District Ordinance No. 2013-03, the 2013 California Fire Code, and the Public Resources Code 4291, a fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. In SRA (State Responsible Area), the fuel break is 100 feet or to the property line.
32. Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 to 10 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity.
33. Remove that portion of any existing tree, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure.
34. Add the following note to plans: The installation of an approved spark arrester is required on all chimneys, existing and new. Spark arresters shall be constructed of woven or welded wire screening of 12-gauge USA standard wire having openings not exceeding 1/2 inch.
35. Fire Access Roads: The applicant must have a maintained asphalt surface road for ingress and egress of fire apparatus. The San Mateo County Department of Public Works, the Coastside Fire Protection District Ordinance No. 2013-03, and the California Fire Code shall set road standards. As per the 2013 CFC, dead-end roads exceeding 150 feet shall be provided with a turnaround in accordance with Half Moon Bay Fire District specifications. As per the 2007 CFC, road width shall not be less than 20 feet. Fire access roads shall be installed and made serviceable prior to combustibles being placed on the project site and maintained

during construction. Approved signs and painted curbs or lines shall be provided and maintained to identify fire access roads and state the prohibition of their obstruction. If the road width does not allow parking on the street (20 foot road) and on-street parking is desired, an additional improved area shall be developed for that use.

36. Fire apparatus roads to be a minimum of 20 ft. wide with minimum of 35 ft. centerline radius and a vertical clearance of 15 feet.
37. "No Parking - Fire Lane" signs shall be provided on both sides of roads 20 to 26 feet wide and on one side of roads 26 to 32 feet wide.
38. Show location of fire hydrant on a site plan. A fire hydrant is required within 250 feet of the building and flow a minimum of 1,000 gallons per minute (gpm) at 20 pounds per square inch (psi). This information is to be verified by the water purveyor in a letter initiated by the applicant and sent to the Coastside Fire Protection District. If there is not a hydrant within 250 feet with the required flow, one will have to be installed at the applicant's expense.
39. Automatic Fire Sprinkler System: As per San Mateo County Building Standards and Coastside Fire Protection District Ordinance No. 2013-03, the applicant is required to install an automatic fire sprinkler system throughout the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. All areas that are accessible for storage purposes shall be equipped with fire sprinklers including closets and bathrooms. The only exception are small linen closets less than 24 sq. ft. with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Department or the City of Half Moon Bay. A building permit will not be issued until plans are received, reviewed, and approved. Upon submission of plans, the County or City will forward a complete set to the Coastside Fire Protection District for review. The fee schedule for automatic fire sprinkler systems shall be in accordance with Half Moon Bay Ordinance No. 2006-01. Fees shall be paid prior to plan review.
40. Installation of underground sprinkler pipes shall be flushed and visually inspected by the Fire District prior to hookup to riser. Any soldered fittings must be pressure tested with trench open.
41. Exterior bell and interior horn/strobe are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe and flow switch, along with the garage door opener, are to be wired into a separate circuit breaker at the main electrical panel and labeled.
42. All fire conditions and requirements must be incorporated into your building plans prior to building permit issuance. It is your responsibility to notify your contractor, architect, and engineer of these requirements.



### Geotechnical Section

43. The applicant shall submit an updated geotechnical report at the building application stage.
44. The applicant shall record the following deed restriction with the San Mateo County Recorder's Office stated as follows, prior to the issuance of the building permit: "This property is located in Zone 3 of the Seal Cove Geologic Hazards District established by Section 6296 of the San Mateo County Ordinance Code, Zoning Annex. Maps of this district are on file with the San Mateo County Planning and Building Department."

### Half Moon Bay Airport Influence Area

45. Compliance with the real estate disclosure specified in Chapter 496, California Statutes of 2002, shall be required upon transfer of this real property.

DPA:jlh – DPAAA0185\_WJU.DOCX



**San Mateo County Planning Commission Meeting**

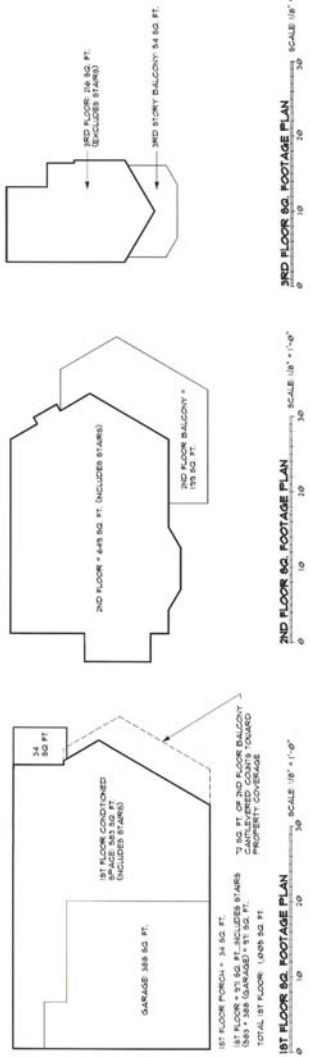
Owner/Applicant: Steve Kalpakoff

File Numbers: PLN2015-00243

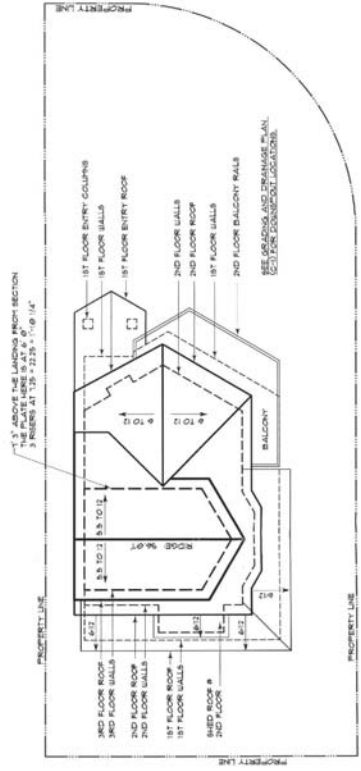
Attachment: B

- ALL CONSTRUCTION SHALL CONFORM TO:
- 2013 CALIFORNIA RESIDENTIAL CODE
- 2013 CALIFORNIA BUILDING CODE
- 2013 CALIFORNIA MECHANICAL CODE
- 2013 CALIFORNIA PLUMBING CODE
- 2013 CALIFORNIA FIRE CODE
- 2013 CALIFORNIA ELECTRICAL CODE
- 2013 CALIFORNIA ENERGY CODE
- 2013 CALIFORNIA BUILDING CODE STANDARDS

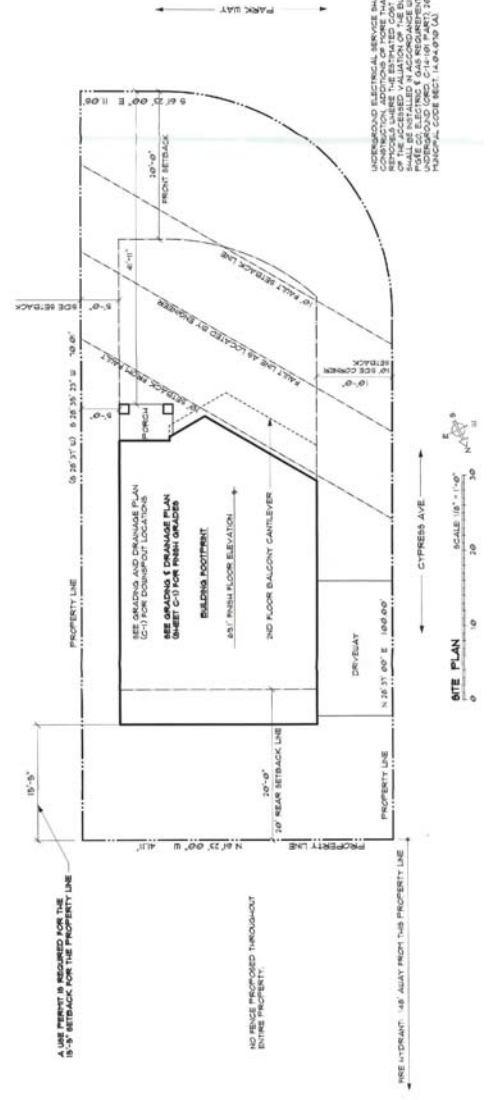
OCCUPANCY GROUP: R3-U  
 TYPE OF CONSTRUCTION TYPE: V-B  
 SCOPE OF WORK: CONSTRUCTION OF A  
 NEW WOOD FRAMED, THREE STORY RESIDENCE  
 FIRE SPRINKLERS REQUIRED



**1ST FLOOR 80' FOOTAGE PLAN** SCALE 1/8" = 1'-0"  
**2ND FLOOR 80' FOOTAGE PLAN** SCALE 1/8" = 1'-0"  
**3RD FLOOR 80' FOOTAGE PLAN** SCALE 1/8" = 1'-0"



**ROOF PLAN** SCALE 1/8" = 1'-0"



**SITE PLAN** SCALE 1/8" = 1'-0"

UNDERGROUND ELECTRICAL SERVICE SHALL BE PROVIDED IN ALL NEW CONSTRUCTION ADDITIONS OF MORE THAN 30% OF THE TOTAL FLOOR AREA & OF THE EXISTING FLOOR AREA OF THE BUILDING. UNDERGROUND SERVICE OF THE EXISTING ELECTRICAL SERVICE SHALL BE PROVIDED IN ALL NEW CONSTRUCTION ADDITIONS OF MORE THAN 30% OF THE TOTAL FLOOR AREA & OF THE EXISTING FLOOR AREA OF THE BUILDING. SEE ELECTRICAL SERVICE MANUAL CODE (ELECT. 14.04.03.01) FOR MORE INFORMATION.

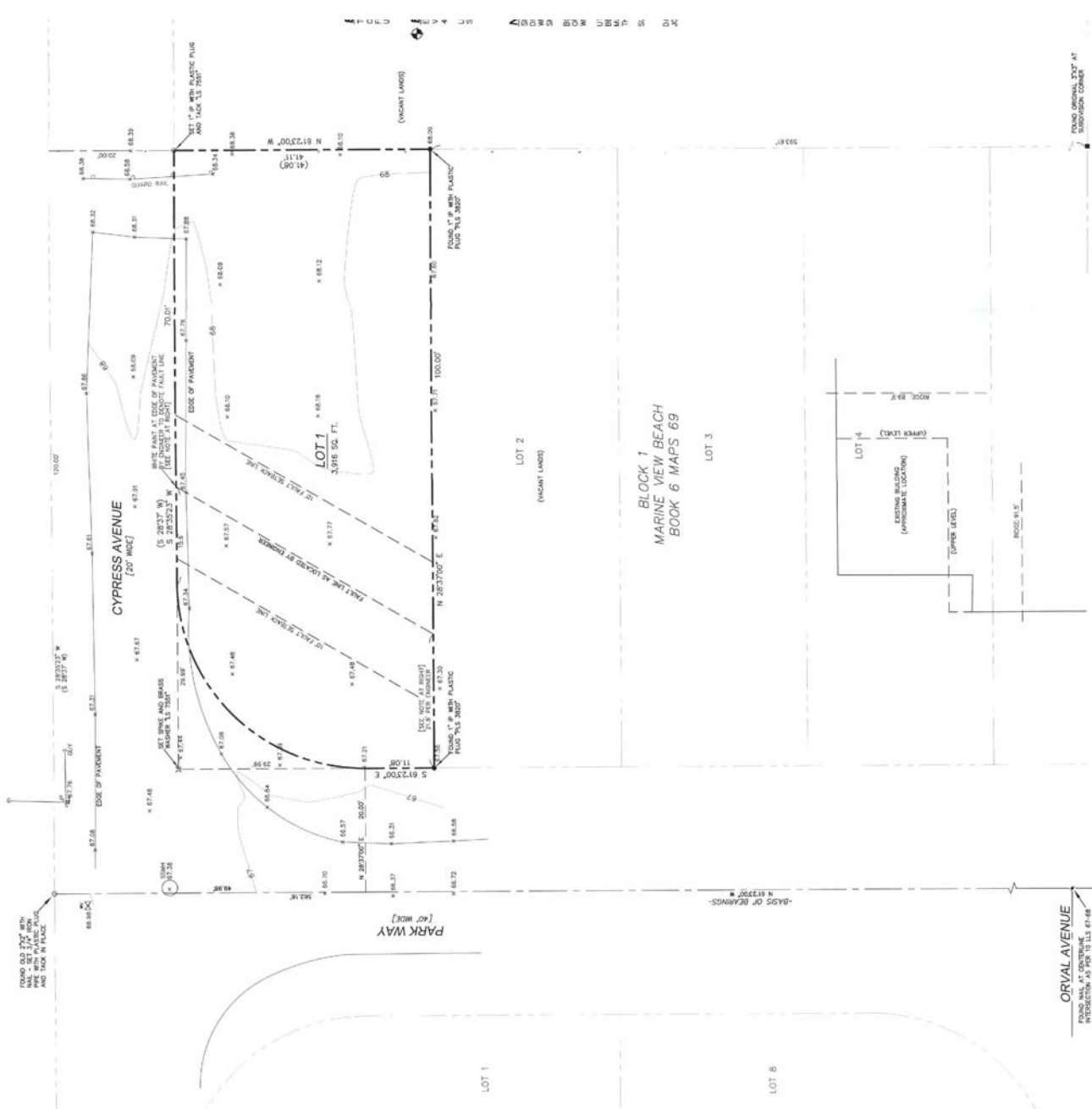
**LIST OF DRAWINGS FOR DESIGN REVIEW**

A1.1	TITLE PAGE & SITE PLAN
A1.2	NOTES
S-1	SURVEY
C-1	GRADING, DRAINAGE & EROSION CONTROL PLAN
L-1	LANDSCAPE PLAN
A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A2.3	THIRD FLOOR PLAN
A3.1	ELEVATIONS
A4.1	SECTION A-A
A4.2	SECTION B-B
A4.3	SECTION C-C

**San Mateo County Planning Commission Meeting**

Owner/Applicant: Steve Kalpakoff

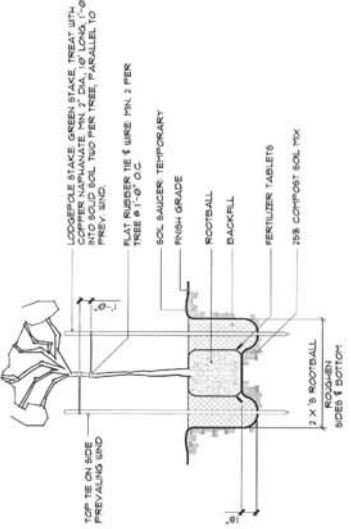
File Numbers: PLN2015-00243



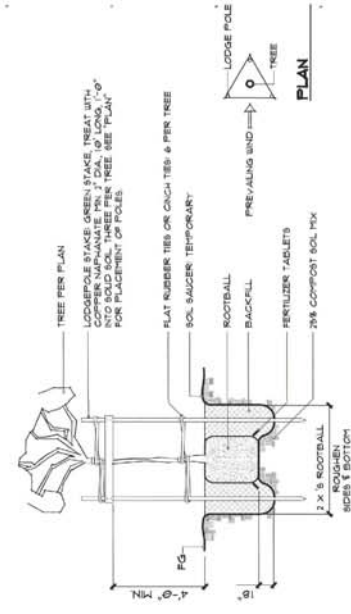
# San Mateo County Planning Commission Meeting

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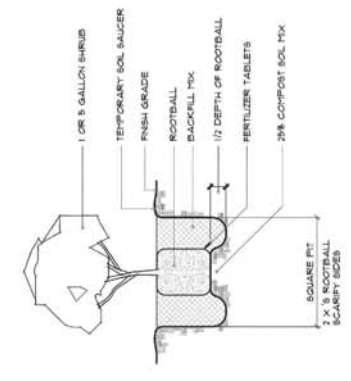
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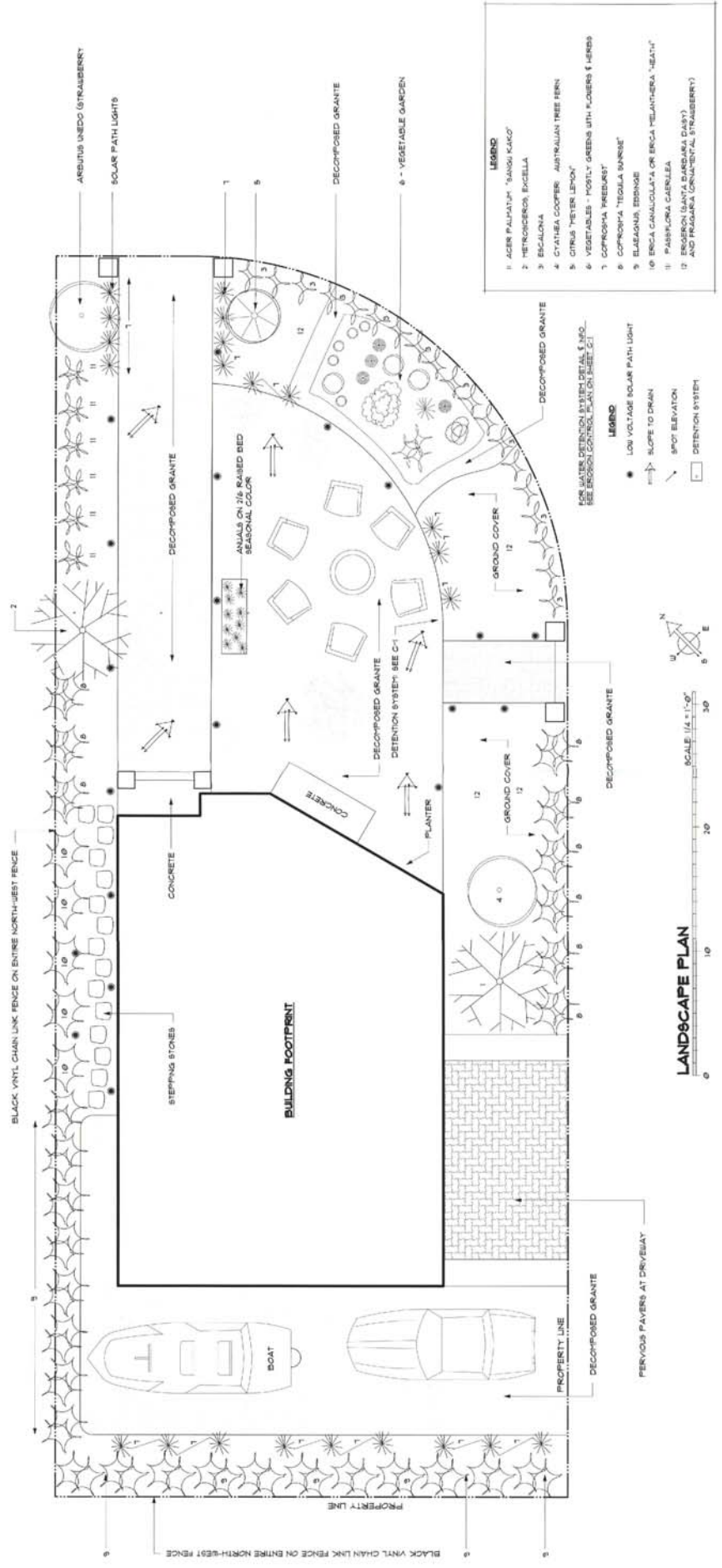
**TREE STAKING DETAIL** NOT TO SCALE



**BOX TREE STAKING DETAIL** NOT TO SCALE



**SHRUB PLANTING DETAIL** NOT TO SCALE

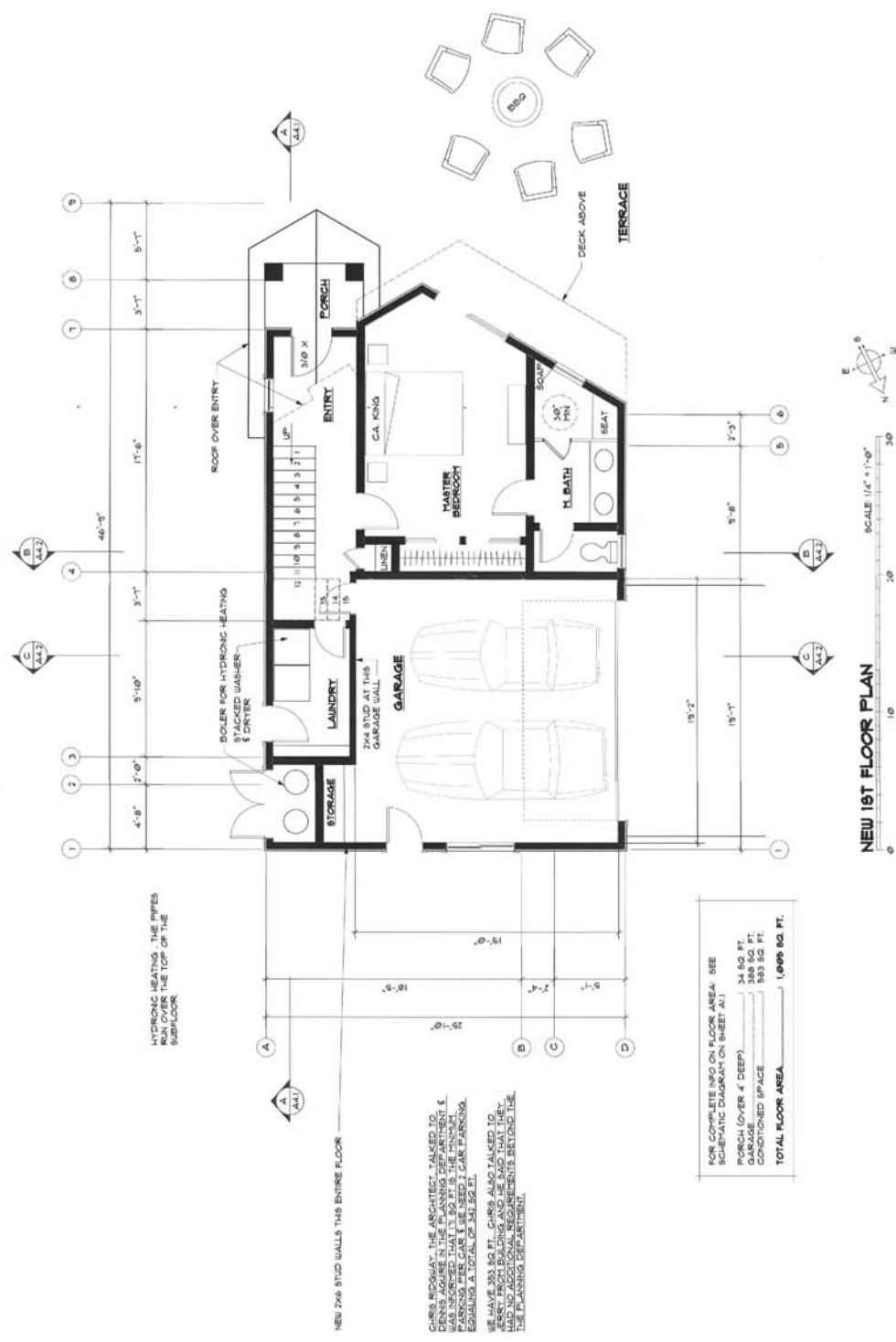


**San Mateo County Planning Commission Meeting**

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File Numbers: PLN2015-00243

Attachment: C



HYDRONIC HEATING. THE PIPES RUN OVER THE TOP OF THE 1ST FLOOR.

NEW 2x6 STUD WALLS THIS ENTIRE FLOOR

CHRIS (DOWNEY, THE ARCHITECT, TALKED TO DENNIS (AGHRE) IN THE PLANNING DEPARTMENT & DENNIS SAID THAT THE PLANNING DEPARTMENT WOULD NOT ALLOW 2 CAR PARKING. DENNIS SAID THAT THE PLANNING DEPARTMENT WOULD ALLOW 2 CAR PARKING. DENNIS SAID THAT THE PLANNING DEPARTMENT WOULD ALLOW 2 CAR PARKING.

FOR COMPLETE INFO ON FLOOR AREA. SEE SCHEMATIC DIAGRAM ON SHEET A.1.1	34 SQ. FT.
FORCH (OVER 4' DEEP)	386 SQ. FT.
GARAGE	593 SQ. FT.
CONDITIONED SPACE	1,009 SQ. FT.
TOTAL FLOOR AREA	1,009 SQ. FT.

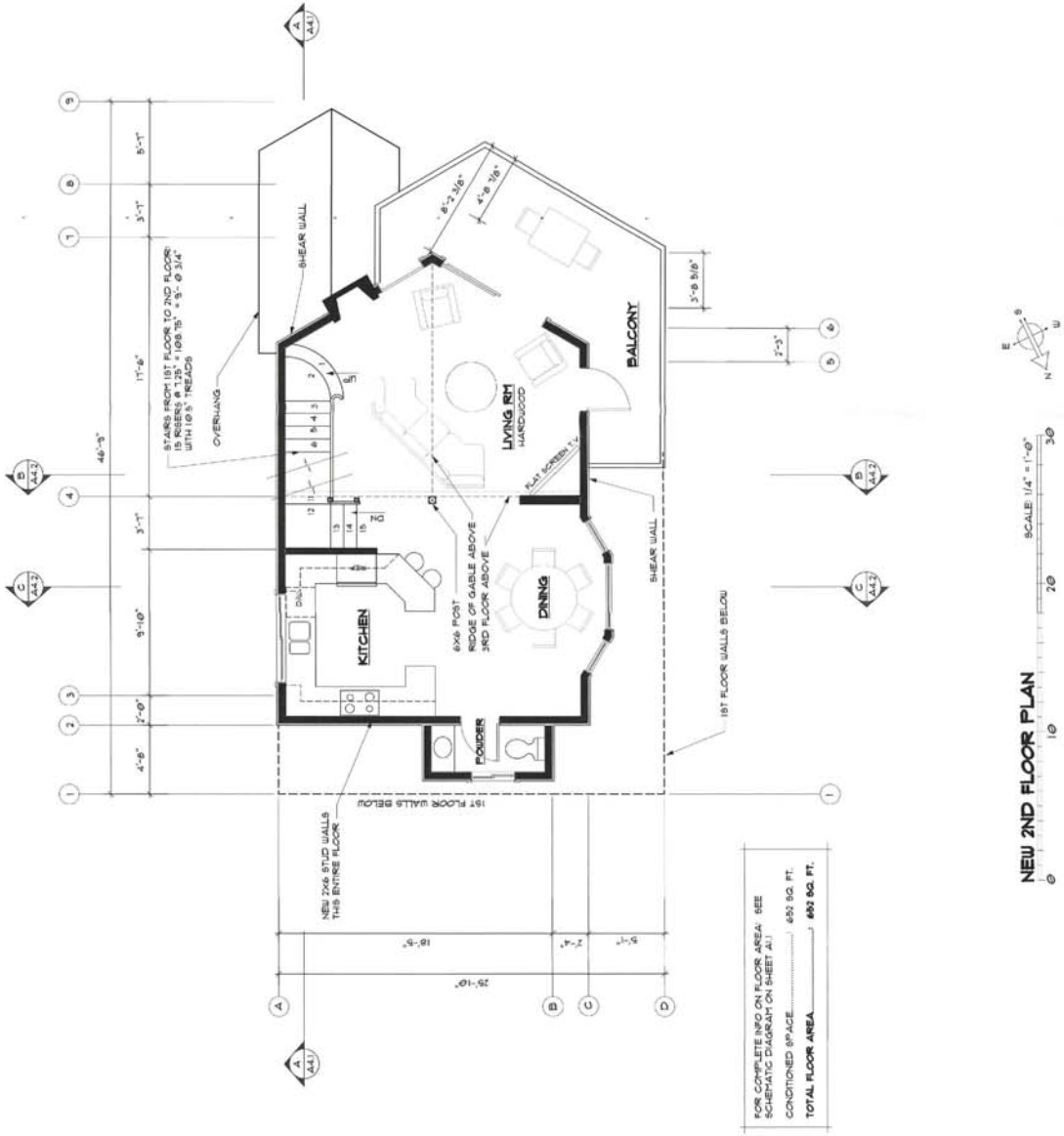


# San Mateo County Planning Commission Meeting

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Attachment: C

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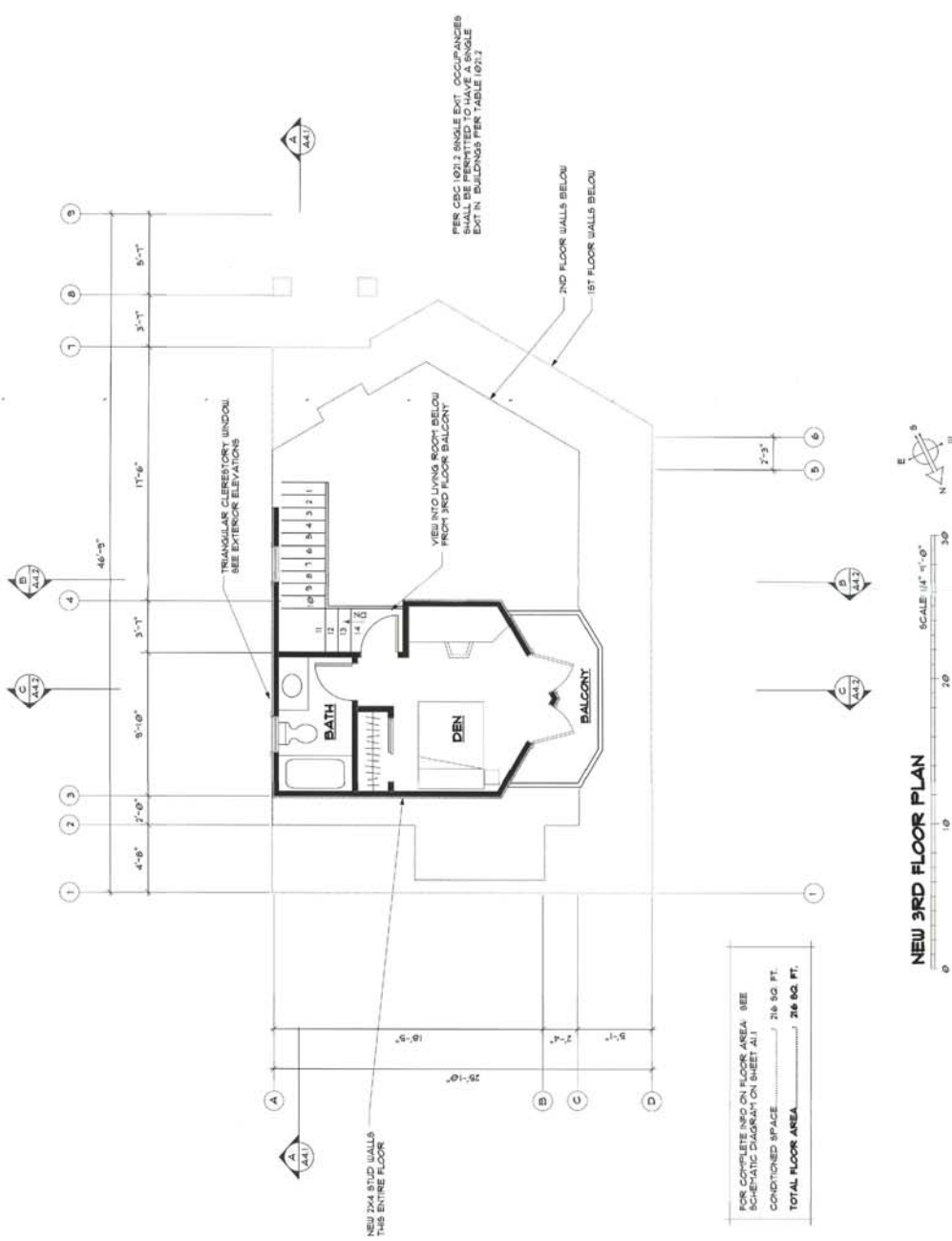


**San Mateo County Planning Commission Meeting**

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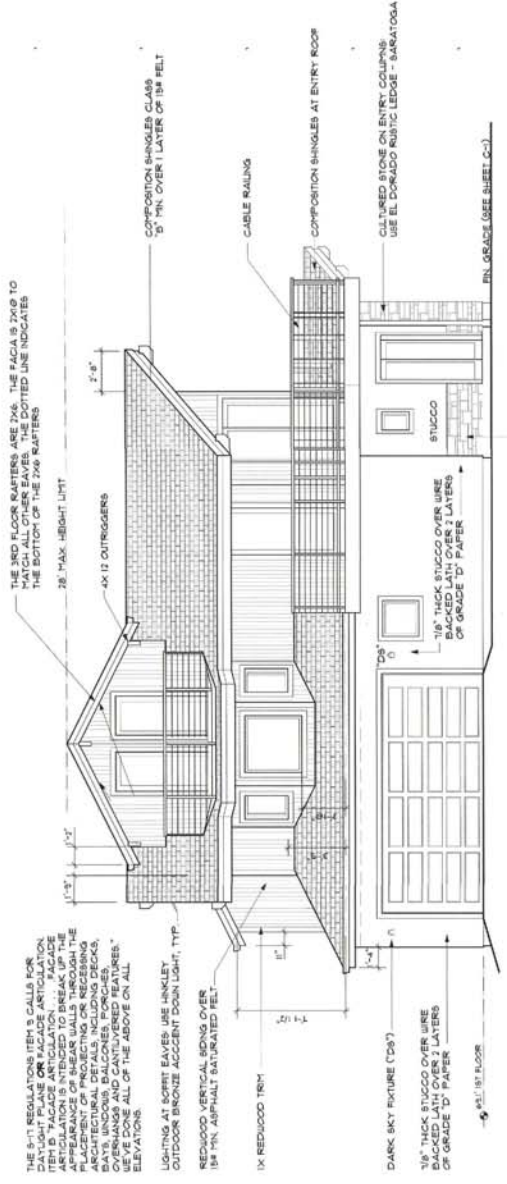
**San Mateo County Planning Commission Meeting**

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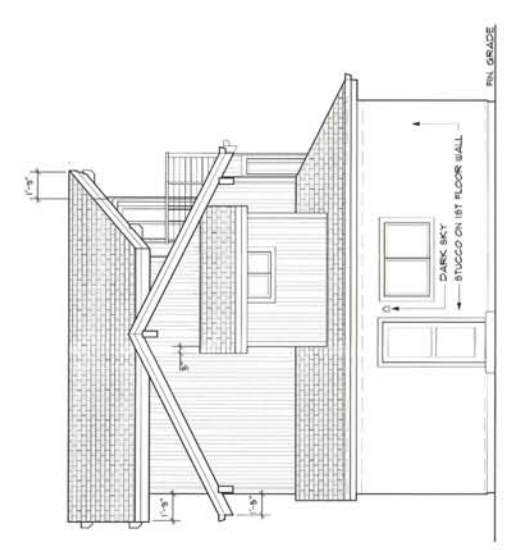
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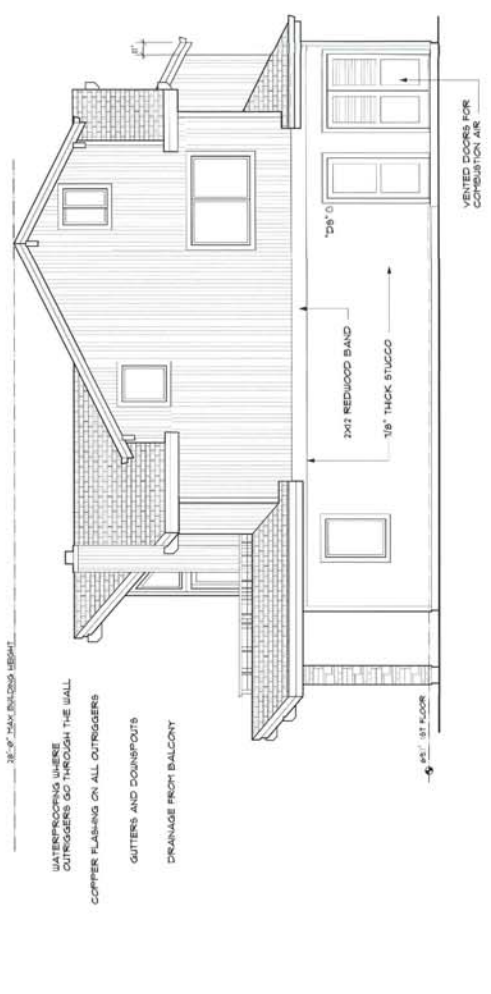




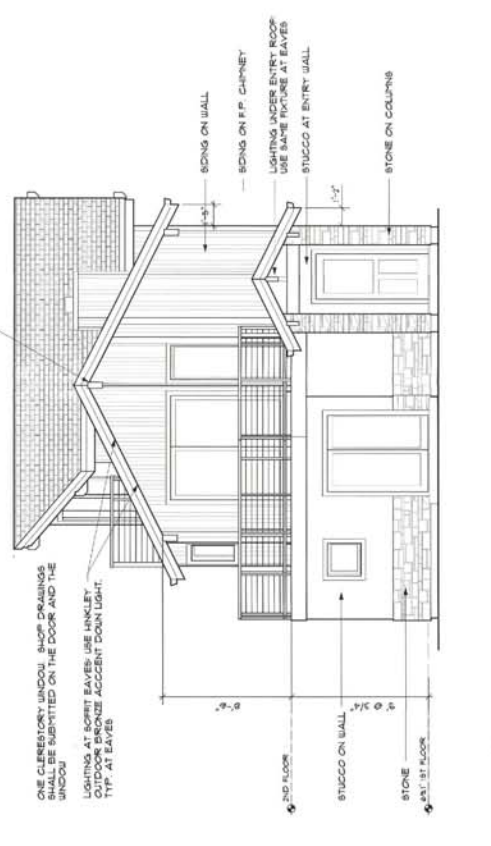
**LEFT SIDE ELEVATION**  
 SEE SECTION A-A FOR INFORMATION ON HEIGHT LIMIT. THE HEIGHT OF THE ROOF SHALL BE THE SAME AS THE OTHER ELEVATIONS. SEE ALSO SHEET C-1 FOR FINISH GRADES.  
 SCALE 1/4" = 1'-0"  
 0 10 20 30



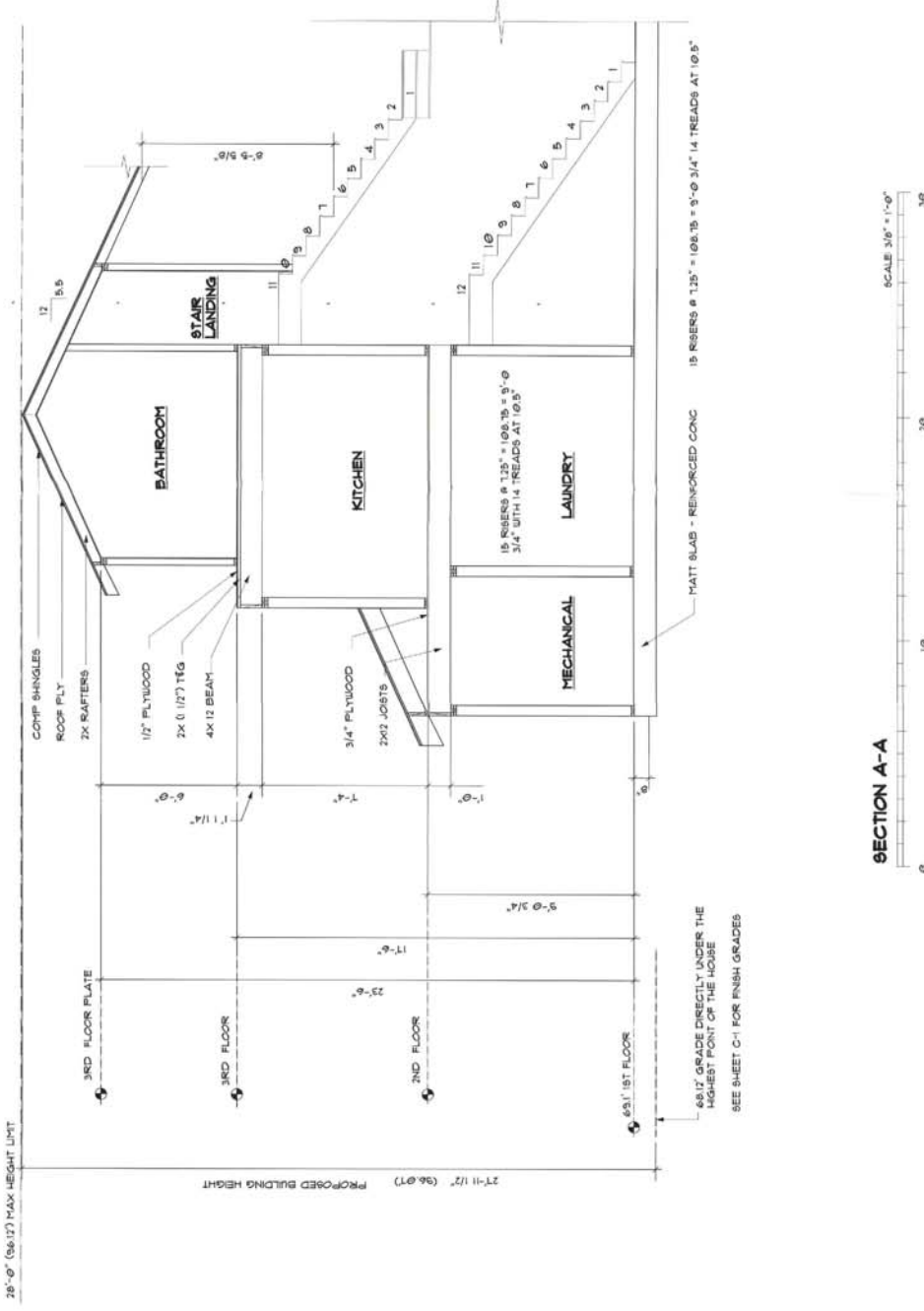
**REAR ELEVATION**  
 SCALE 1/4" = 1'-0"  
 0 10 20 30



**RIGHT SIDE ELEVATION**  
 SCALE 1/4" = 1'-0"  
 0 10 20 30



**FRONT ELEVATION**  
 SCALE 1/4" = 1'-0"  
 0 10 20 30



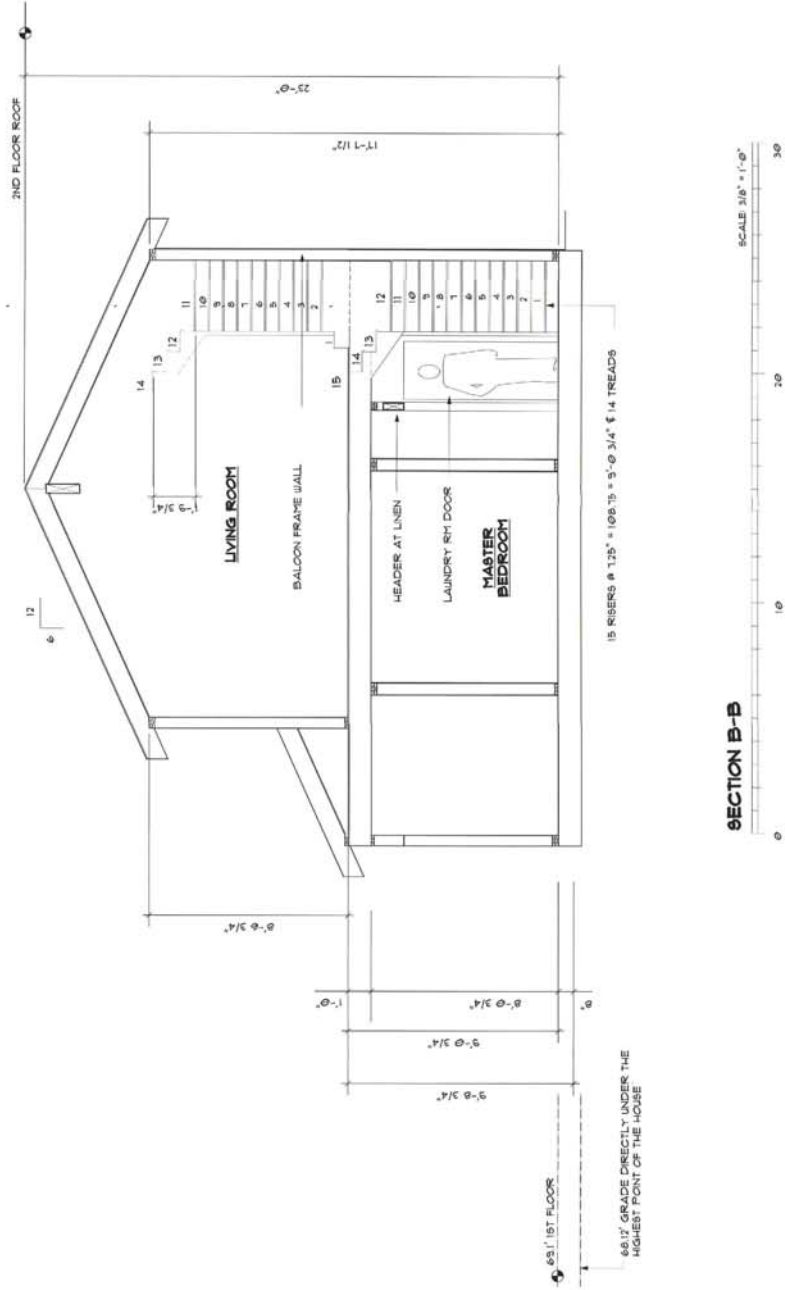
**San Mateo County Planning Commission Meeting**

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28'-0" MAX BUILDING HEIGHT

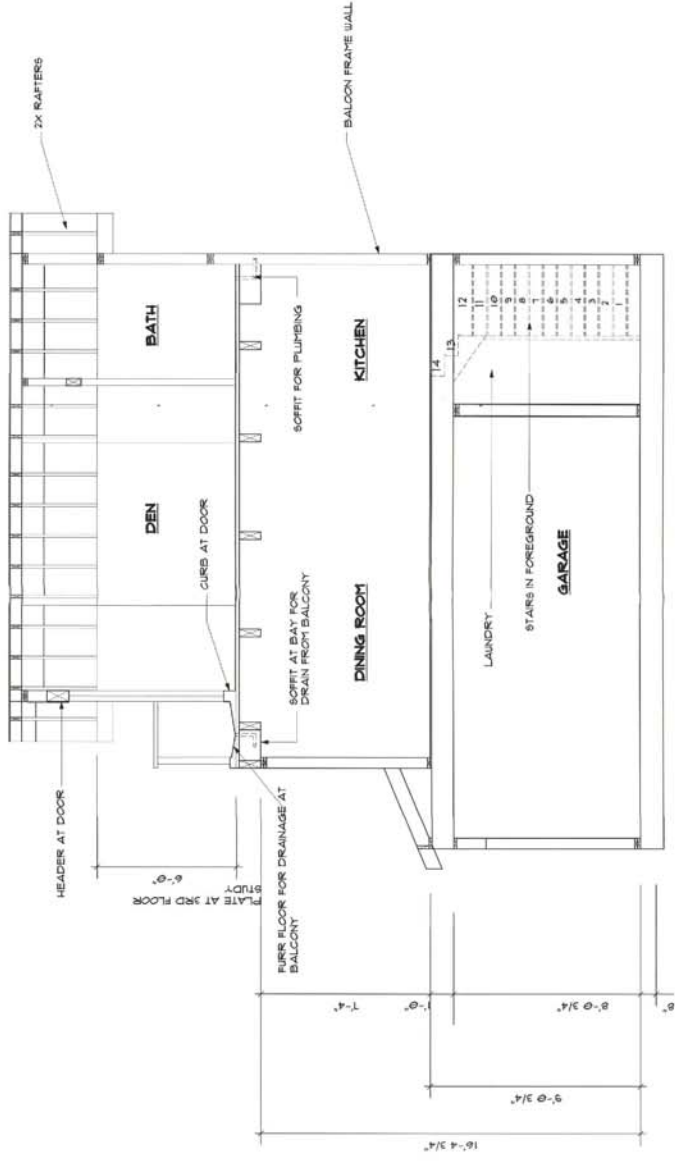


# San Mateo County Planning Commission Meeting

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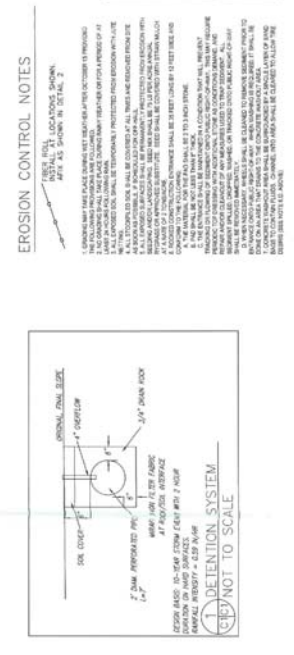
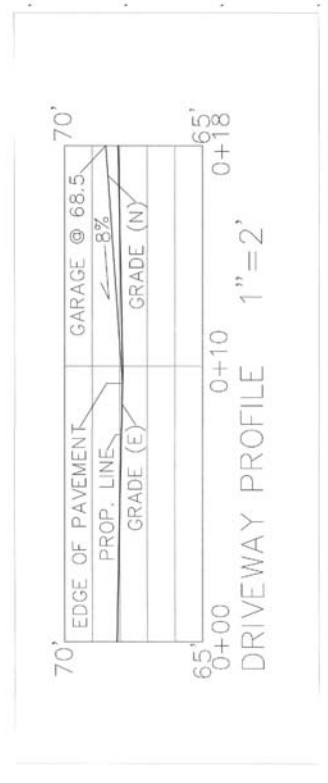
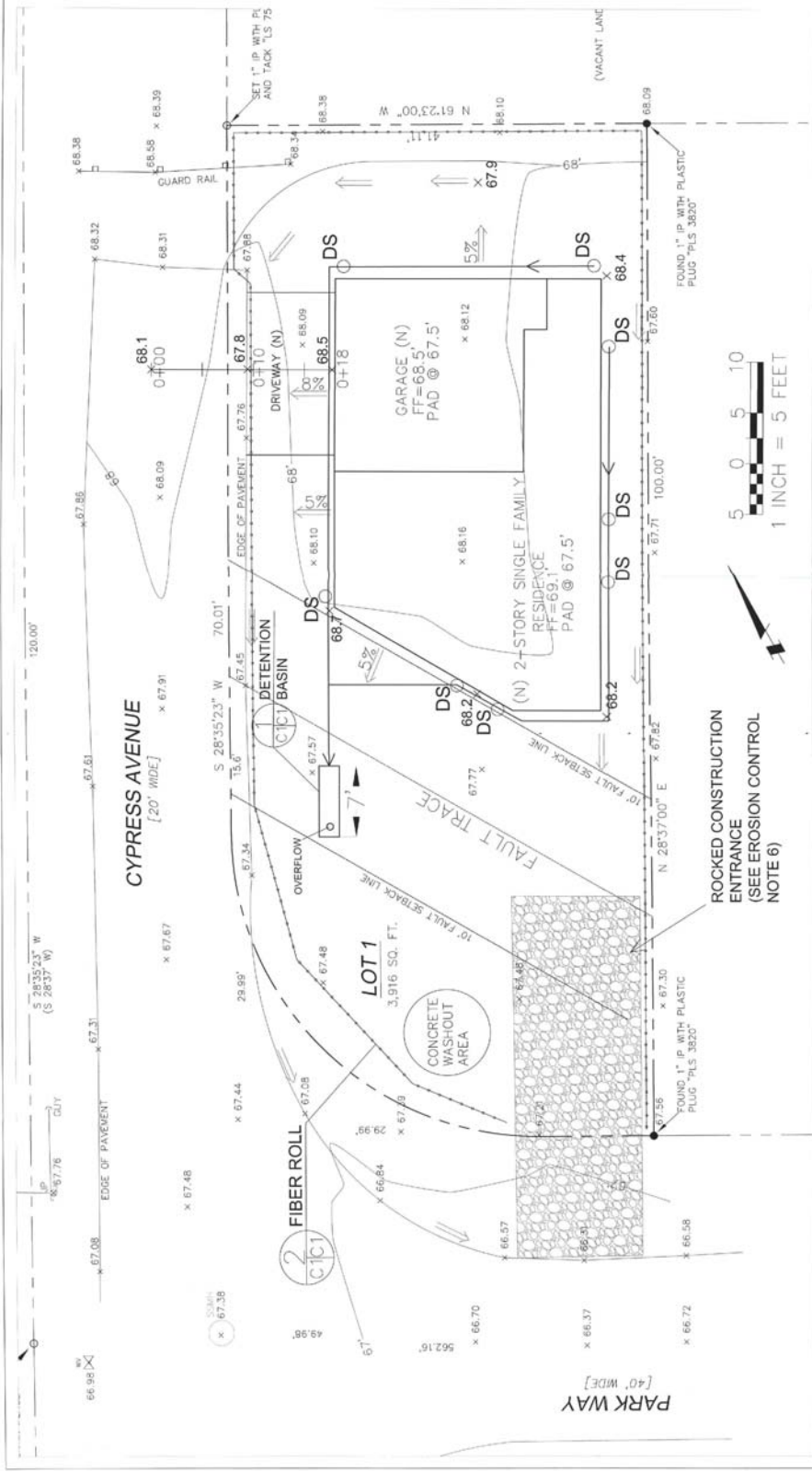


**San Mateo County Planning Commission Meeting**

Owner/Applicant: Steve Kalpakoff

File Numbers: PLN2015-00243

Attachment: C



April 7, 2016

ATTACHMENT D

Steve Kalpakoff  
440 Davis Court #2017  
San Francisco, CA 94111

Dear Mr. Kalpakoff:

SUBJECT: Coastside Design Review Committee Recommendation of Approval  
Cypress Avenue and Park Way, Moss Beach  
APN 037-225-010; County File No. PLN 2015-00243

At its meeting of November 12, 2015, the San Mateo County Coastside Design Review Committee (CDRC) considered your application for design review permit to allow construction of a 1,485 sq. ft. new two-story, single-family residence, plus a 388 sq. ft. attached two-car garage on a 3,916 sq. ft. non-conforming legal parcel, where 5,000 sq. ft. is the minimum required, as part of a Non-Conforming Use Permit and Coastal Development Permit. The Non-Conforming Use Permit is required per Section 6133.3b of the San Mateo County Zoning Regulations, to allow a rear setback of 15 feet, 5 inches, where the minimum required is 20 feet. No significant trees are proposed for removal and only minimal grading is involved. The project is not appealable to the California Coastal Commission.

Based on the plans, application forms and accompanying materials submitted, the Coastside Design Review Committee recommended approval of your project based on and subject to the following findings and conditions of approval:

### **FINDINGS**

The Coastside Design Review Officer found that:

1. For the Environmental Review

Due to the presence of a fault trace on the property, a Negative Declaration shall be prepared for the project, pursuant to the California Environmental Quality Act (CEQA), Section 15070.

The Coastside Design Review Committee found that:

2. For the Design Review

The project has been reviewed under and found to be in compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the



Midcoast, Section 6565.20 of the San Mateo County Zoning Regulations, specifically elaborated as follows:

- a. The proposed design incorporates adequate step-down of the structure conforming it to existing grade. Architectural elements such as decks, bay windows and balconies contribute to the wall articulation of the structure (Section 6565.20(D)1e).
- b. The second and third floor levels are located toward the center of the first story and away from the property lines (Section 6565.20(D)1c).
- c. The proposed materials, such as stone, wood, metal and colors appear warm and natural and complement the neighboring residences. Condition No. 2.a requires the replacement of the existing chain link fence for more compatibility with the proposed architectural style of the residence (Section 6565.20(D)4).
- d. As proposed and conditioned, the downward lighting fixtures integrate well with the overall design of the residence. Condition No. 2.b requires the removal of the exterior landscape lighting fixtures from the plans (Section 6565.20(F)4).

### **RECOMMENDED CONDITIONS OF APPROVAL**

#### Current Planning Section

1. The project shall be constructed in compliance with the plans recommended for approval by the Coastsides Design Review Committee on November 12, 2015. Any changes or revisions to the approved plans shall be submitted to the Design Review Officer for review and approval prior to implementation. Minor adjustments to the project may be approved by the Design Review Officer if they are consistent with the intent of and are in substantial conformance with this approval. Alternatively, the Design Review Officer may refer consideration of the revisions to the Coastsides Design Review Committee, with applicable fees to be paid.
2. The applicant shall submit the following items and/or indicate the following on plans submitted for a building permit, as stipulated by the Coastsides Design Review Committee:
  - a. Replace the existing chain link fence for more compatibility with the proposed architectural style of the residence.
  - b. Remove the exterior landscape lighting fixtures from the plans.
3. The applicant shall provide "finished floor elevation verification" to certify that the structure is actually constructed at the height shown on the submitted plans. The applicant shall have a licensed land surveyor or engineer establish a baseline elevation datum point in the vicinity of the construction site.

- a. The applicant shall maintain the datum point so that it will not be disturbed by the proposed construction activities until final approval of the building permit.
  - b. This datum point and its elevation shall be shown on the submitted site plan. This datum point shall be used during construction to verify the elevation of the finished floors relative to the existing natural or to the grade of the site (finished grade).
  - c. Prior to Planning approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades.
  - d. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).
  - e. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.
  - f. If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.
4. During project construction, the applicant shall, pursuant to Chapter 4.100 of the San Mateo County Ordinance Code, minimize the transport and discharge of stormwater runoff from the construction site into storm drain systems and water bodies by:
- a. Using filtration materials on storm drain covers to remove sediment from dewatering effluent.
  - b. Stabilizing all denuded areas and maintaining erosion control measures continuously between October 1 and April 30.
  - c. Removing spoils promptly, and avoiding stockpiling of fill materials, when rain is forecast. If rain threatens, stockpiled soils and other materials shall be covered with a tarp or other waterproof material.



- d. Storing, handling, and disposing of construction materials and wastes so as to avoid their entry to the storm drain system or water body.
  - e. Avoiding cleaning, fueling or maintaining vehicles on-site, except in an area designated to contain and treat runoff.
  - f. Limiting and timing application of pesticides and fertilizers to avoid polluting runoff.
5. The applicant shall include an erosion and sediment control plan meeting County guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and to prevent erosion and sedimentation off-site.
  6. The applicant shall apply for a building permit and shall adhere to all requirements of the Building Inspection Section, the Department of Public Works and the Coastside Fire Protection District.
  7. No site disturbances shall occur, including any grading or vegetation removal, until a building permit has been issued.
  8. To reduce the impact of construction activities on neighboring properties, comply with the following:
    - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
    - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
    - c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the right-of-way on Cypress Avenue and Park Way. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on Cypress Avenue and Park Way. There shall be no storage of construction vehicles in the public right-of-way.
  9. The exterior color samples submitted to the Coastside Design Review Committee are approved. Color verification shall occur in the field after the applicant has applied the approved materials and colors but before a final inspection has been scheduled.
  10. Installation of the approved landscape plan is required prior to final inspection.

11. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 5:00 p.m. Saturdays. Said activities are prohibited on Sundays, Thanksgiving and Christmas (San Mateo Ordinance Code Section 4.88.360).
12. The project site is located within the Fitzgerald Area of Special Biological Significance (ASBS) Watershed. Runoff and other polluted discharges from the site are prohibited. Development shall minimize erosion, treat stormwater from new/replaced impervious surfaces, and prevent polluted discharges into the ASBS or a County storm drain (e.g., car washing in a driveway or street, pesticide application on lawn).
13. The project site is located within the Fitzgerald Area of Special Biological Significance (ASBS) Watershed and is considered a Construction Stormwater Regulated Site. Weekly construction inspections are required throughout the duration of land disturbance during the rainy season (October 1 to through April 30) for sites within the ASBS Watershed, as required by the State Water Resources Control Board General Exceptions to the California Ocean Plan with Special Protections adopted on March 20, 2012.

#### Building Inspection Section

14. The applicant shall apply for a building permit.

#### Montara Water and Sanitary District

15. Prior to the issuance of a building permit, the applicant shall obtain Domestic Water/Fire Protection Connection and Sewer Permits, including the submittal of adequate fire flow calculations from a Certified Fire Protection Contractor.

#### Department of Public Works

16. Prior to the issuance of the building permit, the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Department of Public Works for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works for review and approval. In addition, since this project has the potential to discharge to the Area of Special Biological Significance (ASBS), all stormwater shall be treated prior to disposal.
17. Prior to the issuance of the building permit, the applicant shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access to the

parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20%) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.

18. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. Applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
19. Prior to the issuance of the building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No. 3277.

#### Coastside Fire Protection District

20. Smoke detectors which are hardwired: As per the California Building Code, State Fire Marshal Regulations, and Coastside Fire Protection District Ordinance No. 2013-03, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hardwired, interconnected, and have battery backup. These detectors are required to be placed in each new and reconditioned sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final.
21. Escape or rescue windows shall have a minimum net clear openable area of 5.7 sq. ft. Five (5) sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor.
22. Identify rescue windows in each bedroom and verify that they meet all requirements. Add this to plans.
23. Occupancy Separation: As per the 2010 CBC, Section 406.1.4, a 1-hour occupancy separation wall shall be installed with a solid core, 20-minute fire rated, self-closing door assembly with a smoke gasket between the garage and the residence. All electrical boxes installed in rated walls shall be metal or protected.
24. Address numbers: As per Coastside Fire Protection District Ordinance No. 2013-03, building identification shall be conspicuously posted and visible from the street. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON-SITE.) The letters/numerals for permanent address

signs shall be 4 inches in height with a minimum 3/4-inch stroke. Such letters/numerals shall be internally illuminated and facing the direction of access. Finished height of bottom of address light unit shall be greater than or equal to 6 feet from the finished grade. When the building is served by a long driveway or is otherwise obscured, a 6-inch by 18-inch green reflective metal sign with 3-inch reflective numbers/letters similar to Hy-Ko 911 or equivalent shall be placed at the entrance from the nearest public roadway. See Fire Ordinance for standard sign.

25. Add the following note to the plans: New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least 6 feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire Protection District. This remote signage shall consist of a 6-inch by 18-inch green reflective metal sign with 3-inch reflective numbers/letters similar to Hy-Ko 911 or equivalent.
26. Roof covering: As per Coastside Fire Protection District Ordinance No. 2013-03, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.
27. Vegetation management: As per the Coastside Fire Protection District Ordinance No. 2013-03, the 2013 California Fire Code and Public Resources Code 4291, a fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. In SRA (State Responsible Area), the fuel break is 100 feet or to the property line.
28. Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 to 10 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity.
29. Remove that portion of any existing tree, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure.
30. Add the following note to plans: The installation of an approved spark arrester is required on all chimneys, existing and new. Spark arresters shall be constructed of woven or welded wire screening of 12-gauge USA standard wire having openings not exceeding 1/2 inch.
31. Fire Access Roads: The applicant must have a maintained asphalt surface road for ingress and egress of fire apparatus. The San Mateo County Department of Public Works, the Coastside Fire Protection District Ordinance No. 2013-03, and the California Fire Code shall set road standards. As per the 2013 CFC, dead-end roads exceeding

150 feet shall be provided with a turnaround in accordance with Half Moon Bay Fire District specifications. As per the 2007 CFC, Section Appendix D, road width shall not be less than 20 feet. Fire access roads shall be installed and made serviceable prior to combustibles being placed on the project site and maintained during construction. Approved signs and painted curbs or lines shall be provided and maintained to identify fire access roads and state the prohibition of their obstruction. If the road width does not allow parking on the street (20 foot road) and on-street parking is desired, an additional improved area shall be developed for that use.

32. Fire apparatus roads to be a minimum of 20 ft. wide with minimum of 35 ft. centerline radius and a vertical clearance of 15 feet.
33. "No Parking - Fire Lane" signs shall be provided on both sides of roads 20 to 26 feet wide and on one side of roads 26 to 32 feet wide.
34. Show location of fire hydrant on a site plan. A fire hydrant is required within 250 feet of the building and flow a minimum of 1,000 gallons per minute (gpm) at 20 pounds per square inch (psi). This information is to be verified by the water purveyor in a letter initiated by the applicant and sent to the Coastside Fire Protection District. If there is not a hydrant within 250 feet with the required flow, one will have to be installed at the applicant's expense.
35. Automatic Fire Sprinkler System: As per San Mateo County Building Standards and Coastside Fire Protection District Ordinance No. 2013-03, the applicant is required to install an automatic fire sprinkler system throughout the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. All areas that are accessible for storage purposes shall be equipped with fire sprinklers including closets and bathrooms. The only exception is small linen closets less than 24 sq. ft. with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Department or the City of Half Moon Bay. A building permit will not be issued until plans are received, reviewed and approved. Upon submission of plans, the County or City will forward a complete set to the Coastside Fire Protection District for review. The fee schedule for automatic fire sprinkler systems shall be in accordance with Half Moon Bay Ordinance No. 2006-01. Fees shall be paid prior to plan review.
36. Installation of underground sprinkler pipe shall be flushed and visually inspected by the Fire District prior to hookup to riser. Any soldered fittings must be pressure tested with trench open.
37. Exterior bell and interior horn/strobe are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe and flow switch, along with the garage door opener, are to be wired into a separate circuit breaker at the main electrical panel and labeled.

38. All fire conditions and requirements must be incorporated into your building plans prior to building permit issuance. It is your responsibility to notify your contractor, architect and engineer of these requirements.

Please note that the decision of the Coastside Design Review Committee is a recommendation regarding the project's compliance with design review standards, not the final decision on this project, which requires a Non-Conforming Use Permit and a hearing-level Coastal Development Permit (CDP). The decision on the permits will take place at a later date. For more information, please contact the project planner, Dennis P. Aguirre, at 650/363-1867, or by email at [daguirre@smcgov.org](mailto:daguirre@smcgov.org).

To provide feedback, please visit the Department's Customer Survey at the following link: <http://planning.smcgov.org/survey>.

Sincerely,



Dennis P. Aguirre  
Design Review Officer

DPA:pac – DPAAA0182\_WPN.DOCX

cc: Dianne Whitaker, Architect  
Kris Lannin-Liang, Moss Beach Community Representative  
Linda Montalto-Patterson  
Kevin Stampfl  
Scott Olson  
Cari Olson  
Lincoln Wallace  
Annette Saunders



**San Mateo County Planning Commission Meeting**

Owner/Applicant: Steve Kalpakoff

Attachment: E

File Numbers: PLN2015-00243



**San Mateo County Planning Commission Meeting**

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Attachment: E

File Numbers: PLN2015-00243





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Steve Kalpakoff

Attachment: E

File Numbers:

PLN2015-00243



***San Mateo County Planning Commission Meeting***

Owner/Applicant: Steve Kalpakoff

Attachment: E

File Numbers: PLN2015-00243



**Sigma Prime Geosciences, Inc.**  
Effective Solutions

**GEOTECHNICAL STUDY**

**KALPAKOFF PROPERTY  
CYPRESS AVENUE  
MOSS BEACH, CALIFORNIA  
APN 037-225-010**

**RECEIVED**

JUN 11 2015

San Mateo County  
Planning Division

**PREPARED FOR:  
STEVE KALPAKOFF  
440 DAVIS COURT, #2017  
SAN FRANCISCO, CA 94111**

**PREPARED BY:  
SIGMA PRIME GEOSCIENCES, INC.  
332 PRINCETON AVENUE  
HALF MOON BAY, CALIFORNIA 94019**

**JUNE 2015**



**Sigma Prime Geosciences, Inc.**  
Effective Solutions

June 3, 2015

Steve Kalpakoff  
440 Davis Court #2017  
San Francisco, CA 94111

Re: Geotechnical Report for Proposed Construction at Cypress Avenue, Moss  
Beach. APN 037-225-010  
SPG Job No. 15-128

Dear Mr. Kalpakoff:

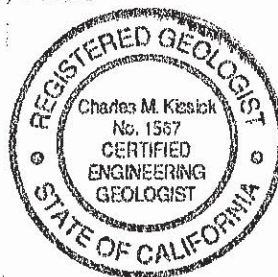
As per your request, we have performed a geotechnical study for the proposed construction at Cypress Avenue in Moss Beach, California. The accompanying report summarizes the results of our field study and engineering analyses, and presents geotechnical recommendations for the planned improvements.

Thank you for the opportunity to work with you on this project. If you have any questions concerning our study, please call.

Yours,

Sigma Prime Geosciences, Inc.

  
Charles M. Kissick, P.E., CEG





**GEOTECHNICAL STUDY  
CYPRESS AVENUE  
MOSS BEACH, CALIFORNIA  
APN 037-225-010**

**PREPARED FOR:  
STEVE KALPAKOFF  
440 DAVIS COURT #2017  
SAN FRANCISCO, CA 94111**

**PREPARED BY:  
SIGMA PRIME GEOSCIENCES, INC.  
332 PRINCETON AVENUE  
HALF MOON BAY, CALIFORNIA 94019**

**JUNE 3, 2015**



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## 1. INTRODUCTION

We are pleased to present this geotechnical study report for the proposed construction located at Cypress Avenue in Moss Beach, California, at the location shown in the vicinity map in Figure 1. The purpose of this investigation was to evaluate the subsurface conditions at the site, and to provide geotechnical design recommendations for the proposed construction.

### 1.1 PROJECT DESCRIPTION

We understand that you plan to construct a two-story house. Structural loads are expected to be relatively light as is typical for this type of construction.

### 1.2 SCOPE OF WORK

In order to complete this project we have performed the following tasks:

- Reviewed published information on the geologic and seismic conditions in the site vicinity;
- Subsurface study consisting of a fault trench across the property
- Engineering analysis and evaluation of the subsurface data to develop geotechnical design criteria; and
- Preparation of this report presenting our recommendations for the proposed improvements.





## 2. FINDINGS

### 2.1 GENERAL

The site reconnaissance and fault trench investigation were performed in March 22, 2015. The fault trench was 92 feet long and about 9 feet deep. It's location is shown in Figure 2, with a trench log and explanation in Figure 3.

### 2.2 SITE CONDITIONS

At the time of our study, the lot was undeveloped. The lot is very flat and covered with brush and grass.

### 2.3 REGIONAL AND LOCAL GEOLOGY

Based on Brabb et. al. (1998), the site vicinity is primarily underlain by Pleistocene-age coarse-grained older alluvial fan and stream deposits. These deposits are described as poorly consolidated gravel, sand, and silt.

### 2.4 SITE SUBSURFACE CONDITIONS

Based on the fault trench, with its log shown in Figure 3, the subsurface conditions consist of 1.5 to 2 feet of soft to medium stiff clay topsoil, overlying about 4 to 6 feet of very stiff sandy clay. There is a pervasive layer of caliche-rich soil with cobbles at the contact between the upper two units. The topsoil has low plasticity, based on inspection of hand samples and field evidence, such as a lack of tension cracks in dry soil. Below the sandy clay, the soil becomes sandier, with about 2 to 3 feet of silty sand with occasional cobbles.

As the trench log and site map show, a fault trace was identified in the trench. Soil thickness vary across the trace. The soil stratigraphy, as well as the fault trace, are shown in Figures 4 and 5.

### 2.5 GROUNDWATER

Groundwater was encountered at the very bottom of the trench. The depth to groundwater was about 9 feet. Groundwater levels are not expected to have an impact on the construction.

### 2.6 FAULTS AND SEISMICITY

The site is in an area of high seismicity, with active faults associated with the San Andreas fault system. The closest active fault to the site is the San



Gregorio-Seal Cove fault, located about 225 feet to the southwest, as measured from the house site, as shown in Figure 6. The location of the fault is well known in the area, as discussed in Section 3.2.1 below.

Other faults most likely to produce significant seismic ground motions include the San Andreas, Hayward, Rodgers Creek, and Calaveras faults. Selected historical earthquakes in the area with an estimated magnitude greater than 6-1/4, are presented in Table 1 below.

**TABLE 1  
HISTORICAL EARTHQUAKES**

<u>Date</u>	<u>Magnitude</u>	<u>Fault</u>	<u>Locale</u>
June 10, 1836	6.5 <sup>1</sup>	San Andreas	San Juan Bautista
June 1838	7.0 <sup>2</sup>	San Andreas	Peninsula
October 8, 1865	6.3 <sup>2</sup>	San Andreas	Santa Cruz Mountains
October 21, 1868	7.0 <sup>2</sup>	Hayward	Berkeley Hills, San Leandro
April 18, 1906	7.9 <sup>3</sup>	San Andreas	Golden Gate
July 1, 1911	6.6 <sup>4</sup>	Calaveras	Diablo Range, East of San Jose
October 17, 1989	7.1 <sup>5</sup>	San Andreas	Loma Prieta, Santa Cruz Mountains
(1)	Borchardt & Topozada (1996)		
(2)	Topozada et al (1981)		
(3)	Petersen (1996)		
(4)	Topozada (1984)		
(5)	USGS (1989)		

## 2.7 2013 CBC EARTHQUAKE DESIGN PARAMETERS

Based on the 2013 California Building Code (CBC) and our site evaluation, we recommend using Site Class Definition D (stiff soil) for the site. The other pertinent CBC seismic parameters are given in Table 2 below.

**Table 2  
CBC SEISMIC DESIGN PARAMETERS**

<b>S<sub>s</sub></b>	<b>S<sub>1</sub></b>	<b>F<sub>a</sub></b>	<b>F<sub>v</sub></b>	<b>S<sub>MS</sub></b>	<b>S<sub>M1</sub></b>	<b>S<sub>DS</sub></b>	<b>S<sub>D1</sub></b>
2.275	0.962	1.0	1.5	2.275	1.443	1.517	0.962

Because the S<sub>1</sub> value is greater than 0.75, Seismic Design Category E is recommended, per CBC Section 1613.5.6. The values in the table above were obtained from a USGS software program which provides the values based on the latitude and longitude of the site, and the Site Class Definition. The latitude and longitude were 37.5207 and -122.5127, respectively, and were accurately obtained from Google Earth™. These same values can be obtained directly from maps in the CBC, however the scale of the map makes it impractical to achieve satisfactory accuracy. The map in the CBC was derived from the same work that led to the USGS software. The remaining parameters were also obtained by the same USGS program.



### 3. CONCLUSIONS AND RECOMMENDATIONS

#### 3.1 GENERAL

It is our opinion that, from a geotechnical viewpoint, the site is suitable for the proposed construction, provided the recommendations presented in this report are followed during design and construction. Detailed recommendations are presented in the following sections of this report.

Because subsurface conditions may vary from those encountered at the location of our trench, and to observe that our recommendations are properly implemented, we recommend that we be retained to 1) Review the project plans for conformance with our report recommendations and 2) Observe and test the earthwork and foundation installation phases of construction.

#### 3.2 GEOLOGIC HAZARDS

We reviewed the potential for geologic hazards to impact the site, considering the geologic setting, and the soils encountered during our investigation. The results of our review are presented below:

- Fault Rupture – The likelihood of major fault offsets across the property are low, as the main trace of the fault has been identified 225 feet southwest of the property. An earthquake may result in over 10 feet of lateral offset on the main trace. However, a secondary fault trace was found on the property, with about 1 foot of vertical offset. The proposed house will be located with this in mind. See further discussion below in Section 3.2.1.
- Ground Shaking - The site is located in an active seismic area. Moderate to large earthquakes are probable along several active faults in the greater Bay Area over a 30 to 50 year design life. Strong ground shaking should therefore be expected several times during the design life of the structure, as is typical for sites throughout the Bay Area. The improvements should be designed and constructed in accordance with current earthquake resistance standards.
- Differential Compaction - Differential compaction occurs during moderate and large earthquakes when soft or loose, natural or fill soils are densified and settle, often unevenly across a site. Due to the stiff



and dense nature of the underlying soils, the likelihood of significant damage to the structure from differential compaction is very low.

- Liquefaction - Liquefaction occurs when loose, saturated sandy soils lose strength and flow like a liquid during earthquake shaking. Ground settlement often accompanies liquefaction. Soils most susceptible to liquefaction are saturated, loose, silty sands, and uniformly graded sands. Loose silty sands were not encountered at the site. Therefore, in our opinion, the likelihood of liquefaction occurring at the site is very low.

### 3.2.1 Fault Study

The site location, shown in Figures 1 and 6, is in a known seismic hazard area. The Seal Cove portion of the San Gregorio fault crosses the area, however the location of the main trace of the fault has been in question over the years. In order to determine the best estimate regarding the location of the fault, we performed a desk study for another project (Sigma Prime, 2014). We found that the main trace of the fault is located about 225 feet to the southwest, as shown in Figure 6.

The San Gregorio fault is an active dextral strike slip fault, dextral meaning that the sides of the fault moves laterally to the right, relative to each other. The Simpson study found the following: The most recent event on the fault occurred between the years 1400 and 1775. Before that, there was an event that occurred between the years 620 and 1400. The earlier event is estimated to have resulted in about 10 feet of horizontal offset. The most recent event may have resulted in up to 15 feet of horizontal offset. These deflections are consistent with an earthquake of magnitudes in the 7 to 7-1/4 range. Up to 150 kilometers total lateral offset is estimated for the fault.

We excavated a 95-foot long by 9-foot deep trench across the subject property, at the location shown in Figure 2. A log of the trench is shown in Figure 3. We found a prominent fault trace at Station 26, as shown in Figure 3.

The trench revealed a soil column entirely within the marine terrace deposit. There was a well-developed soil column, with a distinct dark brown A-horizon and a distinct orange-brown B-horizon (Units 1 and 3 in the trench log). Zone 2 is a layer of caliche-stained soil, with hard cobbles, about 6 inches thick, between units 1 and 3. Below the B-horizon (unit 3), the soil is generally sandy and gravelly, consistent with the marine terrace deposits. There are numerous thin, narrow vertical fissures throughout the trench. These do not extend to the full depth of the trench and are likely narrow lurch cracks that form during local earthquakes. They are not indicative of fault traces.



The fault trace at Station 26 is characterized by up to a foot of vertical offset. The offset continues to the bottom of the trench. This is a secondary feature which was formed during a large seismic event centered on the nearby main trace of the San Gregorio-Seal Cove fault. This feature does not represent the main trace of the fault, which has up to 150 kilometers of offset. The feature on the site has no more than 1 foot of offset. Similar features have been noted on other properties in the neighborhood. Figure 6 shows several fault studies that have been performed on the area. The references from these studies are listed at the end of this report. As Figure 6 shows, there are several secondary features in the area. They do not continue across the entire area, but instead are discontinuous.

In the study area, the Seal Cove fault makes a westward bend, rather than continuing as a straight line. The straight-line projection would place the fault where the Alquist-Priolo trace is shown in Figure 6. Because of this bend in the fault, ground rupture patterns to either side of the fault become complicated. Areas of tension or compression occur, creating fissures and lines of vertical offset, as well as an echelon folding and fracturing. Such features are very common within a narrow zone along strike slip faults and are often not continuous for very long distances. The bend in the fault probably results in a wider than normal zone of secondary ground failure. These ground failures are shallow features in the upper soils that do not connect directly to the fault rupture.

Based on our studies, there is a secondary trace of the Seal Cove fault on the property. The main trace is located 225 feet to the southwest. The proposed house is being placed with the fault trace in mind, with 10-foot offsets, as shown in Figure 2.

### 3.3 EARTHWORK

#### 3.3.1 Clearing & Subgrade Preparation

All deleterious materials, including topsoil, roots, vegetation, designated utility lines, etc., should be cleared from the building area. The actual stripping depth required will depend on site usage prior to construction, and should be established by the Contractor during construction. Topsoil may be stockpiled separately for later use in landscaping areas.

#### 3.3.2 Compaction

Scarified surface soils that will support foundations should be moisture conditioned to 3-5 percent above the optimum moisture content and compacted to at least 95 percent of the maximum dry density, as determined by ASTM D1557-78. All trench backfill should also be moisture conditioned to 3-5 percent



above the optimum moisture content and compacted to at least 90 percent of the maximum dry density. The upper 3 feet of trench backfill below foundations or paved areas should be compacted to 95 percent of the maximum dry density.

### 3.3.3 Surface Drainage

The finish grades should be designed to drain surface water away from foundations and slab areas, to suitable discharge points. Slopes of at least 2 percent within 10 feet of the structures are recommended, as per the CBC. Ponding of water should not be allowed adjacent to the structure.

## 3.4 FOUNDATIONS

We recommend a mat slab foundation. The mat slab should be at least 5 inches thick and underlain by at least 12-inches of non-expansive granular fill. Where floor wetness would be detrimental, a vapor barrier, such as Stego wrap or equivalent should be used. The slabs should be structurally tied to the perimeter footings, either as a continuous pour or separate pours with dowels connecting the two, or an equivalent method.

The perimeter of the slab should be thickened with footings at least 15 inches wide and extending at least 6 inches below the cut for the interior slabs. Load bearing interior walls should also be founded on thicker slab sections of the same dimensions. The excavation for the footings may slope up to the interior slabs at a slope of 1:1. An allowable bearing capacity of 2500 psf may be used in design.

### 3.4.1 Lateral Loads

Resistance to lateral loads may be provided by passive pressure acting against the sides of the footings, below a depth of 1 foot. We recommend that an equivalent fluid pressure of 350 pcf be used in design. A skin friction value of 0.3 may be used.

### 3.4.2 Garage Slab-on-Grade

The garage slab-on-grade should be constructed as a free-standing slab, structurally isolated from surrounding grade beams or footings. We recommend that the slab-on-grade be underlain by at least 6 inches of non-expansive fill. The fill should consist of ½- to ¾-inch clean crushed rock. Where floor wetness would be detrimental, a vapor barrier, such as Stego wrap or equivalent should be used.



### 3.5 CONSTRUCTION OBSERVATION AND TESTING

The earthwork and foundation phases of construction should be observed and tested by us to 1) Establish that subsurface conditions are compatible with those used in the analysis and design; 2) Observe compliance with the design concepts, specifications and recommendations; and 3) Allow design changes in the event that subsurface conditions differ from those anticipated. The recommendations in this report are based on a limited number of borings. The nature and extent of variation across the site may not become evident until construction. If variations are then exposed, it will be necessary to reevaluate our recommendations.



#### 4. LIMITATIONS

This report has been prepared for the exclusive use of the property owner for specific application in developing geotechnical design criteria for the currently planned construction at Cypress Avenue in Moss Beach, California (APN 037-225-010). We make no warranty, expressed or implied, except that our services were performed in accordance with geotechnical engineering principles generally accepted at this time and location. The report was prepared to provide engineering opinions and recommendations only. In the event that there are any changes in the nature, design or location of the project, or if any future improvements are planned, the conclusions and recommendations contained in this report should not be considered valid unless 1) The project changes are reviewed by us, and 2) The conclusions and recommendations presented in this report are modified or verified in writing.

The analyses, conclusions and recommendations contained in this report are based on site conditions as they existed at the time of our study; the currently planned improvements; review of previous reports relevant to the site conditions; and laboratory results. In addition, it should be recognized that certain limitations are inherent in the evaluation of subsurface conditions, and that certain conditions may not be detected during a study of this type. Changes in the information or data gained from any of these sources could result in changes in our conclusions or recommendations. If such changes do occur, we should be advised so that we can review our report in light of those changes.

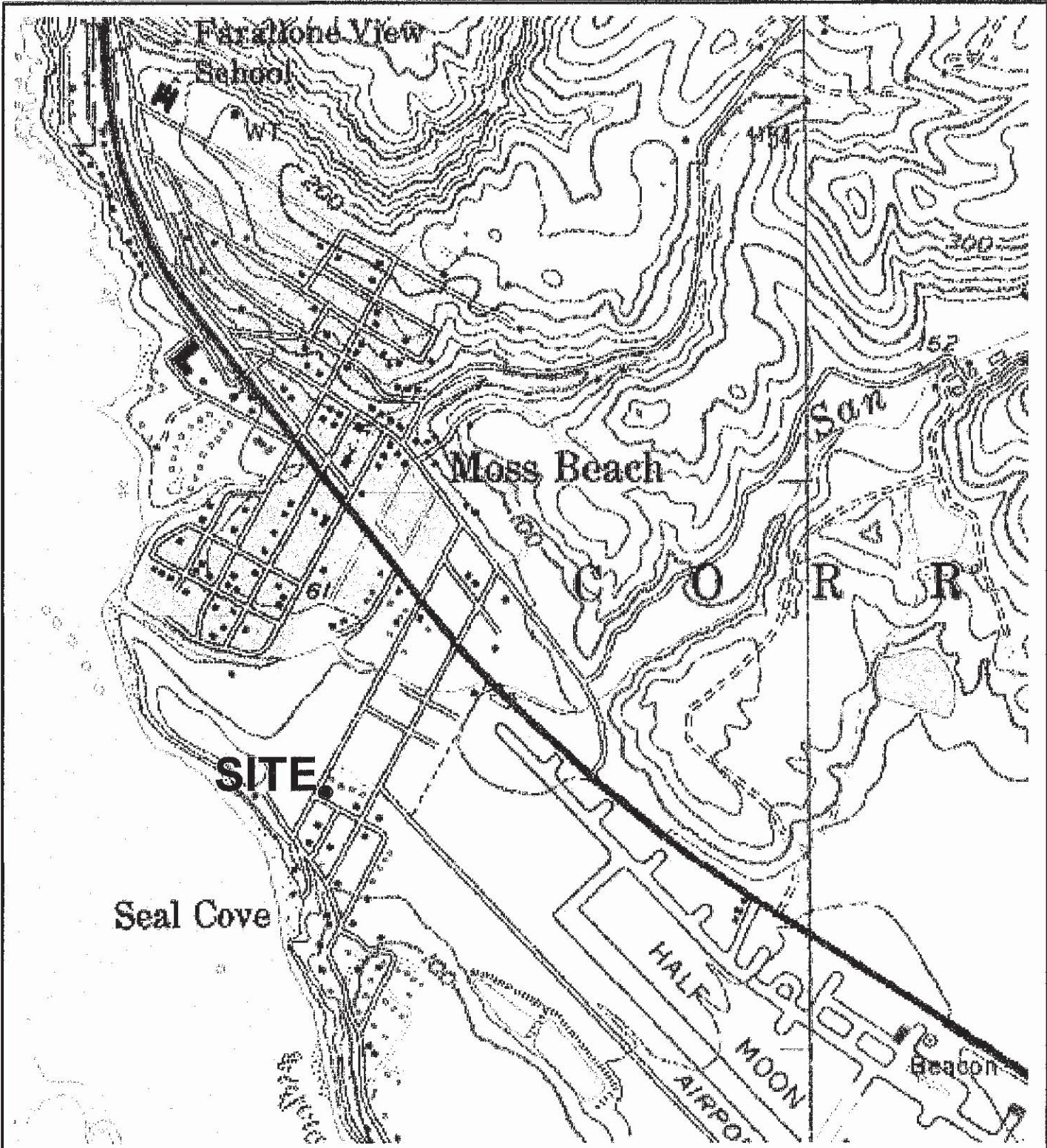




## 5. REFERENCES

### References in Figure 6:

1. Connelly, S. F., 2002, Engineering Geologic Investigation, Proposed Addition, Sisters of Mercy Cottage, 120 Alton Avenue, San Mateo County, unpublished report, April 19.
2. Hydro-Geo Consultants, Inc., 1990, Seal Cove Fault Evaluation, Single-Family Lot (APN 037-221-050, 060, 070), Alton Avenue and Park Way, Moss Beach, March.
3. JCP Engineers and Geologists, 1980a, Engineering Geologic Services for One Lot on Marine Boulevard, Moss Beach, APN 037-223-070, August 26.
4. JCP Engineers and Geologists, 1980b, Engineering Geologic Services, 160 Marine Boulevard, February.
5. JCP Engineers and Geologists, 1981a, Geologic and Soil & Foundation Study for Property Located on Marine Boulevard, Moss Beach, APN 037-223-030, 040, April 2.
6. JCP Engineers and Geologists, 1981b, Geologic and Soil & Foundation Study for Property Located on Park Avenue, Moss Beach, April 3.
7. JCP Engineers and Geologists, 1982, Geologic and Soil & Foundation Study for Two Lots at the Intersection of Cypress and Park Way, Moss Beach, APN 037-221-040, August 5.
8. JCP Engineers and Geologists, 1983, Geologic and Soil & Foundation Studies for Property Located on Marine Boulevard, Moss Beach, APN 037-222-120, 130, June 22.
9. JCP Engineers and Geologists, 1987, Engineering Geologic and Soil & Foundation Services for Four Proposed Residences on Orval Avenue, Moss Beach, APN 036-223-150, 160, 170, and 180, June 16.
10. JCP Engineers and Geologists, 1988, Engineering Geologic and Soil & Foundation Study for Proposed Residence on Alton Drive, Moss Beach, APN 037-221-080, 090, and 100, December 5.
11. Jones, W. F., Inc., 1983, Fault Investigation, Proposed Residence, 1015 Park Way, Moss Beach, March 8.



Sigma Prime Geosciences, Inc.

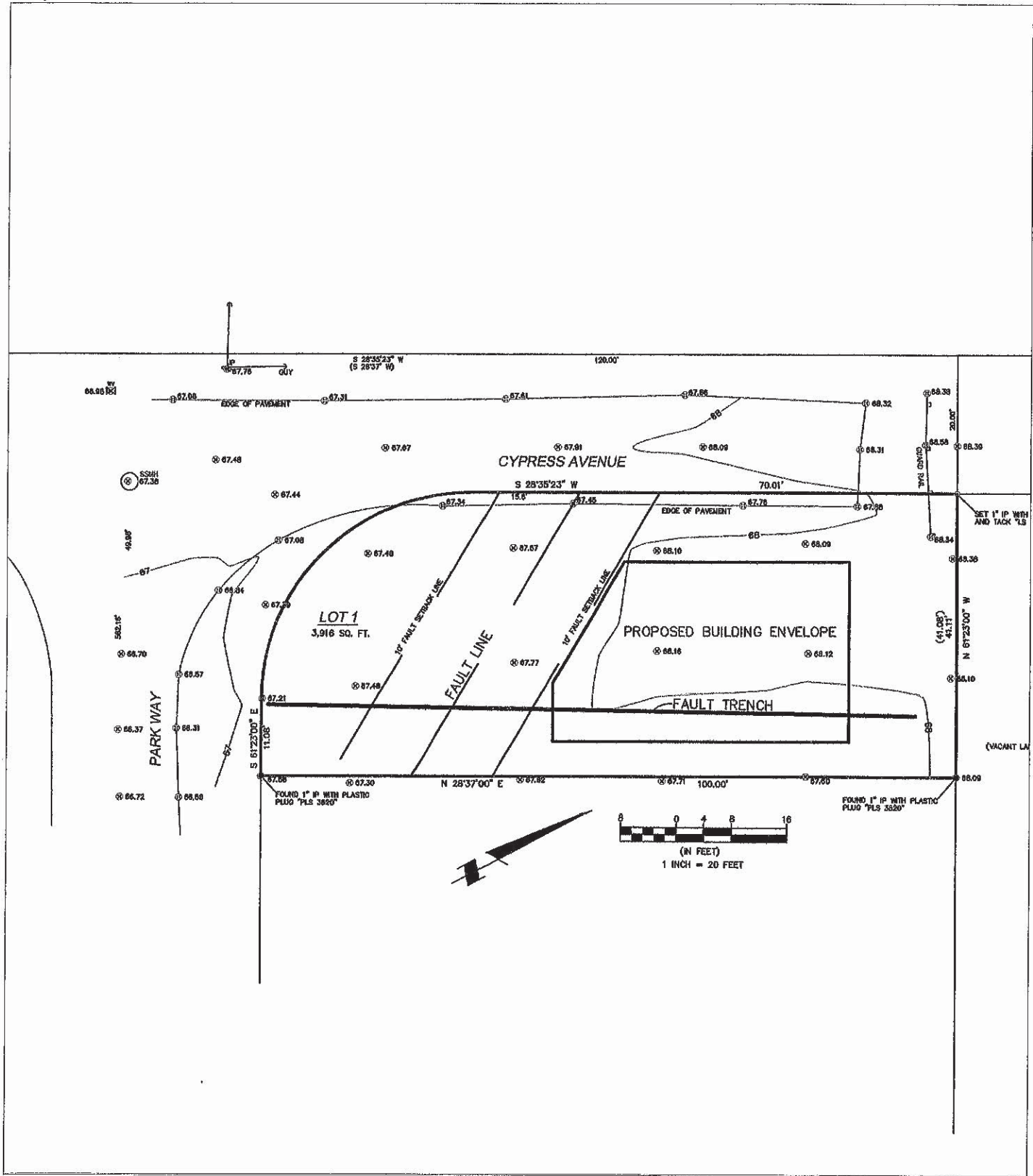
Figure 1

Date: 6/3/15

Job No.: 15-128

**Location Map**

Kalpakoff Property, Cypress Ave., Moss Beach

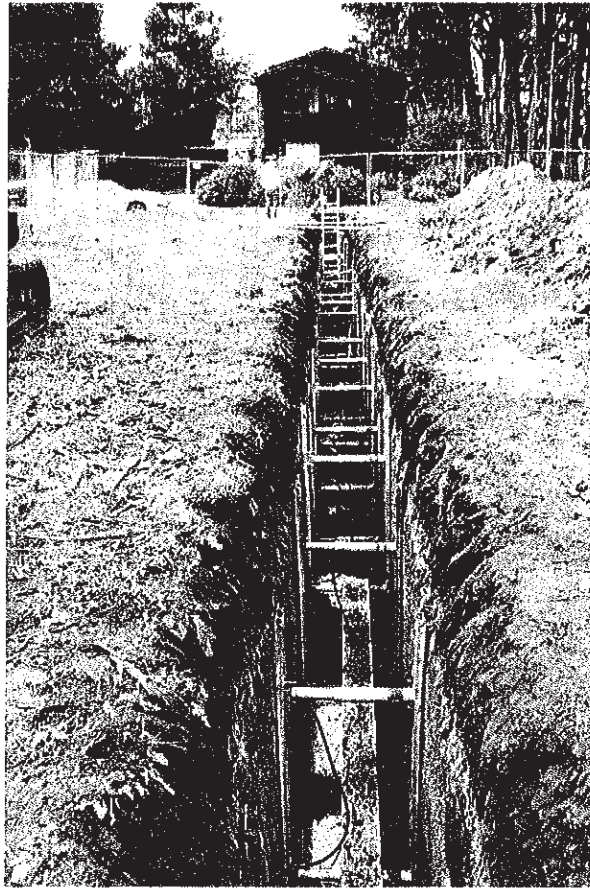


Sigma Prime Geosciences, Inc.

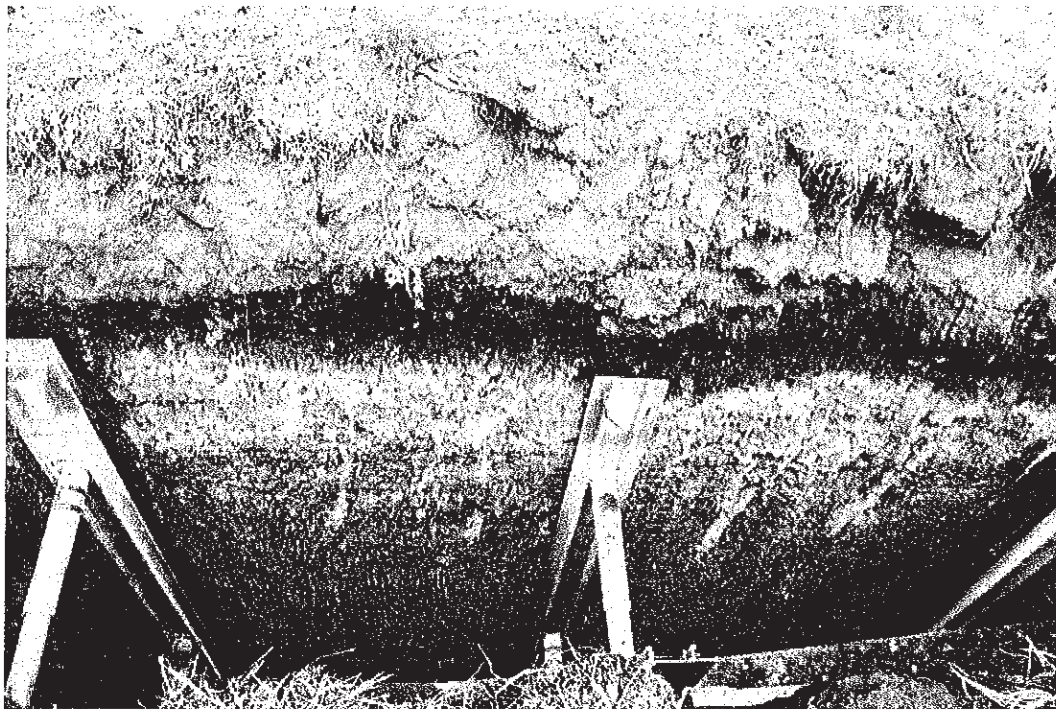
Figure	2
Date:	6/2/15
Job No.:	15-128

**Site Map**

Kalpakoff Property, Cypress Ave., Moss Beach



General View of Trench, looking west. Note groundwater in bottom few inches of trench.



Typical appearance of soil column, including vertical fissures.

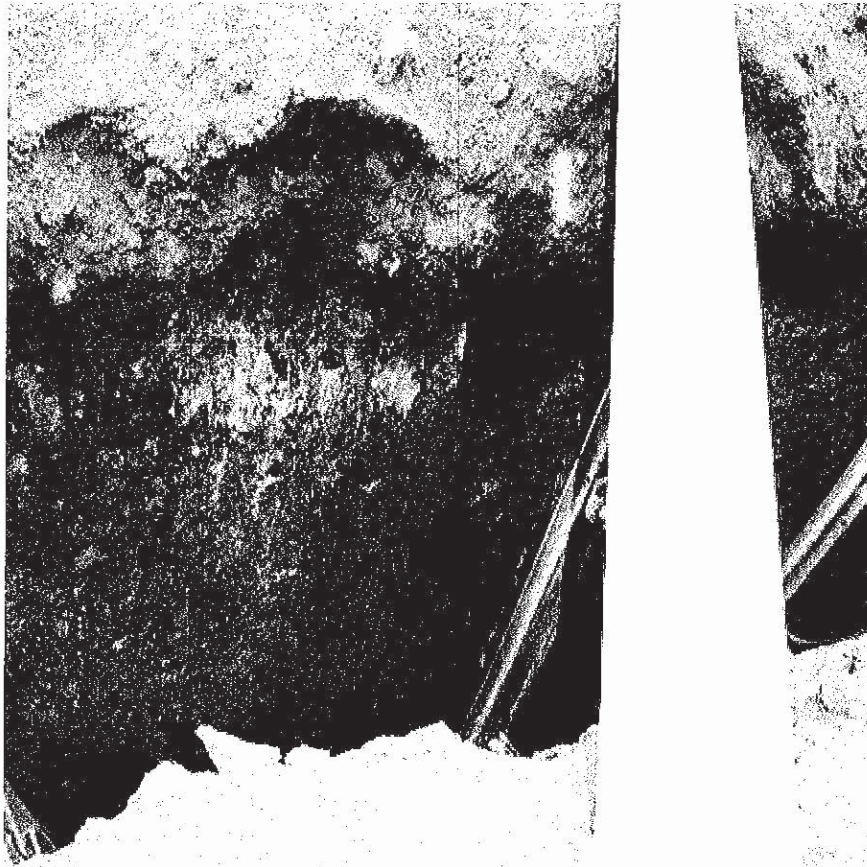


Sigma Prime Geosciences, Inc.

Figure	4
Date:	6/3/15
Job No.:	15-128

**Photos**

Kalpakoff Property, Cypress Ave., Moss Beach



View of fault trace, south wall. Note light-colored caliche deposits, several inches higher on left side.



View of fault trace, north wall.

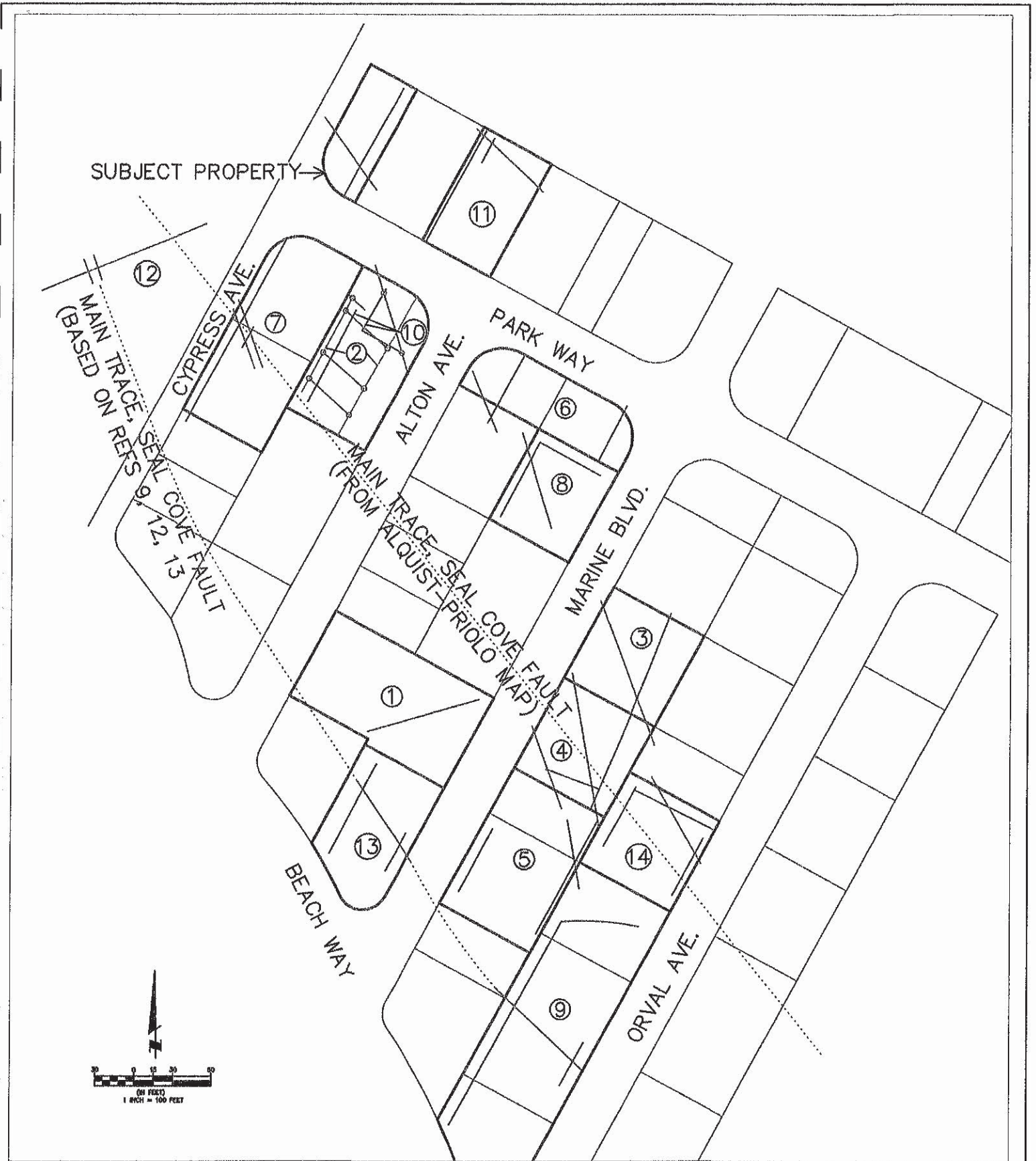


Sigma Prime Geosciences, Inc.

Figure	5
Date:	6/3/15
Job No.:	15-128

**Photos**

Kalpakoff Property, Cypress Ave., Moss Beach



**EXPLANATION**

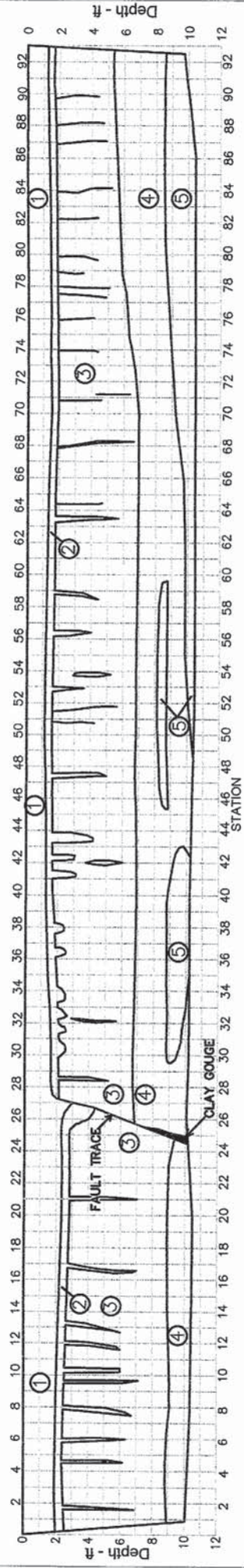
	or:	Fault Trench
		Feature Identified as a Fault Trace
		Consultant's Report in Reference List



Sigma Prime Geosciences, Inc.

Figure	6
Date:	6/4/15
Job No.:	15-128

**Study Area**  
Kalpakoff Property, Cypress Ave., Moss Beach



1"=3' LOOKING AT NORTH WALL: TRENCH TRENDS N 29 E

**EXPLANATION**

NOTE: Fault trace trends N36W.

- ① CLAY (CL) (Topsoil, A-Horizon): dark brown; soft to medium stiff; moist. Homogenous structure.
- ② Caliche deposit with hard cobbles: light olive gray; 6" thick; matrix is sandy clay.
- ③ SANDY CLAY (CL) (B-Horizon): orange-brown; very stiff; moist. Sand is angular, medium grained, arkosic with feldspars, derived from granitic basement rock.
- ④ SILTY SAND (SM): orange-brown; very dense; moist. Sand grains comprised of quartz, feldspar, biotite, mafic fragments; angular; medium to coarse grained. Occasional sub-rounded quartz cobbles. Faint horizontal laminations, some cross bedding. Lenticular bodies of different grain sizes.
- ⑤ SILTY CLAY (CL): mottled orange/light olive; very stiff; laminated.

Gradual contact between 3 and 4.

ANSHU NAND  
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 ONLY**  
 APR 04 2016

**NOTICE OF INTENT TO ADOPT  
 NEGATIVE DECLARATION**

A notice, pursuant to the California Environmental Quality Act of 1970, as amended (Public Resources Code 21,000, et seq.), that the following project: New Kalpakoff Single-Family Residence, when adopted and implemented, will not have a significant impact on the environment.

FILE NO.: PLN 2015-00243

OWNER and APPLICANT: Steve Kalpakoff

ASSESSOR'S PARCEL NOS.: 037-225-010

LOCATION: Cypress Avenue and Park Way, Moss Beach

**PROJECT DESCRIPTION:** The applicant requests approval of a Non-Conforming Use Permit, Coastal Development Permit, and Design Review Permit, pursuant to Sections 6134.6, 6328.4 and 6565.3 of the San Mateo County Zoning Regulations, respectively, to allow construction of a 1,485 sq. ft. new two-story, single-family residence, plus a 388 sq. ft. attached two-car garage on a 3,916 sq. ft. non-conforming legal parcel, where 5,000 sq. ft. is the minimum required. The Non-Conforming Use Permit is required per Section 6133.3b of the San Mateo County Zoning Regulations, to allow a rear setback of 15 feet 5 inches, where the minimum required is 20 feet. No significant trees are proposed for removal and only minimal grading is involved. The project is not appealable to the California Coastal Commission.

**FINDINGS AND BASIS FOR A NEGATIVE DECLARATION**

The Current Planning Section has reviewed the initial study for the project and, based upon substantial evidence in the record, finds that:

1. The project, as proposed, will not adversely affect water or air quality or increase noise levels substantially.
2. The project, as proposed, will not have adverse impacts on the flora or fauna of the area.
3. The project, as proposed, will not degrade the aesthetic quality of the area.
4. The project, as proposed, will not have adverse impacts on traffic or land use.
5. In addition, the project, as proposed, will not:
  - a. Create impacts which have the potential to degrade the quality of the environment.
  - b. Create impacts which achieve short-term to the disadvantage of long-term environmental goals.



- c. Create impacts for a project which are individually limited, but cumulatively considerable.
- d. Create environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly.

The County of San Mateo has, therefore, determined that the environmental impact of the project is less than significant.

RESPONSIBLE AGENCY CONSULTATION: None.


INITIAL STUDY: The San Mateo County Current Planning Section has reviewed the Environmental Evaluation of this project and has found that the probable environmental impacts are less than significant. A copy of the initial study is attached.

REVIEW PERIOD: April 4, 2016 to April 25, 2016

All comments regarding the correctness, completeness, or adequacy of this Negative Declaration must be received by the County Planning and Building Department, 455 County Center, Second Floor, Redwood City, no later than **5:00 p.m., April 25, 2016.**

CONTACT PERSON

Dennis P. Aguirre  
Project Planner, 650/363-1867  
[daguirre@smcgov.org](mailto:daguirre@smcgov.org)



Dennis P. Aguirre, Project Planner

County of San Mateo  
Planning and Building Department

**INITIAL STUDY  
ENVIRONMENTAL EVALUATION CHECKLIST**  
(To Be Completed by Planning Department)

1. **Project Title:** New Kalpakoff Single-Family Residence.
2. **County File Number:** PLN 2015-00243
3. **Lead Agency Name and Address:** County of San Mateo Planning and Building Department, 455 County Center, Second Floor, Redwood City, CA 94063
4. **Contact Person and Phone Number:** Dennis P. Aguirre, Project Planner, 650/363-1867
5. **Project Location:** Cypress Avenue and Park Way, Moss Beach
6. **Assessor's Parcel Number and Size of Parcel:** 037-225-010; 3,916 sq. ft.
7. **Project Sponsor's Name and Address:** Steve Kalpakoff, 440 Davis Court #2017, San Francisco
8. **General Plan Designation:** Medium Density Residential
9. **Zoning:** R-1/S-17/DR/GH/CD (Single-Family Residential District/S-17 Combining District with 5,000 sq. ft. minimum parcel size/Design Review/Geological Hazard District/Coastal Development)
10. **Description of the Project:** The applicant requests approval of a Non-Conforming Use Permit, Coastal Development Permit, and Design Review Permit, pursuant to Sections 6134.6, 6328.4 and 6565.3 of the San Mateo County Zoning Regulations, respectively, to allow construction of a 1,485 sq. ft. new two-story, single-family residence, plus a 388 sq. ft. attached two-car garage on a 3,916 sq. ft. non-conforming legal parcel, where 5,000 sq. ft. is the minimum required. The Non-Conforming Use Permit is required per Section 6133.3b of the San Mateo County Zoning Regulations, to allow a rear setback of 15 feet 5 inches, where the minimum required is 20 feet. No significant trees are proposed for removal and only minimal grading is involved. The project is not appealable to the California Coastal Commission.
11. **Surrounding Land Uses and Setting:** The project site is an undeveloped lot located at Cypress Avenue and Park Way, within a general area of developed parcels in the unincorporated Moss Beach area of San Mateo County. The subject site is fairly flat in topography with vegetation consisting of brush and grass. Cypress Avenue is located westward, Park Way and the Seal Cove area are located to the north, and developed parcels south and east bound this parcel.
12. **Other Public Agencies Whose Approval is Required:** None

## ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

There are no environmental factors that would be potentially be affected by this project, involving at least one impact that is a “Potentially Significant Impact” or “Significant Unless Mitigated”, as indicated by the checklist on the following pages.

X	Aesthetics		Climate Change	X	Population/Housing
	Agricultural and Forest Resources		Hazards and Hazardous Materials	X	Public Services
	Air Quality		Hydrology/Water Quality	X	Recreation
	Biological Resources		Land Use/Planning		Transportation/Traffic
	Cultural Resources		Mineral Resources		Utilities/Service Systems
X	Geology/Soils		Noise		Mandatory Findings of Significance

## EVALUATION OF ENVIRONMENTAL IMPACTS

1. A brief explanation is required for all answers except “No Impact” answers that are adequately supported by the information sources a lead agency cites. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A “No Impact” answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
2. All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
3. Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. “Potentially Significant Impact” is appropriate if there is substantial evidence that an effect may be significant. If there are one or more “Potentially Significant Impact” entries when the determination is made, an EIR is required.
4. “Negative Declaration: Less Than Significant with Mitigation Incorporated” applies where the incorporation of mitigation measures has reduced an effect from “Potentially Significant Impact” to a “Less Than Significant Impact.” The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from “Earlier Analyses,” as described in 5. below, may be cross-referenced).
5. Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration (Section 15063(c)(3)(D)). In this case, a brief discussion should identify the following:

- a. Earlier Analysis Used. Identify and state where they are available for review.
  - b. Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
  - c. Mitigation Measures. For effects that are “Less Than Significant with Mitigation Measures Incorporated,” describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
6. Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
7. Supporting Information Sources. Sources used or individuals contacted should be cited in the discussion.

<b>1. AESTHETICS.</b> Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
1.a. Have a significant adverse effect on a scenic vista, views from existing residential areas, public lands, water bodies, or roads?			X	
<p><b>Discussion:</b> The project site is partially located within a County Scenic Corridor where there is partial visibility of the site from a short segment of Cabrillo Highway at Cypress Avenue from Cabrillo Highway. Developed parcels and mature trees screen the residence from this vantage point. The Coastsides Design Review Committee (CDRC) considered the project at its November 12, 2015 meeting, and recommended approval of the project, as submitted, based on project compliance with required design review standards.</p> <p><b>Source:</b> Project Plans, Field Observation and County GIS Resource Maps.</p>				
1.b. Significantly damage or destroy scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?				X
<p><b>Discussion:</b> The project is not located along or within the corridor of a State Scenic Highway.</p> <p><b>Source:</b> Project Plans, Field Observation and County GIS Resource Maps.</p>				

1.c. Significantly degrade the existing visual character or quality of the site and its surroundings, including significant change in topography or ground surface relief features, and/or development on a ridgeline?				X
<p><b>Discussion:</b> The project does not involve a significant change in existing site topography, as the site is flat. The project is consistent with the visual character of the neighborhood, as supported by the recommendation of approval from the CDRC. The project does not involve tree removal and includes a proposed landscape plan that will screen the residence and blend with surrounding vegetation.</p> <p><b>Source:</b> Project Plans and Field Observation.</p>				
1.d. Create a new source of significant light or glare that would adversely affect day or nighttime views in the area?			X	
<p><b>Discussion:</b> The project involves the installation of exterior lighting fixtures that are downward directed, as required by the Design Review standards. Therefore, no significant source of light and glare will be created that would affect the views in the area.</p> <p><b>Source:</b> Project Plans and San Mateo County Zoning Regulations.</p>				
1.e. Be adjacent to a designated Scenic Highway or within a State or County Scenic Corridor?			X	
<p><b>Discussion:</b> Reference responses to Section 1.a. and b., above.</p> <p><b>Source:</b> Project Plans and Field Observation and County GIS Resource Maps.</p>				
1.f. If within a Design Review District, conflict with applicable General Plan or Zoning Ordinance provisions?			X	
<p><b>Discussion:</b> Reference response to Section 1.a. Additionally, the project requires a Non-Conforming Use Permit, pursuant to Section 6134.6 of the San Mateo County Zoning Regulations. The project meets the required findings for the construction of a new single-family residence since it will not result in a significant adverse impact on coastal resources, or be detrimental to the public welfare or injurious to property or improvements in the neighborhood.</p> <p><b>Source:</b> Project Plans and Field Observation.</p>				
1.g. Visually intrude into an area having natural scenic qualities?			X	
<p><b>Discussion:</b> Reference responses to Sections 1.a. and 1.c., above.</p> <p><b>Source:</b> Project Plans and Field Observation and County GIS Resource Maps.</p>				

<p><b>2. AGRICULTURAL AND FOREST RESOURCES.</b> In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the State's inventory of forestland, including the Forest and Range Assessment Project and the Forest Legacy Assessment Project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project:</p>					
		<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
2.a.	For lands outside the Coastal Zone, convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?				X
<p><b>Discussion:</b> N/A. The project site does not contain farmland and is not located in an agricultural zoning district, and is not subject to a Williamson Act Contract.</p> <p><b>Source:</b> Project Plans and Field Observation.</p>					
2.b.	Conflict with existing zoning for agricultural use, an existing Open Space Easement, or a Williamson Act contract?				X
<p><b>Discussion:</b> Reference response to Section 2.a., above.</p> <p><b>Source:</b> Project Plans and Field Observation.</p>					
2.c.	Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forestland to non-forest use?				X
<p><b>Discussion:</b> Reference response to Section 2.a., above.</p> <p><b>Source:</b> Project Plans and Field Observation.</p>					
2.d.	For lands within the Coastal Zone, convert or divide lands identified as Class I or Class II Agriculture Soils and Class III Soils rated good or very good for artichokes or Brussels sprouts?				X

<b>Discussion:</b> Reference response to Section 2.a., above.				
<b>Source:</b> Project Plans and Field Observation.				
2.e.	Result in damage to soil capability or loss of agricultural land?			X
<b>Discussion:</b> Reference response to Section 2.a., above.				
<b>Source:</b> Project Plans and Field Observation.				
2.f.	Conflict with existing zoning for, or cause rezoning of, forestland (as defined in Public Resources Code Section 12220(g)), timberland (as defined by Public Resources Code Section 4526), or timberland zoned Timberland Production (as defined by Government Code Section 51104(g))?  <i>Note to reader: This question seeks to address the economic impact of converting forestland to a non-timber harvesting use.</i>			X
<b>Discussion:</b> N/A. The project site does not contain forestland or timberland.				
<b>Source:</b> Project Plans and Field Observation.				

<b>3. AIR QUALITY.</b> Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:					
		<b>Potentially Significant Impacts</b>	<b>Significant Unless Mitigated</b>	<b>Less Than Significant Impact</b>	<b>No Impact</b>
3.a.	Conflict with or obstruct implementation of the applicable air quality plan?			X	
<b>Discussion:</b> The construction of the residence may result in temporary generation of pollutants related to construction. However, the project would not result in the generation of a significant level of pollutants. Section 2-1-113 ( <i>Exemption, Sources and Operations</i> ) of the General Requirements of the Bay Area Air Quality Management District exempts sources of air pollution associated with construction of a single-family dwelling used solely for residential purposes, as well as road construction. No mitigation measures are necessary.					
<b>Source:</b> Bay Area Air Quality Management District (BAAQMD) Regulation 2, Rule 1: General Requirements.					
3.b.	Violate any air quality standard or contribute significantly to an existing or projected air quality violation?				X

<p><b>Discussion:</b> Reference response to Section 3.a., above.  <b>Source:</b> BAAQMD Regulation 2, Rule 1: General Requirements.</p>					
3.c.	Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable Federal or State ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?				X
<p><b>Discussion:</b> Reference response to Section 3.a., above.  <b>Source:</b> BAAQMD Regulation 2, Rule 1: General Requirements.</p>					
3.d.	Expose sensitive receptors to significant pollutant concentrations, as defined by BAAQMD?				X
<p><b>Discussion:</b> Reference response to Section 3.a., above.  <b>Source:</b> BAAQMD Regulation 2, Rule 1: General Requirements.</p>					
3.e.	Create objectionable odors affecting a significant number of people?			X	
<p><b>Discussion:</b> While project construction of the residence may create minimal temporary construction-related odors, the project would not result in any permanent odors, nor would temporary odors affect a significant number of people as the project is located on private property and is not located within a single-family residential neighborhood.  <b>Source:</b> Project Application/Plans.</p>					
3.f.	Generate pollutants (hydrocarbon, thermal odor, dust or smoke particulates, radiation, etc.) that will violate existing standards of air quality on-site or in the surrounding area?				X
<p><b>Discussion:</b> Reference response to Section 3.a., above.  <b>Source:</b> BAAQMD Regulation 2, Rule 1: General Requirements.</p>					



4. <b>BIOLOGICAL RESOURCES.</b> Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
4.a. Have a significant adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?				X
<p><b>Discussion:</b> The project site is an undeveloped lot within an existing developed residential neighborhood. It is disturbed by past parking activities and does not contain any riparian/wetland or any sensitive habitat areas. Therefore, it will not modify the habitat of any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service.</p> <p><b>Source:</b> San Mateo County General Plan Sensitive Habitats and GIS Resource Maps.</p>				
4.b. Have a significant adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?				X
<p><b>Discussion:</b> Reference response to Section 4.a., above.</p> <p><b>Source:</b> San Mateo County General Plan Sensitive Habitats and GIS Resource Maps.</p>				
4.c. Have a significant adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?				X
<p><b>Discussion:</b> Reference response to Section 4.a., above.</p> <p><b>Source:</b> San Mateo County General Plan Sensitive Habitats and GIS Resource Maps, and Wetlands Report.</p>				

4.d. Interfere significantly with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites?				X
<p><b>Discussion:</b> Reference response to Section 4.a., above.</p> <p><b>Source:</b> San Mateo County General Plan Sensitive Habitats and GIS Resource Maps.</p>				
4.e. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance (including the County Heritage and Significant Tree Ordinances)?				X
<p><b>Discussion:</b> Reference response to Section 4.a., above. Additionally, no significant trees are proposed for removal.</p> <p><b>Source:</b> Project Plans, Field Observation and Arborist Report.</p>				
4.f. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, other approved local, regional, or State habitat conservation plan?				X
<p><b>Discussion:</b> Reference response to Section 4.a., above.</p> <p><b>Source:</b> San Mateo County General Plan Sensitive Habitats and GIS Resource Maps.</p>				
4.g. Be located inside or within 200 feet of a marine or wildlife reserve?				X
<p><b>Discussion:</b> The site is not located in or within 20 feet of a marine or wildlife reserve.</p> <p><b>Source:</b> San Mateo County General Plan Sensitive Habitats and GIS Resource Maps.</p>				
4.h. Result in loss of oak woodlands or other non-timber woodlands?				X
<p><b>Discussion:</b> Reference response to Section 4.e., above.</p> <p><b>Source:</b> San Mateo County General Plan Sensitive Habitats and GIS Resource Maps.</p>				

<b>5. CULTURAL RESOURCES.</b> Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
5.a. Cause a significant adverse change in the significance of a historical resource as defined in CEQA Section 15064.5?				X
<p><b>Discussion:</b> No structures are located on the property. The project site does not contain any historical resource.</p> <p><b>Source:</b> Project Application/Plans and San Mateo County General Plan.</p>				
5.b. Cause a significant adverse change in the significance of an archaeological resource pursuant to CEQA Section 15064.5?				X
<p><b>Discussion:</b> Reference response to Section 5.a., above.</p> <p><b>Source:</b> Project Application/Plans and San Mateo County General Plan.</p>				
5.c. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?				X
<p><b>Discussion:</b> Reference response to Section 5.b., above. Standard conditions of approval regarding protection of paleontological resources and human remains will be added if the project is approved.</p> <p><b>Source:</b> Project Application/Plans and San Mateo County General Plan.</p>				
5.d. Disturb any human remains, including those interred outside of formal cemeteries?				X
<p><b>Discussion:</b> Reference response to Section 5.b., above.</p> <p><b>Source:</b> Project Application/Plans and San Mateo County General Plan.</p>				

6. GEOLOGY AND SOILS. Would the project:				
	Potentially Significant Impacts	Significant Unless Mitigated	Less Than Significant Impact	No Impact
6.a. Expose people or structures to potential significant adverse effects, including the risk of loss, injury, or death involving the following, or create a situation that results in:				
i. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other significant evidence of a known fault?  <i>Note: Refer to Division of Mines and Geology Special Publication 42 and the County Geotechnical Hazards Synthesis Map.</i>			X	
<p><b>Discussion:</b> A Geotechnical Study prepared by Sigma Prime Geosciences, Inc., (Report), dated June 3, 2015 (Attachment C), submitted for the project, states the following:</p> <p>"Fault Rupture - The likelihood of major fault offsets across the property are low, as the main trace of the fault has been identified 225 feet southwest of the property. An earthquake may result in over 10 feet of lateral offset on the main trace. However, a secondary fault trace was found on the property with about 1-foot of vertical offset. The proposed house will be located with this in mind." The house design and location incorporates the recommendations of the Geotechnical Report. The house is located 10 feet from the fault line as located by Sigma Prime Geosciences. No mitigation measures are necessary.</p> <p><b>Source:</b> San Mateo County Geotechnical Hazards Synthesis Map, California Geological Survey - Alquist-Priolo Earthquake Fault Zones and Report.</p>				
ii. Strong seismic ground shaking?			X	
<p><b>Discussion:</b> The following discussion is from the Geotechnical Report cited above:</p> <p>"Ground Shaking - The site is located in an active seismic area. Moderate to large earthquakes are probable along several active faults in the greater Bay Area over a 30- to 50-year design life. Strong ground shaking should therefore be expected several times during the design life of the structure, as is typical for sites throughout the Bay Area. The improvements should be designed and constructed in accordance with current earthquake resistance standards." The house design and location incorporates the recommendations of the Geotechnical report. The house is located 10 feet from the fault line as located by Sigma Prime Geosciences. No mitigation measures are necessary.</p> <p><b>Source:</b> San Mateo County Geotechnical Hazards Synthesis Map, California Geological Survey - Alquist-Priolo Earthquake Fault Zones and Report.</p>				

iii. Seismic-related ground failure, including liquefaction and differential settling?			X	
<p><b>Discussion:</b> The following discussion is from the Geotechnical Report cited above:</p> <p>"Differential Compaction - Differential compaction occurs during moderate and large earthquakes when soft or loose, natural or fill soils are densified and settle, often unevenly across a site. Due to the stiff and dense nature of the underlying soils, the likelihood of significant damage to the structure from differential compaction is low.</p> <p>Liquefaction – Liquefaction occurs when loose, saturated sandy soils lose strength and flow like a liquid during earthquake shaking. Ground settlement often accompanies liquefaction. Soils most susceptible to liquefaction are saturated, loose, silty sands, and uniformly graded sands. Loose silty sands were not encountered at the site. Therefore, in our opinion, the likelihood of liquefaction occurring at the site is very low.</p> <p><b>Source:</b> San Mateo County Geotechnical Hazards Synthesis Map, California Geological Survey - Alquist-Priolo Earthquake Fault Zones and Report.</p>				
iv. Landslides?			X	
<p><b>Discussion:</b> The topography of the site is relatively flat. The project is not located in an area identified as susceptible to landslides. The parcel has been designated as an area with Landslide Susceptibility I based on information gathered from the U.S. Geological Survey. Such areas have the lowest susceptibility to soil instability and a decreased potential for occurrences of a landslide.</p> <p><b>Source:</b> State of California Seismic Hazard Zone Map/San Mateo County Landslide Susceptibility Map.</p>				
v. Coastal cliff/bluff instability or erosion?				X
<p><i>Note to reader: This question is looking at instability under current conditions. Future, potential instability is looked at in Section 7 (Climate Change).</i></p> <p><b>Discussion:</b> The site is not located on or adjacent to a cliff or bluff.</p> <p><b>Source:</b> Project Plans/County GIS Resource Map and Geotechnical Report.</p>				
6.b. Result in significant soil erosion or the loss of topsoil?			X	
<p><b>Discussion:</b> The project involves only minor grading of 20 cubic yards of excavation. Also, the project plans include an erosion and sediment control plan that, upon project implementation, would minimize potential of erosion to a less than significant level.</p> <p><b>Source:</b> Project Application/Plans.</p>				

6.c. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, severe erosion, liquefaction or collapse?			X	
<p><b>Discussion:</b> The site has not been identified to be located on soil that will become unstable as a result of the project. Reference response to Section 6.a.i. through 6.a.iv., above.</p> <p><b>Source:</b> San Mateo County Geotechnical Hazards Synthesis Map, California Geological Survey - Alquist-Priolo Earthquake Fault Zones, State of California Seismic Hazard Zone Map/San Mateo County Landslide Susceptibility Map and Report.</p>				
6.d. Be located on expansive soil, as noted in the 2010 California Building Code, creating significant risks to life or property?				X
<p><b>Discussion:</b> The presence of expansive soils as a potential significant hazard has not been identified.</p> <p><b>Source:</b> San Mateo County Geotechnical Hazards Synthesis Map, California Geological Survey - Alquist-Priolo Earthquake Fault Zones, State of California Seismic Hazard Zone Map/San Mateo County Landslide Susceptibility Map and Report.</p>				
6.e. Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?				X
<p><b>Discussion:</b> The project does not involve a septic system for wastewater disposal as Montara Water Sanitary District (MWSD) has confirmed that it can provide sewer service to the project.</p> <p><b>Source:</b> Project Application/Plans and San Mateo County GIS Resource Maps.</p>				

<b>7. CLIMATE CHANGE.</b> Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
7.a. Generate greenhouse gas (GHG) emissions (including methane), either directly or indirectly, that may have a significant impact on the environment?			X	
<p><b>Discussion:</b> To ensure new development projects are compliant with the County's Energy Efficiency Climate Action Plan (EECAP), the County provides the EECAP Development Checklist.</p>				

<p>Planning staff has reviewed the proposal with the criteria of the checklist and found that there are no criteria that are applicable for the project. No mitigation measures required.</p> <p><b>Source:</b> San Mateo County Energy Efficiency Climate Action Plan (EECAP) and BAAQMD Regulation 2, Rule 1: General Requirements.</p>					
7.b.	Conflict with an applicable plan (including a local climate action plan), policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?				X
<p><b>Discussion:</b> Reference response to Section 7.a., above.</p> <p><b>Source:</b> BAAQMD Regulation 2, Rule 1: General Requirements.</p>					
7.c.	Result in the loss of forestland or conversion of forestland to non-forest use, such that it would release significant amounts of GHG emissions, or significantly reduce GHG sequestering?				X
<p><b>Discussion:</b> The project does not involve loss or conversion of forestland, as no forestland is present at the site.</p> <p><b>Source:</b> Project Application/Plans.</p>					
7.d.	Expose new or existing structures and/or infrastructure (e.g., leach fields) to accelerated coastal cliff/bluff erosion due to rising sea levels?				X
<p><b>Discussion:</b> The project site is not located on or adjacent to a cliff or bluff.</p> <p><b>Source:</b> San Mateo County GIS Resource Maps.</p>					
7.e.	Expose people or structures to a significant risk of loss, injury or death involving sea level rise?				X
<p><b>Discussion:</b> The projected site is not located along or adjacent to a shoreline area.</p> <p><b>Source:</b> Project Application/Plans.</p>					
7.f.	Place structures within an anticipated 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?			X	
<p><b>Discussion:</b> The project site is located in Flood Zone X designated as minimal risk areas outside the 1-percent and 0.2-percent-annual-chance floodplains.</p> <p><b>Source:</b> FEMA Flood Insurance Rate Map.</p>					

7.g.	Place within an anticipated 100-year flood hazard area structures that would impede or redirect flood flows?			X	
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**Discussion:** Reference response to Section 7.f., above.

**Source:** Flood Insurance Rate Map.

**8. HAZARDS AND HAZARDOUS MATERIALS.** Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
8.a.	Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials (e.g., pesticides, herbicides, other toxic substances, or radioactive material)?			X

**Discussion:** The project does not involve the transport, use or disposal of hazardous materials.

**Source:** Project Application/Plans.

8.b.	Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?			X
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**Discussion:** Reference response to Section 8.a., above.

**Source:** Project Application/Plans.

8.c.	Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?			X
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**Discussion:** Reference response to Section 8.a., above.

**Source:** Project Application/Plans.

8.d.	Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?			X
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<p><b>Discussion:</b> The project parcel is not considered a hazardous material site, according to the current Hazardous Waste and Substances Site List posted by the California Department of Toxic Substances Control (mandated by Government Code Section 65962.5).</p> <p><b>Source:</b> California Department of Toxic Substances Control, Hazardous Waste and Substances Site List.</p>					
8.e.	For a project located within an airport land use plan or, where such a plan has not been adopted, within 2 miles of a public airport or public use airport, result in a safety hazard for people residing or working in the project area?			X	
<p><b>Discussion:</b> The project complies with Section 4.2.2.3 of the Half Moon Bay Airport Land Use Compatibility Plan (HMB ALUCP) for Infill Development.</p> <p><b>Source:</b> Project Application/Plans, San Mateo County GIS Resource Maps and HMB ALUCP.</p>					
8.f.	For a project within the vicinity of a private airstrip, result in a safety hazard for people residing or working in the project area?			X	
<p><b>Discussion:</b> Reference response to Section 8.e., above.</p> <p><b>Source:</b> Project Application/Plans and San Mateo County GIS Resource Maps.</p>					
8.g.	Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?				X
<p><b>Discussion:</b> The project will not physically interfere with an adopted emergency plan. The project site is located in a developed coastal area with available access to emergency response agencies such as the Coastside Fire Protection District and the San Mateo County Sheriff's Department.</p> <p><b>Source:</b> Project Application/Plans and San Mateo County GIS Resource Maps.</p>					
8.h.	Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?				X
<p><b>Discussion:</b> The project site is not located within or adjacent to a wildland area.</p> <p><b>Source:</b> Project Application/Plans and San Mateo County GIS Resource Maps.</p>					

8.i.	Place housing within an existing 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?			X	
<p><b>Discussion:</b> Reference response to Section 7.f., above.</p> <p><b>Source:</b> FEMA Flood Insurance Rate Map.</p>					
8.j.	Place within an existing 100-year flood hazard area structures that would impede or redirect flood flows?			X	
<p><b>Discussion:</b> Reference response to Section 7.f., above.</p> <p><b>Source:</b> FEMA Flood Insurance Rate Map.</p>					
8.k.	Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?			X	
<p><b>Discussion:</b> Reference response to Section 7.f., above.</p> <p><b>Source:</b> FEMA Flood Insurance Rate Map.</p>					
8.l.	Inundation by seiche, tsunami, or mudflow?			X	
<p><b>Discussion:</b> The project site is not located in a tsunami hazard zone. The site is not located downstream of a levee or a dam.</p> <p><b>Source:</b> Project Application/Plans, San Mateo County GIS Resource Maps and San Mateo County General Plan Hazards Map.</p>					

<b>9. HYDROLOGY AND WATER QUALITY.</b> Would the project:					
		<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
9.a.	Violate any water quality standards or waste discharge requirements (consider water quality parameters such as temperature, dissolved oxygen, turbidity and other typical stormwater pollutants (e.g., heavy metals, pathogens, petroleum derivatives, synthetic organics, sediment, nutrients, oxygen-demanding substances, and trash))?			X	

**Discussion:** The project may result in the discharge of typical stormwater pollutants due to proposed grading and construction. The project, as proposed, would result in less than significant impacts in this area upon implementation of the proposed Erosion Control Plan shown on Sheet C-1 of Attachment B.

**Source:** Project Application/Plans.

<p>9.b. Significantly deplete groundwater supplies or interfere significantly with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?</p>				X
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**Discussion:** The existing residence does not involve direct use of groundwater as a domestic water source since the project site is located in a developed residential area already serviced by Coastside County Water District.

**Source:** Project Application/Plans.

<p>9.c. Significantly alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner that would result in significant erosion or siltation on- or off-site?</p>				X
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**Discussion:** The project would significantly not impact the drainage pattern of off-site areas. Also, see response to Section 9.e., below.

**Source:** Project Application/Plans.

<p>9.d. Significantly alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or significantly increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?</p>			X	
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**Discussion:** The project would not impact the drainage pattern of the area. Also, see response to Section 9.e., below.

**Source:** Project Application/Plans.

9.e.	Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide significant additional sources of polluted runoff?			X	
<p><b>Discussion:</b> The project would result in 1,162 sq. ft. of new impervious surface. New drainage facilities are proposed to minimize on- and off-site water quality and run-off impacts. At the time of submittal for a building permit, the project will be subject to review for compliance with all County drainage policies and the County's Municipal Stormwater Regional Permit.</p> <p><b>Source:</b> Project Application/Plans and San Mateo County Drainage Policy.</p>					
9.f.	Significantly degrade surface or ground-water water quality?				X
<p><b>Discussion:</b> Reference response to Section 9.e., above. The project involves infiltration of run-off via landscaping and would not result in impacts to ground water quality.</p> <p><b>Source:</b> Project Application/Plans.</p>					
9.g.	Result in increased impervious surfaces and associated increased runoff?				X
<p><b>Discussion:</b> Reference response to Section 9.e., above.</p> <p><b>Source:</b> Project Application/Plans.</p>					

<b>10. LAND USE AND PLANNING.</b> Would the project:					
		<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
10.a.	Physically divide an established community?				X
<p><b>Discussion:</b> The project involves the construction of a new residence within an existing residential neighborhood and will not divide an established community.</p> <p><b>Source:</b> Project Application/Plans.</p>					
10.b.	Conflict with any applicable land use plan, policy or regulation of an agency with jurisdiction over the project (including, but not limited to, the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?			X	

<p><b>Discussion:</b> The project is subject to the approval of a Non-Conforming Use Permit, pursuant to Section 6134.6 of the San Mateo County Zoning Regulations. The project meets the required findings for the encroachment of the new residence into the minimum 20 feet required setback by 4 feet - 7 inches.</p> <p><b>Source:</b> San Mateo County General Plan and San Mateo Zoning Regulations.</p>					
10.c.	Conflict with any applicable habitat conservation plan or natural community conservation plan?				X
<p><b>Discussion:</b> The project site is not located within any habitat/conservation areas. Reference response to Section 4.a., above.</p> <p><b>Source:</b> California Department of Fish and Wildlife, Habitat Conservation Planning.</p>					
10.d.	Result in the congregating of more than 50 people on a regular basis?				X
<p><b>Discussion:</b> The project does not involve the congregation of more than 50 people as the project only involves the construction of a single-family dwelling in a residential zone.</p> <p><b>Source:</b> Project Application/Plans.</p>					
10.e.	Result in the introduction of activities not currently found within the community?				X
<p><b>Discussion:</b> The proposed project would not result in the introduction of new activities at the site. Single-family residential uses are established within the subject community.</p> <p><b>Source:</b> Project Application/Plans.</p>					
10.f.	Serve to encourage off-site development of presently undeveloped areas or increase development intensity of already developed areas (examples include the introduction of new or expanded public utilities, new industry, commercial facilities or recreation activities)?				X
<p><b>Discussion:</b> The project does not encourage off-site development, as the proposed improvements would only serve the proposed residential use of the site.</p> <p><b>Source:</b> Project Plans and San Mateo County GIS Resource Maps.</p>					
10.g.	Create a significant new demand for housing?				X
<p><b>Discussion:</b> Reference response to Section 10.f., above.</p> <p><b>Source:</b> Project Plans and San Mateo County GIS Resource Maps.</p>					

11. MINERAL RESOURCES. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
11.a. Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?				X
<p><b>Discussion:</b> The project site is not located in an area known for mineral resources nor does the project involve mineral extraction.</p> <p><b>Source:</b> Project Plans and San Mateo County GIS Resource Maps.</p>				
11.b. Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?				X
<p><b>Discussion:</b> Reference response to Section 11.a., above.</p> <p><b>Source:</b> Project Plans and San Mateo County GIS Resource Maps.</p>				

12. NOISE. Would the project result in:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
12.a. Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?			X	
<p><b>Discussion:</b> While this project will not generate noise levels in excess of standard residential levels once implemented, during construction activities, increased noise levels may occur. However, noise sources associated with construction and grading of any real property are exempt from the County Noise Ordinance provided these activities occur during designated timeframes.</p> <p><b>Source:</b> Project Application/Plans and San Mateo County Noise Ordinance.</p>				
12.b. Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?			X	
<p><b>Discussion:</b> Reference response to Section 12.a., above.</p> <p><b>Source:</b> Project Application/Plans and San Mateo County Noise Ordinance.</p>				

12.c. A significant permanent increase in ambient noise levels in the project vicinity above levels existing without the project?				X
<p><b>Discussion:</b> The Geotechnical Report recommends a slab foundation, whereby construction would not involve or result in excessive ground-borne vibration or ground-borne noise levels. Reference response to Section 12.a., above.</p> <p><b>Source:</b> Project Application/Plans and San Mateo County Noise Ordinance.</p>				
12.d. A significant temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?				X
<p><b>Discussion:</b> Reference response to Section 12.a., above.</p> <p><b>Source:</b> Project Application/Plans and San Mateo County Noise Ordinance.</p>				
12.e. For a project located within an airport land use plan or, where such a plan has not been adopted, within 2 miles of a public airport or public use airport, exposure to people residing or working in the project area to excessive noise levels?			X	
<p><b>Discussion:</b> The project site is located outside the Community Noise Equivalent Level (CNEL) airport noise exposure contours and is therefore not exposed to significant levels of aircraft noise.</p> <p><b>Source:</b> Project Application/Plans, San Mateo County Noise Ordinance and Airport Land Use Compatibility Plan (ALUCP).</p>				
12.f. For a project within the vicinity of a private airstrip, exposure to people residing or working in the project area to excessive noise levels?				X
<p><b>Discussion:</b> The project is not located within the vicinity of a private airstrip.</p> <p><b>Source:</b> Project Application/Plans, San Mateo County Noise Ordinance and Airport Land Use Compatibility Plan (ALUCP).</p>				

<b>13. POPULATION AND HOUSING.</b> Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
13.a. Induce significant population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?				X
<p><b>Discussion:</b> Reference response to Section 10.f., above. In addition, the site is accessed from existing roads and would not require road extensions. While the site is adjacent to an unpaved/closed portion of Cypress Avenue, the site would be accessed using a new driveway from the northern paved portion of Cypress Avenue.</p> <p><b>Source:</b> Project Application/Plans.</p>				
13.b. Displace existing housing ( <b>including low- or moderate-income housing</b> ), in an area that is substantially deficient in housing, necessitating the construction of replacement housing elsewhere?				X
<p><b>Discussion:</b> The project does not displace housing but would result in the construction of a new residence at the site.</p> <p><b>Source:</b> Project Application/Plans.</p>				

<b>14. PUBLIC SERVICES.</b> Would the project result in significant adverse physical impacts associated with the provision of new or physically altered government facilities, the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
14.a. Fire protection?				X
14.b. Police protection?				X
14.c. Schools?				X
14.d. Parks?			X	
14.e. Other public facilities or utilities (e.g., hospitals, or electrical/natural gas supply systems)?				X



**Discussion:** The level of public services will not be significantly affected by the construction of a single-family residence in the neighborhood. Existing access to the Fitzgerald Marine Reserve (FMR) Bluff Trail would remain open. While cars that may have parked at the private site illegally in the past would be displaced. Street and FMR parking is provided in the vicinity.

**Source:** Project Application/Plans.

15. RECREATION. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
15.a. Increase the use of existing neighborhood or regional parks or other recreational facilities such that significant physical deterioration of the facility would occur or be accelerated?			X	
<p><b>Discussion:</b> The project would generate a minimal increase in the use of existing recreational facilities associated with the addition of a single-family residence.</p> <p><b>Source:</b> Project Application/Plans.</p>				
15.b. Include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?				X
<p><b>Discussion:</b> New recreational facilities will not be required by this project.</p> <p><b>Source:</b> Project Application/Plans.</p>				

16. TRANSPORTATION/TRAFFIC. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
16.a. Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including, but not limited to, intersections, streets, highways and			X	

freeways, pedestrian and bicycle paths, and mass transit?				
<p><b>Discussion:</b> The proposed new residence would not result in noticeable changes in either vehicular or pedestrian traffic or volumes.</p> <p><b>Source:</b> Project Plans and Field Observation.</p>				
16.b. Conflict with an applicable congestion management program, including, but not limited to, level of service standards and travel demand measures, or other standards established by the County congestion management agency for designated roads or highways?			X	
<p><b>Discussion:</b> Reference response to Section 16.a., above.</p> <p><b>Source:</b> Project Plans and Field Observation.</p>				
16.c. Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in significant safety risks?				X
<p><b>Discussion:</b> N/A. The project will not result in a change in air traffic patterns.</p> <p><b>Source:</b> Project Application/Plans and San Mateo County GIS Resource Maps.</p>				
16.d. Significantly increase hazards to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?			X	
<p><b>Discussion:</b> With the exception of standard residential improvements which may minimally encroach into the right-of-way (landscaping and driveway approach), no changes are proposed on any public right-of-way. These improvements would require an encroachment permit from the County Department of Public Works.</p> <p><b>Source:</b> Project Plans and Field Observation.</p>				
16.e. Result in inadequate emergency access?			X	
<p><b>Discussion:</b> The project has been reviewed by the Coastside Fire Protection District and conditions of approval have been added to ensure project compliance with adequate fire standards.</p> <p><b>Source:</b> Project Plans and Field Observation.</p>				
16.f. Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?			X	

<b>Discussion:</b> Reference response to Section 16.a., above.				
<b>Source:</b> Project Plans and Field Observation.				
16.g. Cause noticeable increase in pedestrian traffic or a change in pedestrian patterns?			X	
<b>Discussion:</b> Reference responses to Section 13.a., 14.d. and 16.a., above.				
<b>Source:</b> Project Plans and Field Observation.				
16.h. Result in inadequate parking capacity?			X	
<b>Discussion:</b> The project complies with the County's Parking Regulations, as it includes two on-site covered parking spaces. Reference response to Section 14.d.				
<b>Source:</b> Project Plans and Field Observation.				

<b>17. UTILITIES AND SERVICE SYSTEMS.</b> Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
17.a. Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?				X
<b>Discussion:</b> The proposed project would not adversely affect the capacity of any public utilities since MWSD has confirmed that water and sewer service connections will be available for the project. Any increased use of public facilities and other public utilities would be minimal associated with this standard single-family dwelling and associated residents.				
<b>Source:</b> Project Application/Plans.				
17.b. Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?				X
<b>Discussion:</b> Reference response to Section 17.a., above.				
<b>Source:</b> Project Application/Plans.				
17.c. Require or result in the construction of new stormwater drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?				X

<p><b>Discussion:</b> On-site expanded drainage facilities would minimize the impacts of runoff to off-site areas.</p> <p><b>Source:</b> Project Application/Plans.</p>					
17.d.	Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?				X
<p><b>Discussion:</b> Reference response to Section 17.a., above.</p> <p><b>Source:</b> Project Application/Plans.</p>					
17.e.	Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?				X
<p><b>Discussion:</b> Reference response to Section 17.a., above.</p> <p><b>Source:</b> Project Application/Plans.</p>					
17.f.	Be served by a landfill with insufficient permitted capacity to accommodate the project's needs?				X
<p><b>Discussion:</b> The project site is located in a developed residential area already served by a solid waste disposal provider and would result in a minimal increase in solid waste generation.</p> <p><b>Source:</b> Project Application/Plans.</p>					
17.g.	Comply with Federal, State, and local statutes and regulations related to solid waste?				X
<p><b>Discussion:</b> Reference response to Section 17.f., above.</p> <p><b>Source:</b> Project Application/Plans.</p>					
17.h.	Be sited, oriented, and/or designed to minimize energy consumption, including transportation energy; incorporate water conservation and solid waste reduction measures; and incorporate solar or other alternative energy sources?			X	
<p><b>Discussion:</b> Standard Energy savings, practices and measures, as required by the California Green Building Standards Code (CalGreen), are required for this project at the building permit stage.</p> <p><b>Source:</b> Project Application/Plans.</p>					

17.i. Generate any demands that will cause a public facility or utility to reach or exceed its capacity?			X	
--	--	--	---	--

**Discussion:** Reference response to Section 17.a., above.

**Source:** Project Application/Plans.

**18. MANDATORY FINDINGS OF SIGNIFICANCE.**

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
18.a. Does the project have the potential to degrade the quality of the environment, significantly reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?			X	

**Discussion:** Reference response to Section 4.a., above.

**Source:** San Mateo County General Plan Sensitive Habitats Map.

18.b. Does the project have impacts that are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.)			X	
---	--	--	---	--

**Discussion:** No cumulative effects are associated with this project. The project involves a singular lot in an area of existing single-family homes. While few other homes in Moss Beach may be under construction at similar times, potentially significant cumulative impacts of this project such as traffic and noise are not likely due to the site's proximity from other undeveloped parcels and accessibility of these parcels from other streets in the area.

**Source:** Project Application/Plans.

18.c. Does the project have environmental effects which will cause significant adverse effects on human beings, either directly or indirectly?			X	
<p><b>Discussion:</b> As described in this report, no environmental effects from the project will directly or indirectly cause significant adverse effects on human beings.</p> <p><b>Source:</b> Project Application/Plans.</p>				

**RESPONSIBLE AGENCIES.** Check what agency has permit authority or other approval for the project.

AGENCY	YES	NO	TYPE OF APPROVAL
U.S. Army Corps of Engineers (CE)		X	
State Water Resources Control Board		X	
Regional Water Quality Control Board		X	
State Department of Public Health		X	
San Francisco Bay Conservation and Development Commission (BCDC)		X	
U.S. Environmental Protection Agency (EPA)		X	
County Airport Land Use Commission (ALUC)		X	
CalTrans		X	
Bay Area Air Quality Management District		X	
U.S. Fish and Wildlife Service		X	
Coastal Commission		X	
City		X	
Sewer/Water District:		X	
Other:			

<b>MITIGATION MEASURE</b>		
	<u>Yes</u>	<u>No</u>
Mitigation measure has been proposed in project application.		X
Other mitigation measures are needed.		X

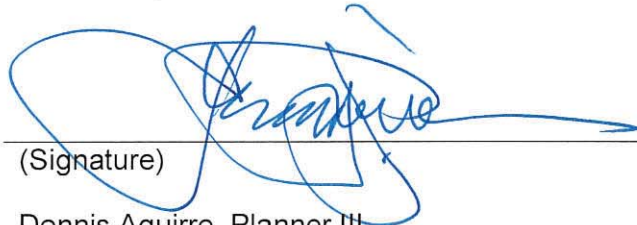
**DETERMINATION** (to be completed by the Lead Agency).

On the basis of this initial evaluation:

       X I find the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared by the Planning Department.

       I find that although the proposed project could have a significant effect on the environment, there WILL NOT be a significant effect in this case because of the mitigation measure in the discussion that has been included as part of the proposed project. A NEGATIVE DECLARATION will be prepared.

       I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.



(Signature)

Dennis Aguirre, Planner III

Name, Title

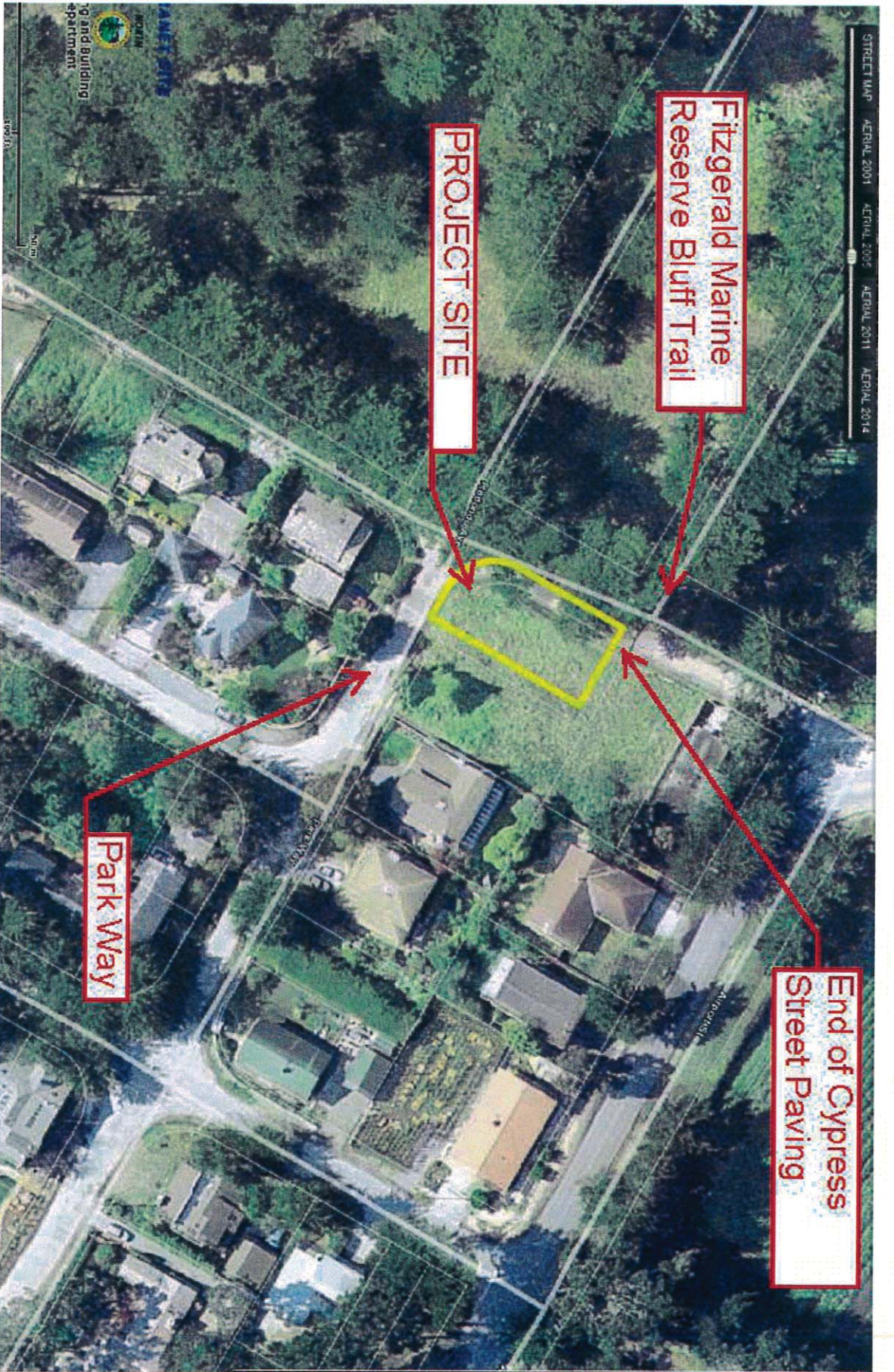
April 4, 2016

Date

**ATTACHMENTS:**

- A. Vicinity Map
- B. Project Plans
- C. Geotechnical Report prepared on June 3, 2015, by Sigma Prime Geosciences, Inc.

DPA:pac – DPAAA0162\_WPH.DOCX



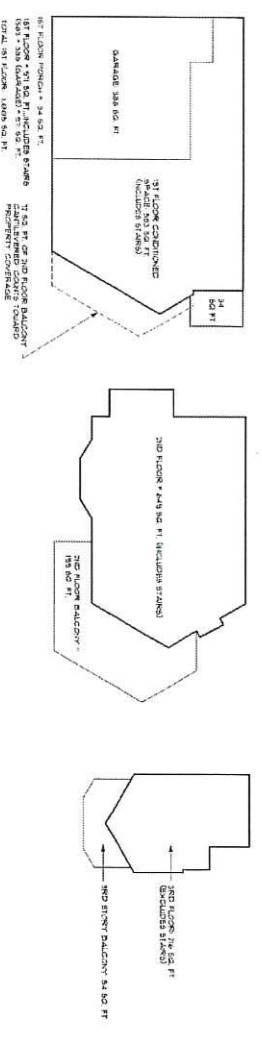
**San Mateo County Zoning Hearing Officer Meeting**

Owner/Applicant: **Steve Kalpakoff**

Attachment: **A**

File Numbers: **PLN2015-00243**

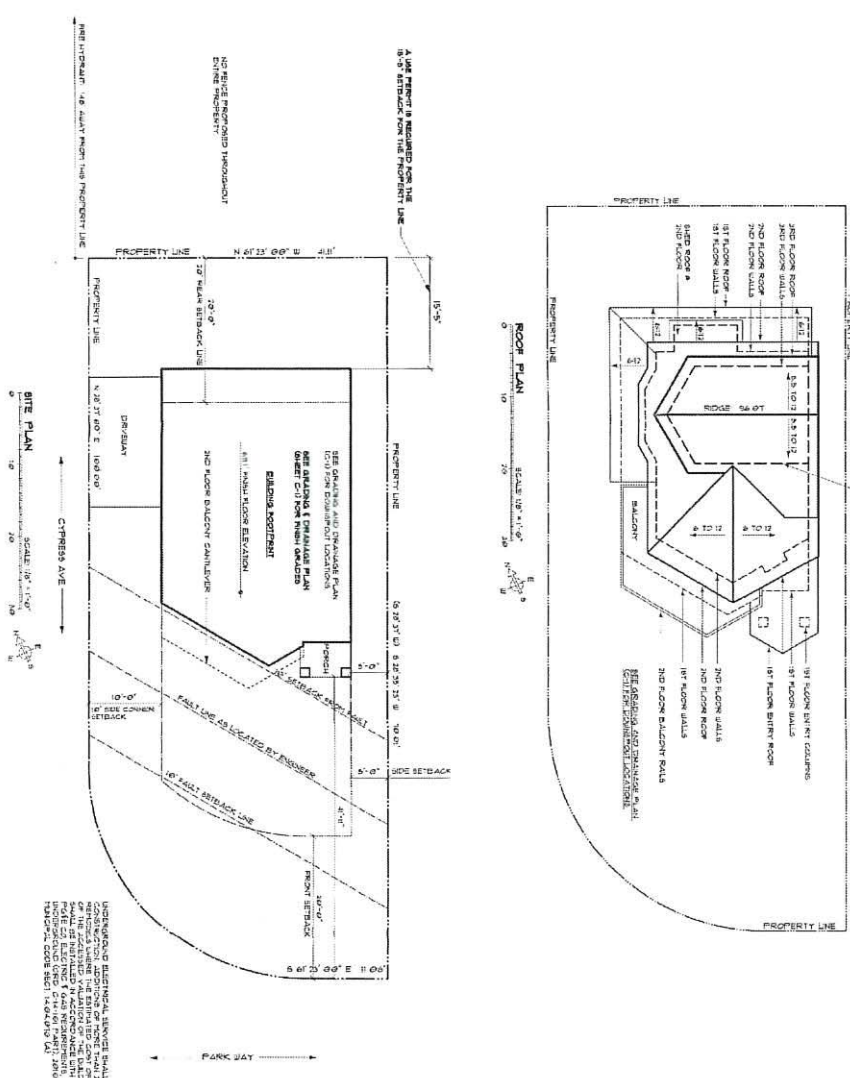




ALL CONSTRUCTION SHALL CONFORM TO  
 2013 CALIFORNIA RESIDENTIAL CODE  
 2013 CALIFORNIA BUILDING CODE  
 2013 CALIFORNIA MECHANICAL CODE  
 2013 CALIFORNIA PLUMBING CODE  
 2013 CALIFORNIA FIRE CODE  
 2013 CALIFORNIA ELECTRICAL CODE  
 2013 CALIFORNIA ENERGY CODE  
 2013 CALIFORNIA BUILDING CODE STANDARDS  
 OCCUPANCY GROUP: R-3U  
 TYPE OF CONSTRUCTION: TYPE V-B  
 SCOPE OF WORK: CONSTRUCTION OF A  
 NEW WOOD FRAMED, THREE STORY RESIDENCE  
 FIRE SPRINKLERS REQUIRED

**LIST OF DRAWINGS**  
 FOR DESIGN REVIEW

A11	TITLE PAGE & SITE PLAN
A12	NOTES
B-1	SURVEY
C-1	GRADING, DRAINAGE & EROSION CONTROL PLAN
L-1	LANDSCAPE PLAN
A11	FIRST FLOOR PLAN
A12	SECOND FLOOR PLAN
A13	THIRD FLOOR PLAN
A11	ELEVATIONS
A41	SECTION A-A
A42	SECTION B-B
A43	SECTION C-C

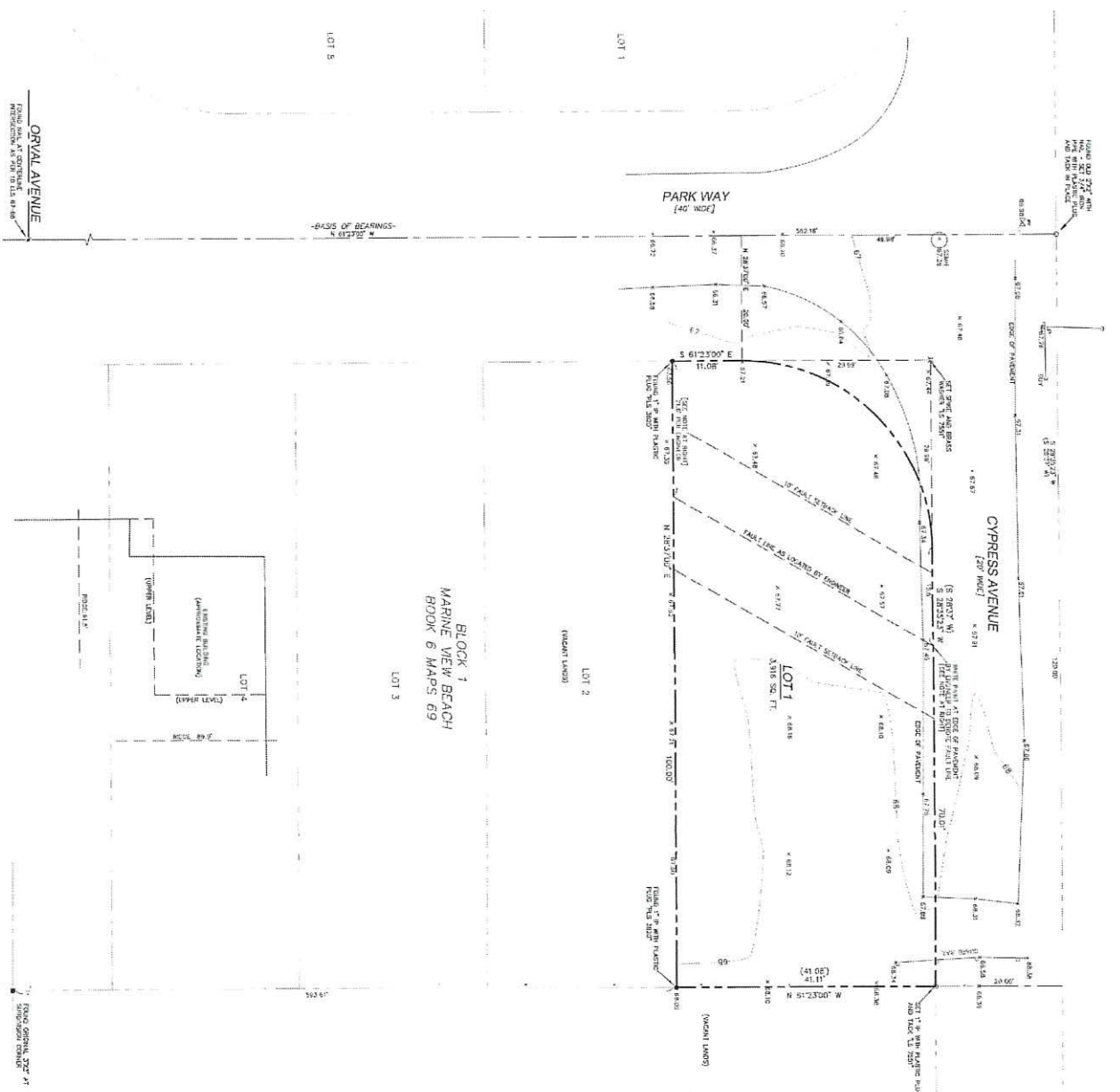


INDUSTRIAL RESIDENTIAL UNITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE  
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 BUILDING CODE SHALL BE THE BASIS FOR THE DESIGN OF THE UNITS OF THIS PROJECT.

**San Mateo County Planning Commission Meeting**

Owner/Applicant: **Steve Kalpakoff**  
 File Numbers: **PLN2015-00243**

Attachment: **B**

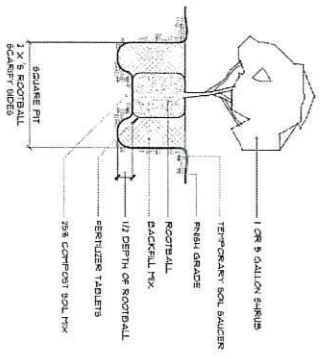


**San Mateo County Planning Commission Meeting**

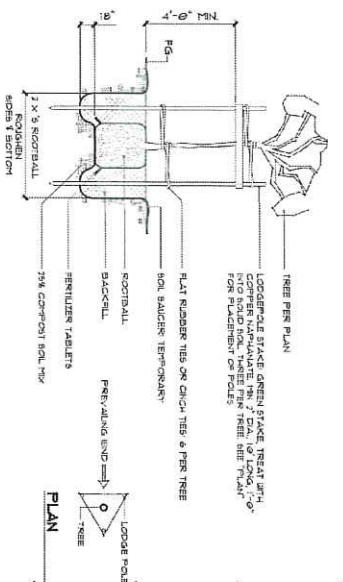
Owner/Applicant: **Steve Kalpakoff**

File Numbers: **PLN2015-00243**

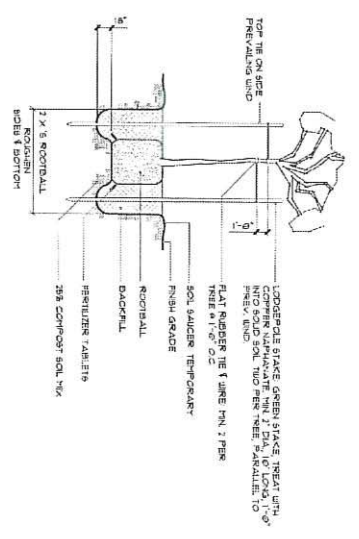
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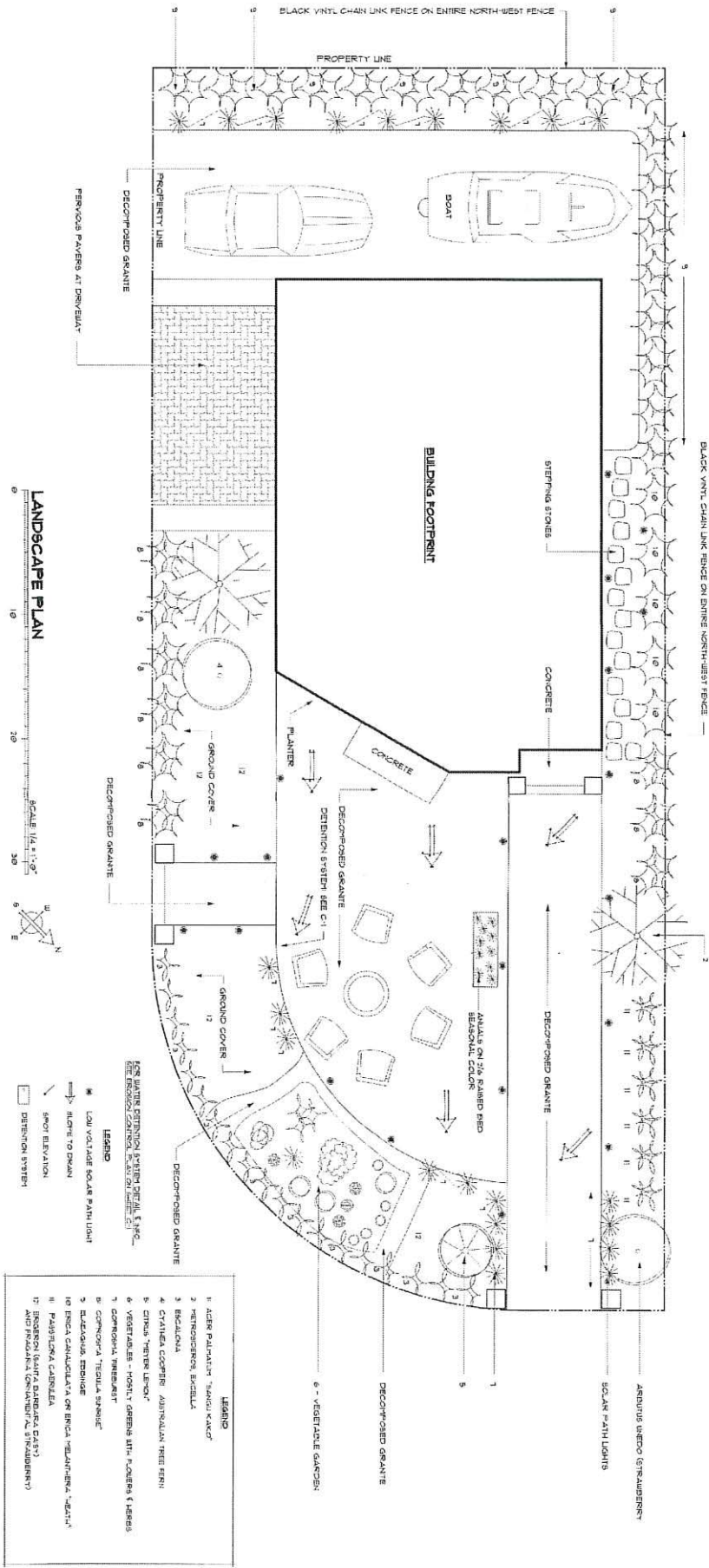
9HRUB PLANTING DETAIL NOT TO SCALE



BOX TREE STAKING DETAIL NOT TO SCALE



TREE STAKING DETAIL NOT TO SCALE



LANDSCAPE PLAN SCALE 1/4" = 1'-0" NOT TO SCALE

San Mateo County Planning Commission Meeting

Owner/Applicant: Steve Kalpakoff

File Numbers: PLN2015-00243

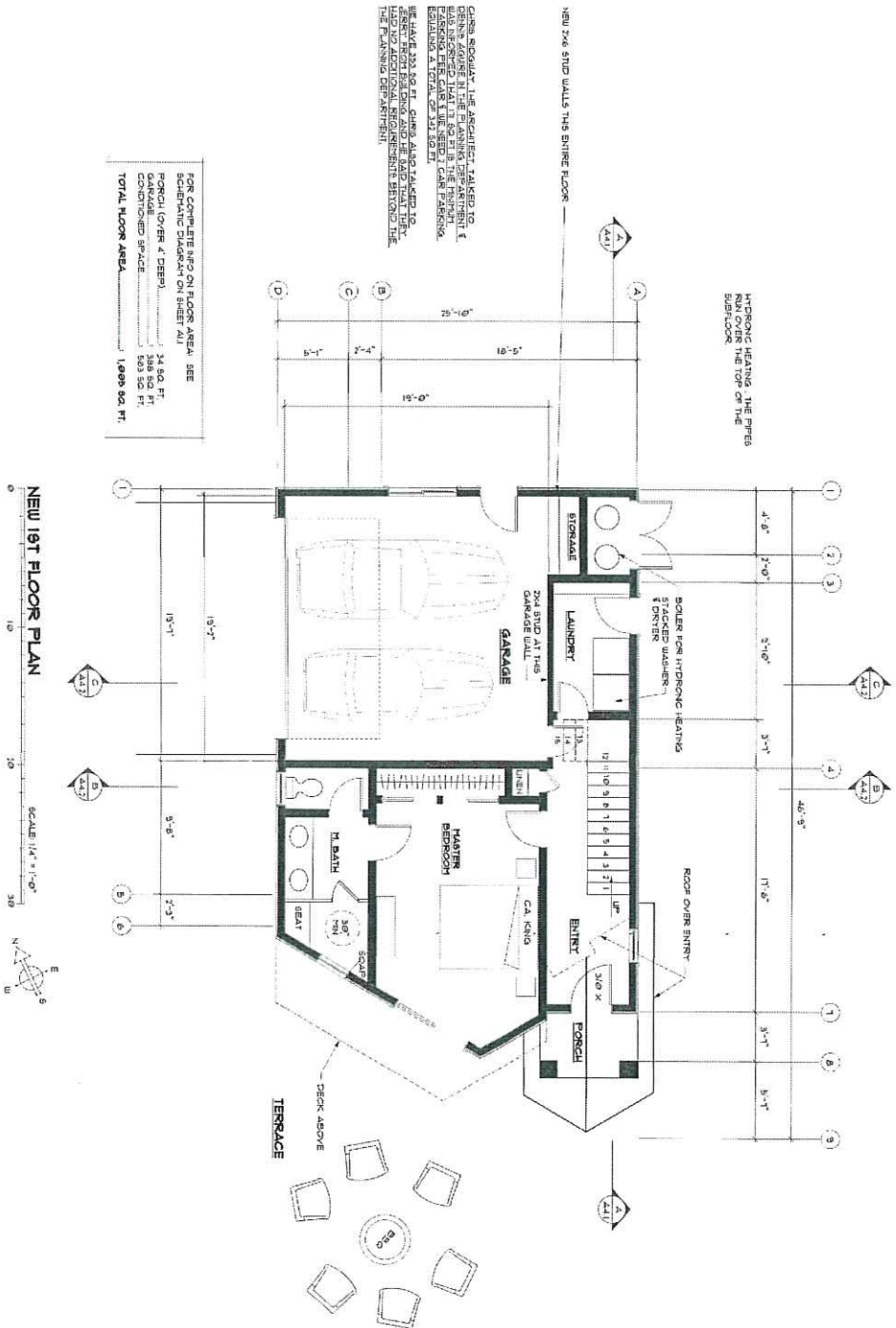
Attachment: B

# San Mateo County Planning Commission Meeting

Owner/Applicant: **Steve Kalpakoff**

File Numbers: **PLN2015-00243**

Attachment: **B**



# San Mateo County Planning Commission Meeting

Owner/Applicant: **Steve Kalpakoff**

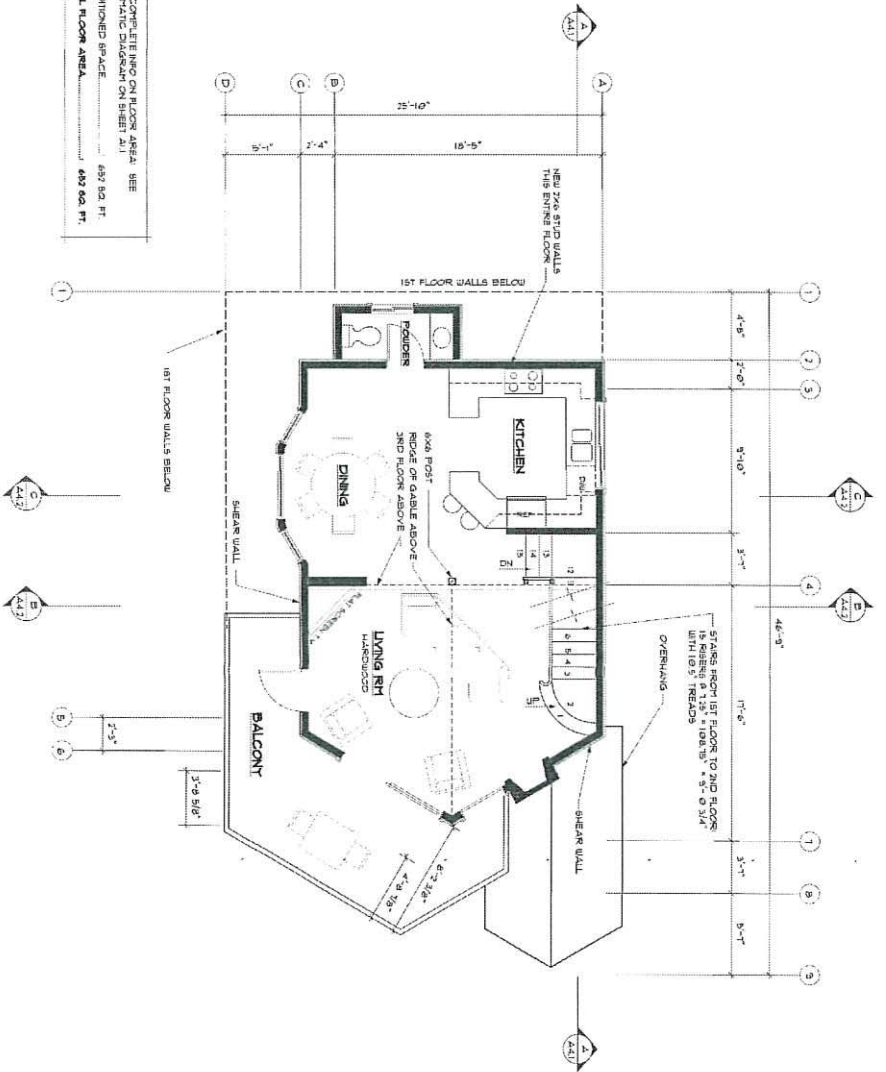
Attachment: **B**

File Numbers: **PLN2015-00243**

NEW 2ND FLOOR PLAN



SOME COMPLETE FLOOR AREA BEING	497 SQ. FT.
SOME NEW FLOOR AREA BEING	497 SQ. FT.
CONDITIONED SPACE	497 SQ. FT.
TOTAL FLOOR AREA	497 SQ. FT.

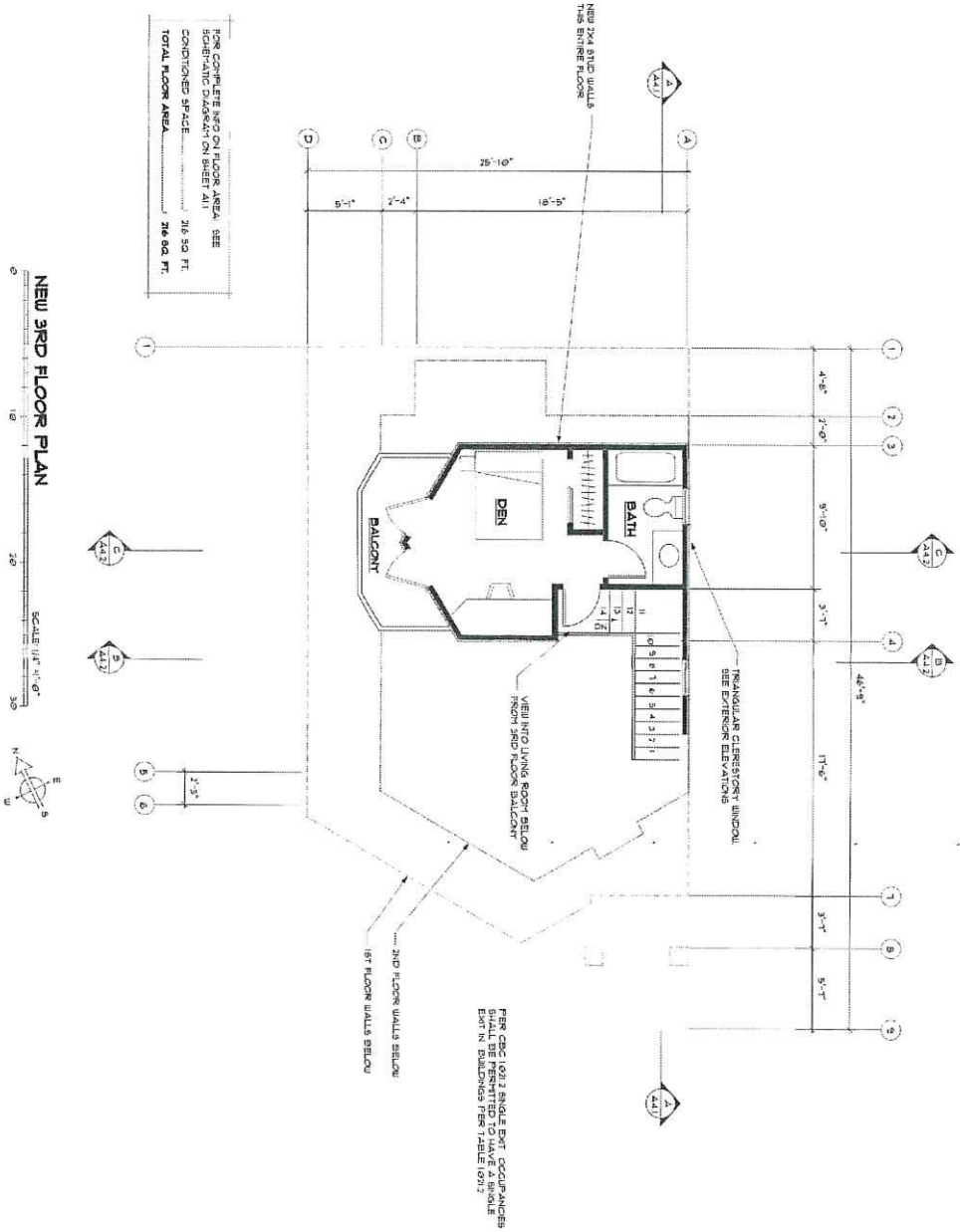


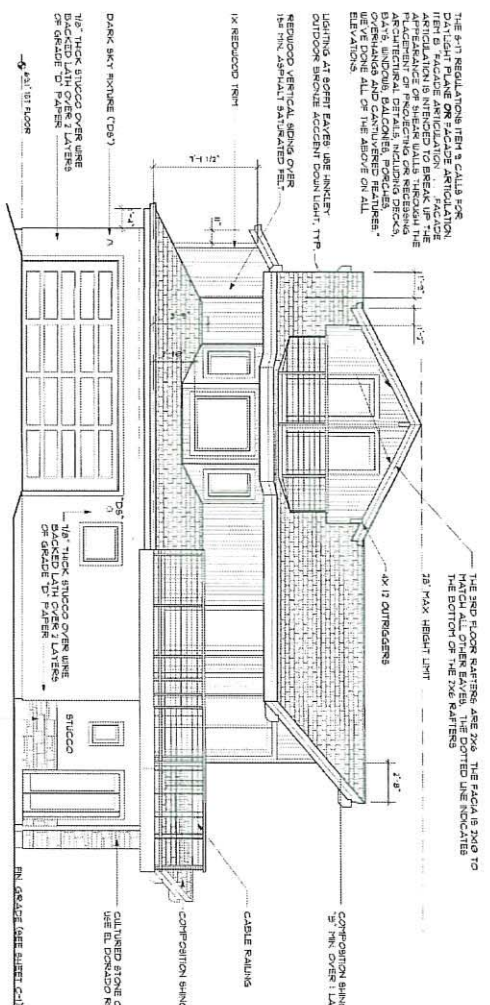
# San Mateo County Planning Commission Meeting

Owner/Applicant: **Steve Kalpakoff**

File Numbers: **PLN2015-00243**

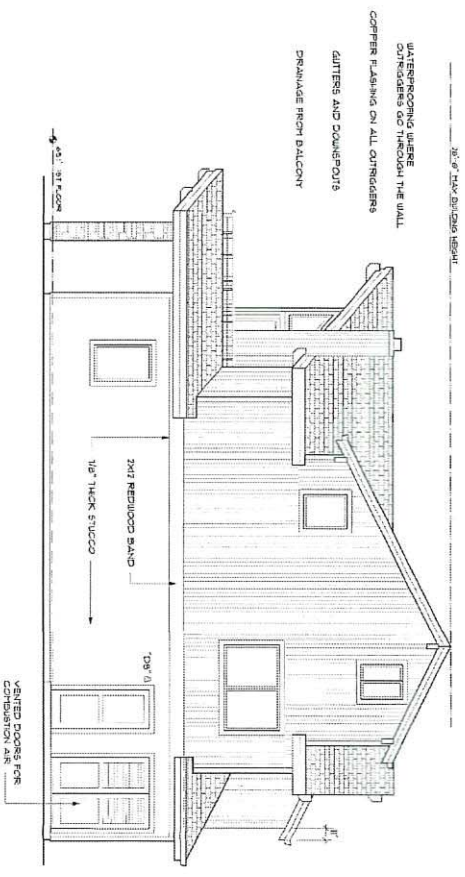
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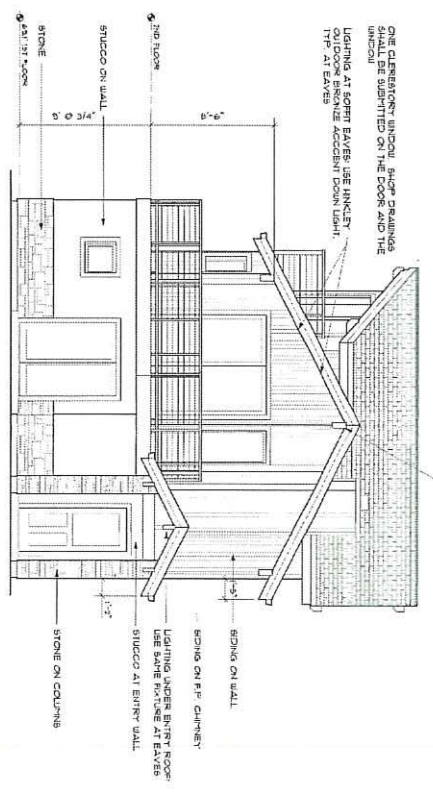


**LEFT SIDE ELEVATION**  
SCALE 1/4" = 1'-0"

**REAR ELEVATION**  
SCALE 1/4" = 1'-0"



**RIGHT SIDE ELEVATION**  
SCALE 1/4" = 1'-0"



**FRONT ELEVATION**  
SCALE 1/4" = 1'-0"

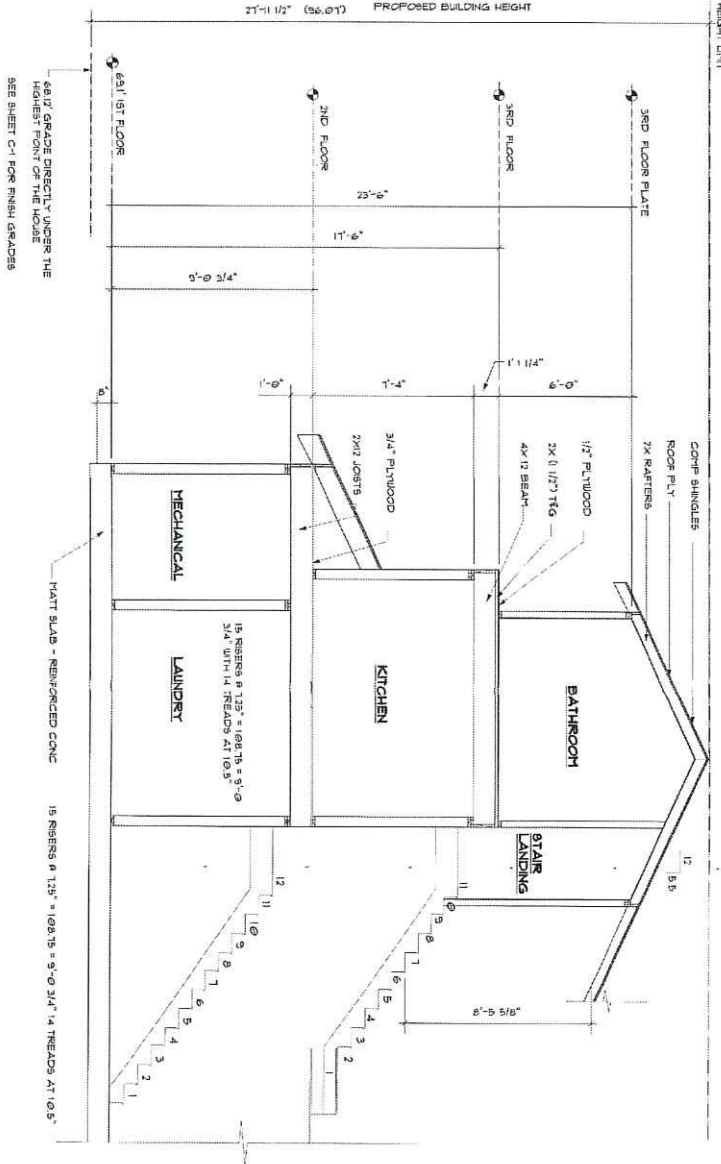
**San Mateo County Planning Commission Meeting**

Owner/Applicant: **Steve Kalpakoff**

File Numbers: **PLN2015-00243**

Attachment: **B**

28'-0" (6.917) MAX HEIGHT LIMIT



SECTION A-A



# San Mateo County Planning Commission Meeting

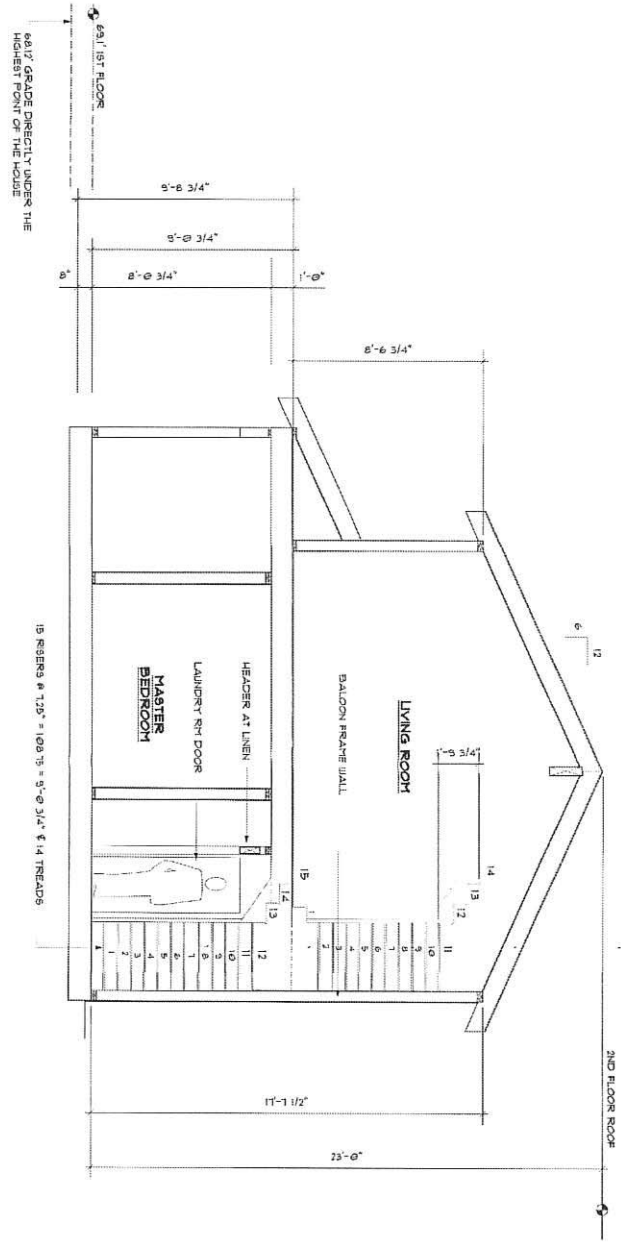
Owner/Applicant: **Steve Kalpakoff**

File Numbers: **PLN2015-00243**

Attachment: **B**



26'-0" MAX BUILDING HEIGHT



# San Mateo County Planning Commission Meeting

Owner/Applicant: **Steve Kalpakoff**

File Numbers: **PLN2015-00243**

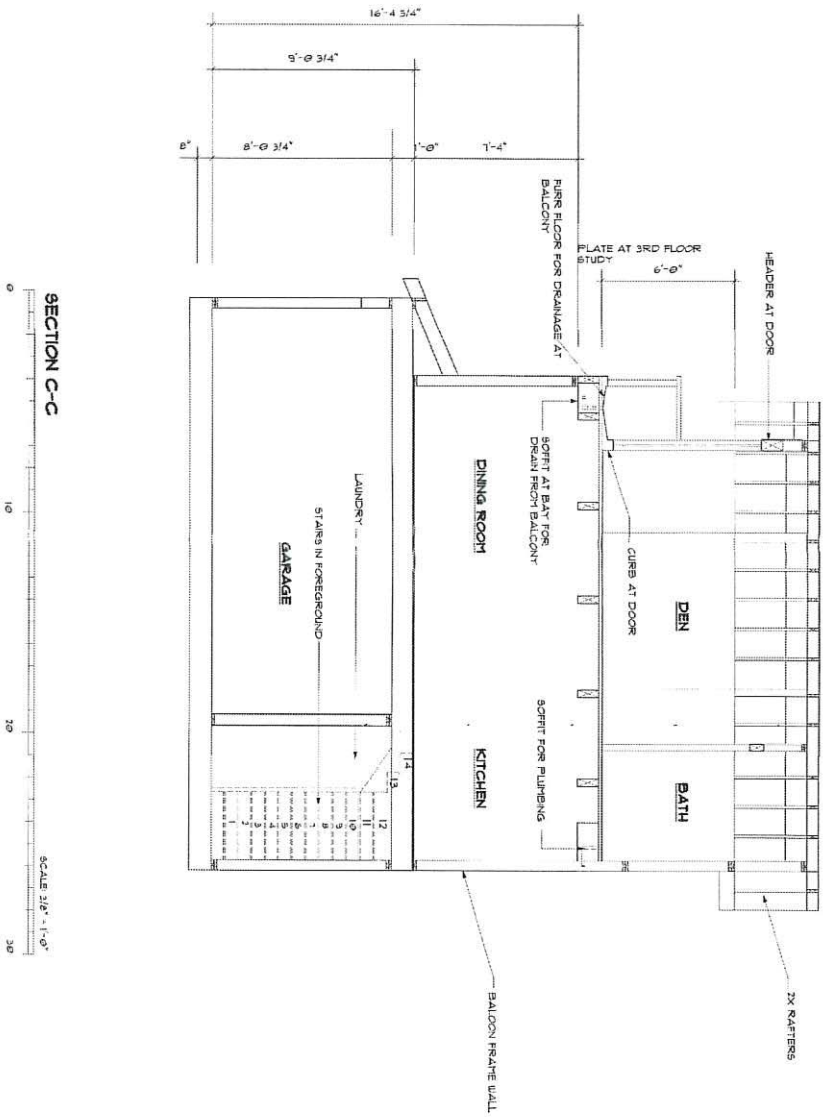
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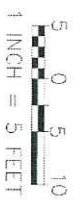
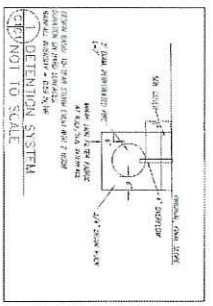
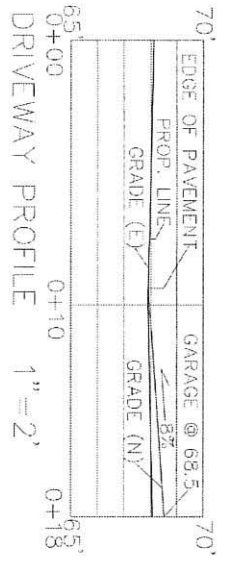
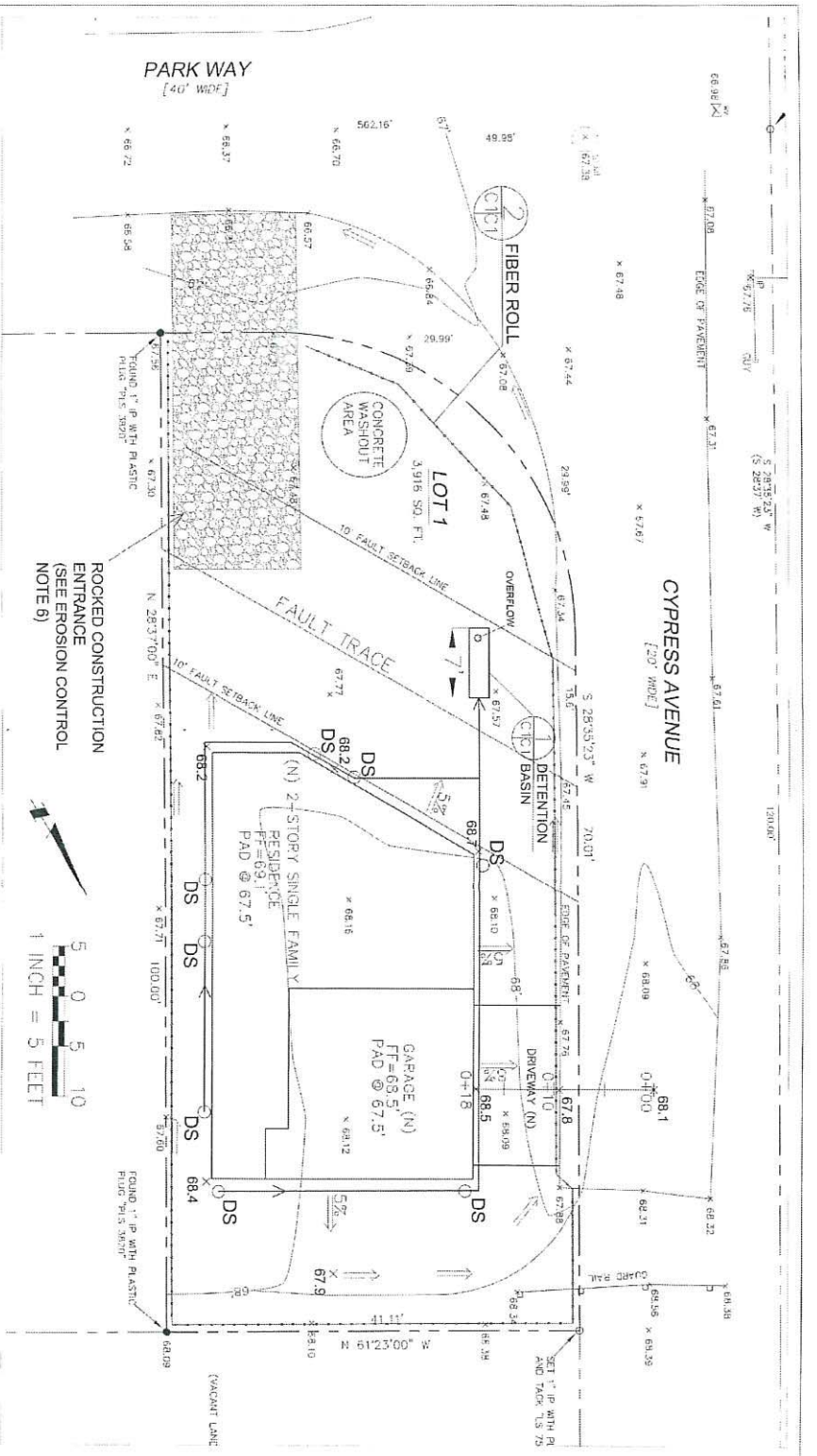
**San Mateo County Planning Commission Meeting**

Owner/Applicant: **Steve Kalpakoff**

Attachment: **B**

File Numbers: **PLN2015-00243**





**EROSION CONTROL NOTES**

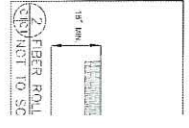
1. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AND UNTIL THE UNDERLYING SOIL IS FULLY STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.

2. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AND UNTIL THE UNDERLYING SOIL IS FULLY STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.

3. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AND UNTIL THE UNDERLYING SOIL IS FULLY STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.

4. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AND UNTIL THE UNDERLYING SOIL IS FULLY STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.

5. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AND UNTIL THE UNDERLYING SOIL IS FULLY STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.



**San Mateo County Planning Commission Meeting**

Owner/Applicant: **Steve Kalpakoff**

File Numbers: **PLN2015-00243**

Attachment: **B**

ATTACHMENT H

June 8, 2015

Mr. Scott Stevinson  
816 Emily  
Madera, CA 93637

Dear Mr. Stevinson:

My name is Steve Kalpakoff, Owner of the Lot (APN 037-225-010 Lot 1) on the corner of Cypress and Parkway adjacent to your Lot (APN 037-225-020) in Moss Beach.

I'm writing you to see if you are interested in selling your Lot. If you are, I can be contacted via:

Cell: (415) 699-7177

Email: [KalpakoffS@yahoo.com](mailto:KalpakoffS@yahoo.com)

Mailing Address: 440 Davis Court, #2017, San Francisco, CA 94111.

If I do not hear from you by June 30th, I will assume that you were not interested in selling. Thank you for your consideration.

Sincerely,



Steve Kalpakoff

ATTACHMENT H

June 8, 2015

Mr. & Mrs. Robert Carey  
#2 Isabella Avenue  
Atherton, CA 94027

Dear Mr. & Mrs. Carey:

My name is Steve Kalpakoff, Owner of the Lot (APN 037-225-010 Lot 1) on the corner of Cypress and Parkway adjacent to your Lot (APN 037-231-140) in Moss Beach.

I'm writing you to see if you are interested in selling your Lot. If you are, I can be contacted via:

Cell: (415) 699-7177

Email: [KalpakoffS@yahoo.com](mailto:KalpakoffS@yahoo.com)

Mailing Address: 440 Davis Court, #2017, San Francisco, CA 94111.

If I do not hear from you by June 30th, I will assume that you were not interested in selling. Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to be 'Steve Kalpakoff', written over a horizontal line.

Steve Kalpakoff

CALIFORNIA  
HISTORICAL  
RESOURCES  
INFORMATION  
SYSTEM



ALAMEDA  
COLUSA  
CONTRA COSTA  
DEL NORTE

HUMBOLDT  
LAKE  
MARIN  
MENDOCINO  
MONTEREY  
NAPA  
SAN BENITO

SAN FRANCISCO  
SAN MATEO  
SANTA CLATA  
SANTA CRUZ  
SOLANO  
SONOMA  
YOLO

**Northwest Information Center**  
Sonoma State University  
150 Professional Center Drive, Suite E  
Rohnert Park, California 94928-3609  
Tel: 707.588.8455  
nwic@sonoma.edu  
<http://www.sonoma.edu/nwic>

April 13, 2016

File No.: 15-1484

Dennis Aguirre, Project Planner  
San Mateo County Planning and Building Division  
455 County Center  
Redwood City, CA 94063

re: PLN2015-00243 / Park Wy @ Cypress Ave, Moss Beach, APN 037225010 / Steve Kalpakoff

Dear Mr. Aguirre,

Records at this office were reviewed to determine if this project could adversely affect cultural resources. **Please note that use of the term cultural resources includes both archaeological sites and historical buildings and/or structures. The review for possible historic-era building/structures, however, was limited to references currently in our office and should not be considered comprehensive.**

**Previous Studies:**

XX This office has no record of any previous cultural resource studies for the proposed project area (*see recommendation below*).

**Archaeological and Native American Resources Recommendations:**

XX The proposed project area contains or is adjacent to the archaeological site P-41-000060, a prehistoric shellmound. It is recommended that a qualified professional assess the status of the resource and provide project specific recommendations.

XX We recommend you contact the local Native American tribe(s) regarding traditional, cultural, and religious heritage values. For a complete listing of tribes in the vicinity of the project, please contact the Native American Heritage Commission at 916/373-3710.

**Built Environment Recommendations:**

XX Since the Office of Historic Preservation has determined that any building or structure 45 years or older may be of historical value, if the project area contains such properties, it is recommended that prior to commencement of project activities, a qualified professional familiar with the architecture and history of Sonoma County conduct a formal CEQA evaluation.

Due to processing delays and other factors, not all of the historical resource reports and resource records that have been submitted to the Office of Historic Preservation are available via this records search. Additional information may be available through the federal, state, and local agencies that produced or paid for historical resource management work in the search area. Additionally, Native American tribes have historical resource information not in the California Historical Resources Information System (CHRIS) Inventory, and you should contact the California Native American Heritage Commission for information on local/regional tribal contacts.

The California Office of Historic Preservation (OHP) contracts with the California Historical Resources Information System's (CHRIS) regional Information Centers (ICs) to maintain information in the CHRIS inventory and make it available to local, state, and federal agencies, cultural resource professionals, Native American tribes, researchers, and the public. Recommendations made by IC coordinators or their staff regarding the interpretation and application of this information are advisory only. Such recommendations do not necessarily represent the evaluation or opinion of the State Historic Preservation Officer in carrying out the OHP's regulatory authority under federal and state law.

For your reference, a list of qualified professionals in California that meet the Secretary of the Interior's Standards can be found at <http://www.chrisinfo.org>. If archaeological resources are encountered during the project, work in the immediate vicinity of the finds should be halted until a qualified archaeologist has evaluated the situation. If you have any questions please give us a call (707) 588-8455.

Sincerely,

Jillian Guldenbrein  
Researcher

cc: Steve Kalpakoff  
kalpakoffs@yahoo.com