



JOB # 1501 SCALE AS NOTED DATE

06/15/15 SHEET

ZONING: R-1/S-17/DR/CH/CD A.P.N. # 037-225-010 FIRST FLOOR EXCLUDING GARAGE 388 GARAGE PORCH (OVER 4"): COUNTS TOWARD F.A.R. 1,005 TOTAL FIRST FLOOR

PLANNING DEPARTMENT: COUNTY OF SAN MATEO

PLANNER WHO GAVE THE INFORMATION:

×	649	SECOND FLOOR
×*	199	2ND STORY BALCONY - *12 SQ FT COUNTS TOWARD PROPERTY COVERAGE

	×	216	THIRD FLOOR
×**		54	THIRD STORY BALCONY - *** 9 SQ FT TOWARD PROPERTY COVERAGE

## 1,870 TOTAL FLOOR AREA

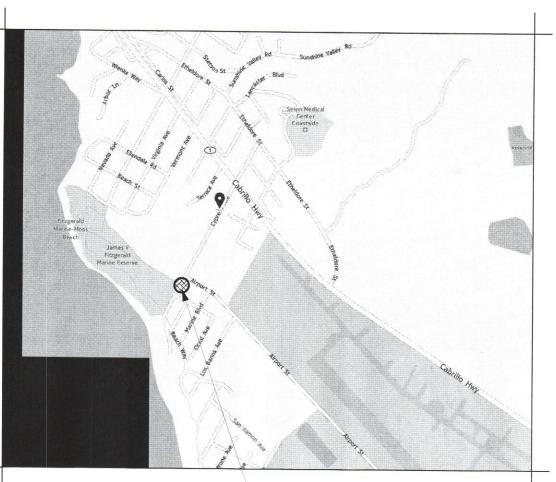
AREA INCLUDED

IN

1,077	OUR SITE COVERAGE
35%	PERCENTAGE OF SITE COVERAGE
3,916	LOT SIZE
1,370	MAXIMUM SITE COVERAGE ALLOWED
293	SQ FT UNDER THE MAXIMUM

1,870	OUR TOTAL FLOOR AREA
48%	PERCENTAGE OF FLOOR AREA ALLOWED
3,916	LOT SIZE
,880	MAXIMUM FLOOR AREA ALLOWED
10	SQ FT UNDER THE MAXIMUM

San Mateo County
Planning and Building Department



PROPERTY: CYPRESS AVE. \$ PARK WAY

<u>VICINITY MAP</u>

- 3RD FLOOR: 216 SQ. FT. (EXCLUDES STAIRS) 2ND FLOOR = 649 SQ. FT. (INCLUDES STAIRS) \_ 3RD STORY BALCONY: 54 SQ. FT. 2ND FLOOR BALCONY = 199 SQ. FT.

CANTILEVERED: COUNTS TOWARD PROPERTY COVERAGE 1ST FLOOR SQ. FOOTAGE PLAN SCALE: 1/8" = 1'-0"

72 SQ. FT. OF 2ND FLOOR BALCONY

SQ FT

1ST FLOOR CONDITIONED SPACE: 583 SQ. FT.

(INCLUDES STAIRS)

GARAGE: 388 SQ. FT.

1ST FLOOR PORCH = 34 SQ. FT.

(583 + 388 (GARAGE) = 971 SQ. FT.

TOTAL 1ST FLOOR: 1,005 SQ. FT.

IST FLOOR = 971 SQ. FT...INCLUDES STAIRS

3RD FLOOR SQ. FOOTAGE PLAN SCALE: 1/8" = 1'-0"

2ND FLOOR SQ. FOOTAGE PLAN SCALE: 1/8" = 1'-0"

/-1' 3" ABOVE THE LANDING FROM SECTION THE PLATE HERE IS AT 6' 0" 3 RISERS AT 1.25 = 22.25 = 1'-10 1/4" PROPERTY LINE - 1ST FLOOR ENTRY COLUMNS 3RD FLOOR ROOF - 1ST FLOOR WALLS 3RD FLOOR WALLS -- 19T FLOOR ENTRY ROOF 2ND FLOOR ROOF 2ND FLOOR WALLS -1ST FLOOR ROOF -2ND FLOOR WALLS 1ST FLOOR WALLS 2ND FLOOR ROOF SHED ROOF @ 1ST FLOOR WALLS 2ND FLOOR -2ND FLOOR BALCONY RAILS SEE GRADING AND DRAINAGE PLAN (C-1) FOR DOWNSPOUT LOCATIONS. BALCONY PROPERTY LINE

ROOF PLAN SCALE: 1/8" = 1'-0"

SITE PLAN

A USE PERMIT IS REQUIRED FOR THE 15'-5" SETBACK FOR THE PROPERTY LINE -PROPERTY LINE (\$ 28° 37' W) \$ 28° 35' 23" W 10.01' SEE GRADING AND DRAINAGE PLAN (C-1) FOR DOWNSPOUT LOCATIONS. PORCH 20'-0" FRONT SETBACK SEE GRADING & DRAINAGE PLAN (SHEET C-1) FOR FINISH GRADES BUILDING FOOTPRINT 69.1' FINISH FLOOR ELEVATION NO FENCE PROPOSED THROUGHOUT ENTIRE PROPERTY. 20'-0" 2ND FLOOR BALCONY CANTILEVER 20' REAR SETBACK LINE DRIVEWAY N 28° 31′ 00″ E 100.00′ PROPERTY LINE FIRE HYDRANT: 148' AWAY FROM THIS PROPERTY LINE CYPRESS AVE.

AN SCALE: 1/8" = 1'-0"

UNDERGROUND ELECTRICAL SERVICE SHALL BE PROVIDED IN ALL NEW CONSTRUCTION, ADDITIONS OF MORE THAN 25% OF THE (E) FLOOR AREAS \$ REMODELS WHERE THE ESTIMATED COST OF CONSTRUCTION IS 50% OR MORE OF THE ACCESSED VALUATION OF THE BUILDING. UNDERGROUND SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE PG\$E CO, ELECTRIC \$ GAS REQUIREMENTS, SECT. 5, ELECTRIC SERVICE UNDERGROUND (ORD. C-14-101 PART), 2010: ORD. 1-08 2(PART), 2008)" PER MUNICIPAL CODE SECT. 14.04.070 (A).

2013 CALIFORNIA MECHANICAL CODE 2013 CALIFORNIA PLUMBING CODE 2013 CALIFORNIA FIRE CODE 2013 CALIFORNIA ELECTRICAL CODE

ALL CONSTRUCTION SHALL CONFORM TO:

2013 CALIFORNIA RESIDENTIAL CODE

2013 CALIFORNIA BUILDING CODE

2013 CALIFORNIA ENERGY CODE 2013 CALGREEN BUILDING CODE STANDARDS

OCCUPANCY GROUP: R3-U

TYPE OF CONSTRUCTION: TYPE Y-B SCOPE OF WORK: CONSTRUCTION OF A NEW WOOD FRAMED, THREE STORY RESIDENCE

FIRE SPRINKLERS REQUIRED

LIST OF DRAWINGS FOR DESIGN REVIEW

A1.1	TITLE PAGE \$ SITE PLAN
A1.2	NOTES
SU-1	SURVEY
C-1	GRADING, DRAINAGE & EROSION CONTROL PLAN
LS-1	LANDSCAPE PLAN

A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A2.3	THIRD FLOOR PLAN

Δ31	ELEVATIONS

A4.1	SECTION A-A	
A4.2	SECTION B-B	
A4.3	SECTION C-C	

1,077	OUR SITE COVERAGE
35%	PERCENTAGE OF SITE COVERAGE
3,916	LOT SIZE
1,370	MAXIMUM SITE COVERAGE ALLOWED
293	SQ FT UNDER THE MAXIMUM

RECEIVED

SEP 2 1 2015

MEMB

MFR.

MEMBRANE

MANUFACTURER

OUTSIDE DIAMETER

OVER HEAD

ASPH. ASPHALT MANHOLE ASH TRAT MINIMUM ANGLE MTD. MOUNTED M.S. MACHINE SCREW MTL. METAL MULL. MULLION BOARD BACKSPLASH BKSPL (N) NEW BLDG. BUILDING NORTH BLK. BLOCK BLKG. BLOCKING NOT IN CONCRET NOM. NOMINAL

ARCHITECTURAL

A.B.M.

ACOUS.

AIC

A.D.

ADJ.

A.F.S.

ALT.

ALUM

A.P.

DIM

DISP.

ELEY.

E.S.

EXH.

EXT.

F.A.

F.B.

G.L.B.

GND.

G.V.

H.B.

H.C.

H.M.

H.P.

H.R.C.

H.T.D.

HTG.

INSUL.

J.B.

HOSE REEL CABINET

HEATING

HOT WATER

INSULATION

JUNCTION BOX

INTERIOR

INVERT

INSIDE DIAMETER

FBRGL

ANOD.

AGGR.

A.C.

N.T.S. NOT TO SCALE B.O.J. BOTTOM OF JOISTS NUMBER BSBD. BASEBOARD BUILT-UF B.U. O.B. OBSCURE B.U.R. BUILT-UP ROOF ON CENTER CABT CABINET C.B. CATCH BASIN O.F.S. OUTER FACE OF STUD CBO. CULKBOARD O.H. CEM. CEMENT O.P. OPAQUE CER. CERAMIC OPNG .. OPENING C.G. COVER GUARD OPPOSITE CAST IRON CEILING JOIST

PUBLIC ADDRESS CLG. CEILING PDF POWER DRIVEN FASTENER CLR. CLEAR P.G. PAINT GRADE CLO. CLOSE PHILLIPS HEAD CMU. CONC. MASONRY UNIT PUBLIC AND HOUSE PHONE CNTR. COUNTERTO P.I.V. POST INDICATOR VALVE COL COLUMN COMP. COMPOSITION PROPERTY LINE CONC CONCRETE PLAS. PLASTER CONST CONSTRUCTIO PLAS. LAM. PLASTIC LAMINATE CONTR. CONTRACTOR PLYWD. PLYWOOD CIT COOKTOF POL. POLISHED COATS PAIR CUSTODIAN PRCST. PRECAST CUST. POUNDS PER SQUARE FOOT C. W. COLD WATER P.S.I. CHANNEL PARALAM BEAM CENTERLINE PRESSURE TREATED PID DRYER DET.

POUNDS PER SQUARE INCH PAPER TOWEL DISPENSE PIN. PARTITION DETAIL DARK SKY LIGHT DOUGLAS FIR RETURN AIR R.A. DUALGLAZE RAD. RADIUS DIAMETER OR ROUND R.C.P REFLECTED CEILING PLAN DIAMETER R.D. ROOF DRAIN DIMENSION RECESSED GARBAGE DISPOSAL REF. REFERENCE DOWN REF REFRIGERATOR DEMOLISHED REINF REINFORCED/INC REQ'D. REQUIRED DOWNSPOU RIGHT HAND DISHWASHER DRAWING ROUND HEAD RM. R.R. EXISTING ROOF RAFTER ELEVATION EXPANSION JOINT SOLIB BLOCKING S.C. EQUAL SOLID CORE SEAT COVER DISPENSER S.C.D. EXPANSION SHIELD SMOKE DETECTOR S.D. EXHAUST SECT. SECTION EXTERIOR S.G. SAFETY GLAZE FIRE ALARM SHT. SHEET FLAT BAR SHWR SHOWER FIBERGLASS FLOOR DRAIN SIMILAR FOUNDATION SHEET METAL SHEET METAL SCREWS FIRE EXTINGUISHER S.N.D. FINISH FLOOR

F.D. FDN. SANITARY NAPKIN DISPOSA S.N.V. SANITARY NAPKIN VENDOR FINISH GRADE SHUT OFF VALVE FLAT HEAD S.P.D. SOAP DISPENSER FIRE HOSE CABINET F.H.C. SPECS. SPECIFICATIONS FIN. FLR. FINISH FLOOR F.J. FLDG. SERVICE SINK S.S. FLOOR JOIS FOLDING STL. FLR. FLOOR STD. STANDARD FLUOR. FLUORESCENT STOR. STORAGE FINISHOPENING F.O. STRUC. STRUCTURAL SELF TAPPING SCREU FACE OF CONCRETE F.O.C. ST. STL STAINLESS STEEL F.O.S. FACE OF STUD/STEEL SUSPENDED SYMMETRICAL STM. F.R.P. FIBER GLASS REINFORCED PLASTIC TREAD FOOT OR FEET T.B. TOWEL BAR FTG. FOOTING T\$B TOP \$ BOTTOM T/C TRASH COMPACTOR GUAGE T.D. GALV GALVANIZED TOWEL DISPENSER T.D.L TRUE-DIVIDED LIGHTS GREEN BOARD G.B. GENERAL CONTRACTOR G.F.I.

TOWEL DISPENSER & DISP TELE. TELEPHONE GROUND FAULT INTERRUPTER TEMP. TEMPERED GLASS GALVANIZED IRON TFG TONGUE \$ GROOVE THK. THICK GLULAM BEAM T.K. TOE KICK GROUND TOP OF CURB G.S.M. GALVANIZED SHEET METAL TOP. TOP OF PAVEMENT GATE VALVE T.O.PL TOP OF PLATE GYP BD GYPSUM BOARD T.O.S. TOP OF SLAB T.O.STL. TOP OF STEEL HOSE BIBB TOLET PAPER DISPENSER TYP. TYPICAL HOLLOW CORE HCAP. HANDICATE UNLESS OTHERWISE NOTED HDBD. HARDBOARD UR. URINAL HEADER KICKPLATI V.C.T. VINYL COMPOSITION TILE HDWD. HARDWOO YERT. VERTICAL HOWE HARDWARE VERTICAL GRAIN DOUGLAS FIR V.G.D.F. HOLLOW METAL HORIZ. HORIZONTAL VIN. HIGH POINT V.T.R. VENTILATION THRU ROOF

V.H.F.

HANDICAP TOWEL DISP WITH WATER CLOSE W.C. WOOD WDO/WDOS WINDOW/WINDOWS WNDR. BD. WONDERBOARD WITHOUT WATER PROOF WATER RESISTANT GYPSUM W.S. WEATHER STRIPPING OR WOOD SREW WAINSCOT WT. WEIGHT

WASHER

VINYL WALL FABRIC

## FIRE PROTECTION NOTES

1: FIRE SPRINKLER PLANS MUST BE SUBMITTED

2: SMOKE DETECTORS ARE HARDWIRED: AS PER THE CALIFORNIA BUILDING CODE (CBC), STATE FIRE MARSHALI REGULATIONS AND COASTSIDE FIRE DISTRICT ORDINANCE # 2013-03, THE APPLICANT IS REQUIRED TO INSTALL STATE FIRE MARSHALL APPROVED AND LISTED SMOKE DETECTORS WHICH ARE HARDWIRED, INTERCONNECTED AND HAVE BATTERY BACKUP. THESE DETECTORS ARE REQUIRED TO BE PLACED IN EACH NEW ROOM AND RECONDITIONED SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA. IN EXISTING SLEEPING ROOMS, AREAS MAY HAVE BATTERY POWERED SMOKE ALARMS. A MINIMUM OF ONE DETECTOR SHALL BE PLACED ON EACH FLOOR. SMOKE DETECTORS SHALL BE TESTED AND APPROVED PRIOR TO THE BUILDING FINAL

2A: SMOKE/CARBON MONOXIDE DETECTORS ARE TO BE HARDWIRED, INTERCONNECTED OR WITH BATTERY BACKUP DETECTORS ARE TO BE INSTALLED PER MANUFACTURER'S INSTRUCTION AND NFPA 12.

4: ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET, 5.0 SQ. FT. ALLOWED AT GRADE. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. FINISHED SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR.

4A: IDENTIFY RESCUE WINDOWS IN EACH BEDROOM AND VERIFY THAT THEY MEET ALL REQUIREMENTS.

5: ATTACHED GARAGE TO MEET OCCUPANCY SEPARATION REQUIREMENTS PER CRC R302.6. A ONE-HOUR OCCUPANCY SEPARATION WALL SHALL BE INSTALLED WITH A SOLID CORE, 20-MINUTE FIRE RATED, SELF CLOSING DOOR ASSEMBLY WITH SMOKE GASKET BETWEEN THE GARAGE AND THE RESIDENCE. ALL ELECTRICAL BOXES INSTALLED IN RATED WALLS SHALL BE METAL PROTECTED.

6: ADDRESS NUMBERS: FOR NEW RESIDENTIAL BUILDINGS AND PER COASTSIDE FIRE DISTRICT NO. 2013-03. BUILDING IDENTIFICATION SHALL BE CONSPICUOUSLY POSTED \$ VISIBLE FROM THE STREET. (TEMP. ADDRESS #5 SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE). THE LETTERS/NUMERALS FOR PERMANENT ADDRESS SIGNS SHALL BE 4 INCHES IN HEIGHT WITH A MINIMUM 3/4-INCH STROKE. SUCH LETTERS/NUMERALS SHALL BE INTERNALLY ILLUMINATED \$ FACING THE DIRECTION OF ACCESS. FINISHED HEIGHT OF BOTTOM OF ADDRESS LIGHT UNIT SHALL BE GREATER THAN OR EQUAL TO 6 FEET FROM THE FINISHED GRADE. WHEN THE BUILDING IS SERVED BY A LONG DRIVEWAY OR IS OTHERWISE OBSCURED, A 6-INCH BY 18-INCH GREEN REFLECTIVE METAL SIGN WITH 3-INCH REFLECTIVE NUMBERS/LETTERS SIMILAR TO HY-KO 911 OR EQUIVALENT SHALL BE PLACED AT THE ENTRANCE FROM THE NEAREST PUBLIC ROADWAY. SEE FIRE ORDINANCE FOR STANDARD SIGN.

7: ROOF COVERING: AS PER COASTSIDE FIRE DISTRICT ORDINANCE # 2013-03, THE ROOF COVERING OF EVERY NEW BUILDING AND MATERIALS APPLIED AS PART OF A ROOF COVERING ASSEMBLY, SHALL HAVE A MINIMUM FIRE RATING OF CLASS "B" OR HIGHER AS DEFINED IN THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE.

8: AUTOMATIC FIRE SPRINKLER SYSTEM: AS PER SAN MATEO COUNTY BUILDING STANDARDS AND COASTSIDE FIRE DISTRICT ORDINANCE NUMBER 2010-01, THE APPLICANT IS REQUIRED TO INSTALL AN AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT THE PROPOSED OR IMPROVED DWELLING AND GARAGE. ALL ATTIC ACCESS LOCATIONS WILL BE PROVIDED WITH A PILOT HEAD ON A METAL UPRIGHT. ALL AREAS THAT ARE ACCESSIBLE FOR STORAGE PURPOSES SHALL BE EQUIPPED WITH FIRE SPRINKLERS INCLUDING CLOSETS AND BATHROOMS. THE ONLY EXCEPTION IS SMALL LINEN CLOSETS LESS THAN 24 SQUARE FEET WITH FULL DEPTH SHELVING. THE PLANS FOR THIS SYSTEM MUST BE SUBMITTED TO THE SAN MATEO COUNTY PLANNING AND BUILDING DIVISION OR THE CITY OF HMB. A BUILDING PERMIT WILL NOT BE ISSUED UNTIL PLANS ARE RECEIVED, REVIEWED AND APPROVED. UPON SUBMISSION OF PLANS, THE COUNTY OR CITY WILL FORWARD A COMPLETE SET TO THE COASTSIDE FIRE DISTRICT FOR REVIEW. THE FEE SCHEDULE FOR AUTOMATIC FIRE SPRINKLER SYSTEMS SHALL BE IN ACCORDANCE WITH HALF MOON BAY ORDINANCE NO. 2006-01. FEES SHALL BE PAID PRIOR TO PLAN REVIEW.

9: INSTALLATION OF UNDERGROUND SPRINKLER PIPE SHALL BE FLUSHED AND VISUALLY INSPECTED BY FIRE DISTRICT PRIOR TO HOOK-UP TO RISER. ANY SOLDERED FITTINGS MUST BE PRESSURE TESTED WITH TRENCH OPEN.

10: EXTERIOR BELL AND INTERIOR HORN/STROBE: ARE REQUIRED TO BE WIRED INTO THE REQUIRED FLOW SWITCH ON YOUR FIRE SPRINKLER SYSTEM. THE BELL, HORN/STROBE AND FLOW SWITCH, ALONG WITH THE GARAGE DOOR OPENER ARE TO BE WIRED INTO A SEPARATE CIRCUIT BREAKER AT THE MAIN ELECTRICAL PANEL AND LABELED.

11: SOLAR PHOTOVOLTAIC SYSTEMS: THESE SYSTEMS SHALL MEET THE REQUIREMENTS OF THE COASTSIDE FIRE PROTECTION DISTRICT AS OUTLINED IN STANDARD DETAIL DI-001 SOLAR PHOTOYOLTAIC SYSTEMS.

12: FIRE ACCESS ROADS: THE APPLICANT MUST HAVE A MAINTAINED ASPHALT SURFACE ROAD FOR INGRESS AND EGRESS OF FIRE APPARATUS. THE SAN MATEO COUNTY DEPARTMENT OF PUBLIC WORKS, THE COASTSIDE FIRE DISTRICT ORDINANCE 2013-03 AND THE CALIFORNIA FIRE CODE SHALL SET ROAD STANDARDS. AS PER THE 2013 CFC, DEAD END ROADS EXCEEDING 150 FEET SHALL BE PROVIDED WITH A TURNAROUND IN ACCORDANCE WITH HALF MOON BAY FIRE DISTRICT SPECIFICATIONS. AS PER THE 2001 CFC, SECTION APPENDIX D, ROAD WIDTH SHALL NOT BE LESS THAN 20 FEET. FIRE ACCESS ROADS SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO COMBUSTIBLES BEING PLACED ON THE PROJECT SITE AND MAINTAINED DURING CONSTRUCTION. APPROVED SIGNS AND PAINTED CURBS OR LINES SHALL BE PROVIDED AND MAINTAINED TO IDENTIFY FIRE ACCESS ROADS AND STATE THE PROHIBITION OF THEIR OBSTRCTUTION. IF THE ROAD WIDTH DOES NOT ALLOW PARKING ON THE STREET (20 FOOT ROAD) AND ON-STREET PARKING IS DESIRED, AN ADDITIONAL IMPROVED AREA SHALL BE DEVELOPED FOR THAT USE.

13: FIRE APPARATUS ROADS TO BE A MINIMUM OF 20 FEET WIDE WITH A MINIMUM OF 35 FEET CENTELINE RADIUS AND A VERTICAL CLEARANCE OF 15 FEET CFC503, DI03, T-14 1213

FIRE APPARATUS ACCESS ROADS TO BE AN APPROVED ALL WEATHER SURFACE. GRADES 15% OR GREATER TO BE SURFACED WITH ASPHALT, OR BRUSHED CONCRETE. GRADES 15% OR GREATER SHALL BE LIMITED TO 150 FEET IN LENGTH WITH A MINIMUM OF 500 FEET BETWEEN THE NEXT SECTION. FOR ROADS APPROVED LESS THAN 20 FEET, 20 FEET WIDE TURNOUTS SHALL BE ON EACH SIDE OF 15% OR GREATER SECTION. NO GRADES OVER 20%. (PLAN AND PROFILE REQUIRED CFC 503)

14: "NO PARKING - FIRE LANE" SIGNS SHALL BE PROVIDED ON BOTH SIDES OF ROADS 20 TO 26 FEET WIDE AND ON ONE SIDE OF ROADS 26 TO 32 FEET WIDE. CFC DI 03.6

15: FIRE HYDRANT: AS PER 2013 CFC, APPENDIX B AND C, A FIRE DISTRICT APPROVED FIRE HYDRANT (CLOW 960) MUST BE LOCATED WITHIN 250 FEET OF THE PROPOSED SINGLE-FAMILY DWELLING UNIT MEASURED BY WAY OF DRIVABLE ACCESS. AS PER 2013 CFC. APPENDIX B THE HYDRAN MUST PRODUCE A MINIMUM FIRE FLOW OF 1,000 GALLONS PR MINUTE AT 20 POUNDS PER SQUARE INCH RESIDUAL PRESSURE FOR 2 HOURS. CONTACT THE LOCAL WATER PURVEYOR FOR WATER FLOW DETAILS

A: YEGETATION MANAGEMENT: THE COASTSIDE FIRE DISTRICT ORDINANCE 2013-03, THE 2013 CALIFORNIA FIRE CODE AND PUBLIC RESOURCES CODE 4291. A FUEL BREAK OF DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. IN SRA (STATE RESPONSIBLE AREA) THE FUEL BREAK IS 100 FEET OR TO THE PROPERTY LINE.

B: TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS. AND LIMBED UP 6 TO 10 FEET ABOYE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10 FEET TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY.

C: REMOVE THAT PORTION OF ANY EXISTING TREE, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5 FEET OF ANY STRUCTURE.

D: THE INSTALLATION OF AN APPROVED SPARK ARRESTER IS REQUIRED ON ALL CHIMNEYS - EXISTING AND NEW. SPARK ARRESTERS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12-GAUGE USA STANDARD WIRE HAVING OPENINGS NOT EXCEEDING 1/2".....NOTE: NO FIREPLACE FOR THIS DESIGN.

E: A FUEL BREAK OR DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES, EXISTING AND NEW, TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. THIS IS NEITHER A REQUIREMENT NOR AN AUTHORIZATION FOR THE REMOVAL OF LIVING TREES.

F: TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP 6 FEET ABOYE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10' TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY.

G: REMOVE THAT PORTION OF ANY EXISTING TREES, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5' OF ANY STRUCTURE. REMOVE THAT PORTION OF ANY EXISTING TREES, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5' OF ANY STRUCTURE, MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD

## MISC. PLAN NOTES & CONSTRUCTION OPERATION PLAN

1: UNDERGROUND SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE PACIFIC GAS \$ ELECTRIC COMPANY REQUIREMENTS. SEE COMPLETE INFO ON SHEET E-1

2: CLEANOUTS IN BLDG. SEWERS SHALL BE APPROVED IN ACCORDANCE WITH THE RULES, REGULATIONS AND ORDINANCES OF THE SEWER AUTHORITY. ALL CLEANOUTS SHALL BE MAINTAINED

3: THE CONSTRUCTION AREA SHALL BE IDENTIFIED AND DELINEATED BY FENCING OR FLAGGING TO LIMIT CONSTRUCTION ACTIVITY TO THE CONSTRUCTION AREA

4: SPECIAL INSPECTION REQUIRED FOR CONCRETE FOUNDATION GREATER THAN 2,500 P.S.I., EPOXY HOLDOWNS, HIGH STRENGTH BOLTS, SEISMIC RESISTANCE AND STRUCTURAL STEEL WELDING ₹ FOR SHEAR WALL NAILING SPACED 4" OR LESS. COMPLETE AND SUBMIT A STAMPED \$ SIGNED SPECIAL INSPECTION FORM FORM PRIOR TO PERMIT ISSUANCE.

5A: AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT IS REQUIRED PRIOR TO COMMENCING ANY WORK WITHIN THE MUNICIPALITY'S RIGHT OF WAY

5B: THE CONTRACTOR SHALL ADHERE TO ALL REQUIREMENTS OF THE BLDG. INSPECTION SECTION, THE DEPT. OF PUBLIC WORKS AND THE COASTSIDE FIRE PROTECTION DISTRICT.

6: PRIOR TO FINAL INSPECTION, PAINT THE ADDRESS NUMBER ON THE FACE OF THE CURB NEAR THE DRIVEWAY APPROACH WITH BLACK LETTERING ON A WHITE BACKGROUND. SEE COMPLETE NOTES ON SHEET A1.2

7: INCLUDE HOUSE ADDRESS: NUMERALS SHALL BE A MIN. 4" IN HEIGHT AND 3/4" STROKE OF CONTRASTING COLOR TOP THEIR BACKGROUND AND MUST BE LIGHTED DURING THE HOURS OF DARKNESS (SEE ELEVATION) FOR NEW CONSTRUCTION ONLY. SEE COMPLETE NOTES ON SHEET A1.2

8: COORDINATE UNDERGROUND CONSTRUCTION ACTIVITIES TO UTILIZE THE SAME JOINT TRENCH MINIMIZE THE AMOUNT OF TIME THE DISTURBED SOIL IS EXPOSED. THE SOIL IS TO BE REPLACED USING ACCEPTED COMPACTION METHODS.

9: STOCKPILE AND PROTECT DISPLACED TOPSOIL FOR REUSE

10: GENERAL CONTRACTOR (G.C.) TO VERIFY UTILITIES ARE MAINTAINED IN SAFE CONDITION AT TIMES OR REMOVE FROM SITE.

11: G.C. TO VERIFY ALL HAZARDOUS MATERIALS HAVE BEEN REMOVED.

12: G.C. TO VERIFY THAT THE WATER LINE THE BUILDING HAS BEEN CUT OFF AT THE PROPERTY LINE AND A HOSE BIB WITH A VACUUM BREAKER TYPE BACKFLOW PREVENTION DEVICE IS PROVIDED FOR DUST CONTROL.

13: IF THERE IS NO CONSTRUCTION TRAILER USED FOR THIS PROJECT, THE APPLICANT/CONTRACTOR SHALL REMOVE ALL CONSTRUCTION EQUIPMENT FROM THE SITE UPON COMPLETION OF THE USE AND/OR NEED OF EACH PIECE OF EQUIPMENT WHICH SHALL INCLUDE BUT NOT BE LIMITED TO TRACTORS, BACK HOES, CEMENT MIXERS, ETC.

14A: THE DEBRIS BOX TO BE LOCATED SOMEWHERE ON THE SITE. DEBRIS TO BE HAULED OFF-SITE TO AS NECESSARY. THE APPLICANT/CONTRACTOR SHALL MONITOR THE SITE TO ENSURE THAT TRASH IS PICKED UP AND APPROPRIATELY DISPOSED DAILY.

14B: THE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION EQUIPMENT FROM THE SITE UPON COMPLETION OF THE USE AND/OR NEED OF EACH PIECE OF EQUIPMENT WHICH SHALL INCLUDE BUT NOT LIMITED TO TRACTORS, BACK HOES, CEMENT MIXERS, ETC.

14C: THE CONTRACTOR SHALL ENSURE THE NO CONSTRUCTION-RELATED VEHICLES SHALL IMPEDE THROUGH TRAFFIC ALONG THE RIGHT-OF-WAY ON CYPRESS & PARK WAY. ALL CONSTRUCTION VEHICLES SHALL BE PARKED ON-SITE OUTSIDE OF THE PUBLIC RIGHT OF WAY OR IN LOCATIONS WHICH DO NOT IMPEDED SAFE ACCESS ON CYPRESS & PARK WAY. THERE SHALL BE NO STORAGE OF CONSTRUCTION VEHICLES IN THE PUBLIC RIGHT OF WAY.

15: NO SITE DISTURBANCES SHALL OCCUR, INCLUDING ANY GRADING OR TREE REMOVAL, UNTIL A BUILDING PERMIT HAS BEEN ISSUED AND THEN ONLY THOSE TREES APPROVED FOR REMOVAL SHALL BE REMOVED.

16: NOISE LEVELS PRODUCED BY THE PROPOSED CONSTRICTION ACTIVITY SHALL NOT EXCEED THE 80DBAS LEVEL AT ANY ONE MOMENT. CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THE HOURS FROM 7:00 A.M. TO 6 P.M., MONDAY THROUGH FRIDAY AND 9:00 A.M. TO 5:00 P.M. ON SATURDAY. CONSTRUCTION OPERATIONS SHALL BE PROHIBITED ON SUNDAY AND ANY NATIONAL HOLIDAY.

17: SURFACE RUNOFF FROM ALL IMPERVIOUS SURFACES SHALL BE DIRECTED TO THE DRY WELLS. SEE

18: IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE POSITIVE DRAINAGE IN ALL PAVED AND LANDSCAPE AREAS. SEE "GRADING, DRAINAGE & EROSION CONTROL PLAN" ON SHEET C-1. CONTRACTOR TO PROVIDE INTENT

19: SEE SEPARATE DRAINAGE PLAN BY SIGMA PRINE FOR OFFICIAL DESIGN OF EROSION CONTROL AND DRAINAGE PLAN

20. RAINWATER LEADERS (DOWNSPOUTS) TO TIE INTO UNDERGROUND DRAIN: SEE DRAINAGE PLAN ON SHEET C-1. SEE ALSO SHEET D3 FOR RWL CONNECTION DETAIL TO PIPE

21. MAINTAIN 6" MINIMUM CLEARANCE FROM SOIL TO BOTTOM OF SIDING. (8" FROM SILL).

22. DRAIN WATER AWAY FROM THE BUILDING. MAKE CERTAIN THAT ALL WATER DRAINS AND THERE IS NO PONDING.

23A: PRIOR TO THE ISSUANCE OF THE BLDG. PERMIT, THE APPLICANT/CONTRACTOR SHALL SUBMIT A DRIVEWAY "PLAN & PROFILE" TO THE DEPT. OF PUBLIC WORKS, SHOWING THE DRIVEWAY ACCESS TO THE PARCEL (GARAGE SLAB) COMPLYING WITH THE COUNTY STANDARDS FOR DRIVEWAY SLOPES (NOT TO EXCEEDED 20%) AND TO COUNTY STANDARDS (AT THE PROPERTY LINE) BEING THE SAME ELEVATIONS AS THE CENTER OF THE ACCESS ROADWAY. WHEN APPROPRIATE, AS DETERMINED BY THE DEPT. OF PUBLIC WORKS. THIS PLAN AND PROFILE SHALL BE PREPARED FROM ELEVATIONS AND ALIGNMENT SHOWN ON THE ROADWAY IMPROVEMENT PLANS, THE DRIVEWAY PLAN SHALL ALSO INCLUDE AND SHOW SPECIFIC PROVISIONS AND DETAILS FOR BOTH THE EXISTING AND THE PROPOSED DRAINAGE PATTERNS AND DRAINAGE FACILITIES.

23B: NO PROPOSED CONSTRUCTION WORK WITHIN THE COUNTY RIGHT OF WAY SHALL BEGIN UNTIL THE COUNTY REQUIREMENTS FOR THE ISSUANCE OF AN ENCROACHMENT PERMIT, INCLUDING REVIEW OF THE PLANS HAVE BEEN MET AND AN ENCROACHMENT PERMIT ISSUED. THE APPLICANT/CONTRACTOR SHALL CONTACT THE DEPT. OF PUBLIC WORKS INSPECTOR 48 HOURS PRIOR TO COMMENCING WORK IN THE RIGHT OF WAY.

23C: PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT, THE APPLICANT WILL BE REQUIRED TO PROVIDE PAYMENT OF ROADWAY MITIGATION FEES" BASED ON THE SQUARE FOOTAGE (ASSESSABLE SPACE) OF THE PROPOSED BUILDING PER ORDINANCE NO. 3277.

24D: THE APPLICANT SHALL SUBMIT A PERMANENT STORMWATER MANAGEMENT PLAN IN COMPLIANCE WITH THE COUNTY'S DRAINAGE POLICY AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYTEM (NPDES) REQUIREMENT FOR REVIEW AND APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS.

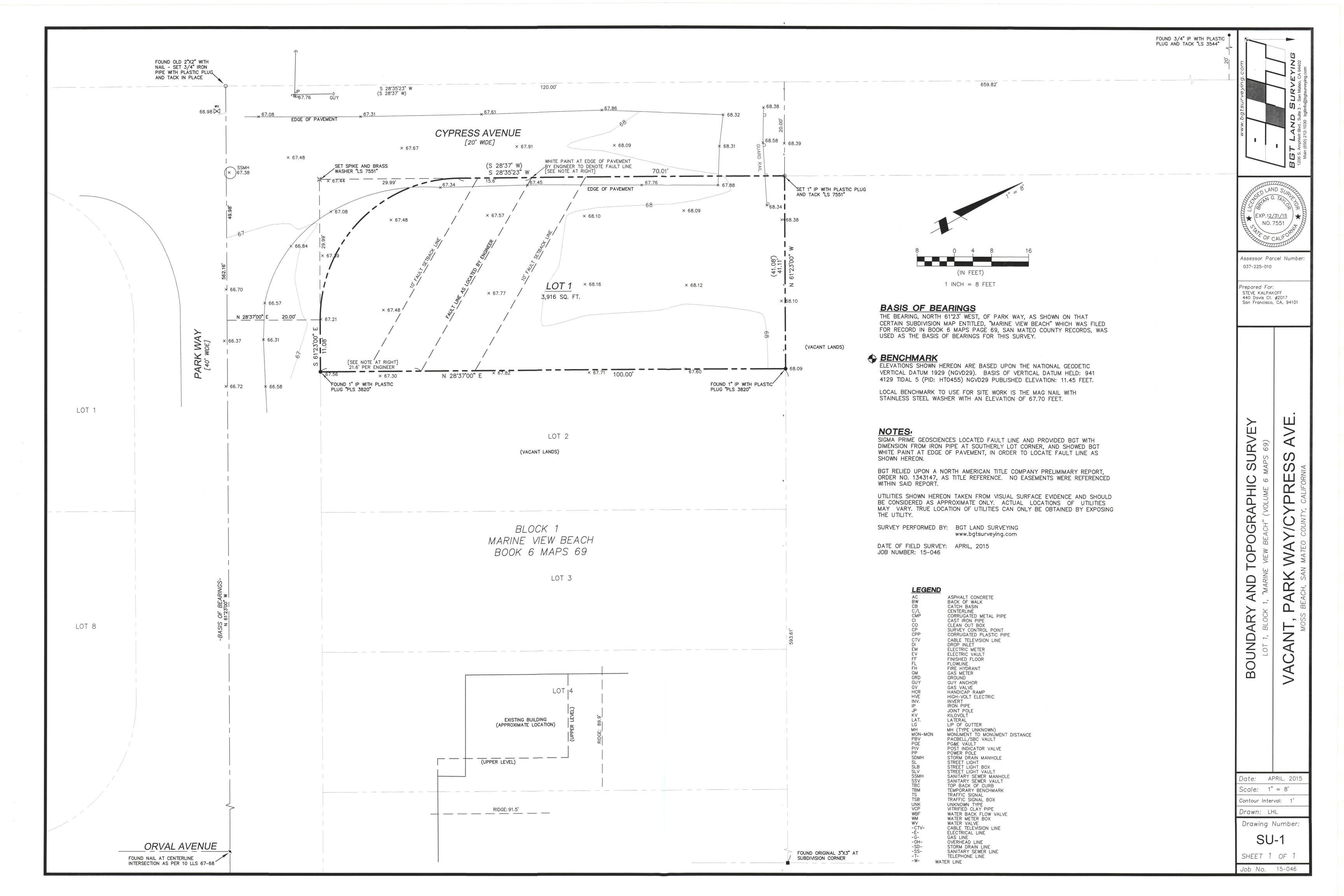
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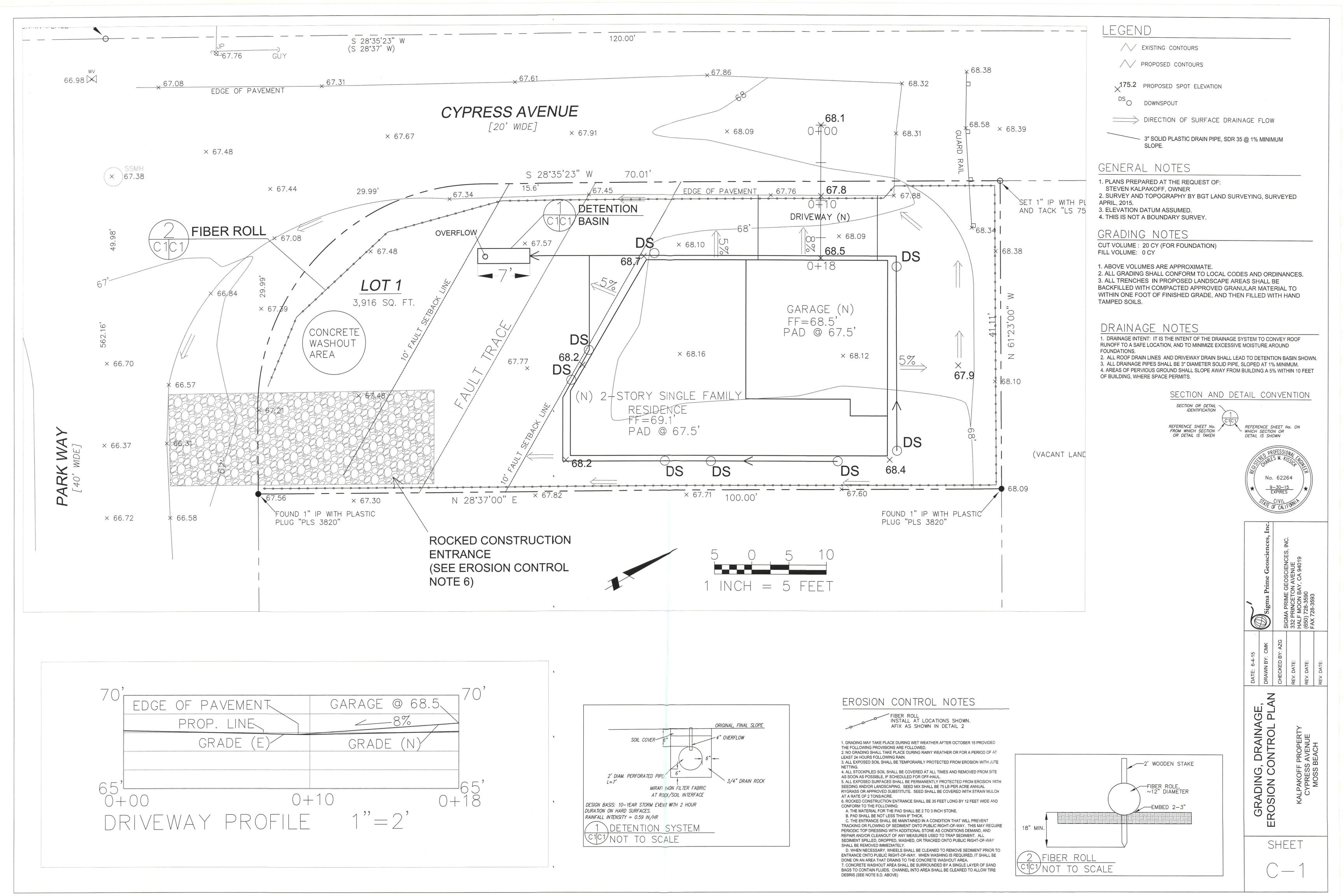
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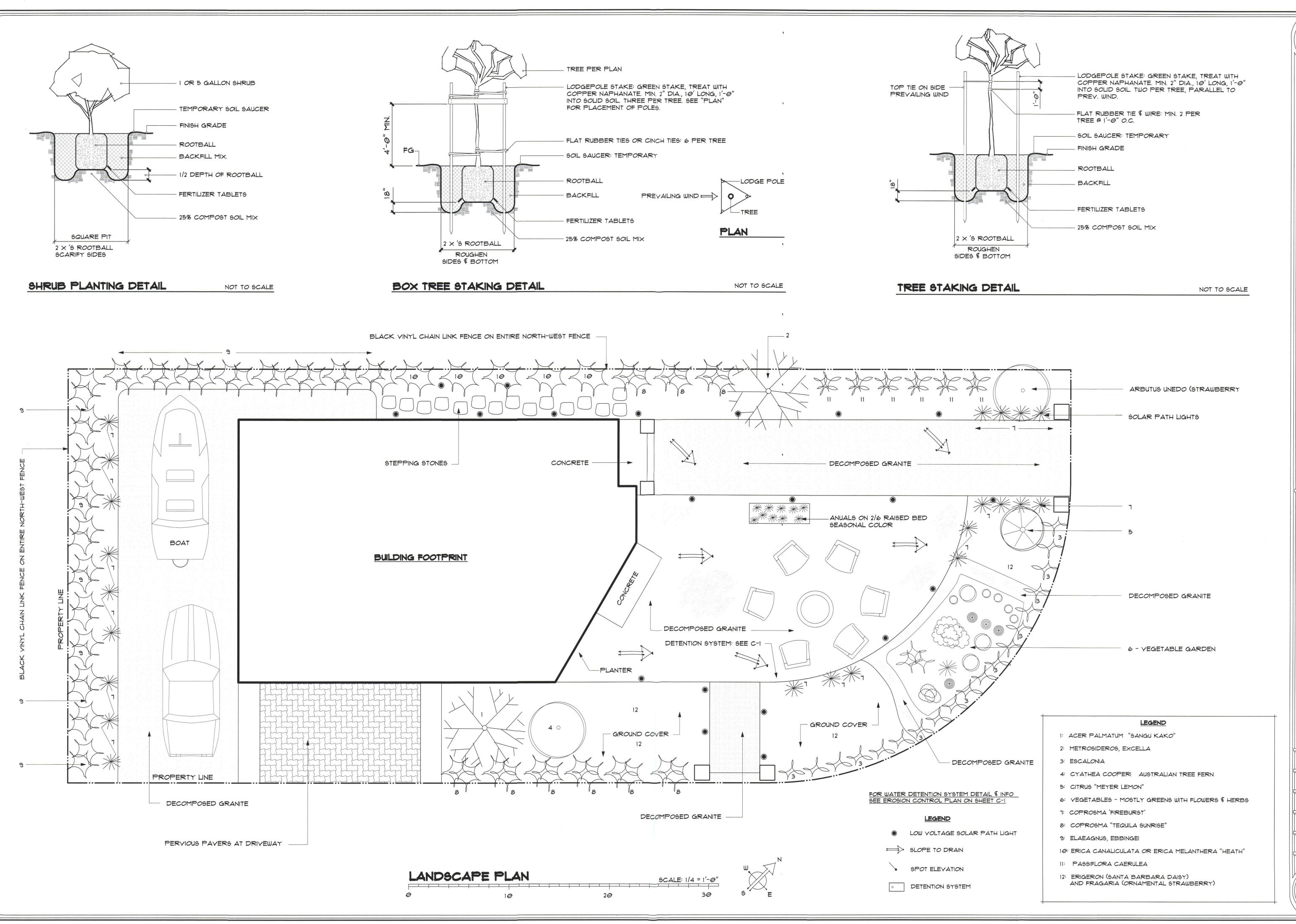
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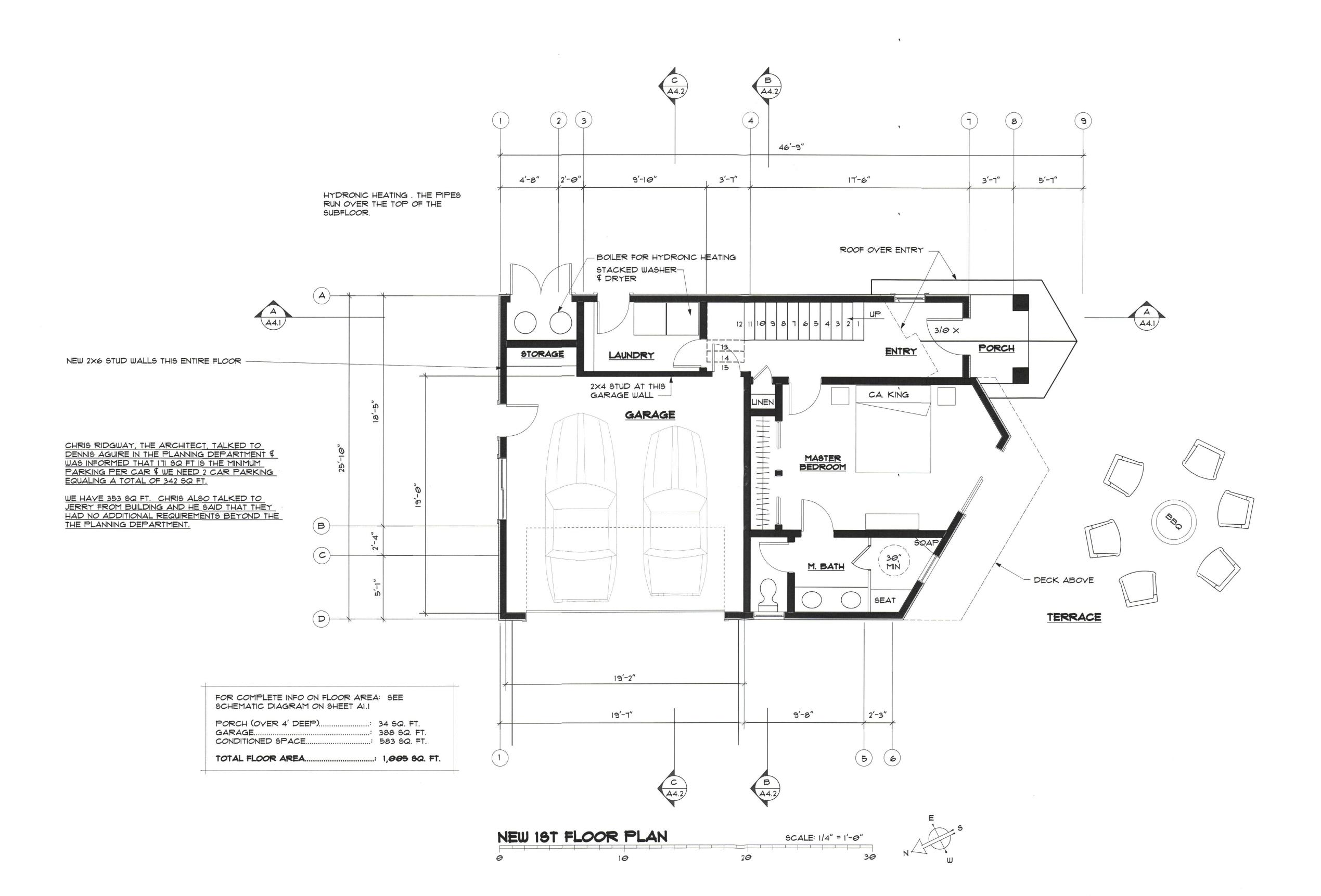
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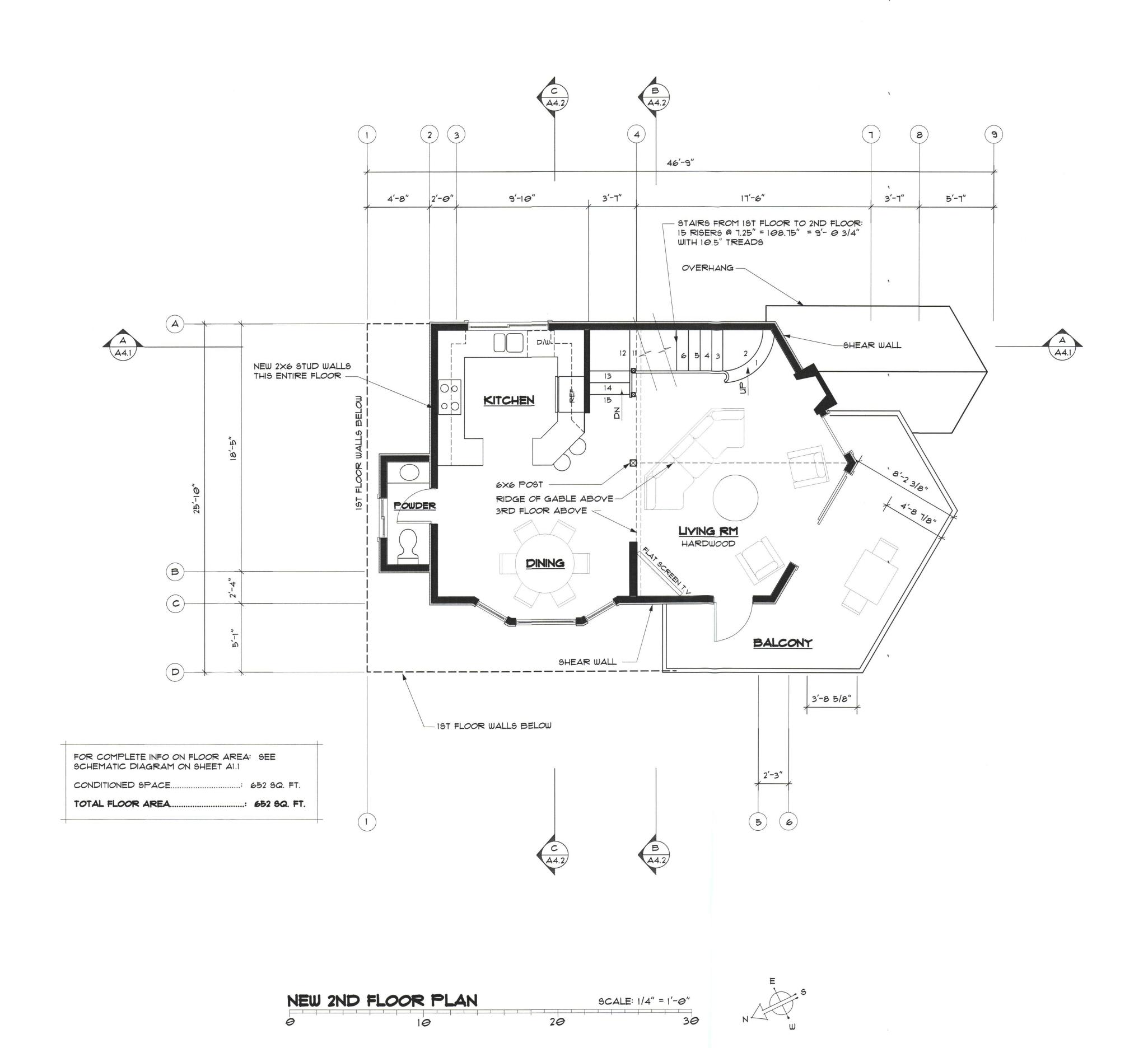
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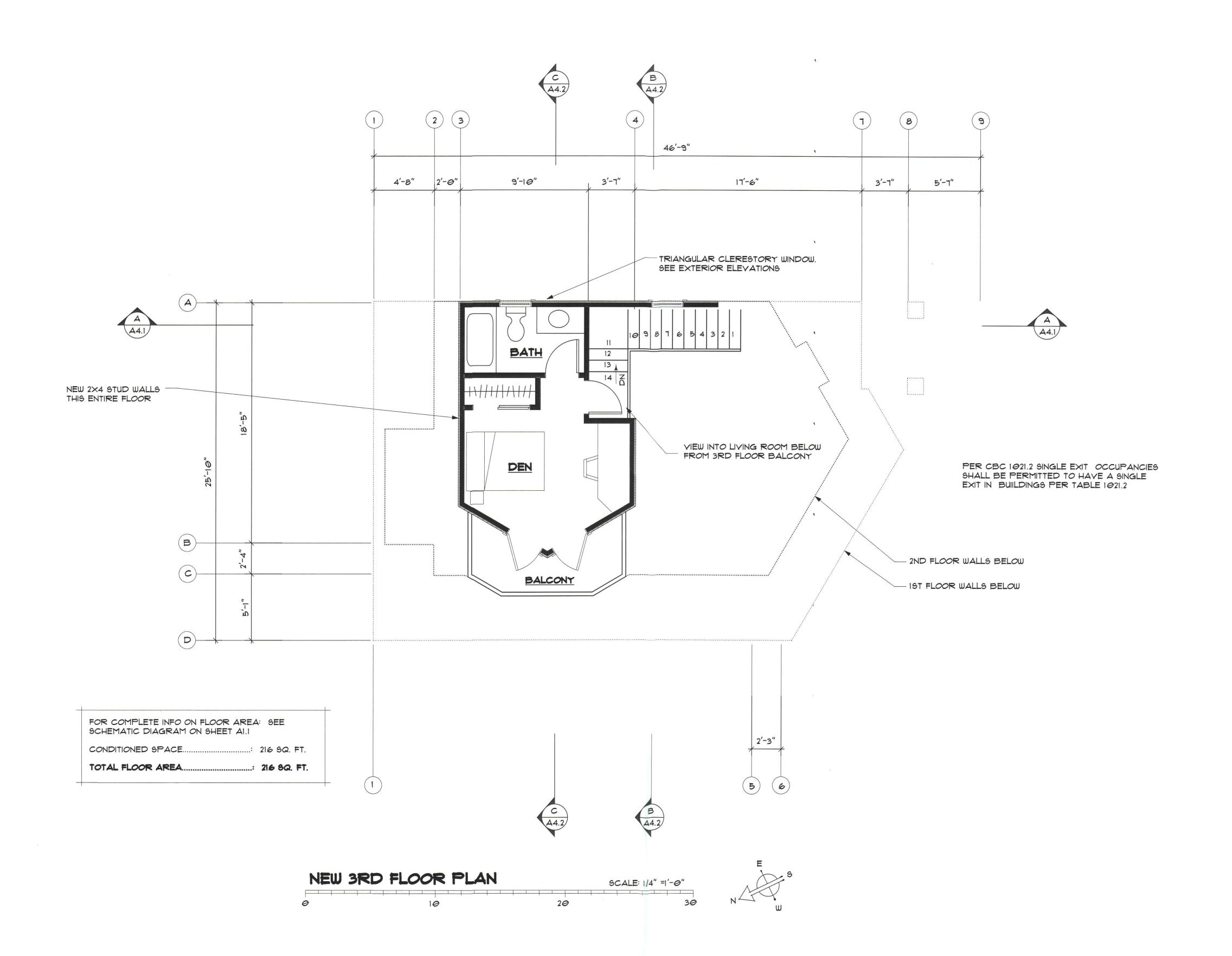


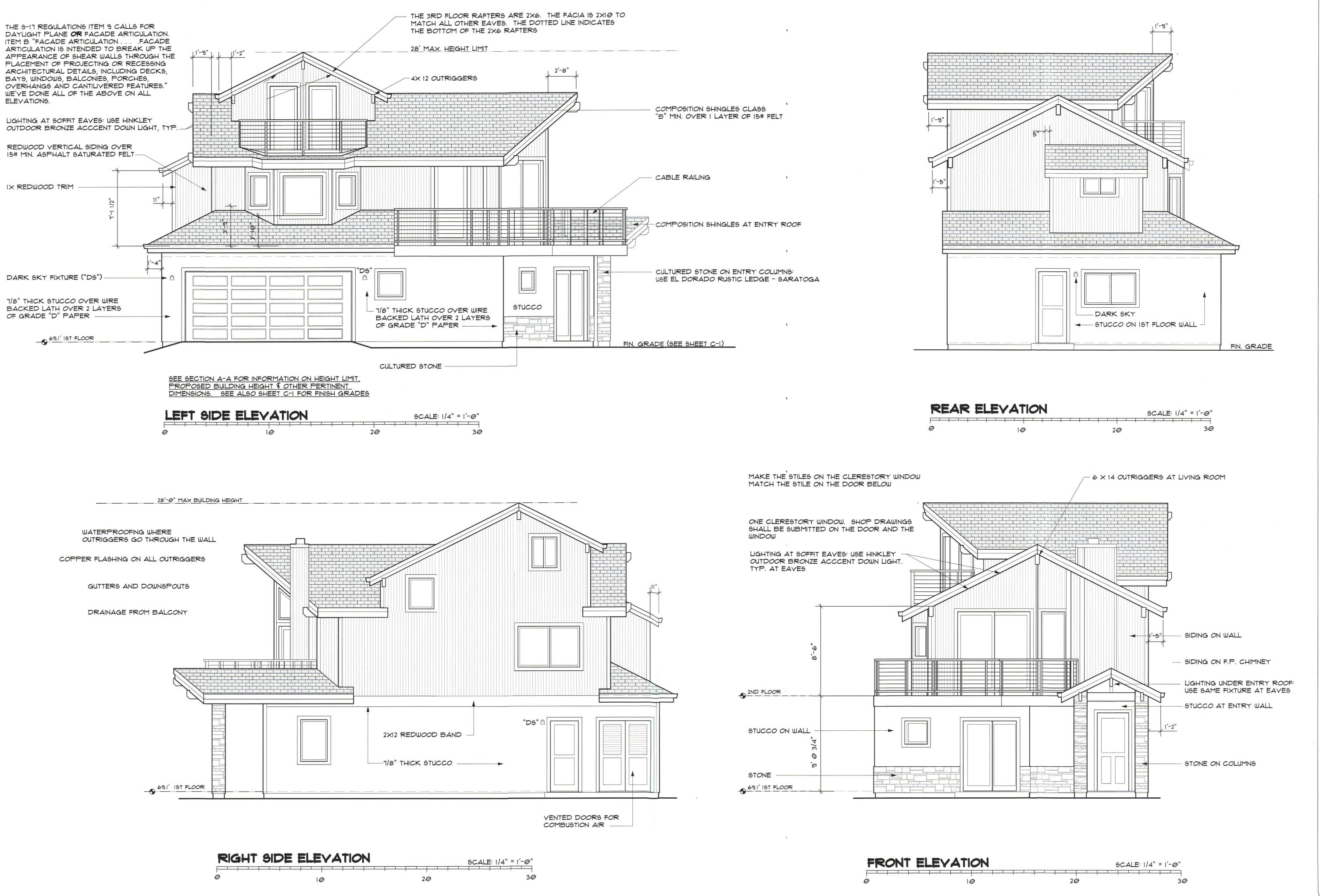


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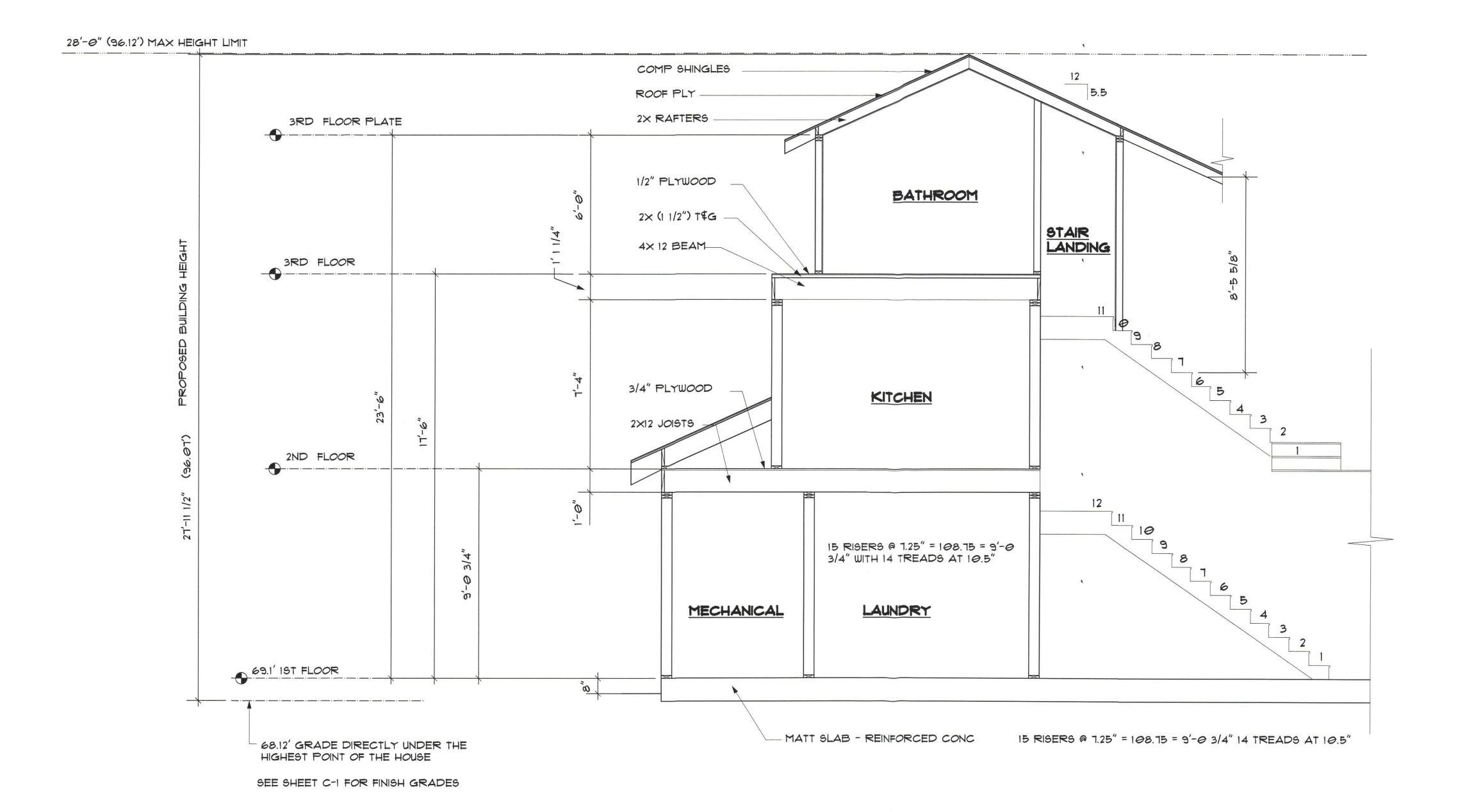
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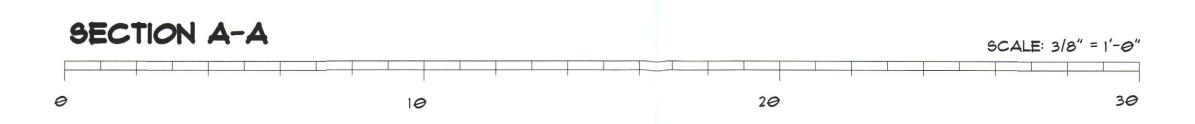
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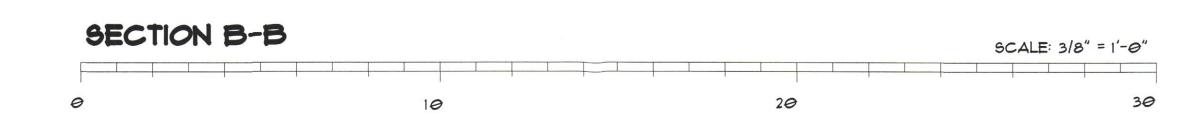
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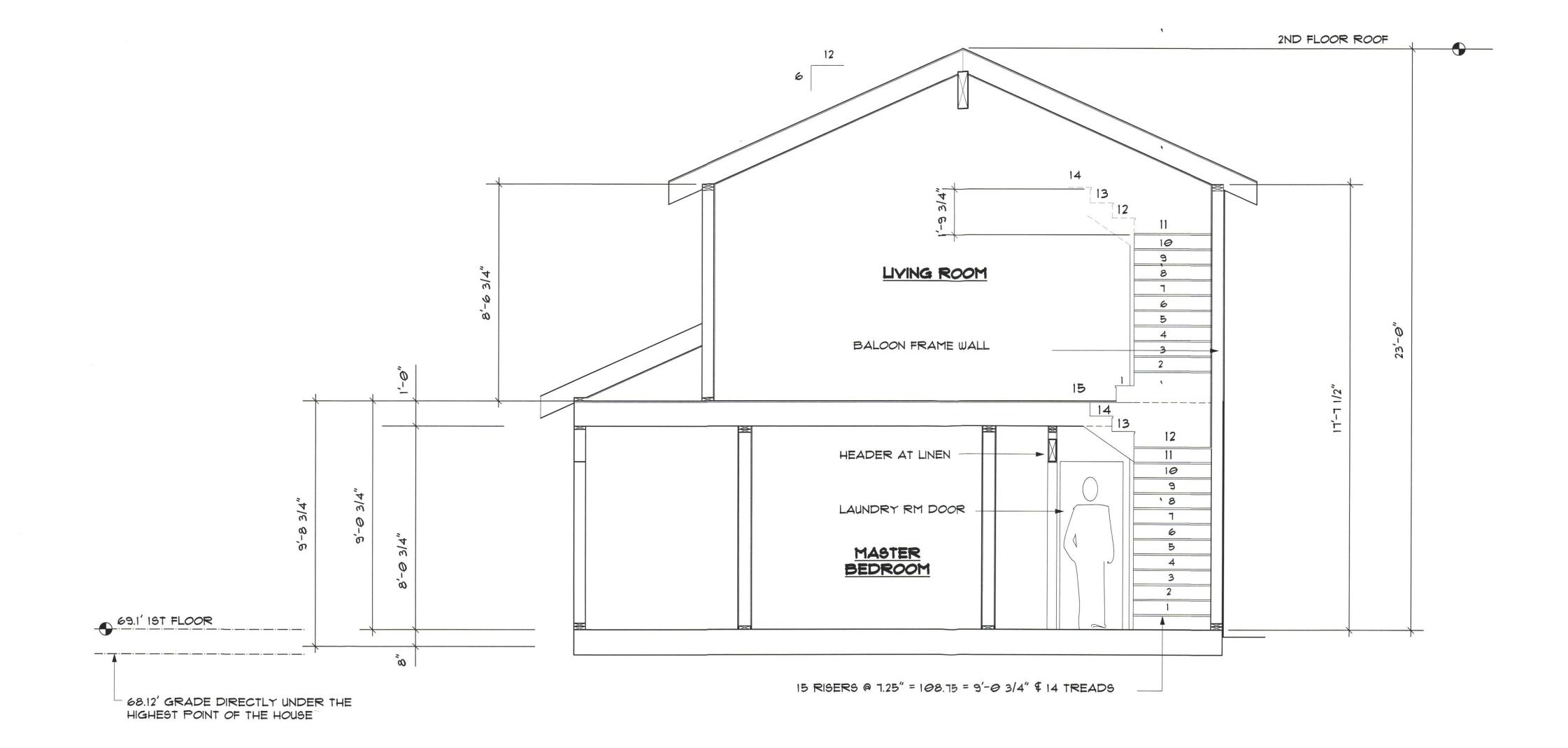
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SCALE AS NOTED DATE 06/15/15





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JOB # 1501

SCALE AS NOTED DATE 06/15/15

