

WGS_1984_Web_Mercator_Auxiliary_Sphere
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1:2,256

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THIS MAP IS NOT TO BE USED FOR NAVIGATION

Planning and Building Department

County Government Center ■ 455 County Center ■ Redwood City CA 94063
Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

Application for
Design Review by the
County Coastside Design
Review Committee

Permit #: PLN 2015-00221

Other Permit #: PRE 00002

1. Basic Information

Applicant:

Name: Peter S. Albertson
Address: 4106 25th St. #4
San Francisco, CA Zip: 94114
Phone, W: 415.710.8622 H: 415.970.2253
Email: peter.albertson@gmail.com

Owner (if different from Applicant):

Name: —
Address: —
Zip: —
Phone, W: — H: —
Email: —

Architect or Designer (if different from Applicant):

Name: —
Address: — Zip: —
Phone, W: — H: — Email: —

2. Project Site Information

Project location:

APN: 047-173-150
Address: Corner San Pedro + San Clemente
El Granada CA Zip: —
Zoning: R-1/S-17/DR/CD
Parcel/lot size: 9,545 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe): —

3. Project Description

Project:

- New Single Family Residence: 3,118 sq. ft.
- Addition to Residence: — sq. ft.
- Other: —

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

Describe Project:

Two-story New style family home.
2 car garage attached

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish (If different from existing, attach sample)	Check if matches existing
a. Exterior walls	Stucco	Sherwin Williams "Zircon"	<input type="checkbox"/>
b. Trim			<input type="checkbox"/>
c. Windows	Binelli Aluminum Windows	Jet Black	<input type="checkbox"/>
d. Doors	Binelli Aluminum Doors	Jet Black	<input type="checkbox"/>
e. Roof	Garden Roof	See Planting Plan	<input type="checkbox"/>
f. Chimneys			<input type="checkbox"/>
g. Decks & railings	"On-grade" Patios	Glass handrails w/ stainless steel Aluminum grill guardrail	<input type="checkbox"/>
h. Stairs		Exposed	<input type="checkbox"/>
i. Retaining walls	Architectural Concrete		<input type="checkbox"/>
j. Fences			<input type="checkbox"/>
k. Accessory buildings			<input type="checkbox"/>
l. Garage/Carport	Attached, w/in house volume		<input type="checkbox"/>

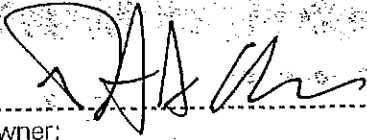
5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached)

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner: 

Applicant: _____

Date: _____

Date: _____

Planning and Building Department

455 County Center, 2nd Floor • Redwood City, CA • 94063
 Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

**Certificate of Exemption
 or Exclusion from a Coastal
 Development Permit**

Permit #: PLN 2015-00221
 Permit #: BLD _____

Permanent Record
 Microfilming Required

1. Basic Information

Owner Name: Peter S. Albertson
 Address: 4106 25th St #4
San Francisco CA
 Zip: 94114
 Phone, W: 415.710.8622 H: 415.970.2253
 Email Address: coldrail@hotmail.com

Applicant Name: SAMA
 Address: _____
 Zip: _____
 Phone, W: _____ H: _____
 Email Address: _____

2. Project Information

Project Description:
New single family home on
previously undeveloped parcel.

Assessor's Parcel Number(s):
047 - 173 - 150

Existing water source:
 Utility connection _____
 Well _____

Proposed water source:
 Utility connection _____
 Well _____

Staking of well location and property lines are required.
 Provide site plan depicting location and all trees.
 Will this require any grading or vegetation/tree removal? Yes No

If Yes, additional permits may be required. Such as: Tree Removal Permit, Grading Permit, Land Clearing Permit, Coastal Development Permit.

3. Signatures

We have reviewed this form as completed above and the basis for this exemption or exclusion. The information herein and the basis for exemption or exclusion are true and correct to the best of our knowledge and we hereby agree to carry out this project in accordance with the terms of the exemption/exclusion category selected on reverse. We also understand and agree that any exemption or exclusion issued for a water well and/or storage tank in the single family exclusion area will be invalidated in the event the future house, the well, and/or storage tank requires a variance.

Owner [Signature] Date 5/22/15 Applicant _____ Date _____

(Both Owner and Applicant must sign unless this Application for Exemption or Exclusion accompanies a Building Permit Application for which the Applicant is an agent for the Owner acceptable to the Building Inspection Section.)

Staff Use Only

4. Basis of Exemption or Exclusion

Use attached review sheet to determine basis of exemption and whether project qualifies. Review basis of exemption with applicant/owner and initial appropriate category below:

Initial

- A. Improvements to Existing Single Family Residence. [PRC 30610(a), CCAG 13250, ZR 6328.5(a)]
- B. Improvements to Existing Structure Other Than Single Family Residence or Public Works Facility. [PRC 30610(b), CCAG 13253, ZR 6328.5(b)]
- C. Existing Navigation Channel. [PRC 30610(c), ZR 6328.5(c)]
- D. Repair or Maintenance Activity. [PRC 30610(d), CCAG 13252, ZR 6328.5(d)]
- E. Single Family Residence Categorical Exclusion Area. [PRC 30610(e), CCAG 13240, AB 643, ZR 6328.5(e)]
- F. Agriculturally-Related Development Categorical Exclusion Area. [PRC 30610(e), CCAG 13240, ORDERS E-79-7 and E-81-1, ZR 6328.5(e)]
- G. Utility Connections. [PRC 30610(f), ZR 6328.5(f)]
- H. Replacement of Structures Following Disasters. [PRC 30610(g), ZR 6328.5(g)]
- I. Emergency Activities. [PRC 30611, ZR 6328.5(h)]
- J. Lot Line Adjustment. [ZR 6328.5(i)]
- K. Land Division for Public Recreation Purposes. [ZR 6328.5(l)]

5. Well Inspection - All Coastal Zone Areas

- Required Not Required

Inspection made by: _____ Date of Inspection: _____

Yes	No
<input type="checkbox"/>	<input type="checkbox"/> Removal of trees?
<input type="checkbox"/>	<input type="checkbox"/> If Yes, is tree removal permit included?
<input type="checkbox"/>	<input type="checkbox"/> Trimming of trees?
<input type="checkbox"/>	<input type="checkbox"/> Excessive removal of vegetation?
<input type="checkbox"/>	<input type="checkbox"/> Excessive grading? (If Yes, CDP is required) <input checked="" type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/> Erosion control plan required?

Approval of Permit is subject to the following: (check if applicable)

- Submittal and Approval of a Tree Removal Permit
- Submittal and Approval of a Grading Permit
- Submittal and Approval of an Erosion Control Plan
- Submittal and Approval of a Coastal Dev. Permit

6. Approval

I have reviewed the above-described project and have determined that it meets all criteria for the exemption/exclusion checked above.

Exemption/Exclusion is approved.

Planning Department _____ Date _____

Project is subject to the following condition(s) of approval: _____

7. Processing

- Fee collected
- Original Certificate of Exemption to Building Inspection file.
- Copies of Certificate of Exemption to:
 1. Applicant/Owner.
 2. Planning Department Exemption Binder.

- 3. Any relevant Planning or Building Inspection files.
- 4. California Coastal Commission, 45 Fremont Street, Suite 2000, San Francisco, CA 94105
- Update Permit* Plan Case Screen and Activities

Planning and Building Department

455 County Center, 2nd Floor, Redwood City, CA 94063
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

Application for a Coastal Development Permit

Companion Page

Applicant's Name:

Peter S. Albertson

Primary Permit #:

2015-00221

1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Coastal Development Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

2. Basic Information

Does the owner or applicant own any adjacent property not listed?

Yes

No

If yes, list Assessor's Parcel Number(s):

Have you or anyone else previously applied to either the County of San Mateo or the California Coastal Commission for a Coastal Development Permit for this or a similar project at this location?

Yes

No

If yes, explain (include date and application file numbers).

Have a Certificate of Compliance for the site. Sent for Calif. Coastal Commission for review of C.O.C.

3. Materials and Finish of Proposed Buildings or Structures

Note: By completing this section you do not need to file a separate application for Design Review Approval.

Fill in Blanks:	Material	Color/Finish	Check if matches existing
a. Exterior Walls	Stucco	Sherwin Williams "Zircon"	<input type="checkbox"/>
b. Trim			<input type="checkbox"/>
c. Roof	Garden Roof	See Planting Plan	<input type="checkbox"/>
d. Chimneys			<input type="checkbox"/>
e. Accessory Buildings			<input type="checkbox"/>
f. Decks/Stairs	Patios "On Grade"	Glass guardrails w/ stainless cap rails	<input type="checkbox"/>
g. Retaining Walls	Architectural Concrete	Exposed	<input type="checkbox"/>
h. Fences			<input type="checkbox"/>
i. Storage Tanks			<input type="checkbox"/>

4. Project Information

Does this project, the parcel on which it is located or the immediate vicinity involve or include:

- | | Yes | No |
|---|-------------------------------------|-------------------------------------|
| a. Demolition of existing housing units? (If yes, give value of owner-occupied units or current monthly rent of rental units in explanation below.) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b. Creeks, streams, lakes or ponds? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c. Wetlands (marshes, swamps, mudflats)? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d. Beaches? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e. Sand Dunes? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f. Sea cliff, coastal bluffs or blufftops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| g. Ridgetops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| h. Pampas Grass, invasive brooms or Weedy Thistle? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| i. Removal of trees or vegetation? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| j. Grading or alteration of landforms? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| k. Landscaping? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| l. Signs? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| m. Phone or utility line extensions or connections, either above or below ground (explain which)? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| n. Areas subject to flooding? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| o. Development on slopes 30% or steeper? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

- | | | |
|--|--------------------------|-------------------------------------|
| p. Between the sea and the nearest public road? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| q. Existing or proposed provisions for public access to the shoreline? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| r. Public or commercial recreation facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| s. Visitor-serving facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| t. Existing or proposed public trail easements? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Explain all Yes answers below. Indicate whether the item applies to the project itself, the parcel on which it is located, or the immediate vicinity (attach additional sheets if necessary):

- o Tree removal to make room for construction. Unhealthy Eucalyptus trees.
- o Grading for excavation of new house foundations of retaining walls
- o Landscaping areas of the site w/ native species
- o Steep slope, averaging 60%.

5. Staff Use Only

California Coastal Commission Jurisdiction

A. Does the Proposed Project Involve:

1. A subdivision, Certificate of Compliance Type B, Use Permit, or Planned Agricultural District Permit?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--
2. Construction or grading within 100 feet of a stream or wetland?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--
3. A parcel located between the sea and the first public through road paralleling the sea; 300 feet from the inland extent of any beach or mean high tide line if there is no beach; or within 300 feet of the top of the seaward face of a coastal bluff?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--

Yes to any one of the above means that the Coastal Development Permit is appealable to the Coastal

Commission; a public hearing is always required.

B. Does the proposed project involve lands below the mean high tide line and lands where the public trust may exist? (See "Post CCP Certification Permit and Appeal Jurisdiction Map).

- | | |
|------------------------------|--|
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
|------------------------------|--|

Yes to above means that the California Coastal Commission retains permit jurisdiction over all or part of the proposed project. A Coastal Development Permit from that agency is required.

Reviewed by: 

Application for a Grading Permit

Planning and Building Division

County Government Center • 455 County Center • Redwood City CA 94063
Mail Drop PLN 122 • 650 • 363 • 4161 • FAX 650 • 363 • 4849

Land Clearing Grading
Companion Page

Applicant's Name: Peter S. Albertson

Primary Permit #: 2015-00221

1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Grading Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

2. Basic Information - Land Clearing

Land Clearing Operator Kings Mountain
Name: Kenny Klingele - Big Tree Service
Address: 2995 Woodside Rd. #400-204
Woodside CA Zip: 94062

Phone: 650-888-5849

License #:

♦ Area to be cleared: 2,000 sq. ft.

♦ Average slope of area to be cleared: 60%

♦ Type of vegetation to be removed:

stumps, Eucalyptus, poison oak,

♦ Disposal Site:

♦ Purpose of removal:

Clear land for excavation for new house foundations & retaining walls.

3. Land Clearing Plan Requirements

The land clearing plans must show:

- (1) Property lines.
- (2) Location of area to be cleared.
- (3) Existing structures
- (4) Erosion control measures.

4. Basic Information - Grading

Grading Operator
Name: Dave Mossa - Mossa Excavation
Address: P.O. Box 370688
Mohara CA
Zip: 94037

Phone: 650-868-9673

License #:

Geotechnical Consultant
Name: Sigma Prime
Address: 332 Princeton Avenue
Half Moon Bay CA
Zip: 94019

Phone: 650-296-4384

License #:

Environmental Information Disclosure Form

PLN 2015-00221
 BLD _____

Project Address: Corner San Pedro + San Clemente Rds. El Granada CA
 Assessor's Parcel No.: 047-173-150
 Zoning District: R-1.5-17, DR, CD

Name of Owner: Peter S. Albertson
 Address: 4106 29th St. #4 San Francisco CA Phone: 415-710-8622
 Name of Applicant: _____
 Address: _____
 Phone: _____

Existing Site Conditions

Parcel size: 9,545 SF

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). Vacant lot. Steep site w/ several old stumps + unhealthy Eucalyptus trees.

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? <u>12</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation: <u>425</u> c.y. Fill: <u>402</u> c.y.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

Removal of trees for excavation of new house foundation + retaining walls.

2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u> If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. <u>Land disturbance of 1 acre or more of area?</u> If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) prior to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed: _____

(Applicant may sign)

Date: 5.19.15

PNZ015-00221



RECEIVED

NOV 17 2015

San Mateo County
Planning Division





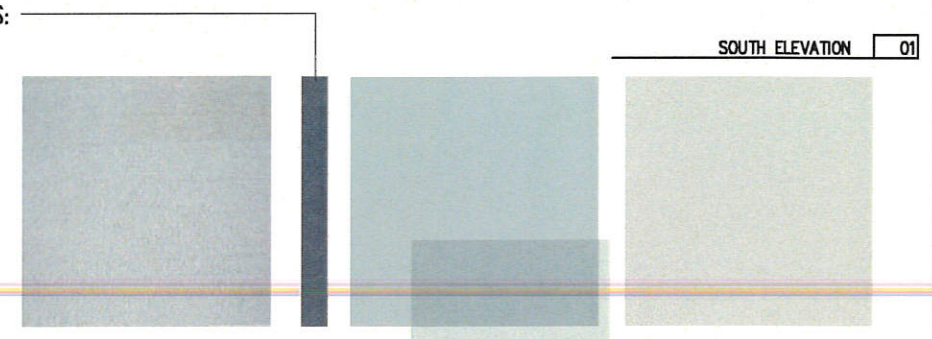


ALBERTSON RESIDENCE
EL GRANADA, CALIFORNIA

APR 07-173-180



WINDOW & DOOR FRAMES:
"RAL 9005 JET BLACK"



SOUTH ELEVATION 01

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© PETER ALBERTSON
NOT FOR CONSTRUCTION

ISSUED:
DESIGN REVIEW SUBMISSION 2015.05.12
REVISED DRIVEWAY RE-SUB. 2015.11.01

EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

A3.5



PERSPECTIVE VIEW FROM THE EAST



PERSPECTIVE VIEW FROM THE SOUTHEAST

DRAWING INDEX

ARCHITECTURAL DRAWINGS

- A0.0 COVER SHEET
- A0.1 SURVEY
- A0.2 TREE PLAN
- A0.3 PLANTING PLAN
- A1.1 SITE PLAN
- A2.1 LOWER FLOOR PLAN
- A2.2 UPPER FLOOR PLAN
- A2.3 ROOF PLAN
- A3.1 EXTERIOR ELEVATIONS
- A3.2 EXTERIOR ELEVATIONS
- A3.3 EXTERIOR ELEVATIONS
- A3.4 AVERAGE SLOPE DIAGRAMS
- A3.5 EXTERIOR ELEVATIONS
- A3.6 AVERAGE SLOPE DIAGRAM
- A3.7 EXTERIOR ELEVATIONS
- A4.1 BUILDING SECTIONS
- A4.2 BUILDING SECTIONS
- A4.3 BUILDING SECTIONS
- A4.4 BUILDING SECTIONS

CIVIL DRAWINGS

- C-1 GRADING, DRAINAGE & EROSION CONTROL PLAN

PLN2015-00221

RECEIVED

NOV 17 2015

San Mateo County
Planning Division

PROJECT INFORMATION

ADDRESS:	-
APN #:	047-173-150
ZONING:	R-1/S-17/DR/CD
PARCEL AREA:	9,545 SF
BUILDING FLOOR AREA:	ALLOWED: LOT SIZE: 5,000-11,698 SF = .53 X PARCEL AREA 9,545 SF X .53 = 5,058 SF
	PROPOSED: 3,118 SF
PARCEL COVERAGE:	ALLOWED: STRUCTURES >16FT. = PARCEL AREA X 35% 9,545 X 35% = 3,340SF
	PROPOSED: 2,300SF
MAXIMUM BUILDING HEIGHT:	ALLOWED: 28', (OR 33' BY DESIGN REVIEW COMMITTEE)
	PROPOSED: 25'-10" - 32'7"

VICINITY MAP



PETER ALBERTSON
ARCHITECT

4106 25TH ST. #4
SAN FRANCISCO, CA 94114

APN: 047-173-150
ALBERTSON RESIDENCE
EL GRANADA, CALIFORNIA

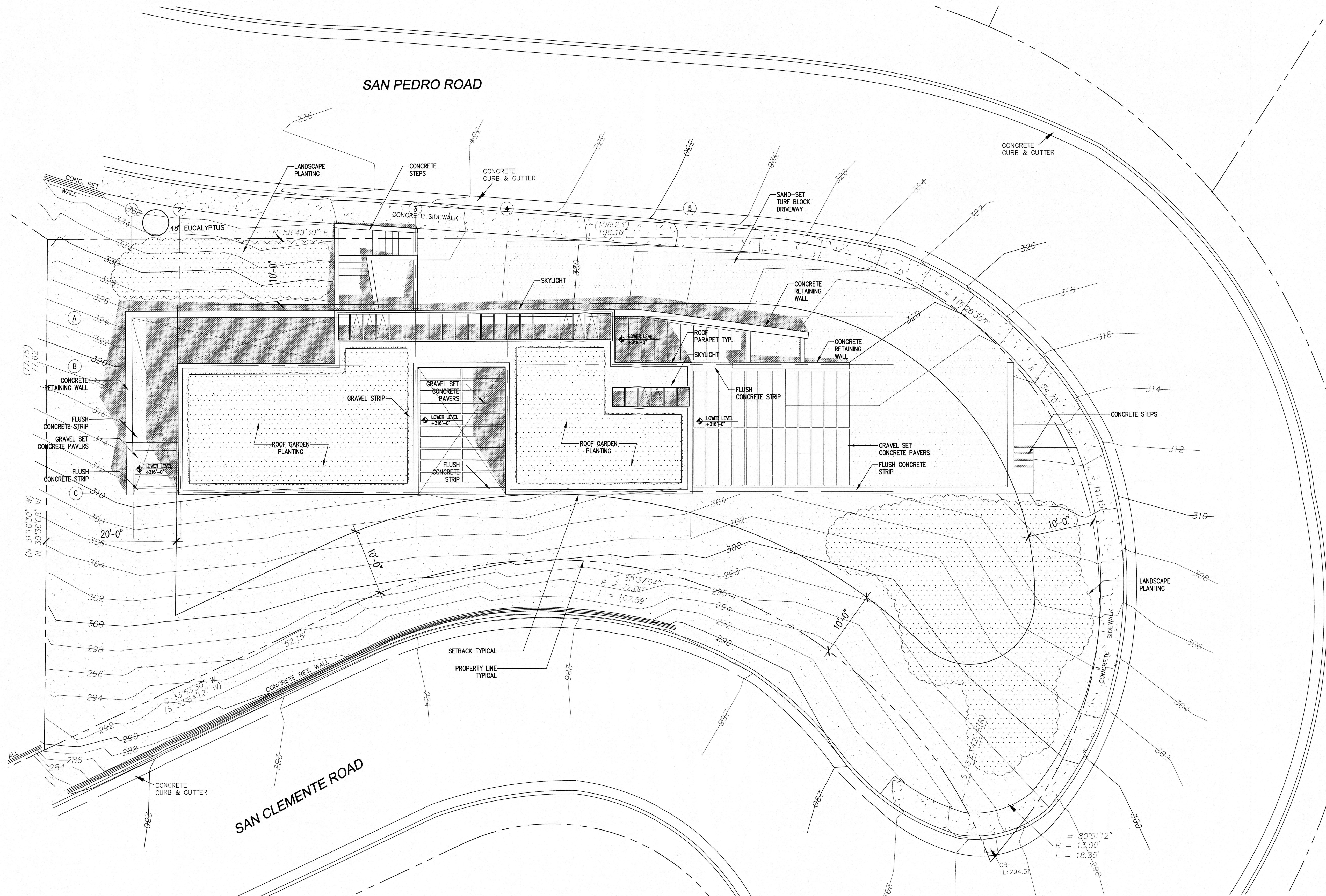
ISSUED:

DESIGN REVIEW SUBMISSION 2015.05.12
REVISED DRIVEWAY RE-SUB. 2015.11.01

COVER SHEET

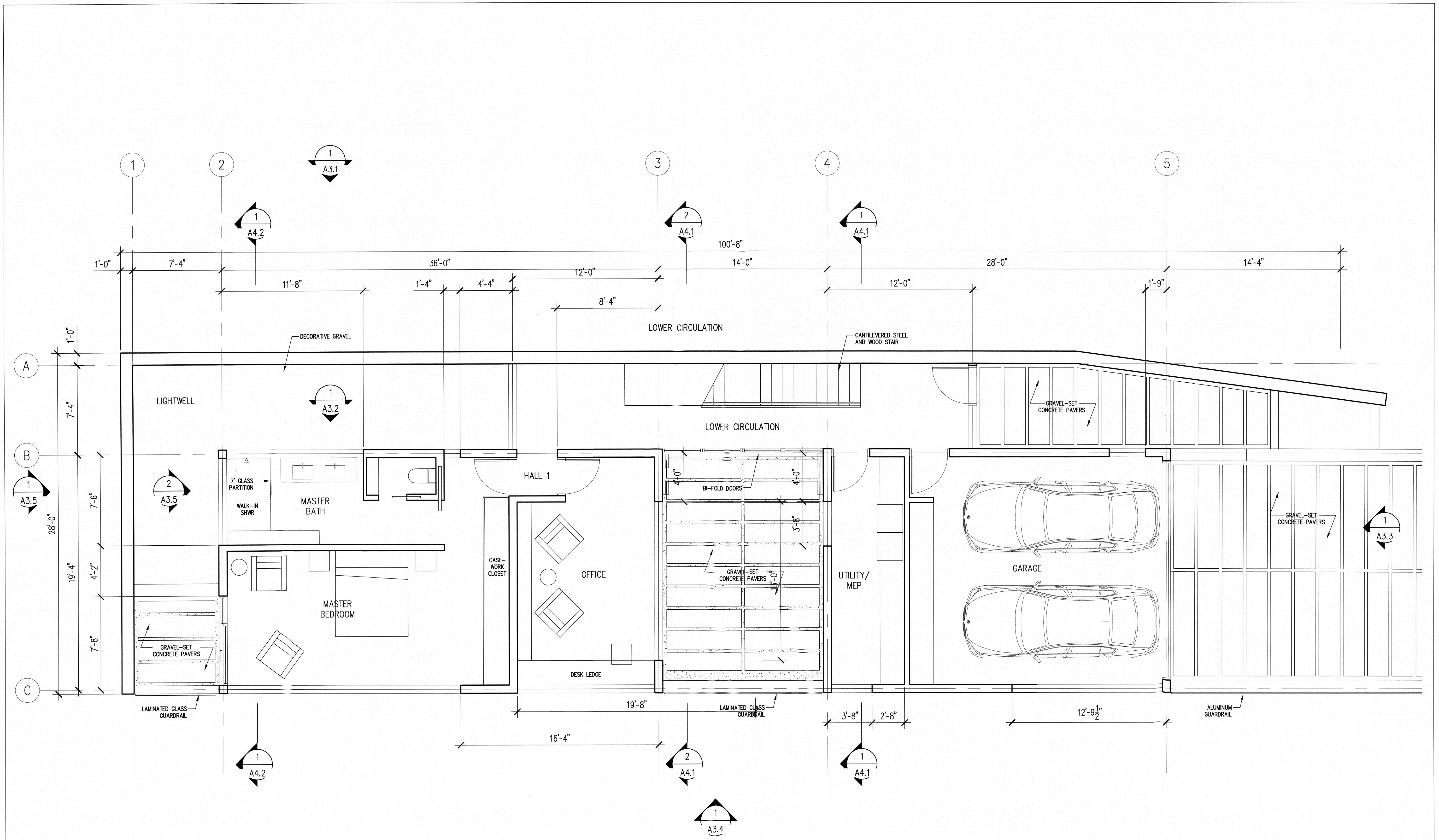
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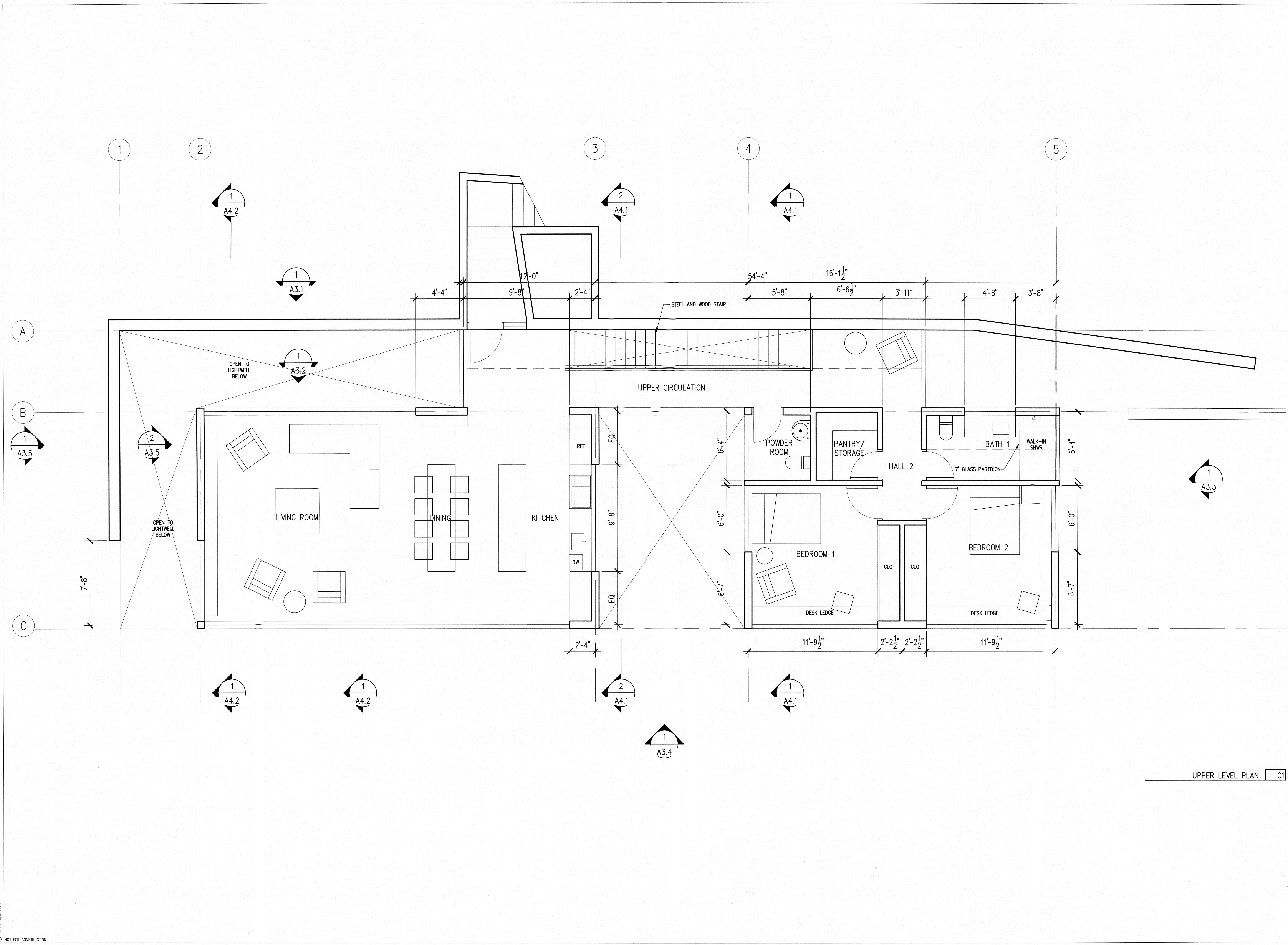
SITE PLAN 01

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LOWER LEVEL PLAN 01

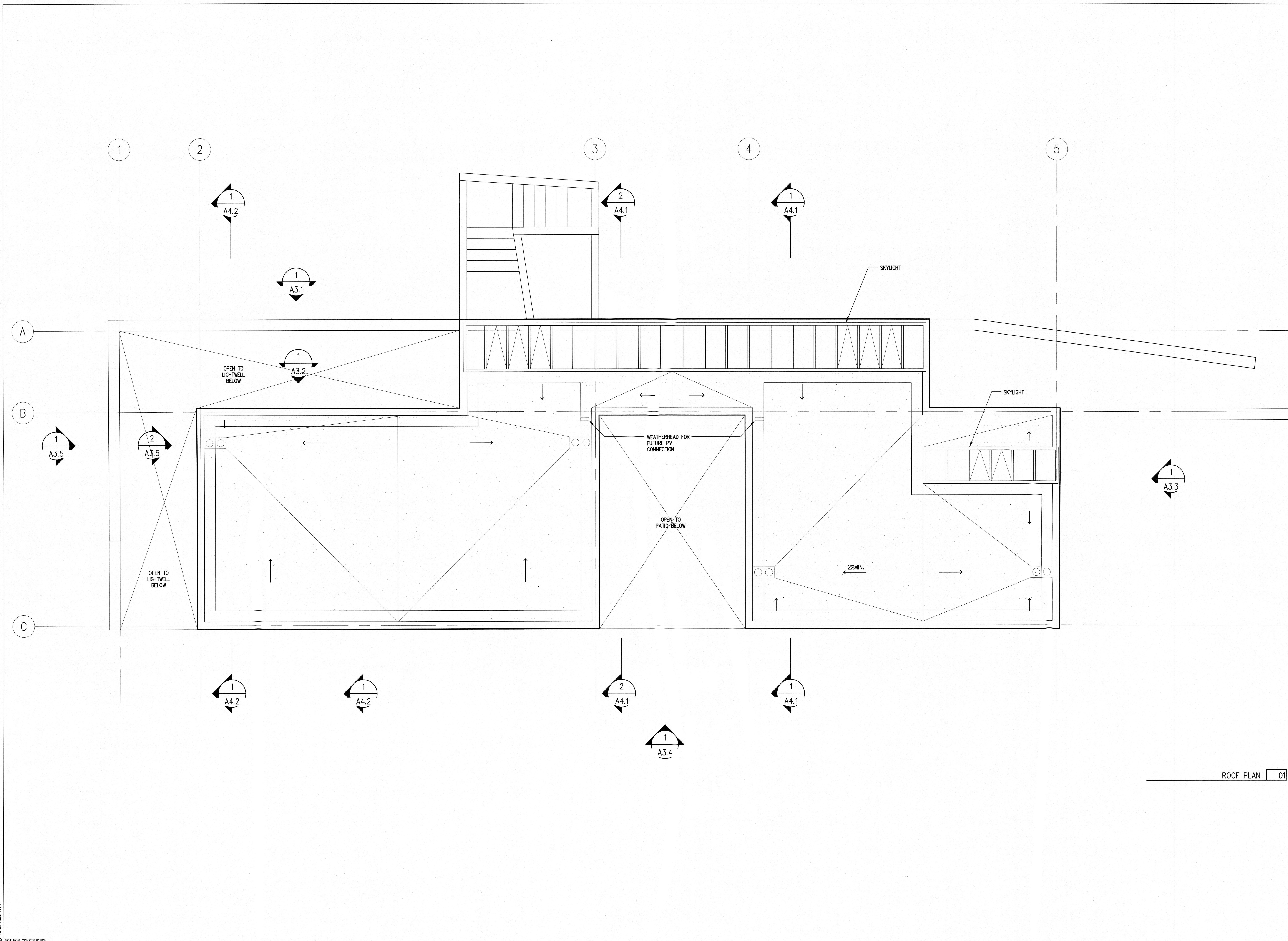
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UPPER LEVEL PLAN 01



ROOF PLAN 01

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ALBERTSON RESIDENCE
EL GRANADA, CALIFORNIA

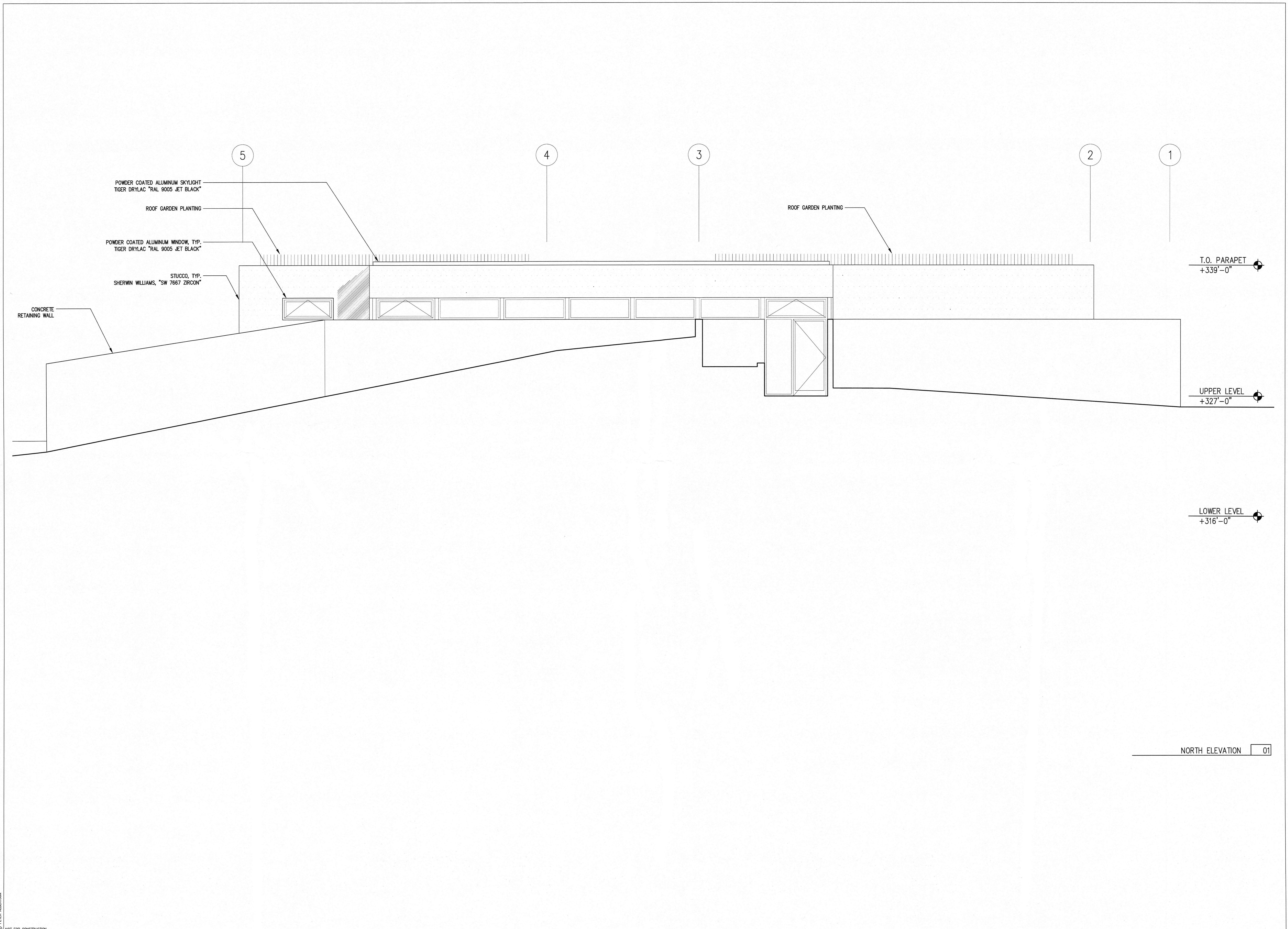
APN: 047-173-150

ISSUED:
DESIGN REVIEW SUBMISSION 2015.06.12
REVISED DRIVEWAY RE-SUB. 2015.11.01

EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"

A3.1



POWDER COATED ALUMINUM SKYLIGHT
TIGER DRYLAC "RAL 9005 JET BLACK"

ROOF GARDEN PLANTING

POWDER COATED ALUMINUM WINDOW, TYP.
TIGER DRYLAC "RAL 9005 JET BLACK"

STUCCO, TYP.
SHERWIN WILLIAMS, "SW 7667 ZIRCON"

CONCRETE
RETAINING WALL

ROOF GARDEN PLANTING

T.O. PARAPET
+339'-0"

UPPER LEVEL
+327'-0"

LOWER LEVEL
+316'-0"

NORTH ELEVATION 01

ALBERTSON RESIDENCE
EL GRANADA, CALIFORNIA

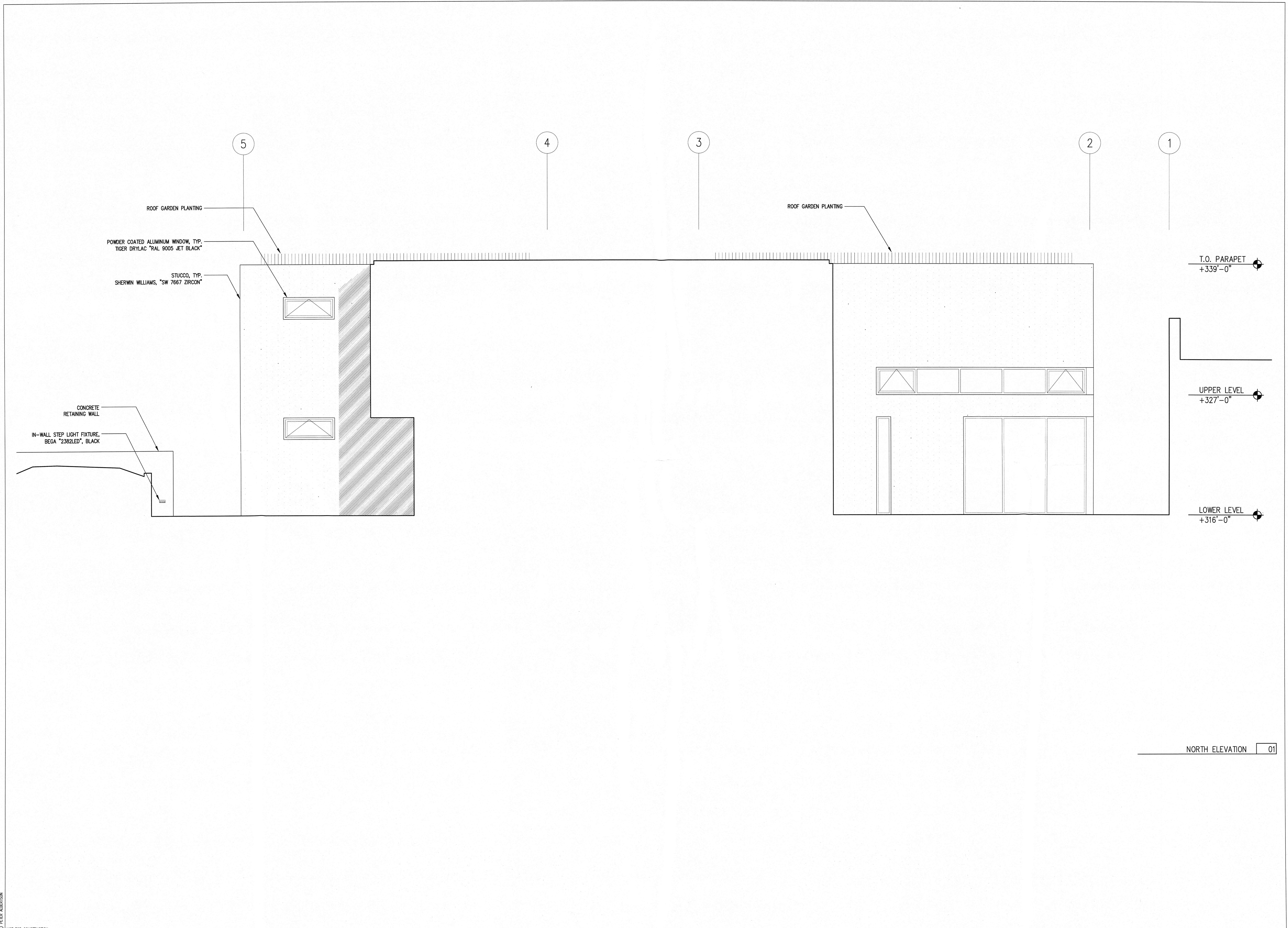
APN: 047-173-150

ISSUED:
DESIGN REVIEW SUBMISSION: 2015.06.12
REVISED DRIVEWAY RE-SUB: 2015.11.01

EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

A3.2



5
ROOF GARDEN PLANTING
POWDER COATED ALUMINUM WINDOW, TYP.
TIGER DRYLAC "RAL 9005 JET BLACK"
STUCCO, TYP.
SHERWIN WILLIAMS, "SW 7667 ZIRCON"

ROOF GARDEN PLANTING

T.O. PARAPET
+339'-0"

UPPER LEVEL
+327'-0"

LOWER LEVEL
+316'-0"

CONCRETE
RETAINING WALL
IN-WALL STEP LIGHT FIXTURE,
BEGA "2382LED", BLACK

NORTH ELEVATION 01

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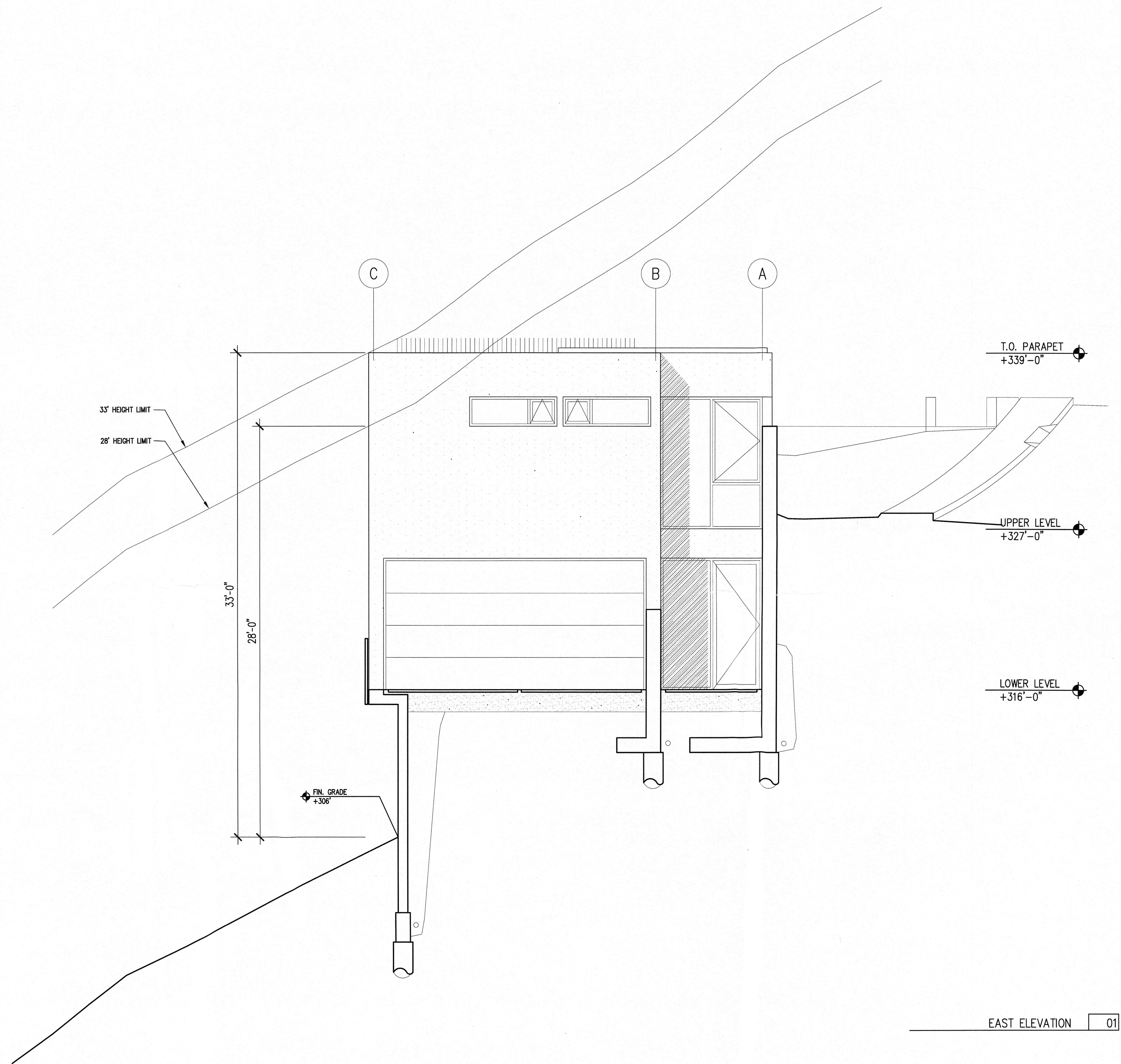
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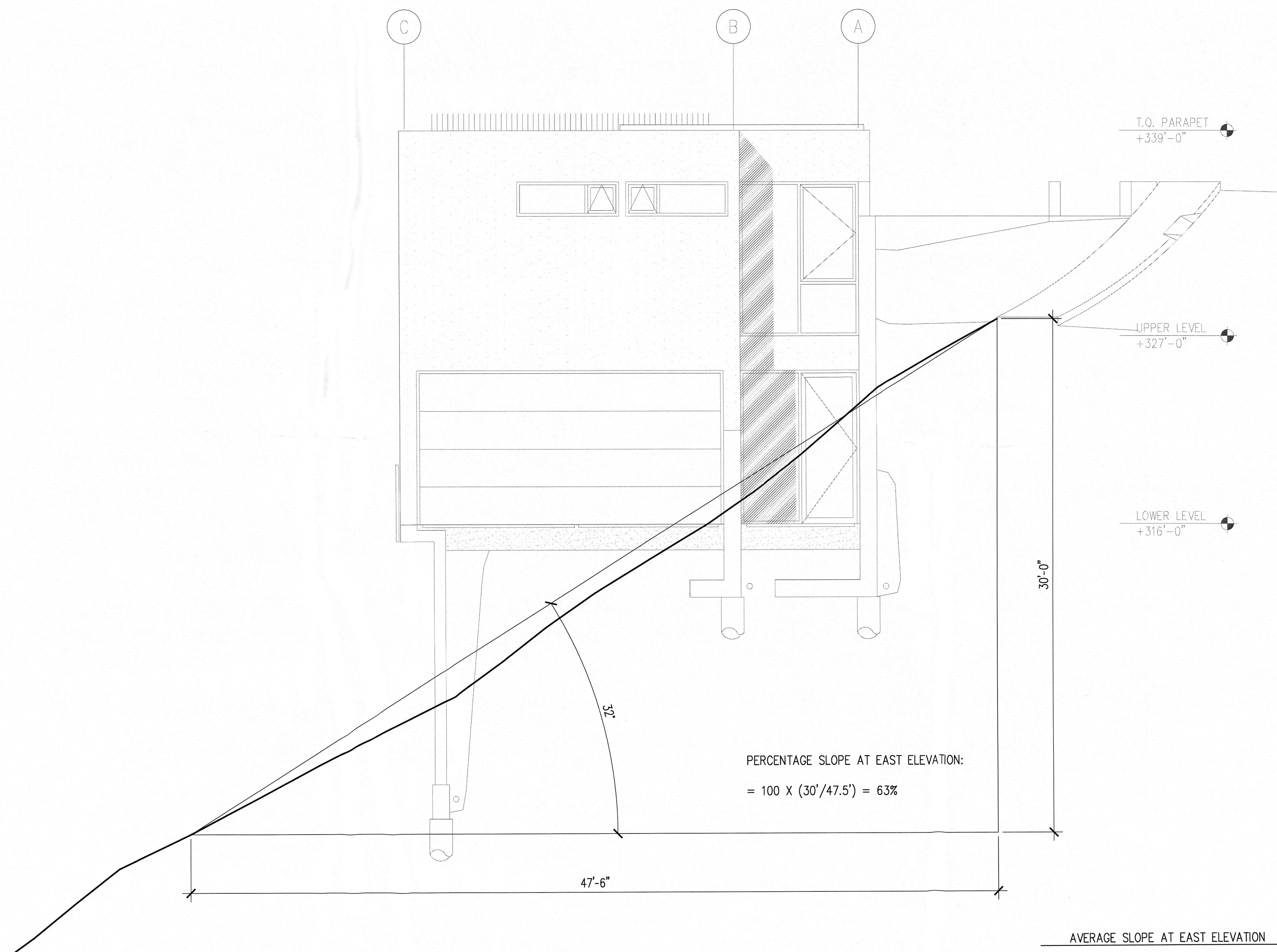
ISSUED:
DESIGN REVIEW SUBMISSION 2015.05.12
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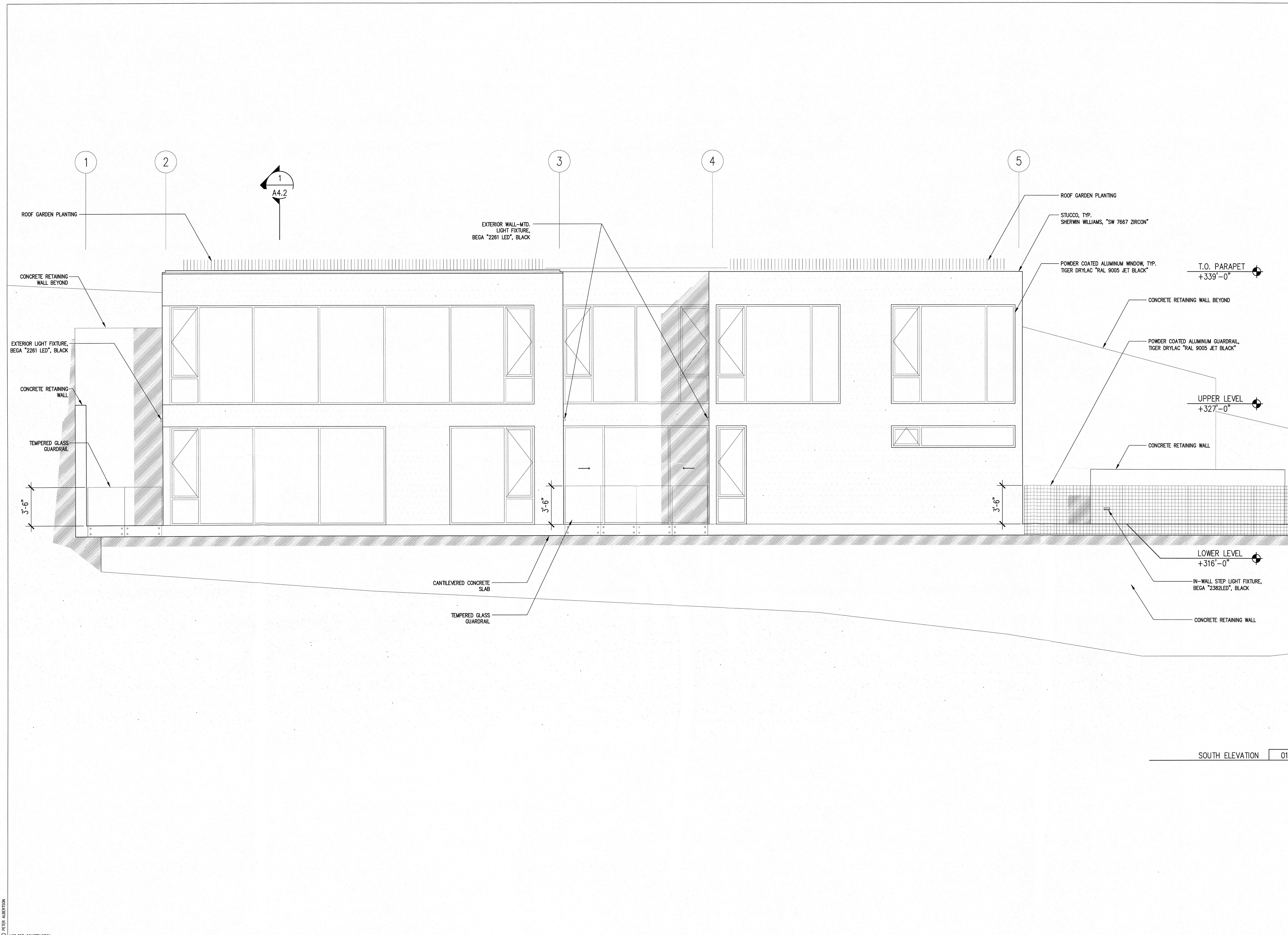
EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"

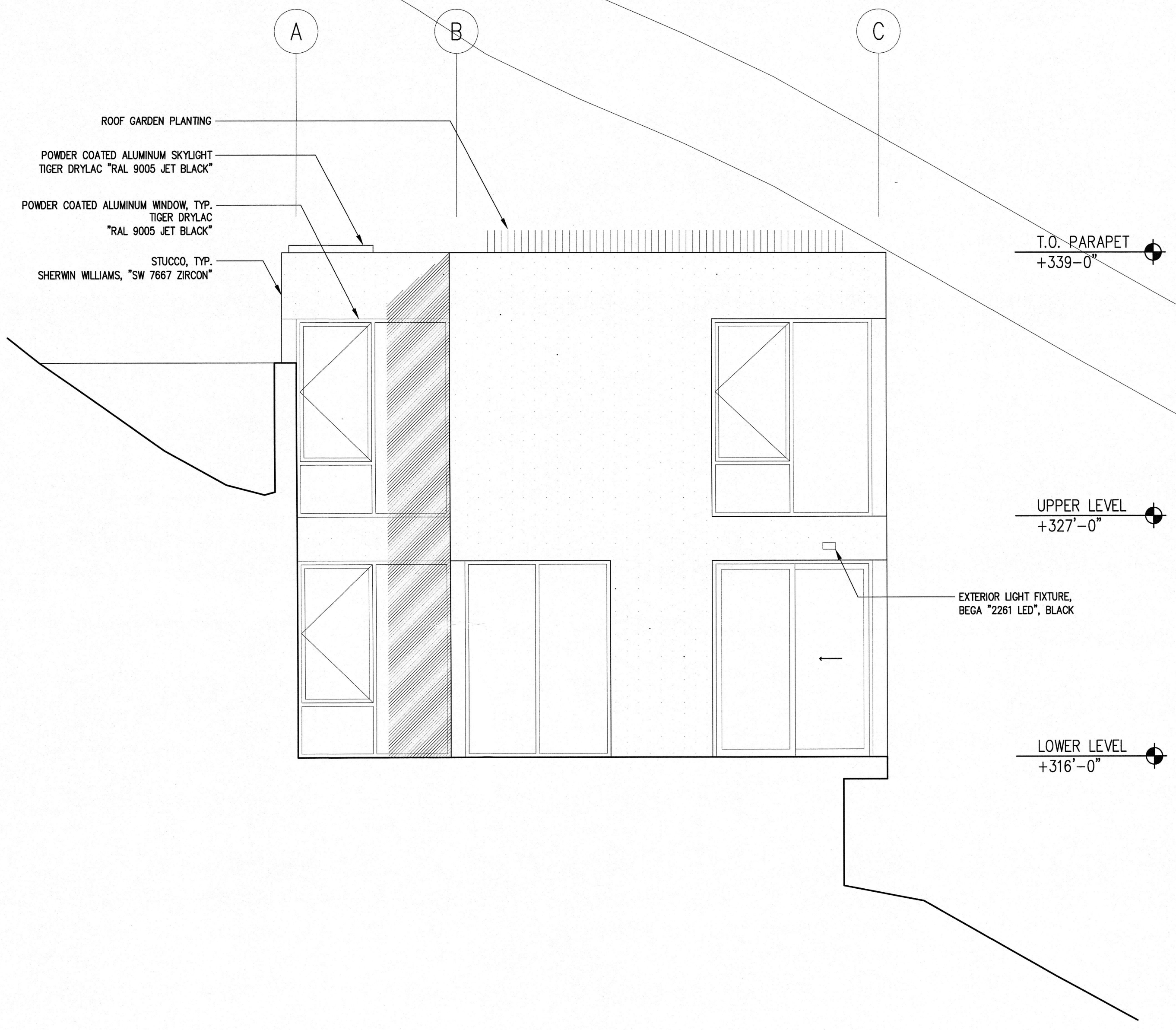
A3.3



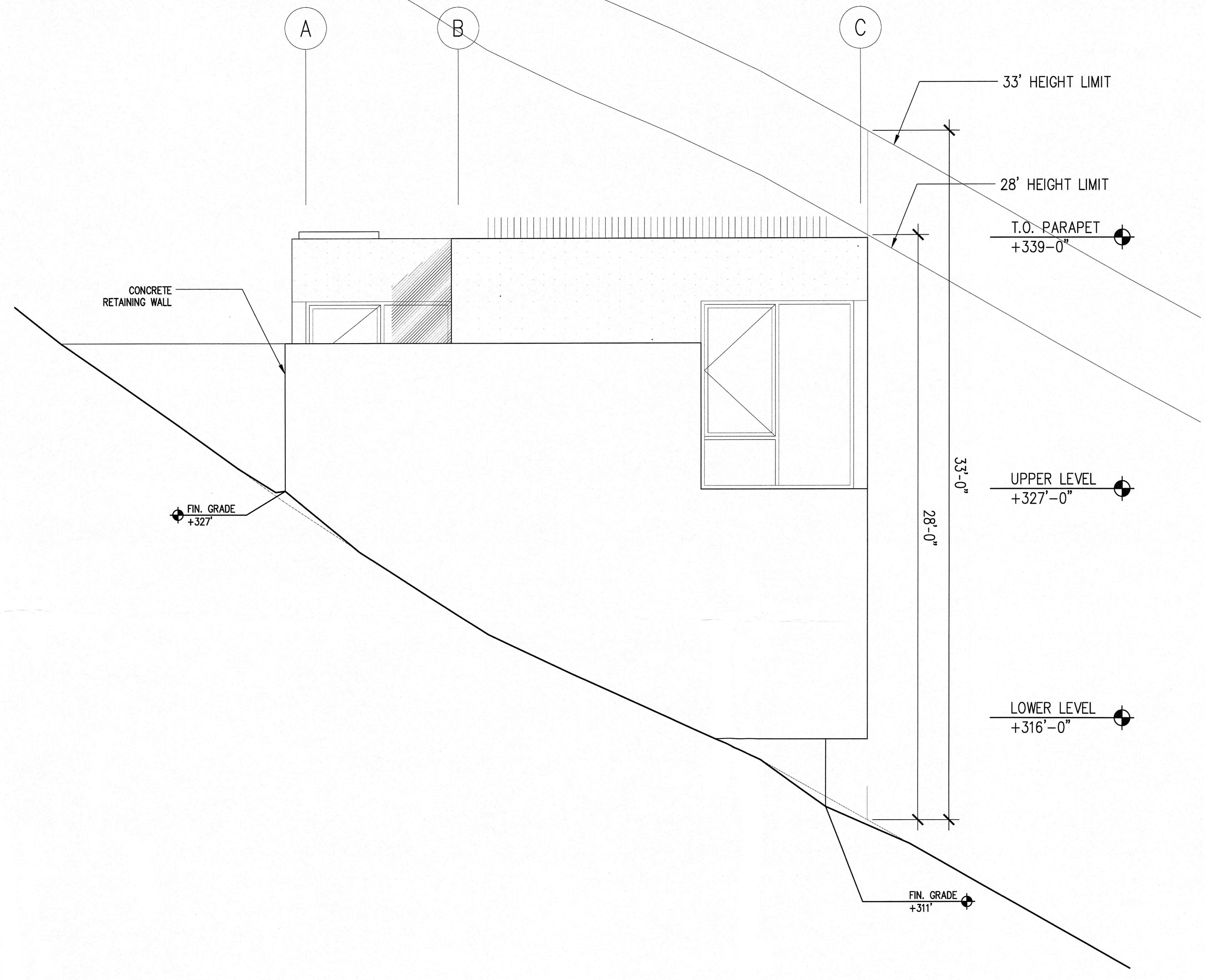




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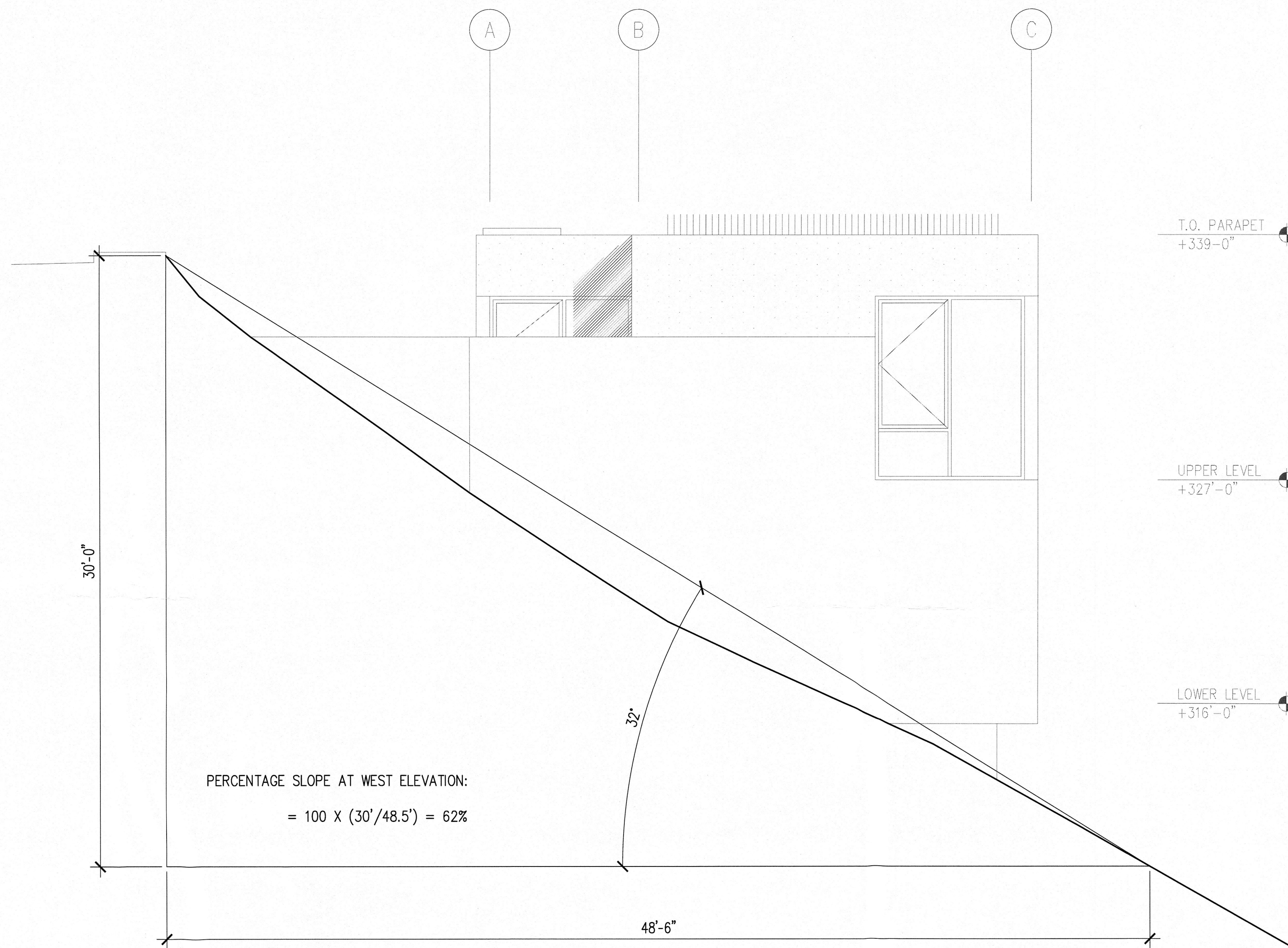


WEST ELEVATION 02



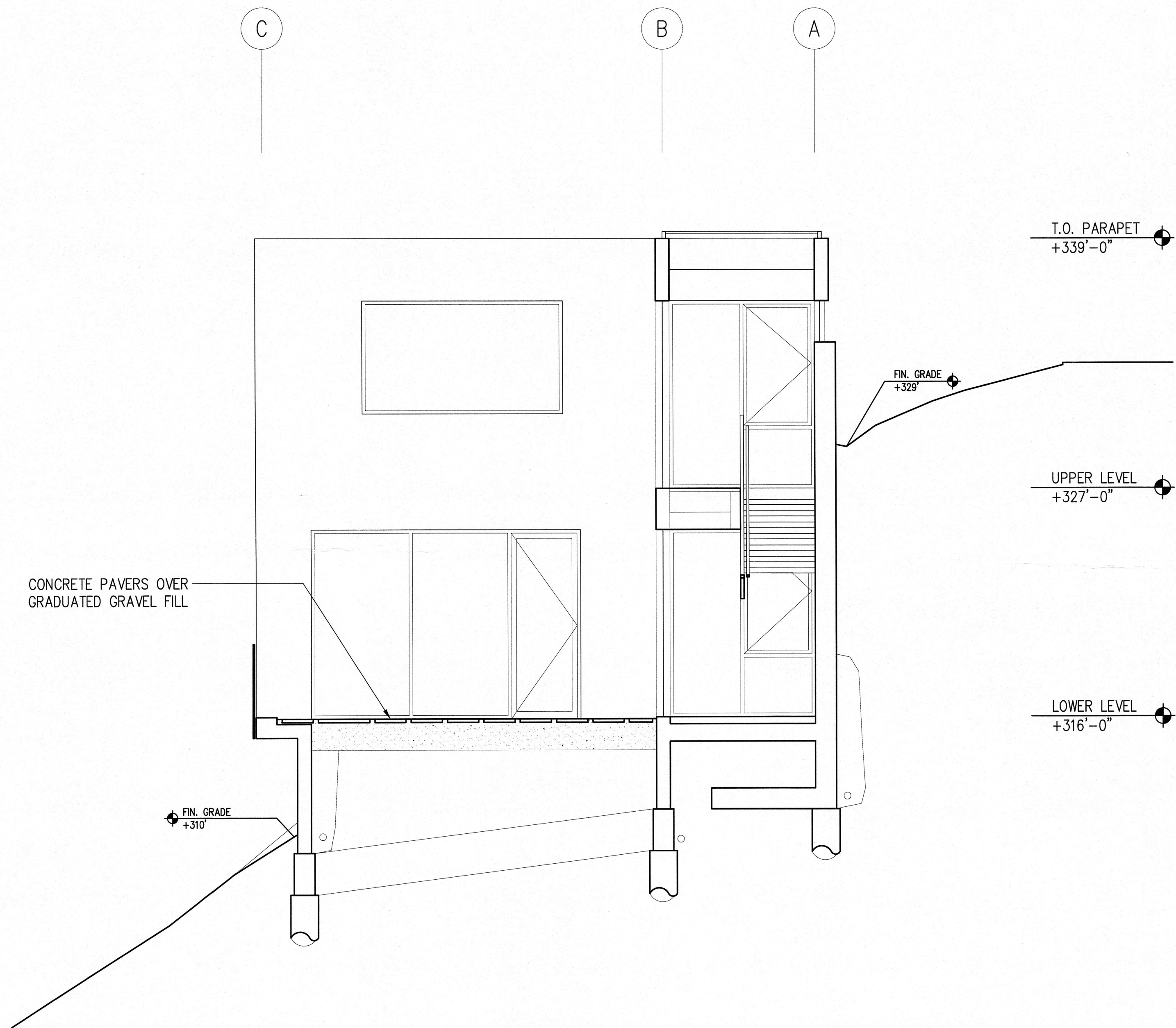
WEST ELEVATION 01

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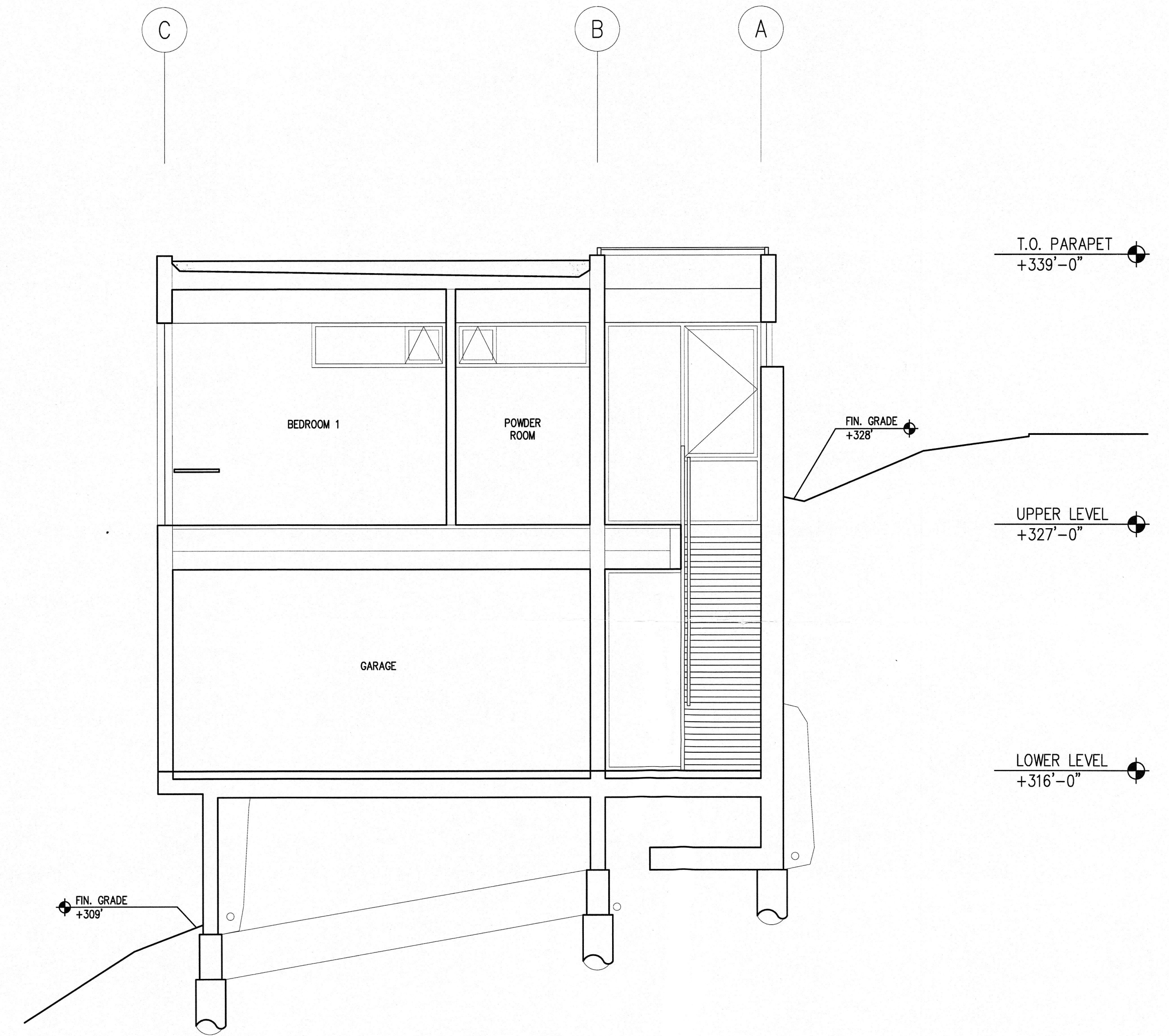


PERCENTAGE SLOPE AT WEST ELEVATION:
= 100 X (30'/48.5') = 62%

AVERAGE SLOPE AT WEST ELEVATION 01



SECTION @ DECK / CIRCULATION 02



SECTION @ BATH 1 / BEDROOM 2 01

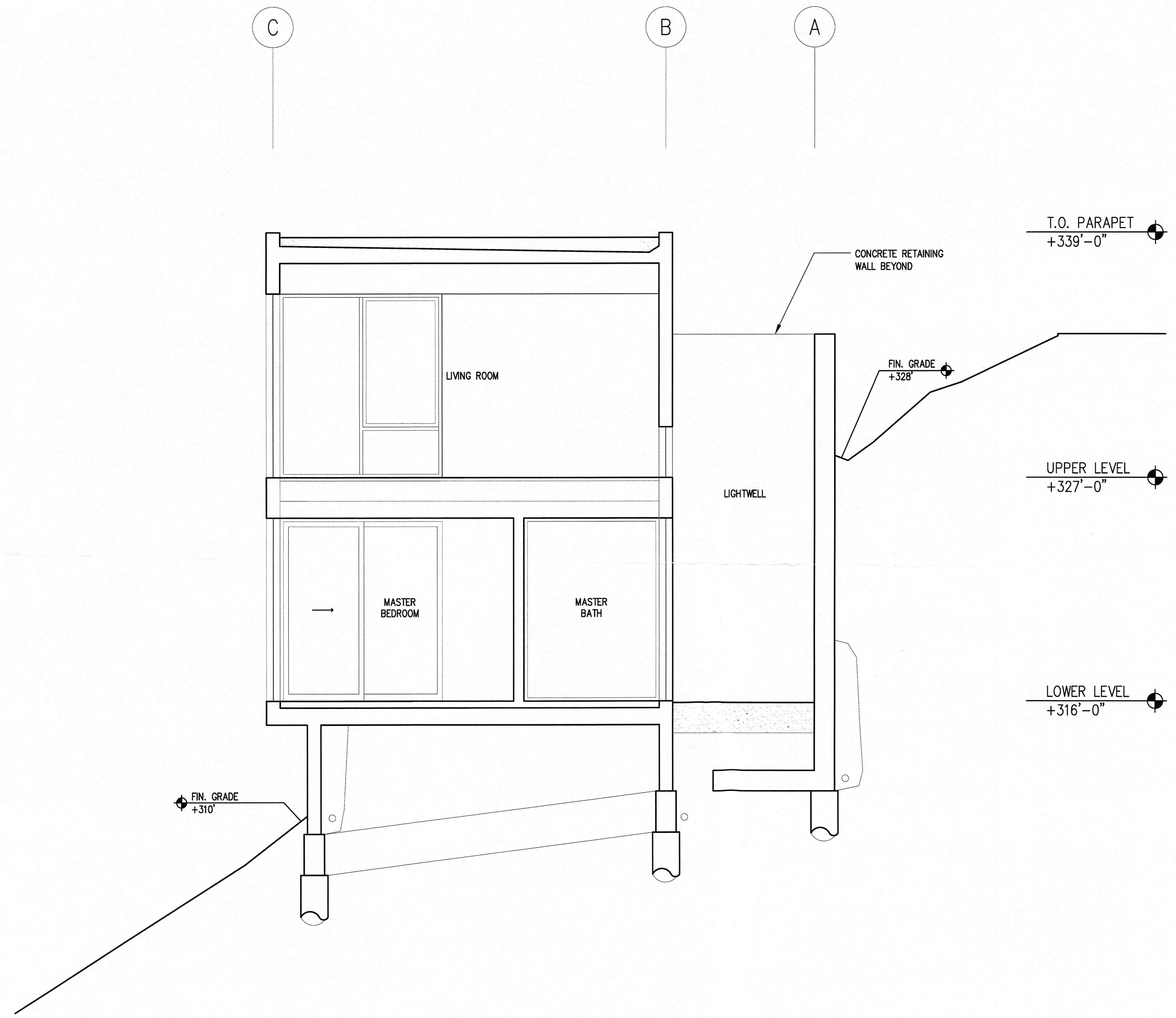
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BUILDING SECTIONS

SCALE: 1/4" = 1'-0"



SECTION @ LIVING ROOM / MASTER SUITE 01

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