

Project Site

Moss Beach

0.14 0 0.07 0.14 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.

1:4,514



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THIS MAP IS NOT TO BE USED FOR NAVIGATION

# Planning Permit Application Form

455 County Center, 2nd Floor • Redwood City CA 94063  
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849  
www.co.sanmateo.ca.us/planning

PLN: 2015 - 00243  
BLD: \_\_\_\_\_

### Applicant/Owner Information

Applicant: Steve Kalpakoff  
Mailing Address: 440 Davis Ct. #2017 San Francisco CA Zip: 94111  
Phone, W: 415.699.7177 H: \_\_\_\_\_  
E-mail Address: Kalpakoffs@yahoo.com FAX: \_\_\_\_\_

Name of Owner (1): \_\_\_\_\_  
Mailing Address: Same as applicant  
Zip: \_\_\_\_\_  
Phone, W: \_\_\_\_\_  
H: \_\_\_\_\_  
E-mail Address: \_\_\_\_\_

Name of Owner (2): \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
Zip: \_\_\_\_\_  
Phone, W: \_\_\_\_\_  
H: \_\_\_\_\_  
E-mail Address: \_\_\_\_\_

### Project Information

Project Location (address): Park Way & Cypress Moss Beach  
Zoning: R-1/S-17/DR/GH/CP

Assessor's Parcel Numbers: 039 225 010  
\_\_\_\_\_  
\_\_\_\_\_  
Parcel/lot size: 3,916 SF (Square Feet)

List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)  
We are proposing a new wood framed three story residence. The relatively small footprint is designed to capture the views, but is sensitive in its scale. The home is tapered & articulated so it's not a box.

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):  
The lot is very flat. The Civil Engineer has designed the grading & drainage to capture surface water into a detention basin.

Describe Existing Structures and/or Development:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

### Signatures

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature: [Signature]  
Owner's signature: \_\_\_\_\_  
Applicant's signature: [Signature]

# Application for Design Review by the County Coastside Design Review Committee

County Government Center ■ 455 County Center ■ Redwood City CA 94063  
Mail Drop PLN 122 ■ 650.363.4161 ■ FAX 650.363.4849

Permit #: PLN 2015 - 00243

Other Permit #: \_\_\_\_\_

### Applicant:

Name: Steve Kalpakoff

Address: 440 Davis Ct #2017

San Francisco CA Zip: 94111

Phone: 415.699.7177 H: \_\_\_\_\_

Email: Kalpakoffse@yahoo.com

### Owner (if different from Applicant): Same

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Zip: \_\_\_\_\_

Phone, W: \_\_\_\_\_ H: \_\_\_\_\_

Email: \_\_\_\_\_

### Architect or Designer (if different from Applicant):

Name: CHRIS RIDGWAY ARCHITECT, INC.

Address: 670 Poplar St HMB CA Zip: 94019

Phone: 415.622.6301 H: \_\_\_\_\_ Email: crarchitect@coastside.net

### Project location:

APN: 037 225 010

Address: Park Way

Zip: \_\_\_\_\_

Zoning: R 1/S 17/DR/CH/CD

Parcel/lot size: \_\_\_\_\_ sq. ft.

### Site Description:

- Vacant Parcel
- Existing Development (Please describe): \_\_\_\_\_

### Project:

- New Single Family Residence: 1,873 sq. ft.
- Addition to Residence: \_\_\_\_\_ sq. ft.
- Other: \_\_\_\_\_

### Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
  - Fence Height Exception (not permitted on coast)
  - Grading Permit or Exemption
  - Home Improvement Exception
- Non-Conforming Use Permit
  - Off-Street Parking Exception
  - Variance

### Describe Project:

Construction of a new wood framed, three story residence

**Materials and Finish of Proposed Buildings or Structures**

Fill in Blanks:	Material	Color/Finish (If different from existing, attach sample)	Check if matches existing
a. Exterior walls	Siding & stucco		<input type="checkbox"/>
b. Trim	Redwood		<input type="checkbox"/>
c. Windows	vinyl		<input type="checkbox"/>
d. Doors	vinyl		<input type="checkbox"/>
e. Roof	Comp shingles		<input type="checkbox"/>
f. Chimneys	Siding	See Color	<input type="checkbox"/>
g. Decks & railings	Cable railing	Board	<input type="checkbox"/>
h. Stairs	(No exterior)		<input type="checkbox"/>
i. Retaining walls	N/A		<input type="checkbox"/>
j. Fences	None		<input type="checkbox"/>
k. Accessory buildings	N/A		<input type="checkbox"/>
l. Garage/Carport	stucco		<input type="checkbox"/>

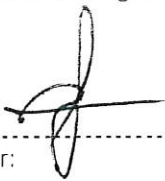
**Statement of Compliance**

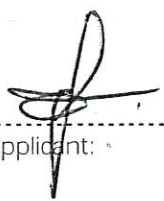
To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

- (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

**Signatures**

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner: 

Applicant: 

Date: 6/5/15

Date: 6/5/15

# Application for a Coastal Development Permit

455 County Center, 2nd Floor • Redwood City, CA 94063  
 Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

## Companion Page

Applicant's Name: Steve Kalpakoff  
 Primary Permit #: PLN 2015-00243

### 1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Coastal Development Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

### 2. Basic Information

Does the owner or applicant own any adjacent property not listed?  
 Yes  No

Have you or anyone else previously applied to either the County of San Mateo or the California Coastal Commission for a Coastal Development Permit for this or a similar project at this location?  
 Yes  No

If yes, list Assessor's Parcel Number(s):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

If yes, explain (include date and application file numbers).  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

### 3. Materials and Finish of Proposed Buildings or Structures

Note: By completing this section you do not need to file a separate application for Design Review Approval.

Fill in Blanks:	Material	Color/Finish	Check if matches existing
a. Exterior Walls	Siding & Stucco	Green Color Board	<input type="checkbox"/>
b. Trim	Redwood		<input type="checkbox"/>
c. Roof	Comp Shingles		<input type="checkbox"/>
d. Chimneys	Siding		<input type="checkbox"/>
e. Accessory Buildings	n/a		<input type="checkbox"/>
f. Decks/Stairs	Cable railing		<input type="checkbox"/>
g. Retaining Walls	n/a		<input type="checkbox"/>
h. Fences	None		<input type="checkbox"/>
i. Storage Tanks	n/a		<input type="checkbox"/>

## 4. Project Information

Does this project, the parcel on which it is located or the immediate vicinity involve or include:

- |   | Yes                                 | No                                  |
|---|-------------------------------------|-------------------------------------|
| a. Demolition of existing housing units? (If yes, give value of owner-occupied units or current monthly rent of rental units in explanation below.) | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| b. Creeks, streams, lakes or ponds?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| c. Wetlands (marshes, swamps, mudflats)?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| d. Beaches?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| e. Sand Dunes?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| f. Sea cliff, coastal bluffs or blufftops?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| g. Ridgetops?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| h. Pampas Grass, invasive brooms or Weedy Thistle?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| i. Removal of trees or vegetation?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| j. Grading or alteration of landforms?  | <input type="checkbox"/>            | <input type="checkbox"/>            |
| k. Landscaping?   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| l. Signs?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| m. Phone or utility line extensions or connections, either above or below ground (explain which)?   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| n. Areas subject to flooding?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| o. Development on slopes 30% or steeper?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

- |  |                          |                                     |
|--|--------------------------|-------------------------------------|
| p. Between the sea and the nearest public road?                        | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| q. Existing or proposed provisions for public access to the shoreline? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| r. Public or commercial recreation facilities?                         | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| s. Visitor-serving facilities?   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| t. Existing or proposed public trail easements?                        | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Explain all Yes answers below.** Indicate whether the item applies to the project itself, the parcel on which it is located, or the immediate vicinity (attach additional sheets if necessary):

F: New landscaping design to be implemented

M: All utilities to be underground

## 5. Staff Use Only

### California Coastal Commission Jurisdiction

**A.** Does the Proposed Project Involve:

- A subdivision, Certificate of Compliance Type B, Use Permit, or Planned Agricultural District Permit?
 

<input type="checkbox"/> Yes	<input type="checkbox"/> No
------------------------------	-----------------------------
- Construction or grading within 100 feet of a stream or wetland?
 

<input type="checkbox"/> Yes	<input type="checkbox"/> No
------------------------------	-----------------------------
- A parcel located between the sea and the first public through road paralleling the sea; 300 feet from the inland extent of any beach or mean high tide line if there is no beach; or within 300 feet of the top of the seaward face of a coastal bluff?
 

<input type="checkbox"/> Yes	<input type="checkbox"/> No
------------------------------	-----------------------------

Yes to any one of the above means that the Coastal Development Permit is appealable to the Coastal

Commission; a public hearing is always required.

**B.** Does the proposed project involve lands below the mean high tide line and lands where the public trust may exist? (See "Post CCP Certification Permit and Appeal Jurisdiction Map).

<input type="checkbox"/> Yes	<input type="checkbox"/> No
------------------------------	-----------------------------

Yes to above means that the California Coastal Commission retains permit jurisdiction over all or part of the proposed project. A Coastal Development Permit from that agency is required.

Reviewed by: \_\_\_\_\_

# Application for a Use Permit

## Companion Page

Applicant's Name : Steve Kalpakoff  
Primary Permit #: PLN 2015-00243

### 1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Use Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

### 2. Project Information

This application is for:  Initial Use Permit  
 Renewal or Administrative Review of Existing Use Permit Original Permit #: \_\_\_\_\_  
 Amendment to an Existing Use Permit Original Permit #: \_\_\_\_\_

If an initial permit, please describe specifics of proposed operation (ie. hours of business, number of employees, activities, etc.).  
If an amendment to an existing permit, please describe the specific proposed changes in the operation.

Single Family Residence is what is proposed.

There is a fault that runs through the property. The owner has met with Jean DeMouthie, the county's geologist & Sigma Prime Geosciences & determined we need to stay 10' away from the fault. This severely limits the buildable

### 3. Required Finding

To approve this application, the County must determine that this project complies with all applicable regulations including the following specifically required finding:

**That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, be detrimental to the public welfare or injurious to property or improvements in the neighborhood.**

Write a brief statement in which you present evidence to support the required finding.

area. See attached letter for how we designed the home to work around this limitation.

SEE FINDING ON REAR SIDE OF THIS PAPER

- A) We meet the site coverage, floor area & height limitations.
- B) The owner has inquired about the adjacent properties. The neighbor to the east does not want to sell. The neighbor to the west, the land is tied up into a trust.
- C) The proposed home is in compliance, within the site coverage, the floor area & height limit. Because of the very limited area to build on, we are asking for an exception to the rear setback only. See attached letter.
- D) The new house will not be detrimental to the public welfare.
- E) The property is unique because of the fault that runs through it. Granting this exception will not set a precedence that would apply to other properties. We are only asking for an exception because so the lot is developable, just like the other homes in this area.



**Environmental Information Disclosure Form**

Planning and Building Department

PLN 2015-00243  
BLD \_\_\_\_\_

Project Address:  
Park Way & Cypress  
Moss Beach

Name of Owner: Steve Kalpakoff  
Address: 440 Davis Ct #2017  
S.F. 94111 Phone: 415.699.7177

Assessor's Parcel No.: \_\_\_\_\_  
037 225 010  
Zoning District: R-1/S-17/DR/H/CD

Name of Applicant: same as owner  
Address: \_\_\_\_\_  
Phone: \_\_\_\_\_

**Existing Site Conditions**

Parcel size: 3,910 sq. ft.

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). \_\_\_\_\_

**Environmental Review Checklist**

**1. California Environmental Quality Act (CEQA) Review**

Yes	No	Will this project involve:
	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) ( ≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
<input checked="" type="checkbox"/>		e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation: <u>18</u> c.y. Fill: _____ c.y.
	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
<input checked="" type="checkbox"/>		i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:  
We are 10 feet away from the fault line as determined by this required setback

Signature required on reverse →

## 2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
	<input checked="" type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?
Please explain any "Yes" answers:		

## 3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
	<input checked="" type="checkbox"/>	a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u> If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
	<input checked="" type="checkbox"/>	b. <u>Land disturbance of 1 acre or more of area?</u> If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <u>prior</u> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

## Certification

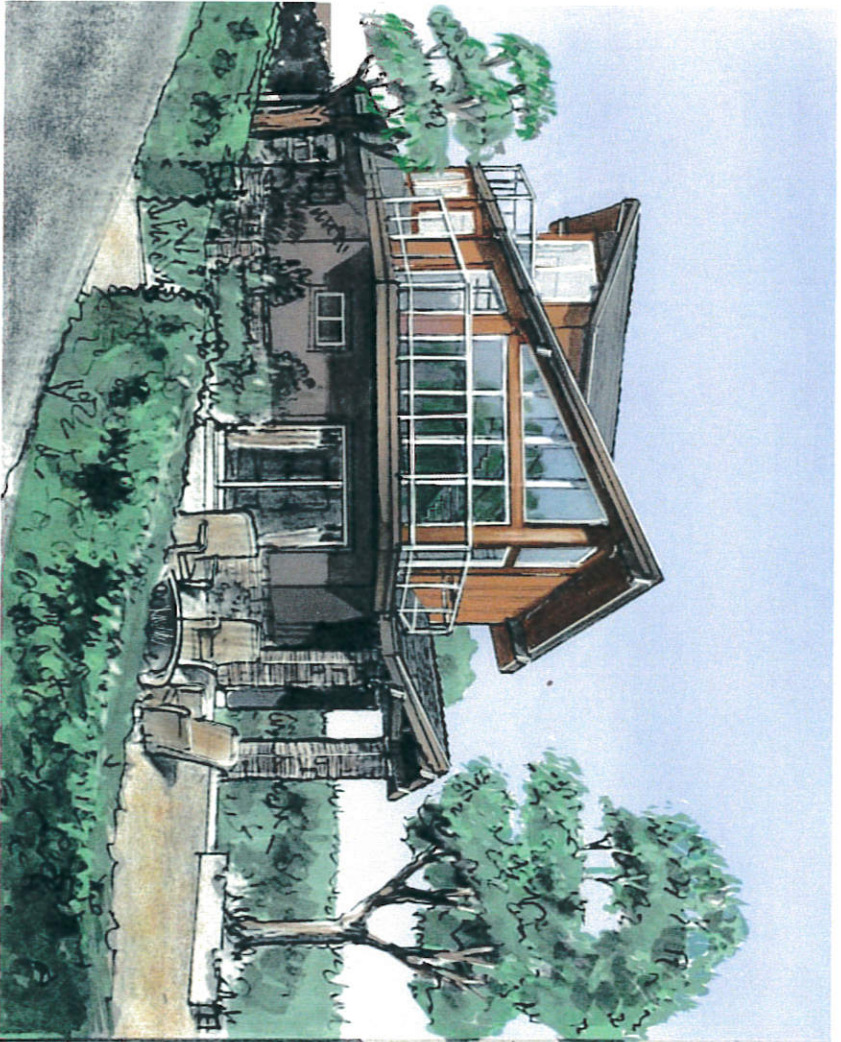
I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed: \_\_\_\_\_

(Applicant may sign)

Date: 6/5/15

# COLOR BOARD STEVE KALPAKOFF



**ROOF**  
Composition shingles, GAF  
Timberline in "Charcoal"



**EAVES & OUTRIGGERS**  
Wood painted Benjamin Moore  
"Black Bean Soup" 2130-10



**UPSTAIRS WALLS**  
Cedar Siding stained to match  
Cabot "Mahogany Flame"



**DOWNSTAIRS WALLS**  
Stucco Painted: Benjamin Moore  
"Mustang" 2111-30



**WINDOWS AND BALCONY  
RAILS**  
In white



**CULTURED STONE**  
Eldorado Stone Rustic Ledge  
In "Saratoga"

CHRIS RIDGWAY ARCHITECT

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Rustic Ledge

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[View Larger Photo](#) Saratoga Rustic Ledge



Eldorado's Rustic Ledge is a textured and layered full-scale ledge stone with long dimensional stones. Split along parallel planes, the stones possess distinctive textural foliation and pronounced rock cleavage. The stone sizes range from 1 to 4.5 inches in height and 6 to 20 inches in length with an average of 3 by 15 inches.

Nationwide Colors



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[Sawtooth](#)

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JUN 11 2015

San Mateo County  
Planning Division

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**Sale** Shop by Room/Trends Store Locations Rate Us 800-782-1967

LAMPS PLUS | Dark Sky | Kirkham 8 1/2" Wide Dark Sky Outdoor Wall Light

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## Kirkham 8 1/2" Wide Dark Sky Outdoor Wall Light

Style # 48404

[Read 28 Reviews](#) [Write a Review](#)

Warmly styled outdoor wall light is Dark Sky regulation approved for full cut-off.

**\$56.60 + FREE SHIPPING & FREE RETURNS\***

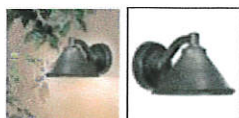
[Low Price Guarantee](#)

QTY:

Save Energy! Purchase with a dimmer

[In Stock - Ships in 1 to 2 Days](#) | [Check Store Availability](#)

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13

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Light the night, but not the night sky, with this Dark Sky regulation approved wall light. A bent arm extends the light housing away from the wall and directs light downward. Rated for full cut-off, the design features a warm hammered Aspen bronze finish. From Minka's Kirkham lighting collection.

- Hammered Aspen bronze finish.
- Takes one 60 watt A15 bulb (not included).
- 6" high.
- 8 1/2" wide.
- Extends 10 1/2" from the wall.

**MINKA  
LAVERY**

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JUN 11 2015

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\$62.90



\$62.90



\$93.06



\$72.27

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LAMPS PLUS | Exterior Downlights | Hinkley Outdoor Bronze Accent Down Light

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## Hinkley Outdoor Bronze Accent Down Light

Style # 3R262

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This outdoor down light in bronze makes a beautiful landscape lighting accent.

**\$65.56 + FREE SHIPPING & FREE RETURNS\***

[Low Price Guarantee](#)

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San Mateo County  
Planning Division

Add directed illumination and chic style to your exterior spaces with this cast aluminum outdoor down light. Finished in warm bronze, this cylinder light features a round, hex louver lens. Install on a wall or a mount stem with hardware sold separately. A great design from the Hinkley landscape lighting collection.

- Accent lighting outdoor down light.
- Cast aluminum construction.
- Matte bronze finish.
- Hex louver for down light only.
- Includes one MR16 50 watt bulb.
- From Hinkley outdoor lighting.
- 3 1/4" high.
- 5 3/4" deep.
- 2 1/2" high lens.

**HINKLEY**  
LIGHTING

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\$110.00



\$87.78



\$143.34



\$106.00

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**CHRIS RIDGWAY ARCHITECT, INC.**  
 610 POPLAR STREET, HALF MOON BAY, CA 94019  
 PH: 656.622-6591 WEB SITE: CRARCHITECT.NET  
 EMAIL: CRARCHITECT@COASTSIDE.NET

NEW RESIDENCE FOR:  
**STEVE KALPAKOFF**  
 PARKWAY & CYPRESS, MOSS BEACH, CA A.P.N. 031-225-010

JOB # 1501  
 SCALE AS NOTED  
 DATE 06/15/15

SHEET  
**A1.1**

ALL CONSTRUCTION SHALL CONFORM TO:  
 2013 CALIFORNIA RESIDENTIAL CODE  
 2013 CALIFORNIA BUILDING CODE  
 2013 CALIFORNIA MECHANICAL CODE  
 2013 CALIFORNIA PLUMBING CODE  
 2013 CALIFORNIA FIRE CODE  
 2013 CALIFORNIA ELECTRICAL CODE  
 2013 CALIFORNIA ENERGY CODE  
 2013 CALGREEN BUILDING CODE STANDARDS

OCCUPANCY GROUP: R3-U  
 TYPE OF CONSTRUCTION: TYPE V-B  
 SCOPE OF WORK: CONSTRUCTION OF A NEW WOOD FRAMED, THREE STORY RESIDENCE  
 FIRE SPRINKLERS REQUIRED

PLANNING DEPARTMENT: COUNTY OF SAN MATEO  
 PLANNER WHO GAVE THE INFORMATION:  
 ZONING: R-1/S-11/DR/CH/CD  
 A.P.N. # 031-225-010

AREA INCLUDED IN		SQUARE FOOTAGE	AREA
SITE COVERAGE	FLOOR AREA		
X	X	583	FIRST FLOOR EXCLUDING GARAGE
X	X	388	GARAGE
X	X	34	PORCH (OVER 4") COUNTS TOWARD F.A.R.
X	X	<b>1,005</b>	<b>TOTAL FIRST FLOOR</b>

X		<b>652</b>	<b>SECOND FLOOR</b>
X*		181	2ND STORY BALCONY - *60 SQ FT COUNTS TOWARD PROPERTY COVERAGE

X		<b>216</b>	<b>THIRD FLOOR</b>
X**		61	THIRD STORY BALCONY - **0 SQ FT TOWARD PROPERTY COVERAGE

X		<b>1,813</b>	<b>TOTAL FLOOR AREA</b>
---	--	--------------	-------------------------

1,005	OUR SITE COVERAGE	27%
35%	PERCENTAGE OF SITE COVERAGE	
3,916	LOT SIZE	
1,310	MAXIMUM SITE COVERAGE ALLOWED	
305	SQ FT UNDER THE MAXIMUM	

1,813	OUR TOTAL FLOOR AREA	48% (47.5%)
48%	PERCENTAGE OF FLOOR AREA ALLOWED	
3,916	LOT SIZE	
1,800	MAXIMUM FLOOR AREA ALLOWED	
01	SQ FT UNDER THE MAXIMUM	

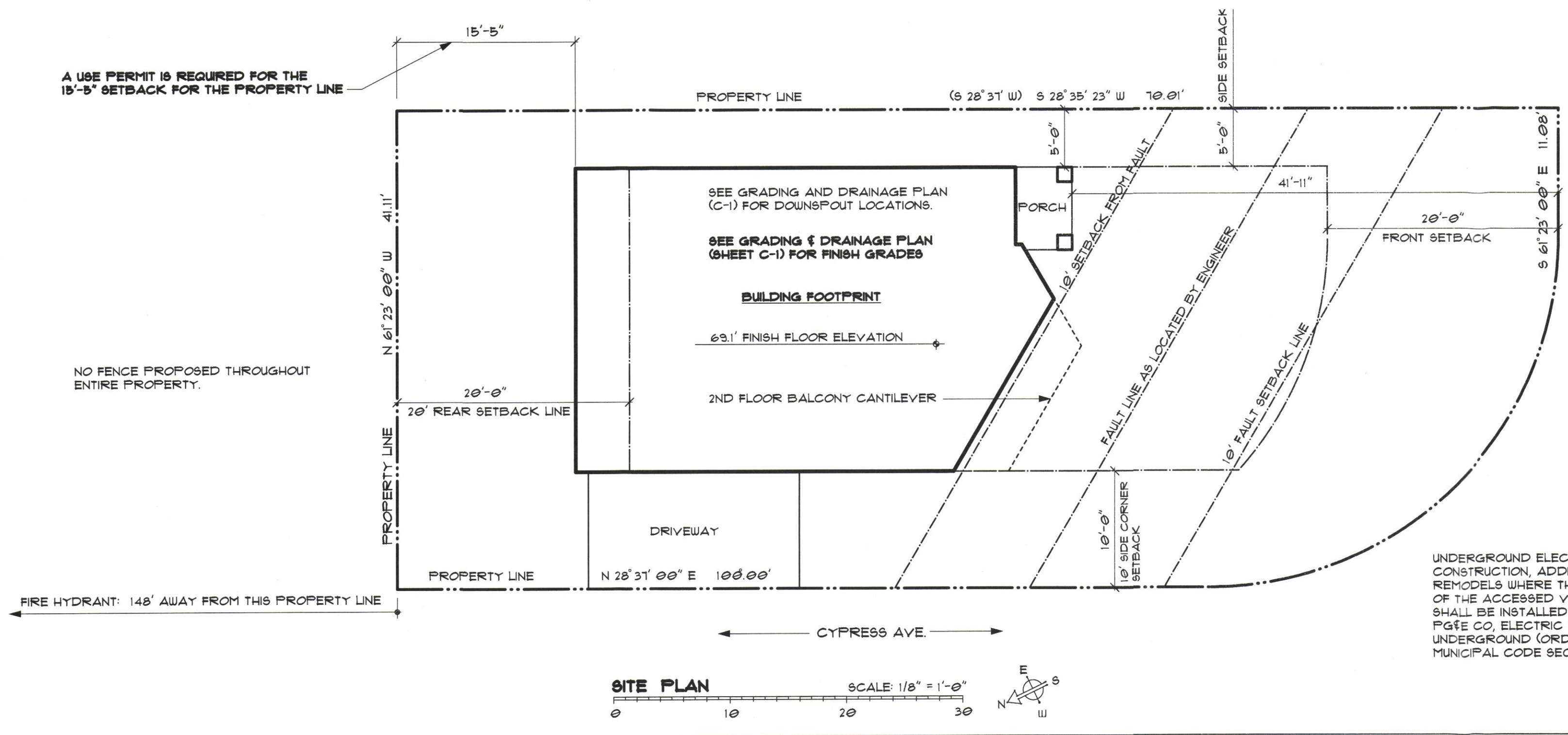
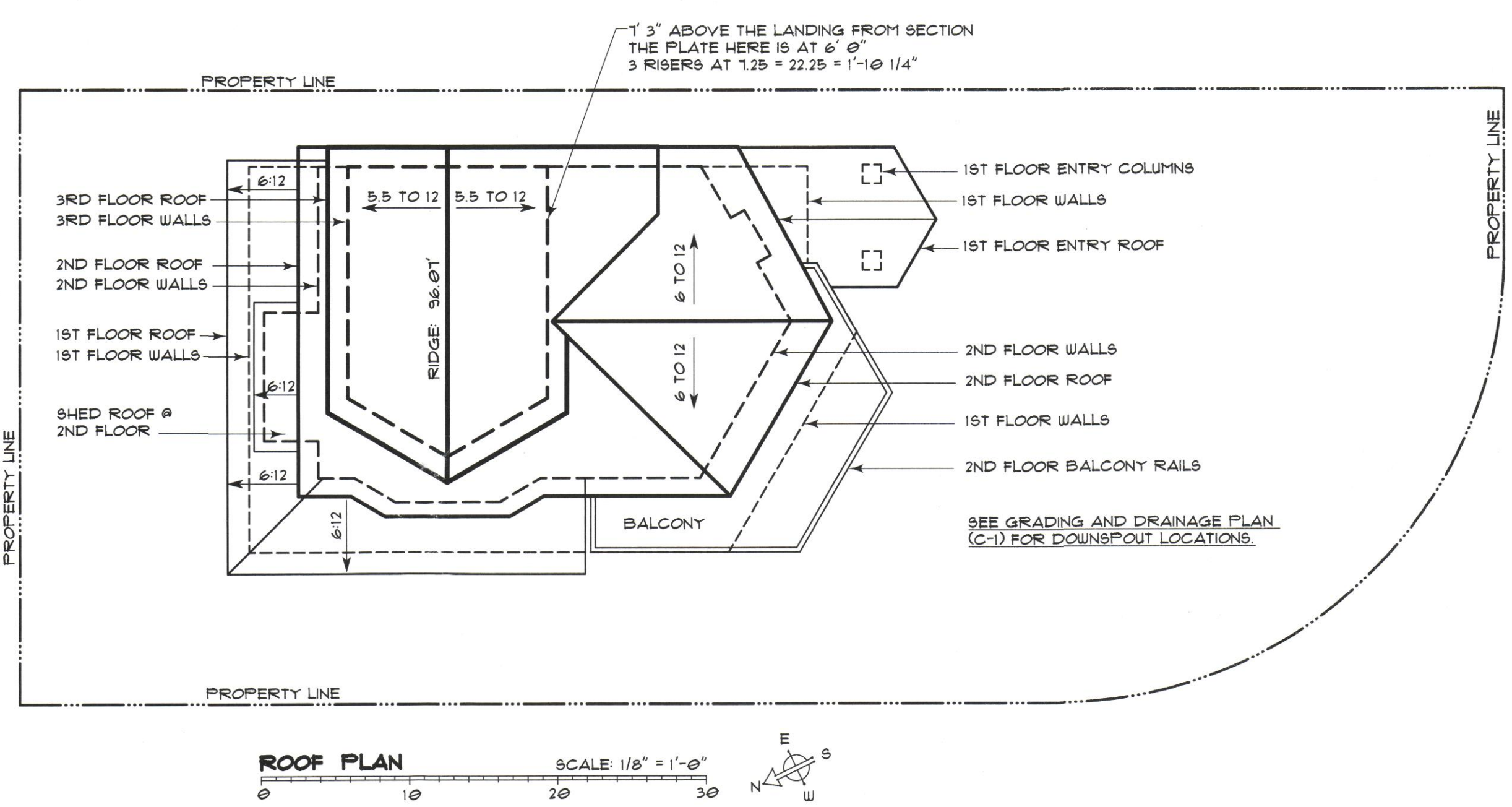
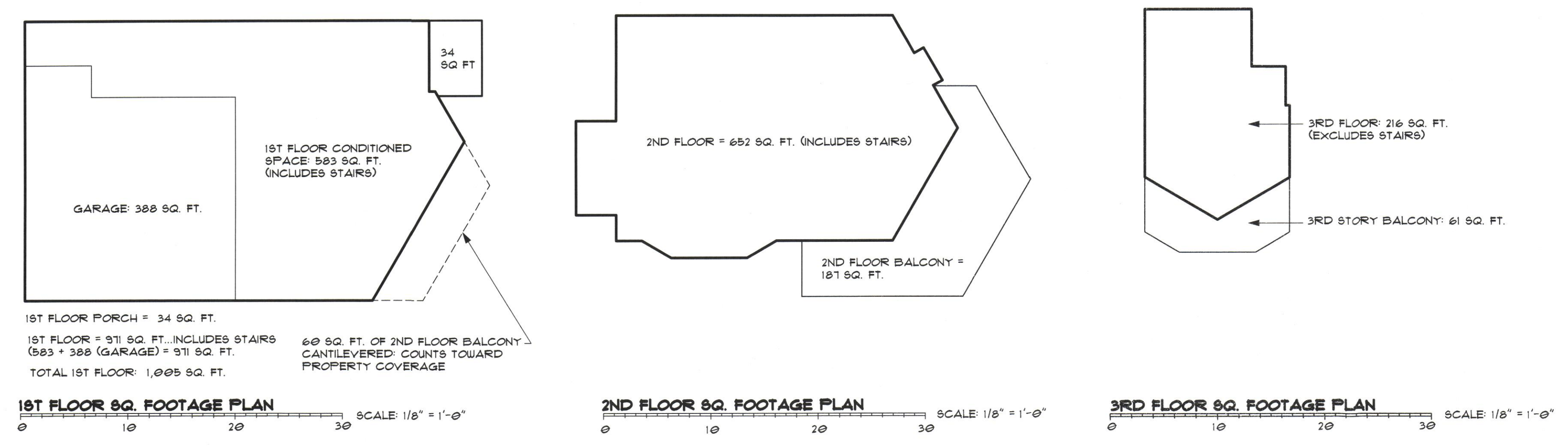
**LIST OF DRAWINGS FOR DESIGN REVIEW**

A1.1	TITLE PAGE & SITE PLAN
A1.2	NOTES
SU-1	SURVEY
C-1	GRADING, DRAINAGE & EROSION CONTROL PLAN
L9-1	LANDSCAPE PLAN

A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A2.3	THIRD FLOOR PLAN

A3.1	ELEVATIONS
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A4.1	SECTION A-A
A4.2	SECTION B-B
A4.3	SECTION C-C



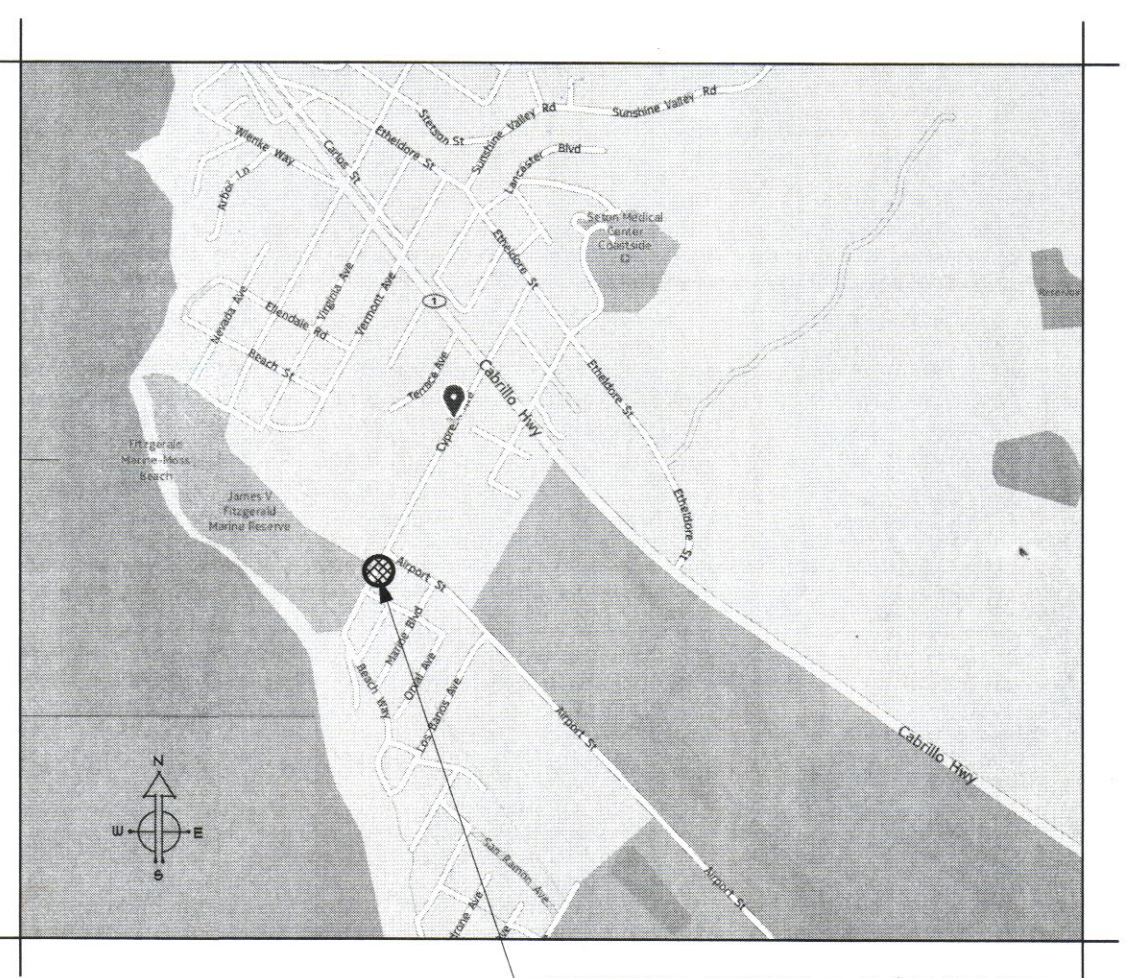
UNDERGROUND ELECTRICAL SERVICE SHALL BE PROVIDED IN ALL NEW CONSTRUCTION, ADDITIONS OF MORE THAN 25% OF THE (E) FLOOR AREAS & REMODELS WHERE THE ESTIMATED COST OF CONSTRUCTION IS 50% OR MORE OF THE AGGREGATED VALUATION OF THE BUILDING. UNDERGROUND SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE PG&E CO. ELECTRIC & GAS REQUIREMENTS, SECT. 5, ELECTRIC SERVICE UNDERGROUND (ORD. C-14-101 PART), 2010 ORD. 1-08 2(PART), 2000 PER MUNICIPAL CODE SECT. 14.04.010 (A).

**RECEIVED**

JUL 08 2015

San Mateo County  
 Planning Division

PLN2015-00243



**VICINITY MAP**

ABBREVIATIONS

Table of abbreviations including A.B. ANCHOR BOLT, A.C. ASPHALTIC CONCRETE, A.D. ACCESS DOOR, A.D.J. ADJUSTABLE, A.F.S. AUTOMATIC FIRE SPRINKLER, A.G.G.R. AGGREGATE, A.L.T. ALTERNATE, A.L.U.M. ALUMINUM, A.N.O.D. ANODIZED, A.P. ACCESS PANEL, A.R.C.H. ARCHITECTURAL, A.S.P.H. ASPHALT, A.T. ASH TRAY, A.N.G.L.E. ANGLE, A.T. AT, A.N.D. AND, B.D. BOARD, B.K.S.P.L. BACKSPASH, B.L.D.G. BUILDING, B.L.K. BLOCK, B.L.K.G. BLOCKING, B.M. BEAM, B.O.J. BOTTOM OF JOISTS, B.O.T. BOTTOM, B.S.B.D. BASEBOARD, B.U. BUILT-UP, B.U.R. BUILT-UP ROOF, C.A.B.T. CABINET, C.B. CATCH BASIN, C.B.O. CULCBORARD, C.E.M. CEMENT, C.E.R. CERAMIC, C.G. COVER GUARD, C.I. CAST IRON, C.J. CEILING JOIST, C.L.G. CEILING, C.L.R. CLEAR, C.L.O. CLOSET, C.N.L. CONC. MASONRY UNIT, C.N.T.R. COUNTERTOP, C.O.L. COLUMN, C.O.M.P. COMPOSITION, C.O.N.C. CONCRETE, C.O.N.S.T. CONSTRUCTION, C.O.N.T.R. CONTRACTOR, C.O.O.K.T.O.P. COOKTOP, C.T. COATS, C.U.S.T.O.M.I.A.N. CUSTOMER, C.W. GOLD WATER, C.H. CHANNEL, C.E.N.T.E.R.L.I.N.E. CENTERLINE, D. DRYER, D.E.T. DETAIL, D.S. DARK SKY LIGHT, D.F. DOUGLAS FIR, D/G. DUALGLAZE, R. RISE, R.A. RETURN AIR, R.A.D. RADIUS, R.C.P. REFLECTED CEILING PLAN, R.D. ROOF DRAIN, R.E.C.E.S.S.E.D. RECESSED, R.E.F. REFERENCE, R.E.F. REFRIGERATOR, R.E.N.F. REINFORCING, R.E.Q.U.I.R.E.D. REQUIRED, R.H. RIGHT HAND, R.H. ROUND HEAD, R.M. ROOM, R.R. ROOF RAFTER, R.W.L. RAIN WATER LEADER, S.B. SOLID BLOCKING, S.C. SOLID CORE, S.C.D. SEAT COVER DISPENSER, S.D. SMOKE DETECTOR, S.E.C.T. SECTION, S.G. SAFETY GLAZE, S.H.R. SHEET, S.H.R. SHOWER, S.K. SINK, S.M. SHEET METAL, S.M.S. SHEET METAL SCREWS, S.N.D. SANITARY NAPKIN DISPOSAL, S.N.V. SANITARY NAPKIN VENDOR, S.O.V. SHUT OFF VALVE, S.P.D. SOAP DISPENSER, S.P.E.C.I.F.I.C. SPECIFICATIONS, S.Q. SQUARE, S.S. SERVICE SINK, S.T.L. STEEL, S.T.D. STANDARD, S.T.O.R. STORAGE, S.T.R.U.C. STRUCTURAL, S.T.S. SELF TAPPING SCREW, S.T. S.T.L. STAINLESS STEEL, S.U.S.P. SUSPENDED, S.Y.M. SYMMETRICAL, T. TREAD, T.B. TOUPEL BAR, T.B. TOP & BOTTOM, T.C. TRASH COMPACTOR, T.D. TOUPEL DISPENSER, T.D.L. TRUE-DIVIDED LIGHTS, T.O.D. TOUPEL DISPENSER & DISP., T.E.L.E. TELEPHONE, T.E.M.P. TEMPERED GLASS, T & G. TONGUE & GROOVE, T.H.K. THICK, T.K. TOE KICK, T.O.C. TOP OF CURB, T.O.P. TOP OF PAVEMENT, T.O.P.L. TOP OF FLATE, T.O.S. TOP OF SLAB, T.O.S.T.L. TOP OF STEEL, T.P.D. TOILET PAPER DISPENSER, T.Y.P. TYPICAL, U.O.N. UNLESS OTHERWISE NOTED, U.R. URINAL, V.C.T. VINYL COMPOSITION TILE, V.E.R.T. VERTICAL, V.G.D.F. VERTICAL GRAIN DOUGLAS FIR, V.N. VINYL, V.T.R. VENTILATION THRU ROOF, V.H.F. VINYL WALL FABRIC, W. WASHER, W. WITH, W.C. WATER CLOSET, W.D. WOOD, W.D.O./W.D.O.S. WINDOW/WINDOWS, W.O.N.D.R. B.D. WONDERBOARD, W/O. WITHOUT, W.P. WATER PROOF, W.R.G.P. WATER RESISTANT GYPSUM, W.S. WEATHER STRIPPING OR WOOD SREW, W.A.N.S.C.O.T. WANSICOT, W.T. WEIGHT

FIRE PROTECTION NOTES

- 1: A SPRINKLER PLANS MUST BE SUBMITTED
2: SMOKE DETECTORS ARE HARDWIRED: AS PER THE CALIFORNIA BUILDING CODE (CBC), STATE FIRE MARSHALL REGULATIONS AND COASTSIDE FIRE DISTRICT ORDINANCE # 2013-03, THE APPLICANT IS REQUIRED TO INSTALL STATE FIRE MARSHALL APPROVED AND LISTED SMOKE DETECTORS WHICH ARE HARDWIRED, INTERCONNECTED AND HAVE BATTERY BACKUP. THESE DETECTORS ARE REQUIRED TO BE PLACED IN EACH NEW ROOM AND RECONDITIONED SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA. IN EXISTING SLEEPING ROOMS, AREAS MAY HAVE BATTERY POWERED SMOKE ALARMS. A MINIMUM OF ONE DETECTOR SHALL BE PLACED ON EACH FLOOR. SMOKE DETECTORS SHALL BE TESTED AND APPROVED PRIOR TO THE BUILDING FINAL.
2A: SMOKE/CARBON MONOXIDE DETECTORS ARE TO BE HARDWIRED, INTERCONNECTED OR WITH BATTERY BACKUP. DETECTORS ARE TO BE INSTALLED PER MANUFACTURER'S INSTRUCTION AND NFPA 72.
4: ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET, 5.0 SQ. FT. ALLOWED AT GRADE. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. FINISHED SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR.
4A: IDENTIFY RESCUE WINDOWS IN EACH BEDROOM AND VERIFY THAT THEY MEET ALL REQUIREMENTS.
5: NEW ATTACHED GARAGE TO MEET OCCUPANCY SEPARATION REQUIREMENTS PER CRC R302.6. A ONE-HOUR OCCUPANCY SEPARATION WALL SHALL BE INSTALLED WITH A SOLID CORE 20-MINUTE FIRE RATED, SELF CLOSING DOOR ASSEMBLY WITH SMOKE GASKET BETWEEN THE GARAGE AND THE RESIDENCE. ALL ELECTRICAL BOXES INSTALLED IN RATED WALLS SHALL BE METAL PROTECTED.
6: ADDRESS NUMBERS: FOR NEW RESIDENTIAL BUILDINGS AND PER COASTSIDE FIRE DISTRICT NO. 2013-03, BUILDING IDENTIFICATION SHALL BE CONSPICUOUSLY POSTED & VISIBLE FROM THE STREET. (TEMP. ADDRESS #S SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE). THE LETTERS/NUMERALS FOR PERMANENT ADDRESS SIGNS SHALL BE 4 INCHES IN HEIGHT WITH A MINIMUM 3/4-INCH STROKE. SUCH LETTERS/NUMERALS SHALL BE INTERNALLY ILLUMINATED & FACING THE DIRECTION OF ACCESS. FINISHED HEIGHT OF BOTTOM OF ADDRESS LIGHT UNIT SHALL BE GREATER THAN OR EQUAL TO 6 FEET FROM THE FINISHED GRADE. WHEN THE BUILDING IS SERVED BY A LONG DRIVEWAY OR IS OTHERWISE OBSCURED, A 6-INCH BY 18-INCH GREEN REFLECTIVE METAL SIGN WITH 3-INCH REFLECTIVE NUMBERS/LETTERS SIMILAR TO HY-KO 911 OR EQUIVALENT SHALL BE PLACED AT THE ENTRANCE FROM THE NEAREST PUBLIC ROADWAY. SEE FIRE ORDINANCE FOR STANDARD SIGN.
7: ROOF COVERING: AS PER COASTSIDE FIRE DISTRICT ORDINANCE # 2013-03, THE ROOF COVERING OF EVERY NEW BUILDING AND MATERIALS APPLIED AS PART OF A ROOF COVERING ASSEMBLY SHALL HAVE A MINIMUM FIRE RATING OF CLASS "B" OR HIGHER AS DEFINED IN THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE.
8: AUTOMATIC FIRE SPRINKLER SYSTEM: AS PER SAN MATEO COUNTY BUILDING STANDARDS AND COASTSIDE FIRE DISTRICT ORDINANCE NUMBER 2010-01, THE APPLICANT IS REQUIRED TO INSTALL AN AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT THE PROPOSED OR IMPROVED DWELLING AND GARAGE. ALL ATTIC ACCESS LOCATIONS WILL BE PROVIDED WITH A PILOT HEAD ON A METAL UPRIGHT. ALL AREAS THAT ARE ACCESSIBLE FOR STORAGE PURPOSES SHALL BE EQUIPPED WITH FIRE SPRINKLERS INCLUDING CLOSETS AND BATHROOMS. THE ONLY EXCEPTION IS SMALL LINEN CLOSETS LESS THAN 24 SQUARE FEET WITH FULL DEPTH SHELVING. THE PLANS FOR THIS SYSTEM MUST BE SUBMITTED TO THE SAN MATEO COUNTY PLANNING AND BUILDING DIVISION OR THE CITY OF HMB. A BUILDING PERMIT WILL NOT BE ISSUED UNTIL PLANS ARE RECEIVED, REVIEWED AND APPROVED. UPON SUBMISSION OF PLANS, THE COUNTY OR CITY WILL FORWARD A COMPLETE SET TO THE COASTSIDE FIRE DISTRICT FOR REVIEW. THE FEE SCHEDULE FOR AUTOMATIC FIRE SPRINKLER SYSTEMS SHALL BE IN ACCORDANCE WITH HALF MOON BAY ORDINANCE NO. 2006-01. FEES SHALL BE PAID PRIOR TO PLAN REVIEW.
9: INSTALLATION OF UNDERGROUND SPRINKLER PIPE SHALL BE FLUSHED AND VISUALLY INSPECTED BY FIRE DISTRICT PRIOR TO HOOK-UP TO RISER. ANY SOLDERED FITTINGS MUST BE PRESSURE TESTED WITH TRENCH OPEN.
10: EXTERIOR BELL AND INTERIOR HORN/STROBE ARE REQUIRED TO BE WIRED INTO THE REQUIRED FLOW SWITCH ON YOUR FIRE SPRINKLER SYSTEM. THE BELL, HORN/STROBE AND FLOW SWITCH, ALONG WITH THE GARAGE DOOR OPENER ARE TO BE WIRED INTO A SEPARATE CIRCUIT BREAKER AT THE MAIN ELECTRICAL PANEL AND LABELED.
11: SOLAR PHOTOVOLTAIC SYSTEMS: THESE SYSTEMS SHALL MEET THE REQUIREMENTS OF THE COASTSIDE FIRE PROTECTION DISTRICT AS OUTLINED IN STANDARD DETAIL D1-001 SOLAR PHOTOVOLTAIC SYSTEMS.
A: VEGETATION MANAGEMENT: THE COASTSIDE FIRE DISTRICT ORDINANCE 2013-03, THE 2013 CALIFORNIA FIRE CODE AND PUBLIC RESOURCES CODE 4291. A FUEL BREAK OF DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. IN SRA (STATE RESPONSIBLE AREA) THE FUEL BREAK IS 100 FEET OR TO THE PROPERTY LINE.
B: TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP 6 TO 10 FEET ABOVE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10 FEET TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY.
C: REMOVE THAT PORTION OF ANY EXISTING TREE, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5 FEET OF ANY STRUCTURE.
D: THE INSTALLATION OF AN APPROVED SPARK ARRESTER IS REQUIRED ON ALL CHIMNEYS - EXISTING AND NEW. SPARK ARRESTERS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12-GAUGE USA STANDARD WIRE HAVING OPENINGS NOT EXCEEDING 1/2".....NOTE: NO FIREPLACE FOR THIS DESIGN.
E: A FUEL BREAK OR DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES, EXISTING AND NEW, TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. THIS IS NEITHER A REQUIREMENT NOR AN AUTHORIZATION FOR THE REMOVAL OF LIVING TREES.
F: TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP 6 FEET ABOVE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10' TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY.
G: REMOVE THAT PORTION OF ANY EXISTING TREES, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5' OF ANY STRUCTURE. REMOVE THAT PORTION OF ANY EXISTING TREES, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5' OF ANY STRUCTURE. MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD

MISC. PLAN NOTES & CONSTRUCTION OPERATION PLAN

- 1: UNDERGROUND SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE PACIFIC GAS & ELECTRIC COMPANY REQUIREMENTS. SEE COMPLETE INFO ON SHEET E-1
2: CLEANOUTS IN BLDG. SEWERS SHALL BE APPROVED IN ACCORDANCE WITH THE RULES, REGULATIONS AND ORDINANCES OF THE SEWER AUTHORITY. ALL CLEANOUTS SHALL BE MAINTAINED WATER TIGHT
3: THE CONSTRUCTION AREA SHALL BE IDENTIFIED AND DELINEATED BY FENCING OR FLAGGING TO LIMIT CONSTRUCTION ACTIVITY TO THE CONSTRUCTION AREA
4: SPECIAL INSPECTION REQUIRED FOR CONCRETE FOUNDATION GREATER THAN 2,500 P.S.I., EPOXY HOLDINGS, HIGH STRENGTH BOLTS, SEISMIC RESISTANCE AND STRUCTURAL STEEL WELDING & FOR SHEAR WALL NAILING SPACED 4" OR LESS. COMPLETE AND SUBMIT A STAMPED & SIGNED SPECIAL INSPECTION FORM PRIOR TO PERMIT ISSUANCE.
5A: AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT IS REQUIRED PRIOR TO COMMENCING ANY WORK WITHIN THE MUNICIPALITY'S RIGHT OF WAY
5B: THE CONTRACTOR SHALL ADHERE TO ALL REQUIREMENTS OF THE BLDG. INSPECTION SECTION, THE DEPT. OF PUBLIC WORKS AND THE COASTSIDE FIRE PROTECTION DISTRICT.
6: PRIOR TO FINAL INSPECTION, PAINT THE ADDRESS NUMBER ON THE FACE OF THE CURB NEAR THE DRIVEWAY APPROACH WITH BLACK LETTERING ON A WHITE BACKGROUND. SEE COMPLETE NOTES ON SHEET A1.2
7: INCLUDE HOUSE ADDRESS: NUMERALS SHALL BE A MIN. 4" IN HEIGHT AND 3/4" STROKE OF CONTRASTING COLOR TOP THEIR BACKGROUND AND MUST BE LIGHTED DURING THE HOURS OF DARKNESS (SEE ELEVATION) FOR NEW CONSTRUCTION ONLY. SEE COMPLETE NOTES ON SHEET A1.2
8: COORDINATE UNDERGROUND CONSTRUCTION ACTIVITIES TO UTILIZE THE SAME JOINT TRENCH. MINIMIZE THE AMOUNT OF TIME THE DISTURBED SOIL IS EXPOSED. THE SOIL IS TO BE REPLACED USING ACCEPTED COMPACTION METHODS.
9: STOCKPILE AND PROTECT DISPLACED TOPSOIL FOR REUSE.
10: GENERAL CONTRACTOR (G.C.) TO VERIFY UTILITIES ARE MAINTAINED IN SAFE CONDITION AT TIMES OR REMOVE FROM SITE.
11: G.C. TO VERIFY ALL HAZARDOUS MATERIALS HAVE BEEN REMOVED.
12: G.C. TO VERIFY THAT THE WATER LINE THE BUILDING HAS BEEN CUT OFF AT THE PROPERTY LINE AND A HOSE BIB WITH A VACUUM BREAKER TYPE BACKFLOW PREVENTION DEVICE IS PROVIDED FOR DUST CONTROL.
13: IF THERE IS NO CONSTRUCTION TRAILER USED FOR THIS PROJECT, THE APPLICANT/CONTRACTOR SHALL REMOVE ALL CONSTRUCTION EQUIPMENT FROM THE SITE UPON COMPLETION OF THE USE AND/OR NEED OF EACH PIECE OF EQUIPMENT WHICH SHALL INCLUDE BUT NOT BE LIMITED TO TRACTORS, BACK HOES, CEMENT MIXERS, ETC.
14A: THE DEBRIS BOX TO BE LOCATED SOMEWHERE ON THE SITE. DEBRIS TO BE HAULED OFF-SITE TO AS NECESSARY. THE APPLICANT/CONTRACTOR SHALL MONITOR THE SITE TO ENSURE THAT TRASH IS PICKED UP AND APPROPRIATELY DISPOSED DAILY.
14B: THE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION EQUIPMENT FROM THE SITE UPON COMPLETION OF THE USE AND/OR NEED OF EACH PIECE OF EQUIPMENT WHICH SHALL INCLUDE BUT NOT LIMITED TO TRACTORS, BACK HOES, CEMENT MIXERS, ETC.
14C: THE CONTRACTOR SHALL ENSURE THE NO CONSTRUCTION-RELATED VEHICLES SHALL IMPEDE THROUGH TRAFFIC ALONG THE RIGHT-OF-WAY ON CYPRESS & PARK WAY. ALL CONSTRUCTION VEHICLES SHALL BE PARKED ON-SITE OUTSIDE OF THE PUBLIC RIGHT OF WAY OR IN LOCATIONS WHICH DO NOT IMPEDE SAFE ACCESS ON CYPRESS & PARK WAY. THERE SHALL BE NO STORAGE OF CONSTRUCTION VEHICLES IN THE PUBLIC RIGHT OF WAY.
15: NO SITE DISTURBANCES SHALL OCCUR, INCLUDING ANY GRADING OR TREE REMOVAL, UNTIL A BUILDING PERMIT HAS BEEN ISSUED AND THEN ONLY THOSE TREES APPROVED FOR REMOVAL SHALL BE REMOVED.
16: NOISE LEVELS PRODUCED BY THE PROPOSED CONSTRUCTION ACTIVITY SHALL NOT EXCEED THE 80DBAS LEVEL AT ANY ONE MOMENT. CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THE HOURS FROM 7:00 A.M. TO 6 P.M., MONDAY THROUGH FRIDAY AND 9:00 A.M. TO 5:00 P.M. ON SATURDAY. CONSTRUCTION OPERATIONS SHALL BE PROHIBITED ON SUNDAY AND ANY NATIONAL HOLIDAY.
17: SURFACE RUNOFF FROM ALL IMPERVIOUS SURFACES SHALL BE DIRECTED TO THE DRY WELLS. SEE SHEET C-1
18: IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE POSITIVE DRAINAGE IN ALL PAVED AND LANDSCAPE AREAS. SEE "GRADING, DRAINAGE & EROSION CONTROL PLAN" ON SHEET C-1. CONTRACTOR TO PROVIDE INTENT
19: SEE SEPARATE DRAINAGE PLAN BY SIGMA PRINE FOR OFFICIAL DESIGN OF EROSION CONTROL AND DRAINAGE PLAN
20: RAINWATER LEADERS (DOWNSPOUTS) TO TIE INTO UNDERGROUND DRAIN. SEE DRAINAGE PLAN ON SHEET C-1. SEE ALSO SHEET D3 FOR RUL CONNECTION DETAIL TO PIPE.
21. MAINTAIN 6" MINIMUM CLEARANCE FROM SOIL TO BOTTOM OF SIDING. (8" FROM SILL).
22. DRAIN WATER AWAY FROM THE BUILDING. MAKE CERTAIN THAT ALL WATER DRAINS AND THERE IS NO FLOODING.
23A: PRIOR TO THE ISSUANCE OF THE BLDG. PERMIT, THE APPLICANT/CONTRACTOR SHALL SUBMIT A DRIVEWAY "PLAN & PROFILE" TO THE DEPT. OF PUBLIC WORKS, SHOWING THE DRIVEWAY ACCESS TO THE PARCEL (GARAGE SLAB) COMPLYING WITH THE COUNTY STANDARDS FOR DRIVEWAY SLOPES (NOT TO EXCEED 20%) AND TO COUNTY STANDARDS (AT THE PROPERTY LINE) BEING THE SAME ELEVATIONS AS THE CENTER OF THE ACCESS ROADWAY. WHEN APPROPRIATE, AS DETERMINED BY THE DEPT. OF PUBLIC WORKS, THIS PLAN AND PROFILE SHALL BE PREPARED FROM ELEVATIONS AND ALIGNMENT SHOWN ON THE ROADWAY IMPROVEMENT PLANS. THE DRIVEWAY PLAN SHALL ALSO INCLUDE AND SHOW SPECIFIC PROVISIONS AND DETAILS FOR BOTH THE EXISTING AND THE PROPOSED DRAINAGE PATTERNS AND DRAINAGE FACILITIES.
23B: NO PROPOSED CONSTRUCTION WORK WITHIN THE COUNTY RIGHT OF WAY SHALL BEGIN UNTIL THE COUNTY REQUIREMENTS FOR THE ISSUANCE OF AN ENCROACHMENT PERMIT, INCLUDING REVIEW OF THE PLANS HAVE BEEN MET AND AN ENCROACHMENT PERMIT ISSUED. THE APPLICANT/CONTRACTOR SHALL CONTACT THE DEPT. OF PUBLIC WORKS INSPECTOR 48 HOURS PRIOR TO COMMENCING WORK IN THE RIGHT OF WAY.
23C: PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT, THE APPLICANT WILL BE REQUIRED TO PROVIDE PAYMENT OF ROADWAY MITIGATION FEES\* BASED ON THE SQUARE FOOTAGE (ASSESSABLE SPACE) OF THE PROPOSED BUILDING PER ORDINANCE NO. 3271.
24D: THE APPLICANT SHALL SUBMIT A PERMANENT STORMWATER MANAGEMENT PLAN IN COMPLIANCE WITH THE COUNTY'S DRAINAGE POLICY AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENT FOR REVIEW AND APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS.



CHRIS RIDGWAY ARCHITECT, INC.
610 FOPALAR STREET, HALF MOON BAY, CA 94019
PH: 650 627-6301, WEB SITE: CRARCHITECT.NET
EMAIL: CRARCHITECT@COASTSIDE.NE

NEW RESIDENCE FOR:
STEVE KALPAKOFF
PARKWAY & CYPRESS, MOSS BEACH, CA A.F.N. 031-725-010

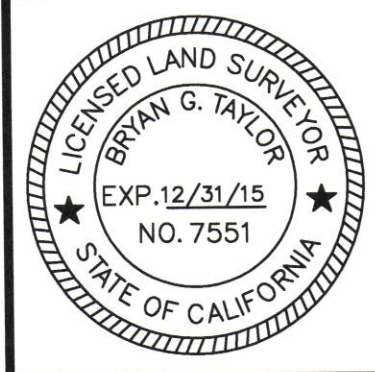
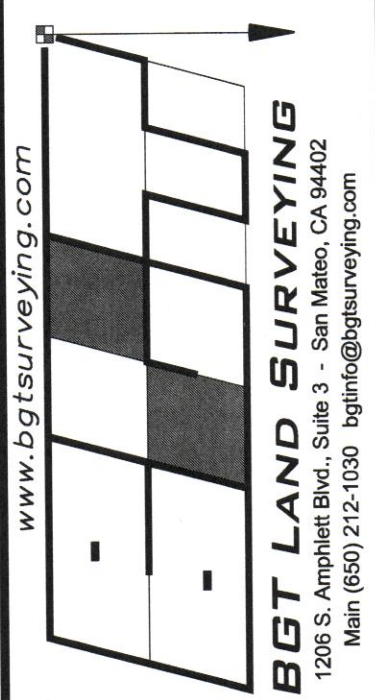
JOB # 1501
SCALE AS NOTED
DATE 06/15/15

SHEET A1.2



FOUND 3/4" IP WITH PLASTIC PLUG AND TACK "LS 3544"

FOUND OLD 2"x2" WITH NAIL - SET 3/4" IRON PIPE WITH PLASTIC PLUG AND TACK IN PLACE



Assessor Parcel Number: 037-225-010

Prepared For: STEVE KALPAKOFF, 440 Davis Ct. #2017, San Francisco, CA, 94101

PARK WAY [40' WIDE]

CYPRESS AVENUE [20' WIDE]

BLOCK 1 MARINE VIEW BEACH BOOK 6 MAPS 69

LOT 1 3,916 SQ. FT.

LOT 1

LOT 2 (VACANT LANDS)

LOT 8

LOT 3

LOT 4

EXISTING BUILDING (APPROXIMATE LOCATION)

ORVAL AVENUE

FOUND NAIL AT CENTERLINE INTERSECTION AS PER 10 LLS 67-68



1 INCH = 8 FEET

**BASIS OF BEARINGS**

THE BEARING, NORTH 61'23" WEST, OF PARK WAY, AS SHOWN ON THAT CERTAIN SUBDIVISION MAP ENTITLED, "MARINE VIEW BEACH" WHICH WAS FILED FOR RECORD IN BOOK 6 MAPS PAGE 69, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

**BENCHMARK**

ELEVATIONS SHOWN HEREON ARE BASED UPON THE NATIONAL GEODETIC VERTICAL DATUM 1929 (NGVD29). BASIS OF VERTICAL DATUM HELD: 941 4129 TIDAL 5 (PID: HT0455) NGVD29 PUBLISHED ELEVATION: 11.45 FEET.

LOCAL BENCHMARK TO USE FOR SITE WORK IS THE MAG NAIL WITH STAINLESS STEEL WASHER WITH AN ELEVATION OF 67.70 FEET.

**NOTES:**

SIGMA PRIME GEOSCIENCES LOCATED FAULT LINE AND PROVIDED BGT WITH DIMENSION FROM IRON PIPE AT SOUTHERLY LOT CORNER, AND SHOWED GUY WHITE PAINT AT EDGE OF PAVEMENT, IN ORDER TO LOCATE FAULT LINE AS SHOWN HEREON.

BGT RELIED UPON A NORTH AMERICAN TITLE COMPANY PRELIMINARY REPORT, ORDER NO. 1343147, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

SURVEY PERFORMED BY: BGT LAND SURVEYING www.bgtsurveying.com

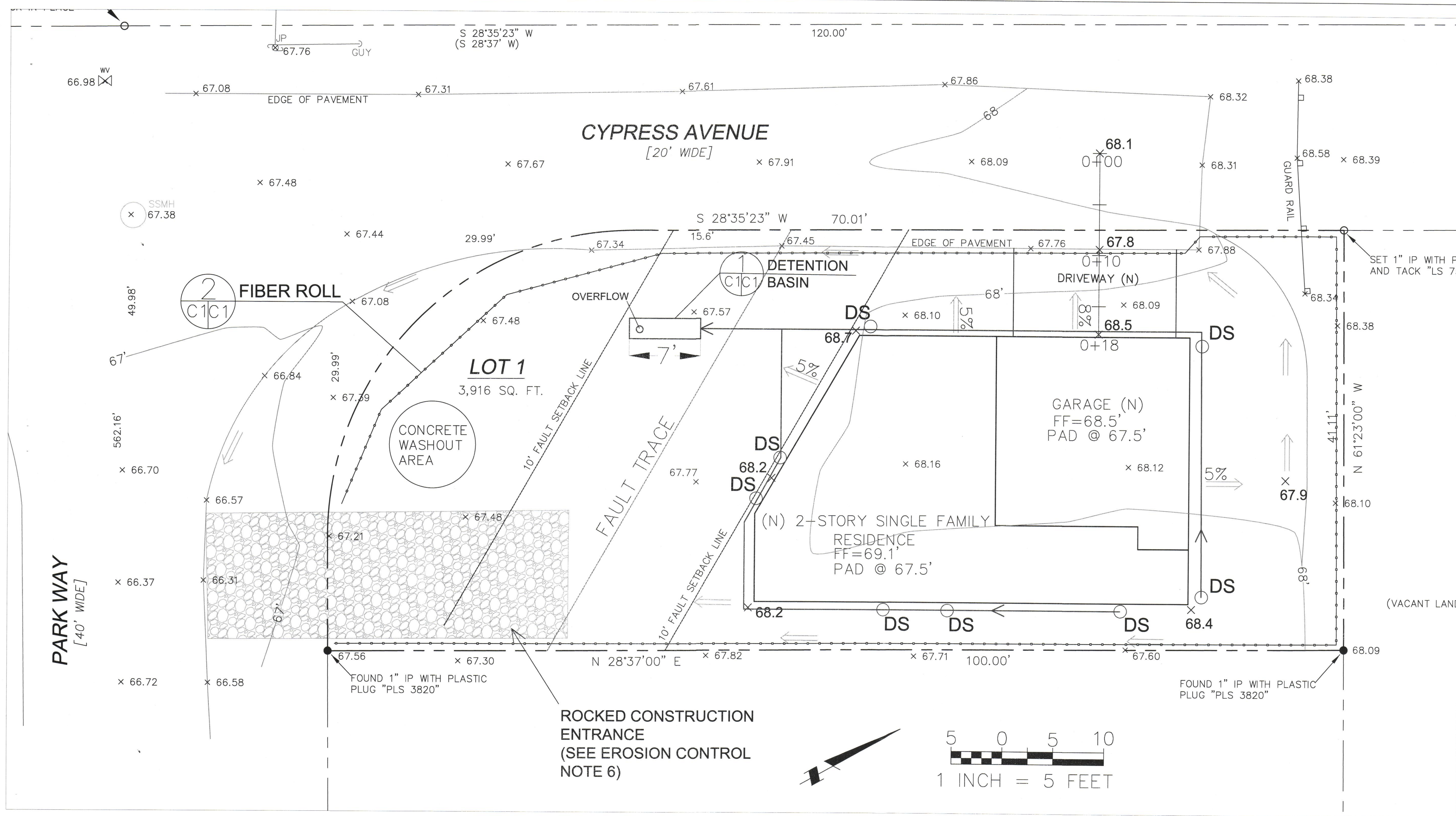
DATE OF FIELD SURVEY: APRIL, 2015  
JOB NUMBER: 15-046

**LEGEND**

AC	ASPHALT CONCRETE
BW	BACK OF WALK
CB	CATCH BASIN
C/L	CENTERLINE
CMF	CORRUGATED METAL PIPE
CI	CAST IRON PIPE
CO	CLEAN OUT BOX
CP	SURVEY CONTROL POINT
CPP	CORRUGATED PLASTIC PIPE
CTV	CABLE TELEVISION LINE
DI	DROP INLET
EM	ELECTRIC METER
EV	ELECTRIC VAULT
FF	FINISHED FLOOR
FL	FLOWLINE
FH	FIRE HYDRANT
GM	GAS METER
GRD	GROUND
GUY	GUY ANCHOR
GV	GAS VALVE
HCR	HANDICAP RAMP
HVE	HIGH-VOLT ELECTRIC
INV	INVERT
IP	IRON PIPE
JP	JOINT POLE
KV	KILOVOLT
LAT.	LATERAL
LC	LIP OF GUTTER
MH	MH (TYPE UNKNOWN)
MON-MON	MONUMENT TO MONUMENT DISTANCE
PBV	PACBELL/SBC VAULT
PIE	PIPE VAULT
PIV	POST INDICATOR VALVE
PP	POWER POLE
SDMH	STORM DRAIN MANHOLE
SL	STREET LIGHT
SLB	STREET LIGHT BOX
SLV	STREET LIGHT VAULT
SSMH	SANITARY SEWER MANHOLE
SSV	SANITARY SEWER VAULT
TBC	TOP BACK OF CURB
TBM	TEMPORARY BENCHMARK
TS	TRAFFIC SIGNAL
TSB	TRAFFIC SIGNAL BOX
UNK	UNKNOWN TYPE
VCP	VITRIFIED CLAY PIPE
WBF	WATER BACK FLOW VALVE
WM	WATER METER BOX
WV	WATER VALVE
-CTV-	CABLE TELEVISION LINE
-E-	ELECTRICAL LINE
-G-	GAS LINE
-OH-	OVERHEAD LINE
-SD-	STORM DRAIN LINE
-SS-	SANITARY SEWER LINE
-T-	TELEPHONE LINE
-W-	WATER LINE

BOUNDARY AND TOPOGRAPHIC SURVEY  
LOT 1, BLOCK 1, "MARINE VIEW BEACH" (VOLUME 6 MAPS 69)  
VACANT, PARK WAY/CYPRESS AVE.  
MOSS BEACH, SAN MATEO COUNTY, CALIFORNIA

Date: APRIL, 2015  
Scale: 1" = 8'  
Contour Interval: 1'  
Drawn: LHL  
Drawing Number: SU-1  
SHEET 1 OF 1  
Job No. 15-046



- ### LEGEND
- EXISTING CONTOURS
  - PROPOSED CONTOURS
  - PROPOSED SPOT ELEVATION
  - DOWNSPOUT
  - DIRECTION OF SURFACE DRAINAGE FLOW
  - 3" SOLID PLASTIC DRAIN PIPE, SDR 35 @ 1% MINIMUM SLOPE.

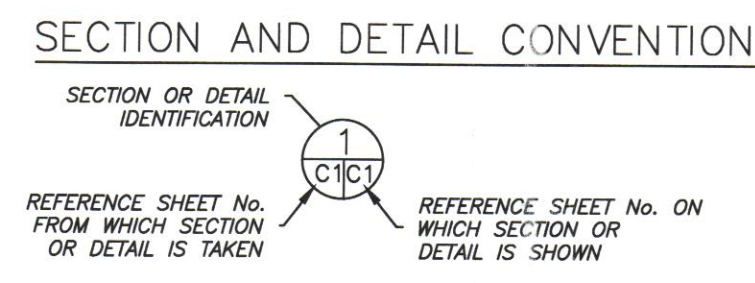
- ### GENERAL NOTES
- PLANS PREPARED AT THE REQUEST OF: STEVEN KALPAKOFF, OWNER
  - SURVEY AND TOPOGRAPHY BY BGT LAND SURVEYING, SURVEYED APRIL, 2015.
  - ELEVATION DATUM ASSUMED.
  - THIS IS NOT A BOUNDARY SURVEY.

### GRADING NOTES

CUT VOLUME: 20 CY (FOR FOUNDATION)  
FILL VOLUME: 0 CY

- ABOVE VOLUMES ARE APPROXIMATE.
- ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
- ALL TRENCHES IN PROPOSED LANDSCAPE AREAS SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

- ### DRAINAGE NOTES
- DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS.
  - ALL ROOF DRAIN LINES AND DRIVEWAY DRAIN SHALL LEAD TO DETENTION BASIN SHOWN.
  - ALL DRAINAGE PIPES SHALL BE 3" DIAMETER SOLID PIPE, SLOPED AT 1% MINIMUM.
  - AREAS OF PERVIOUS GROUND SHALL SLOPE AWAY FROM BUILDING A 5% WITHIN 10 FEET OF BUILDING, WHERE SPACE PERMITS.



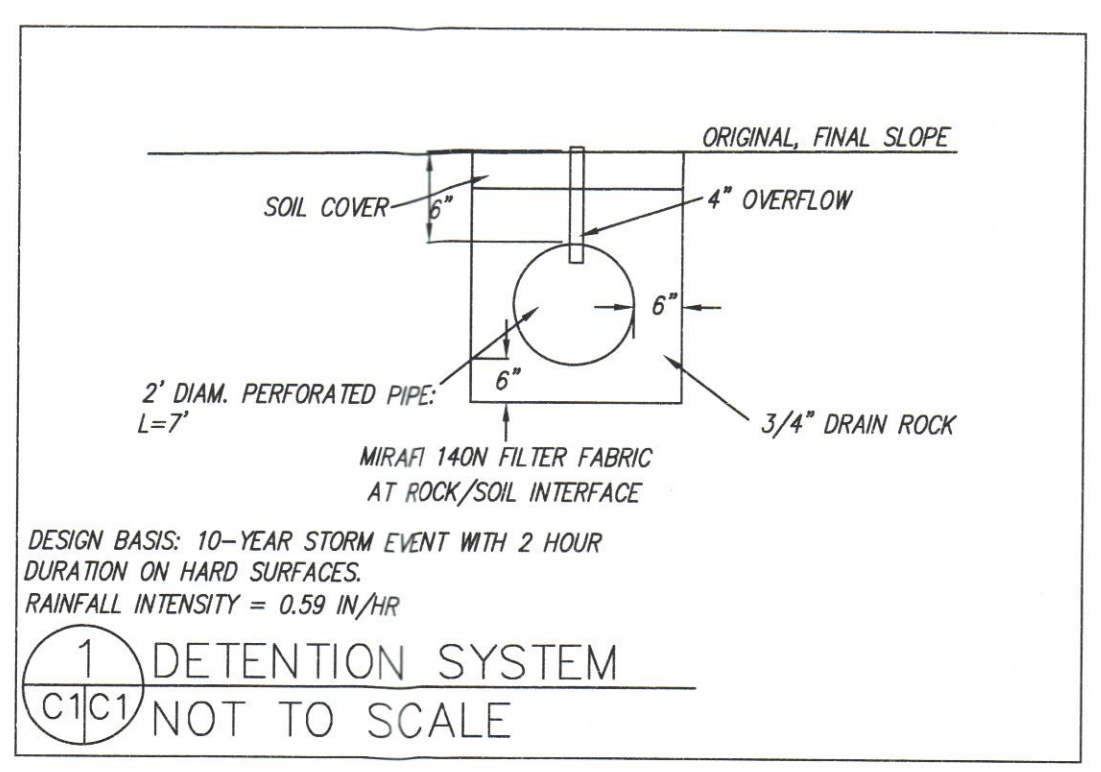
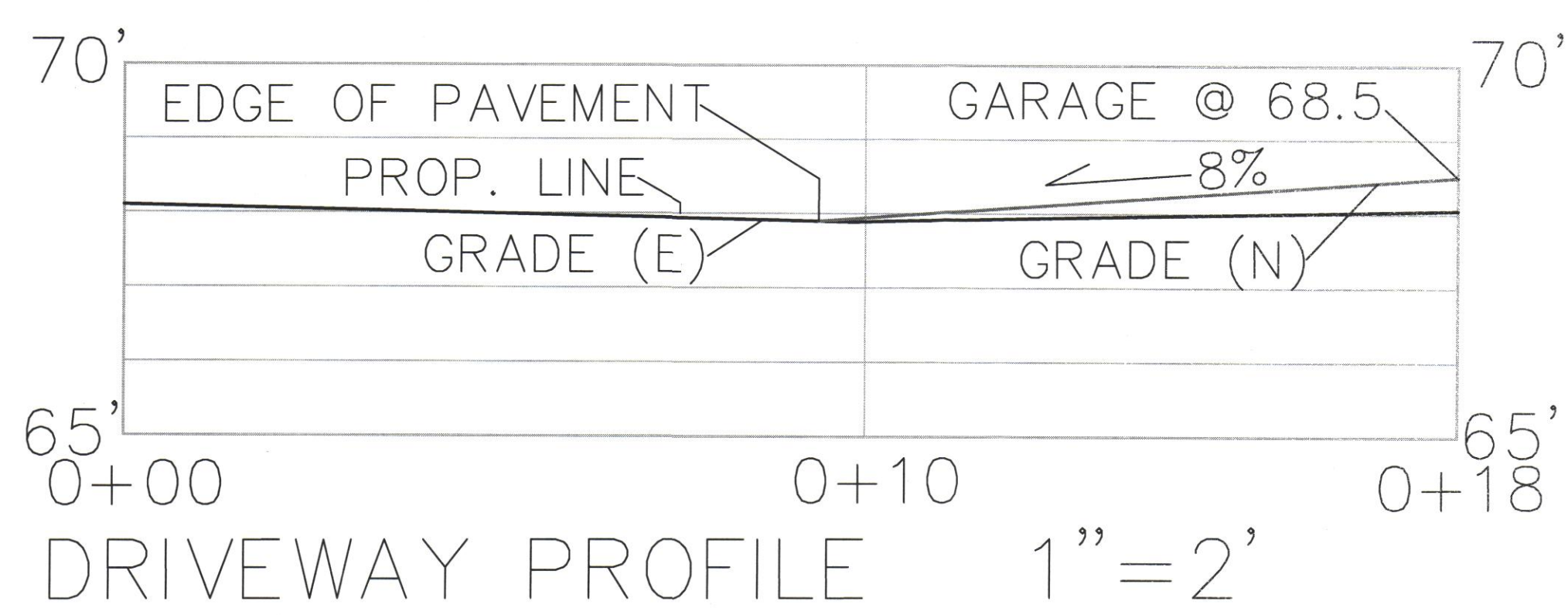
**Sigma Prime Geosciences, Inc.**  
SIGMA PRIME GEOSCIENCES, INC.  
332 PRINCETON AVENUE  
HALF MOON BAY, CA 94019  
(650) 728-3590  
FAX 728-3593

DATE: 6-4-15	DRAWN BY: CNK	CHECKED BY: AZG	REV. DATE:	REV. DATE:	REV. DATE:
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**GRADING, DRAINAGE, EROSION CONTROL PLAN**

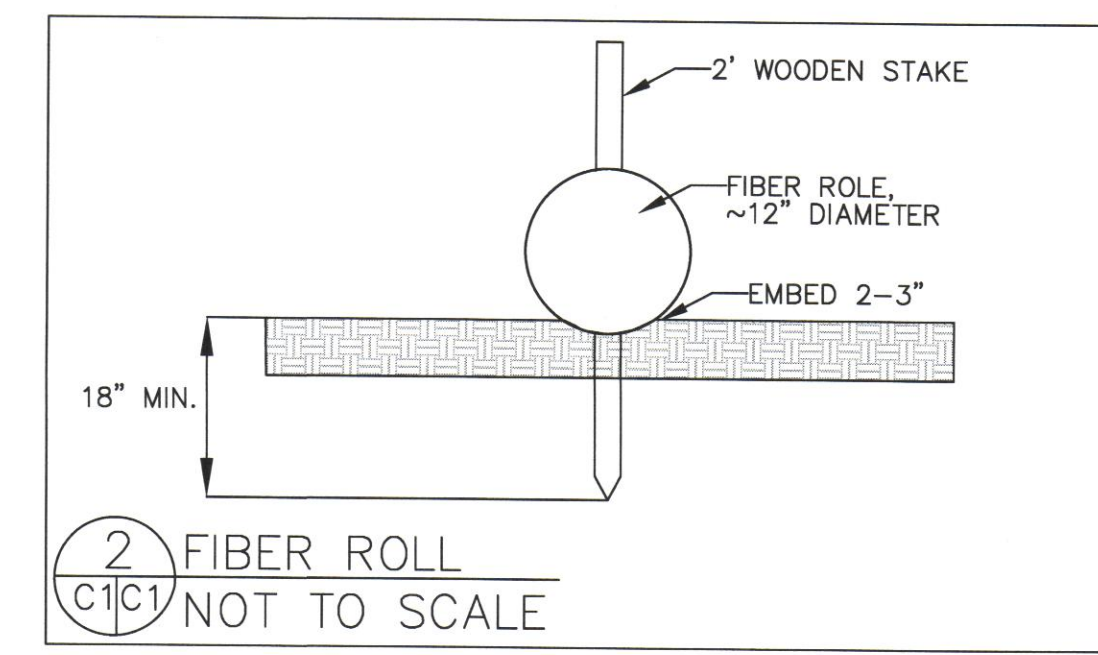
KALPAKOFF PROPERTY  
CYPRESS AVENUE  
MOSS BEACH

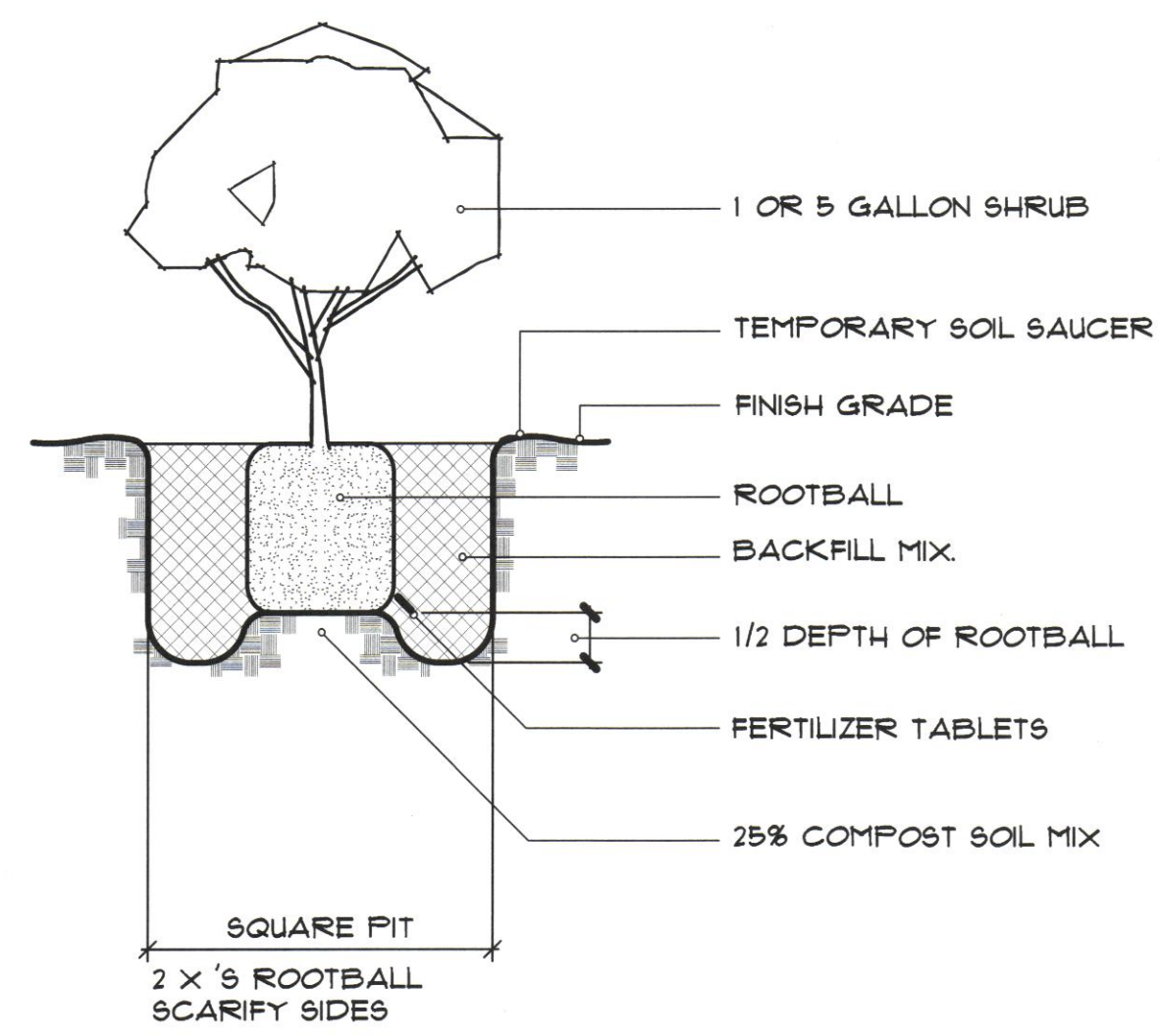
SHEET  
C-1



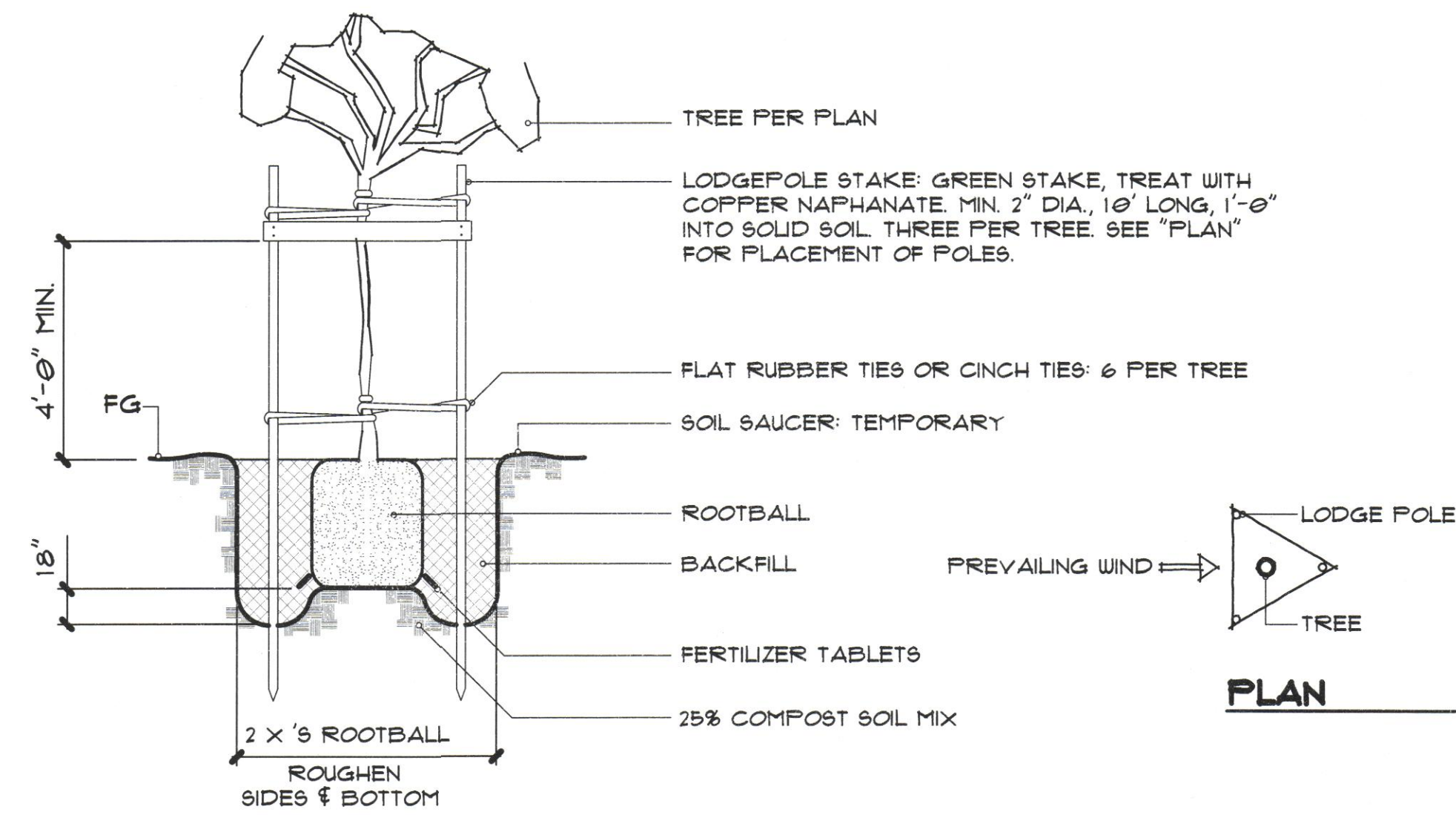
### EROSION CONTROL NOTES

- GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 15 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
- NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
- ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
- ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HAUL.
- ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.
- ROCKED CONSTRUCTION ENTRANCE SHALL BE 35 FEET LONG BY 12 FEET WIDE AND CONFORM TO THE FOLLOWING:  
A. THE MATERIAL FOR THE PAD SHALL BE 2 TO 3 INCH STONE.  
B. PAD SHALL BE NOT LESS THAN 8" THICK.  
C. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.  
D. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA THAT DRAINS TO THE CONCRETE WASHOUT AREA.
- CONCRETE WASHOUT AREA SHALL BE SURROUNDED BY A SINGLE LAYER OF SAND BAGS TO CONTAIN FLUIDS; CHANNEL INTO AREA SHALL BE CLEARED TO ALLOW TIRE DEBRIS (SEE NOTE 6.D. ABOVE)

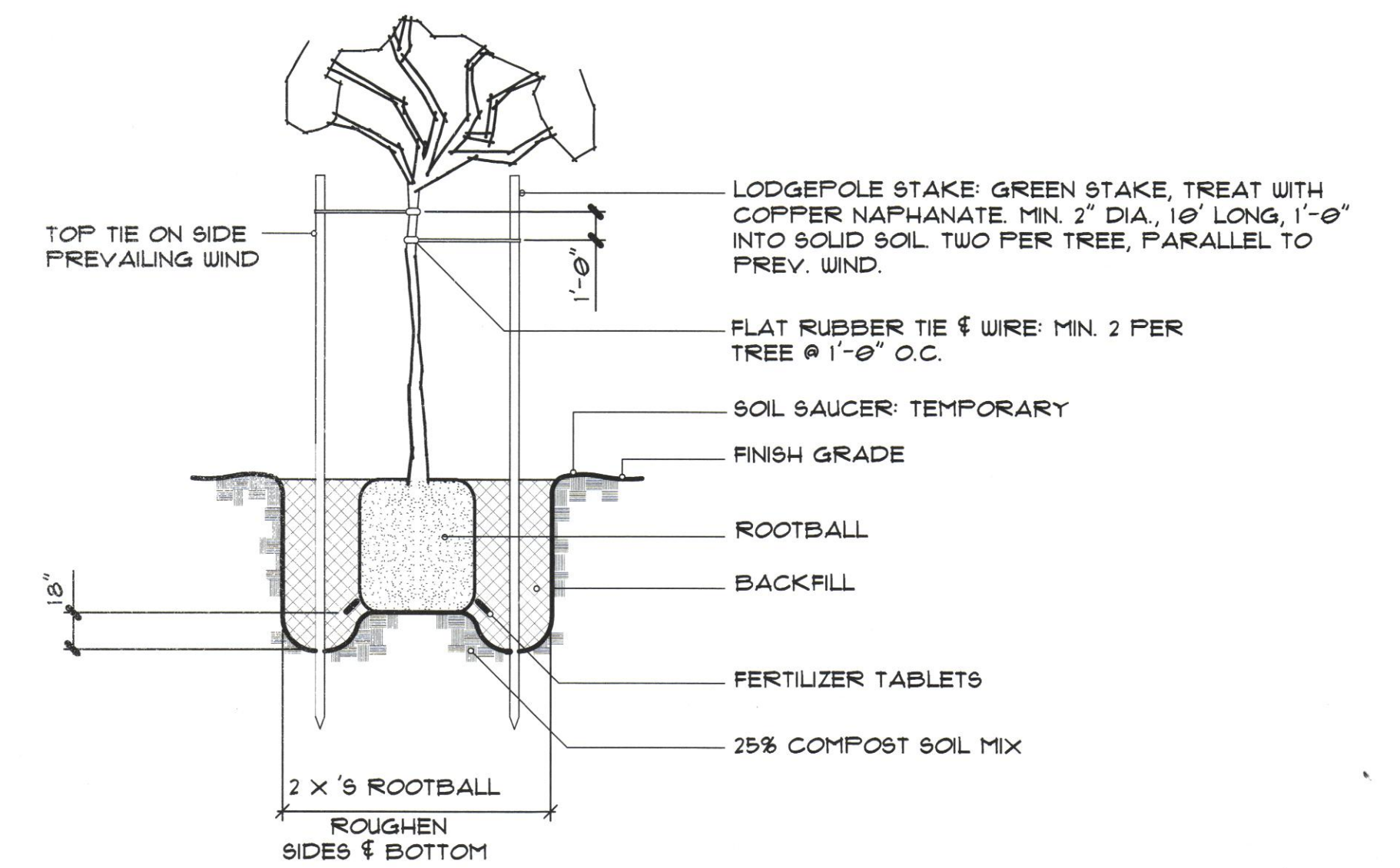




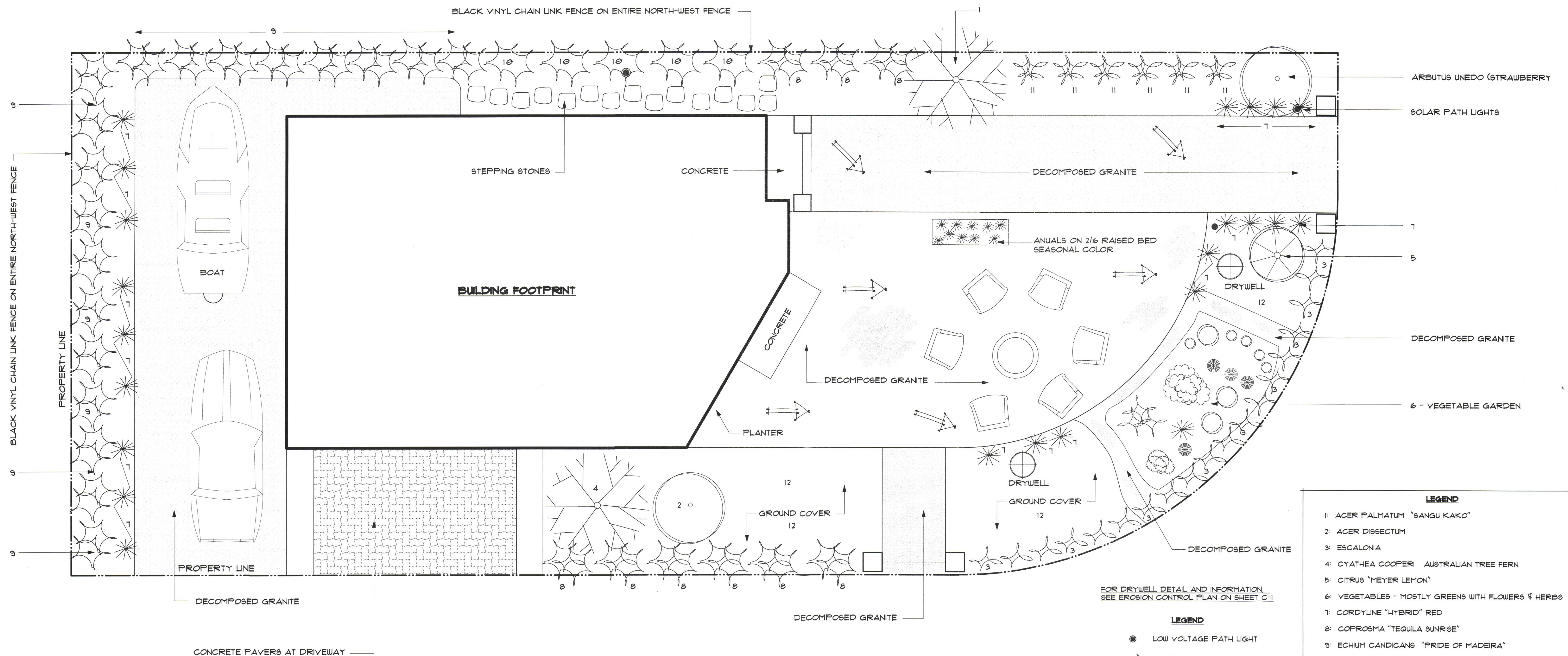
**SHRUB PLANTING DETAIL** NOT TO SCALE



**BOX TREE STAKING DETAIL** NOT TO SCALE



**TREE STAKING DETAIL** NOT TO SCALE



**LANDSCAPE PLAN** SCALE: 1/4" = 1'-0"

FOR DRYWELL DETAIL AND INFORMATION, SEE EROSION CONTROL PLAN ON SHEET C-1

- LEGEND**
- LOW VOLTAGE PATH LIGHT
  - ➔ SLOPE TO DRAIN
  - ⚓ SPOT ELEVATION
  - ⊕ DRYWELL

- LEGEND**
- 1: ACER PALMATUM "SANGU KAKO"
  - 2: ACER DISSECTUM
  - 3: ESCALONIA
  - 4: CYATHEA COOPERI AUSTRALIAN TREE FERN
  - 5: CITRUS "MEYER LEMON"
  - 6: VEGETABLES - MOSTLY GREENS WITH FLOWERS & HERBS
  - 7: CORDYLINE "HYBRID" RED
  - 8: COPROSMA "TEQUILA SUNRISE"
  - 9: ECHIUM CANDICANS "PRIDE OF MADEIRA"
  - 10: ERICA CANALICULATA OR ERICA MELANTHERA "HEATH"
  - 11: PASSIFLORA CAERULEA
  - 12: ERIGERON (SANTA BARBARA DAISY) AND FRAGARIA (ORNAMENTAL STRAWBERRY)

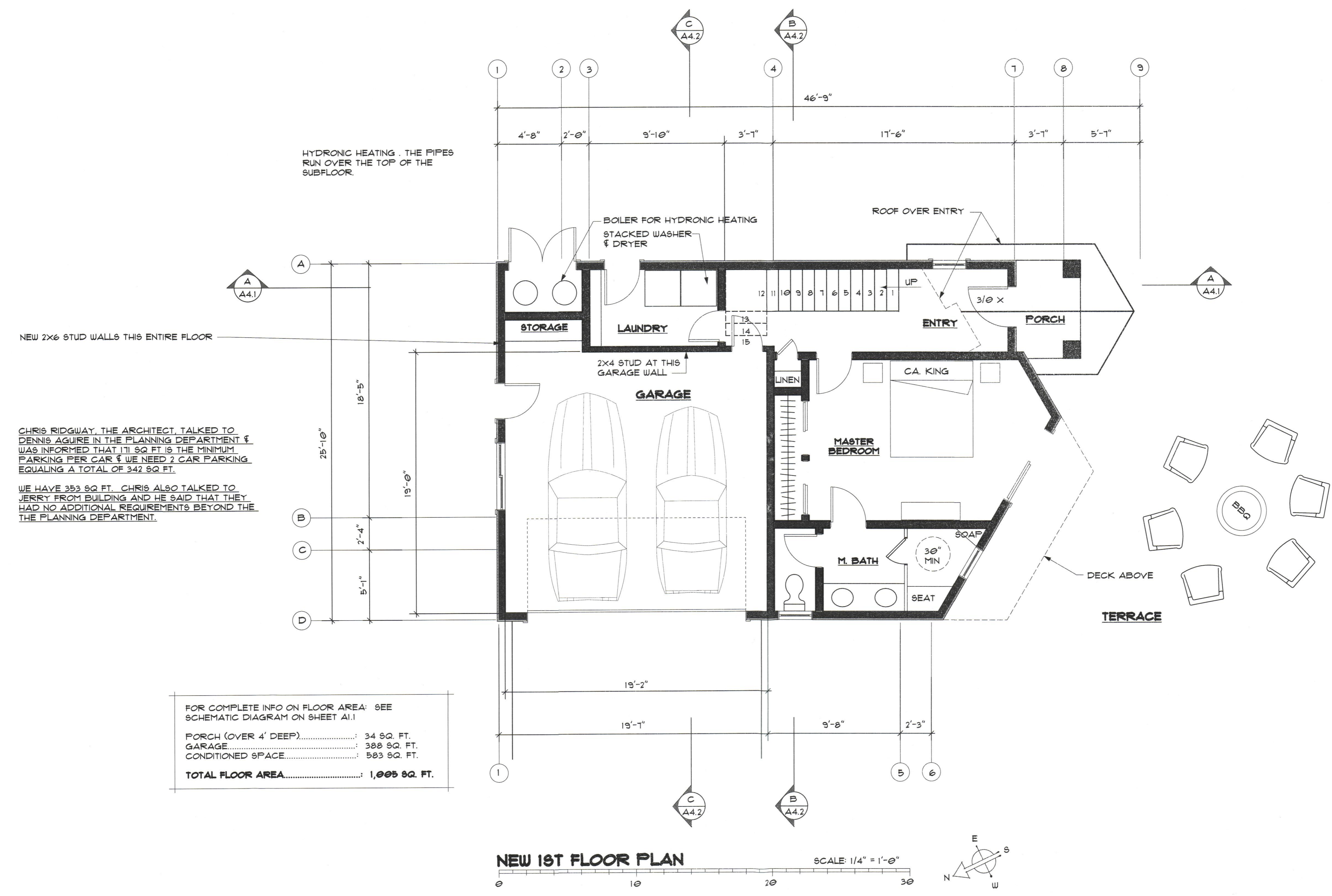


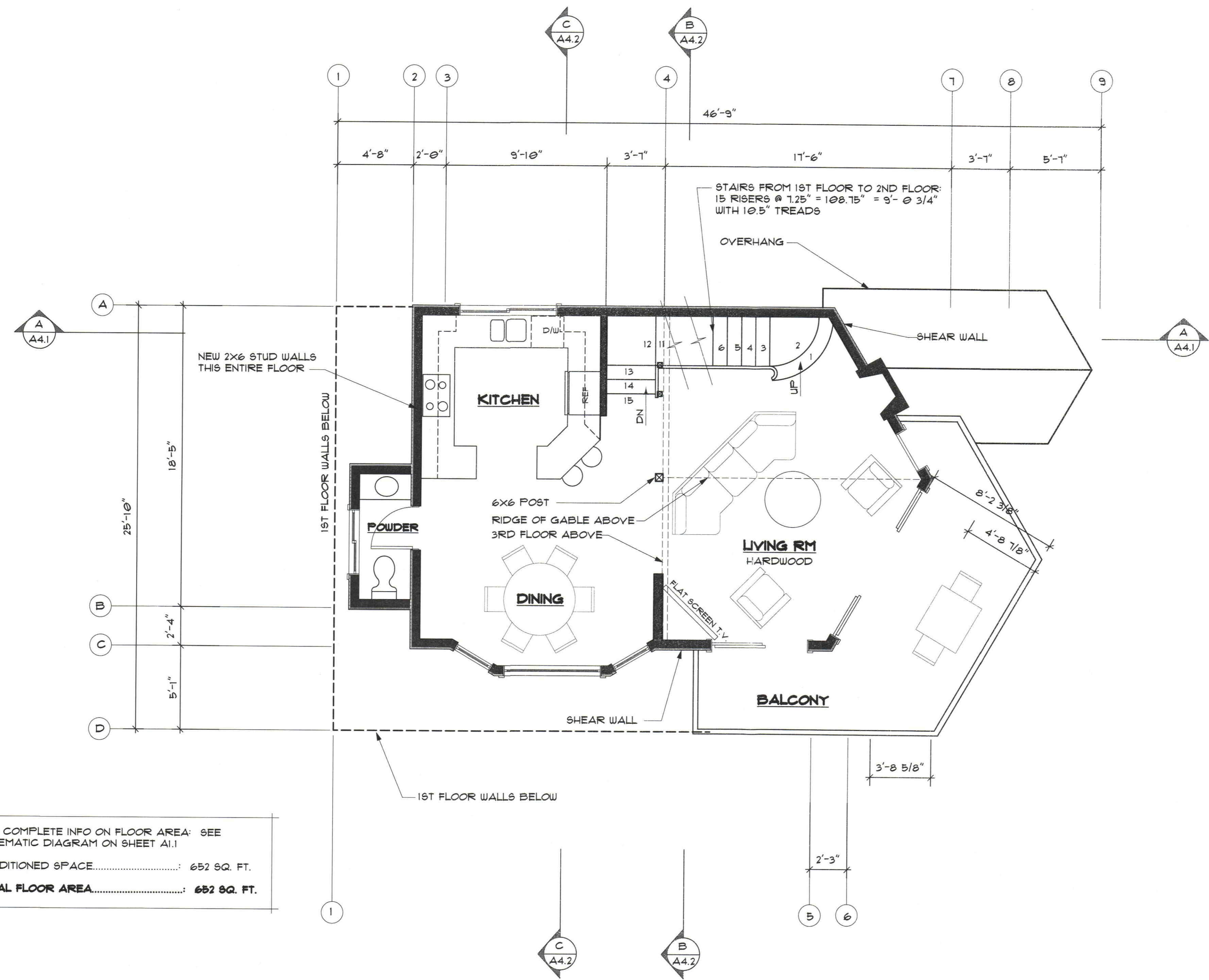
**CHRIS RIDGWAY ARCHITECT, INC.**  
 610 FOPHAR STREET, HALF MOON BAY, CA 94019  
 PH: 650 627-6301 WEB SITE: CRARCHITECT.NET  
 EMAIL: CRARCHITECT@COASTSIDE.NET

NEW RESIDENCE FOR:  
**STEVE KALPAKOFF**  
 REDONDO AVE., MOSSES BEACH, CA A.P.N. 031-225-010

JOB # 1501  
 SCALE AS NOTED  
 DATE 06/15/13

SHEET  
**LS1**





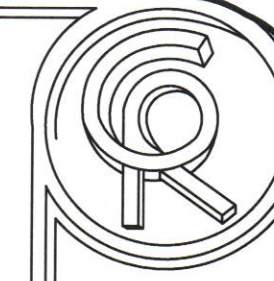
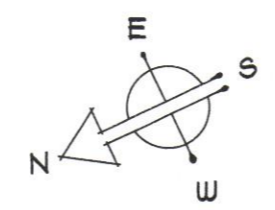
FOR COMPLETE INFO ON FLOOR AREA: SEE SCHEMATIC DIAGRAM ON SHEET A1.1

CONDITIONED SPACE.....: 652 SQ. FT.

TOTAL FLOOR AREA.....: 652 SQ. FT.

**NEW 2ND FLOOR PLAN**

SCALE: 1/4" = 1'-0"



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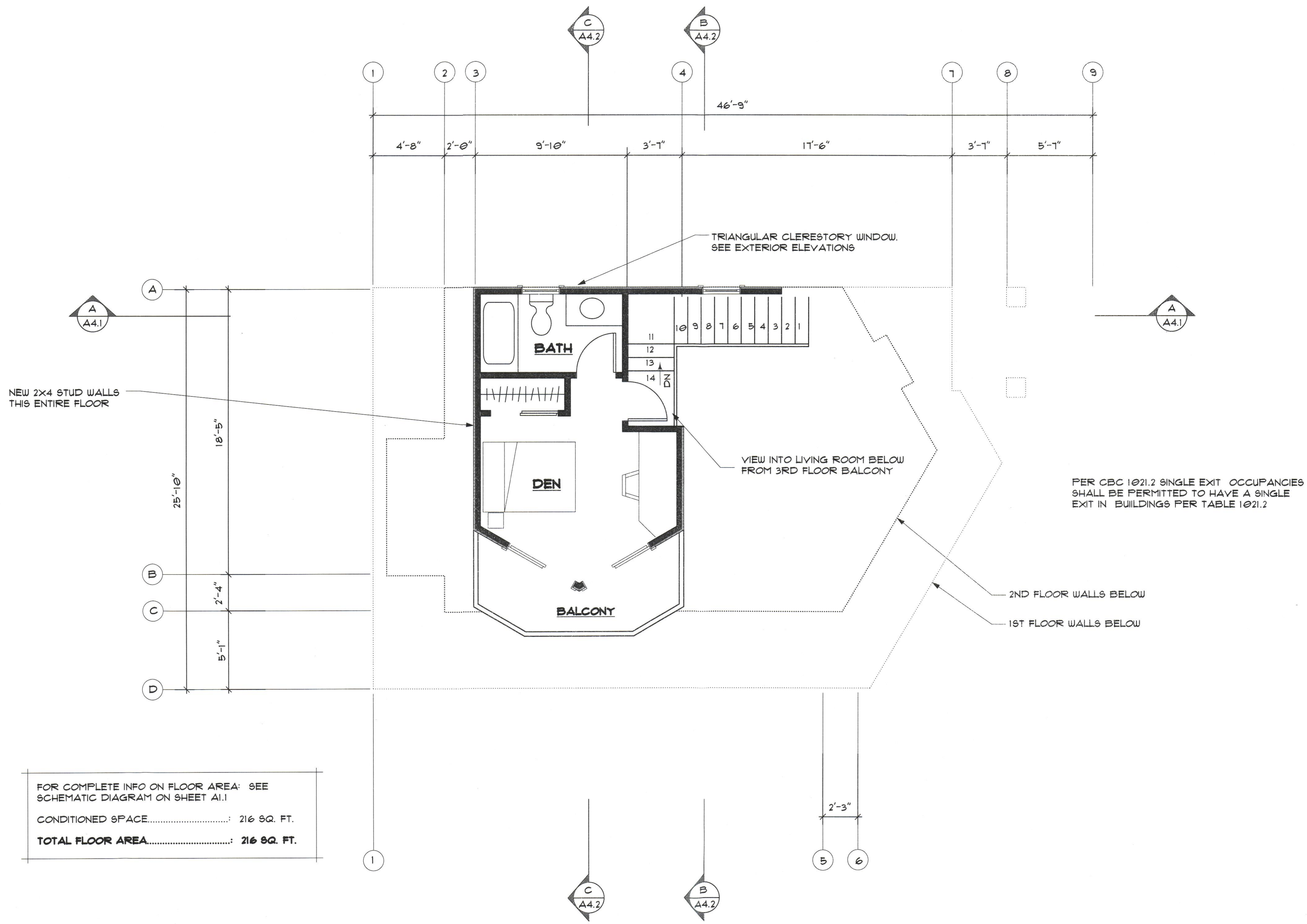
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JOB #  
1501

SCALE  
AS NOTED

DATE  
06/15/15

SHEET  
**A2.2**



FOR COMPLETE INFO ON FLOOR AREA: SEE SCHEMATIC DIAGRAM ON SHEET A1.1

CONDITIONED SPACE.....: 216 SQ. FT.

TOTAL FLOOR AREA.....: 216 SQ. FT.

**NEW 3RD FLOOR PLAN**

SCALE: 1/4" = 1'-0"



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1501

SCALE  
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DATE  
06/15/15

SHEET  
**A2.3**

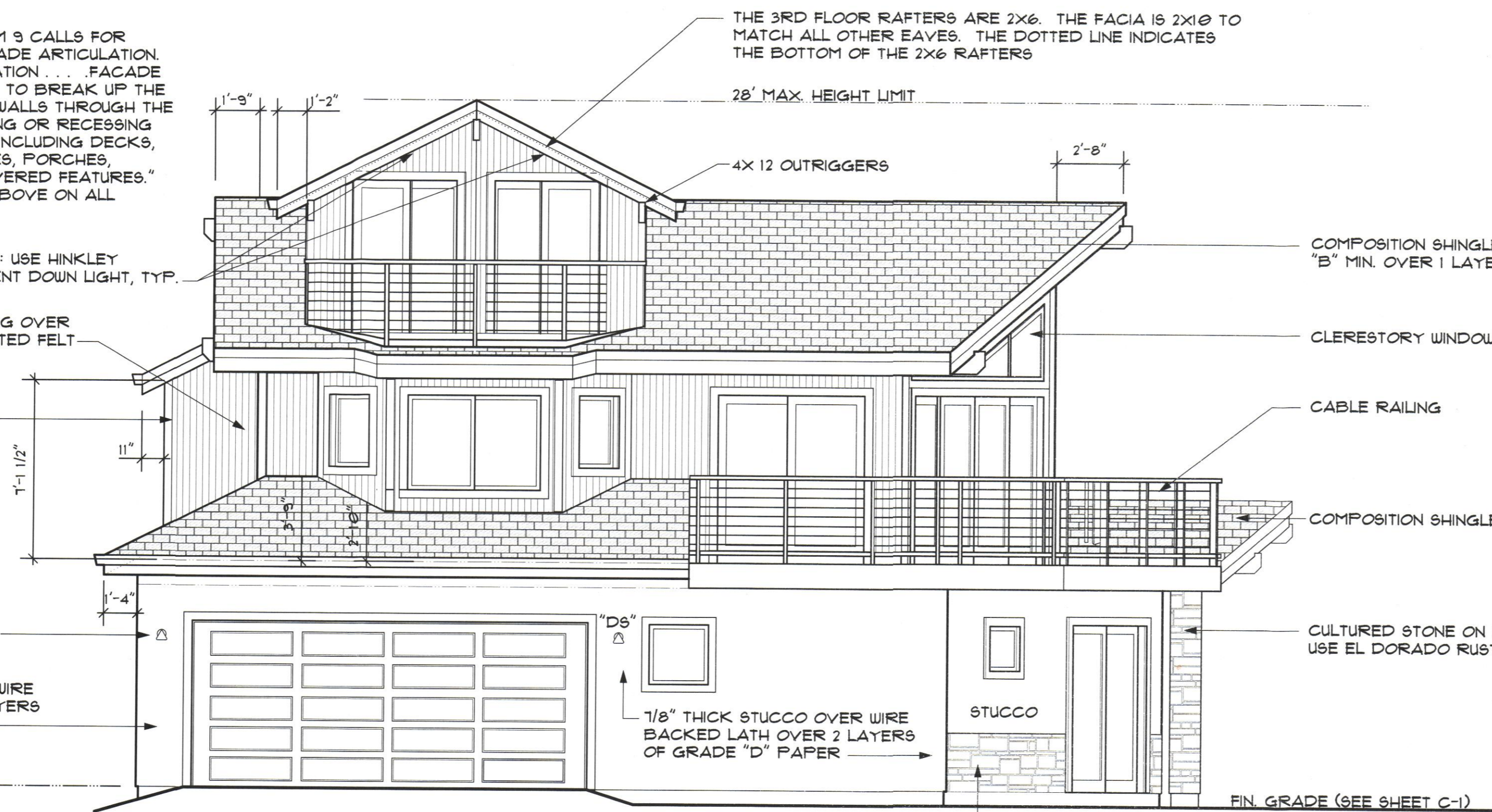
THE 9-11 REGULATIONS ITEM 9 CALLS FOR DAYLIGHT PLANE OR FACADE ARTICULATION. . . . FACADE ARTICULATION IS INTENDED TO BREAK UP THE APPEARANCE OF SHEAR WALLS THROUGH THE PLACEMENT OF PROJECTING OR RECESSING ARCHITECTURAL DETAILS, INCLUDING DECKS, BAYS, WINDOWS, BALCONIES, PORCHES, OVERHANGS AND CANTILVERED FEATURES. WE'VE DONE ALL OF THE ABOVE ON ALL ELEVATIONS.

LIGHTING AT SOFFIT EAVES: USE HINKLEY OUTDOOR BRONZE ACCENT DOWN LIGHT, TYP.

REDWOOD VERTICAL SIDING OVER 15# MIN. ASPHALT SATURATED FELT

1X REDWOOD TRIM

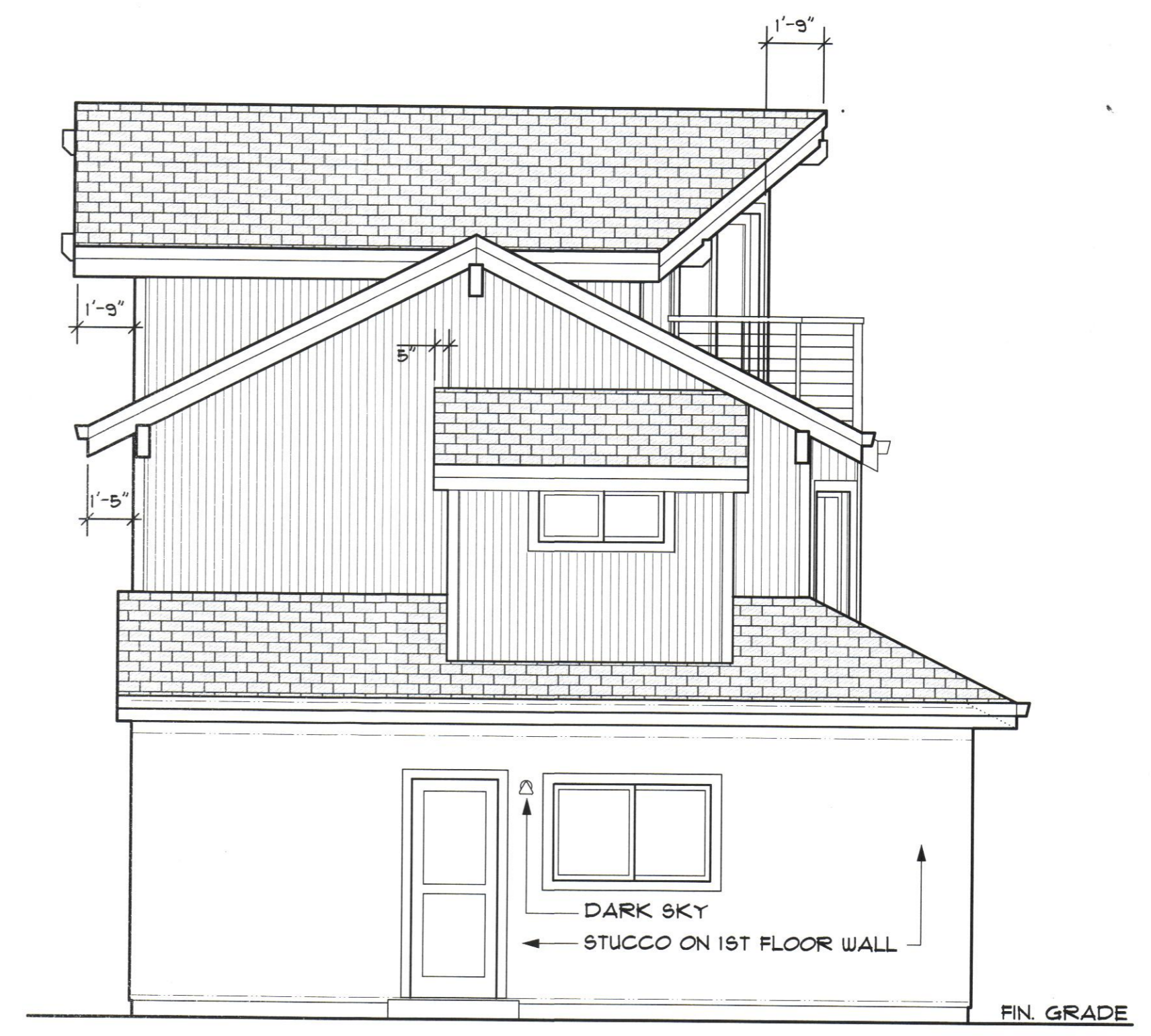
DARK SKY FIXTURE ("Ds")  
1/8" THICK STUCCO OVER WIRE BACKED LATH OVER 2 LAYERS OF GRADE "D" PAPER



SEE SECTION A-A FOR INFORMATION ON HEIGHT LIMIT, PROPOSED BUILDING HEIGHT & OTHER PERTINENT DIMENSIONS. SEE ALSO SHEET C-1 FOR FINISH GRADES

**LEFT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

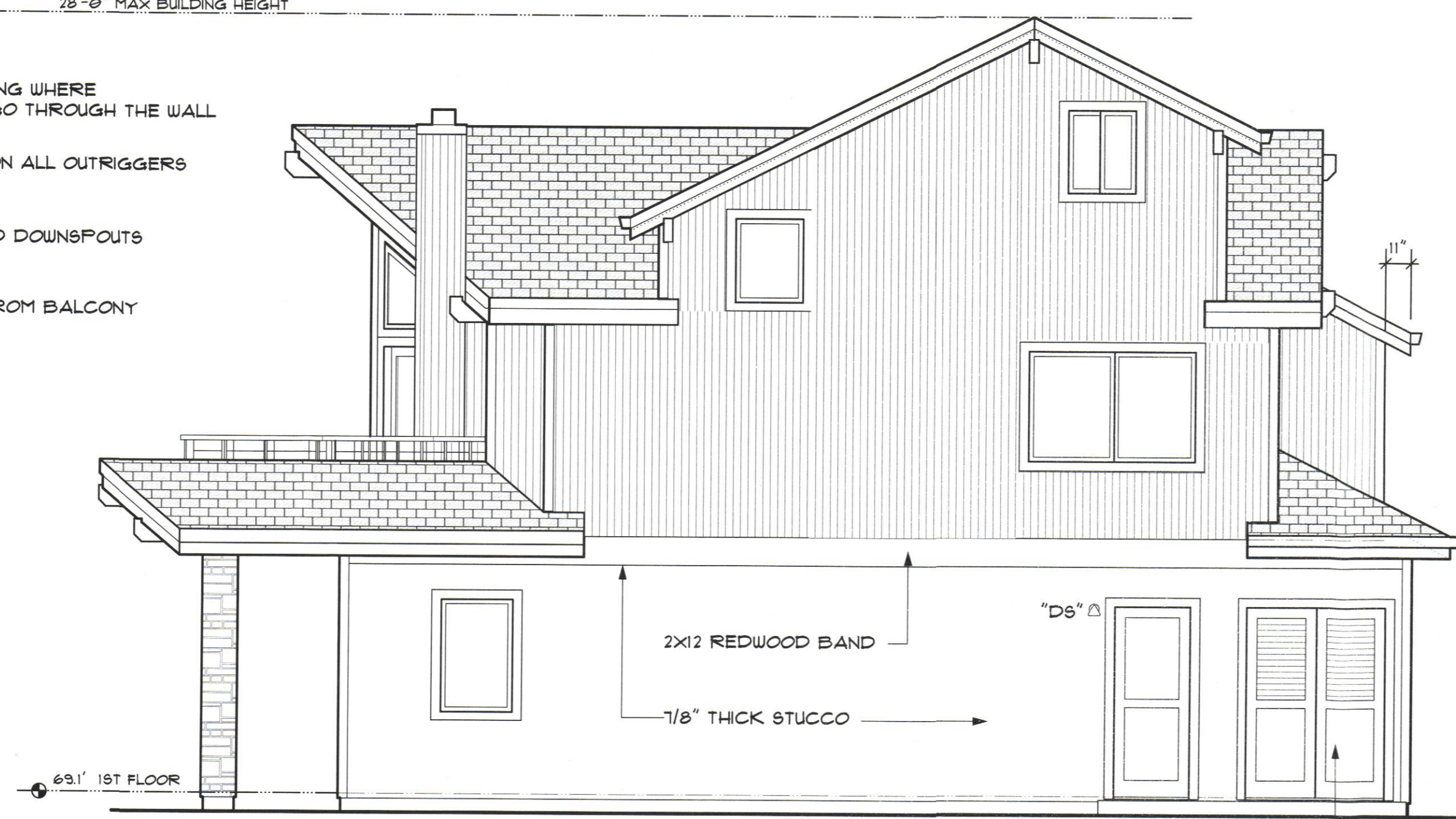


**REAR ELEVATION**

SCALE: 1/4" = 1'-0"



28'-0" MAX. BUILDING HEIGHT  
WATERPROOFING WHERE OUTRIGGERS GO THROUGH THE WALL  
COPPER FLASHING ON ALL OUTRIGGERS  
GUTTERS AND DOWNSPOUTS  
DRAINAGE FROM BALCONY



**RIGHT SIDE ELEVATION**

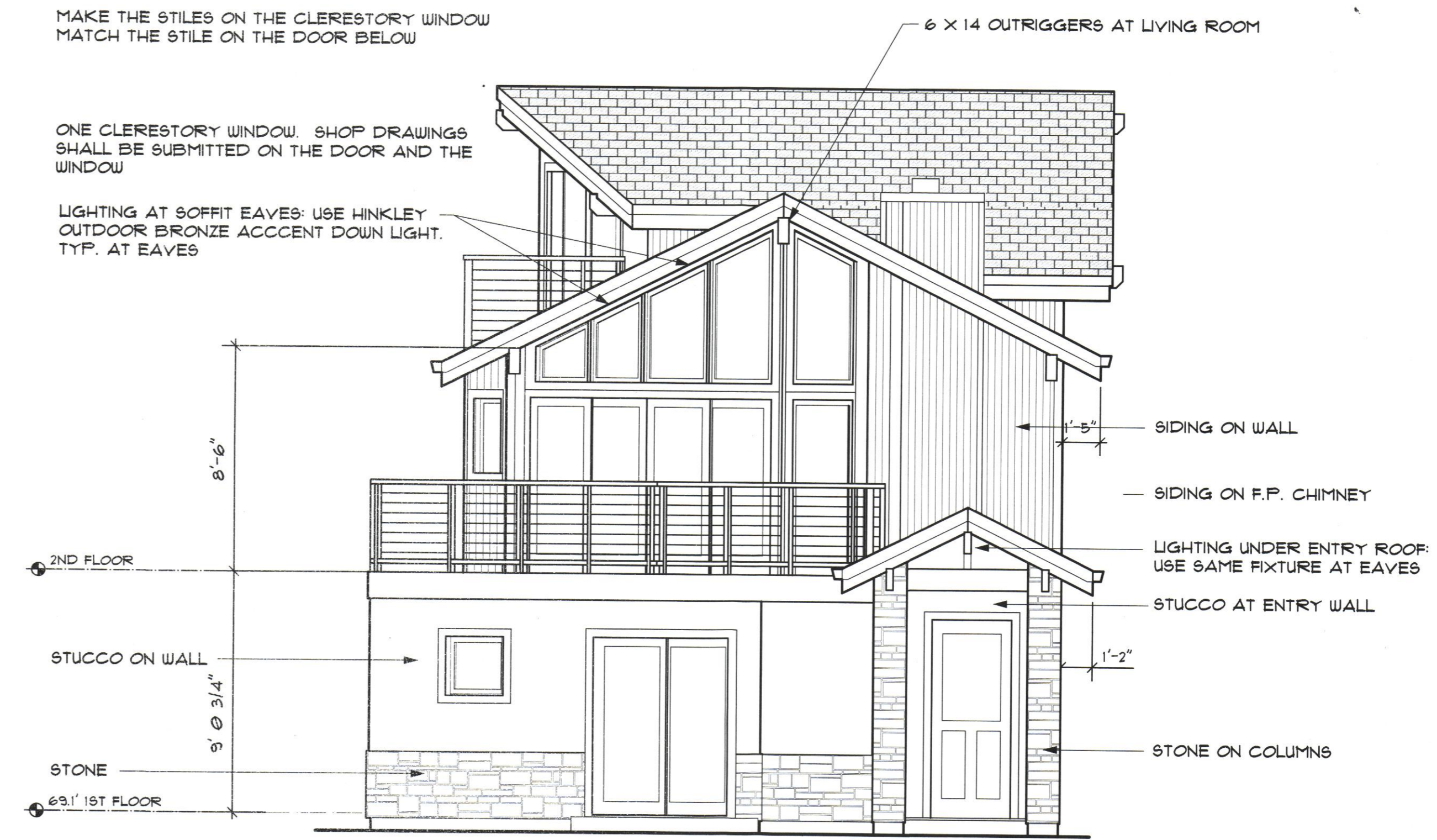
SCALE: 1/4" = 1'-0"



MAKE THE STILES ON THE CLERESTORY WINDOW MATCH THE STILE ON THE DOOR BELOW

ONE CLERESTORY WINDOW. SHOP DRAWINGS SHALL BE SUBMITTED ON THE DOOR AND THE WINDOW

LIGHTING AT SOFFIT EAVES: USE HINKLEY OUTDOOR BRONZE ACCENT DOWN LIGHT, TYP. AT EAVES



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



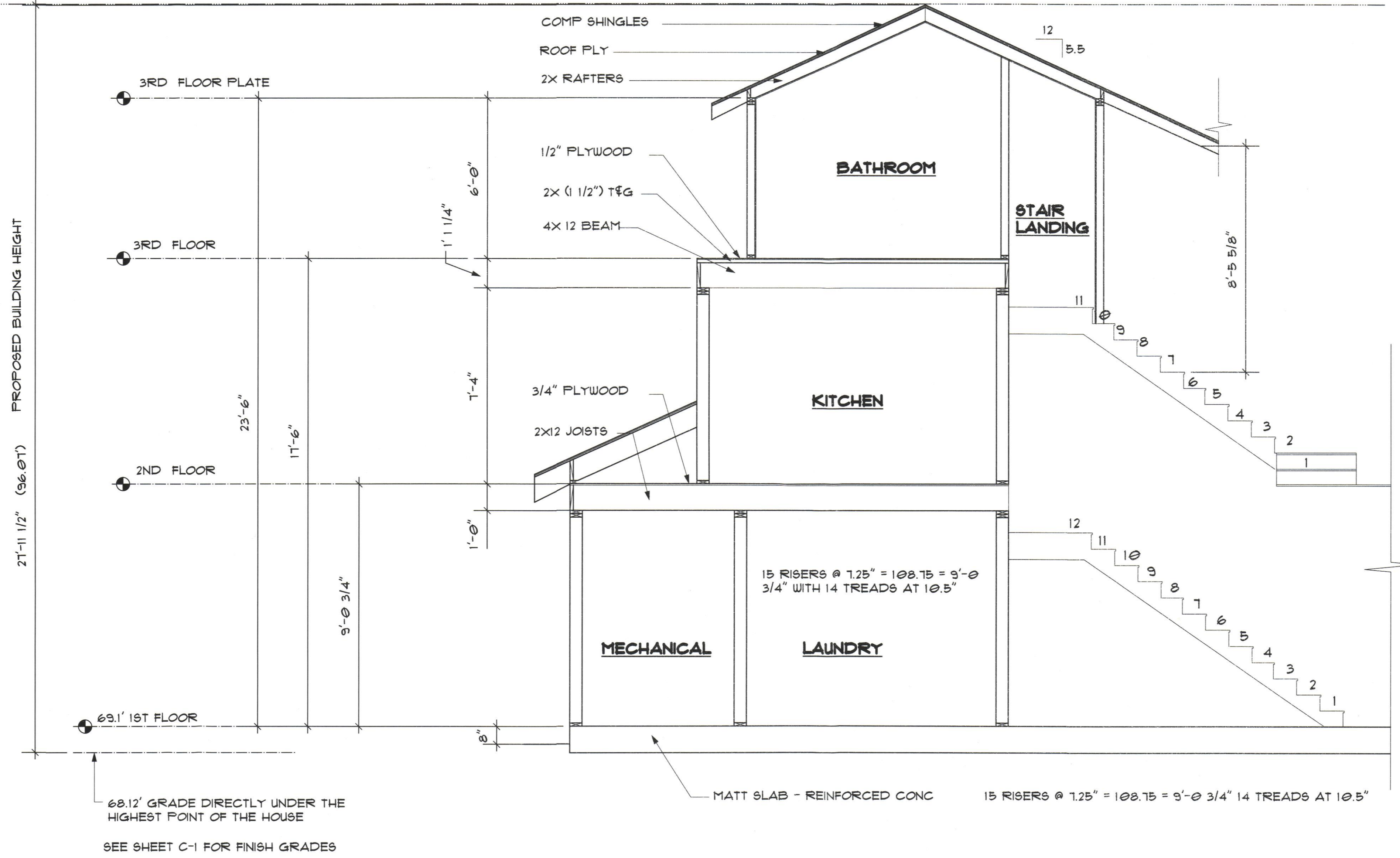
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JOB # 1501  
SCALE AS NOTED  
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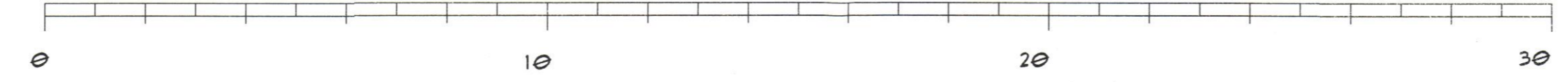
SHEET  
**A3.1**

28'-0" (96.12') MAX HEIGHT LIMIT



68.12' GRADE DIRECTLY UNDER THE HIGHEST POINT OF THE HOUSE  
SEE SHEET C-1 FOR FINISH GRADES

SECTION A-A



SCALE: 3/8" = 1'-0"



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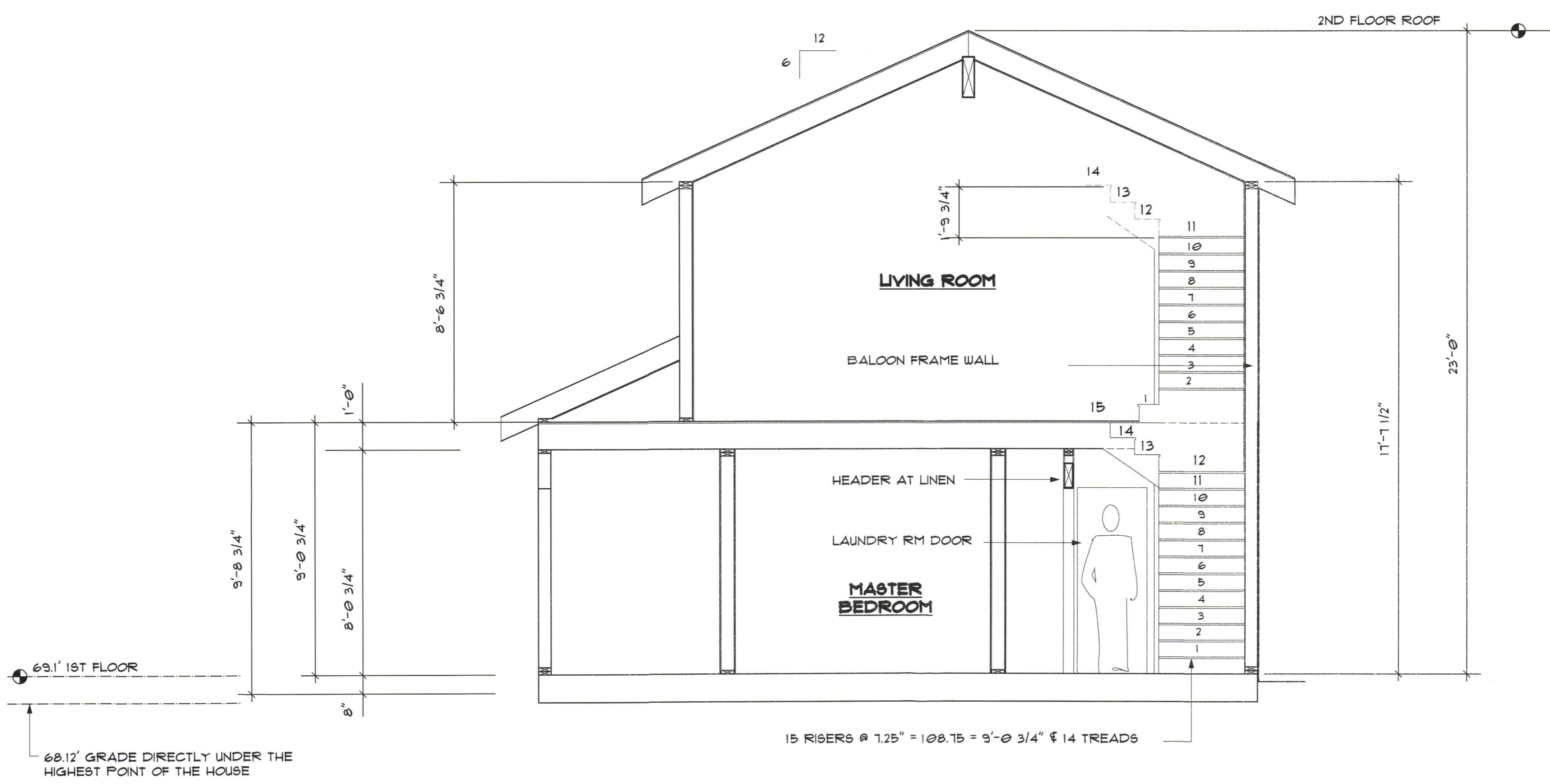
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PARKWAY & CYPRESS, MOSS BEACH, CA A.P.N. 031-225-010

JOB # 1501  
SCALE AS NOTED  
DATE 06/15/15

SHEET  
**A4.1**

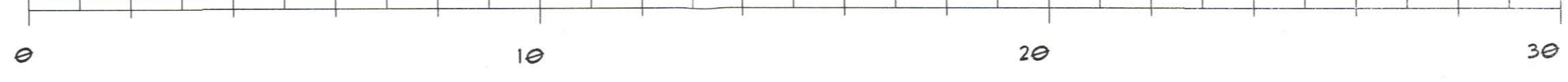


28'-0" MAX. BUILDING HEIGHT



SECTION B-B

SCALE: 3/8" = 1'-0"



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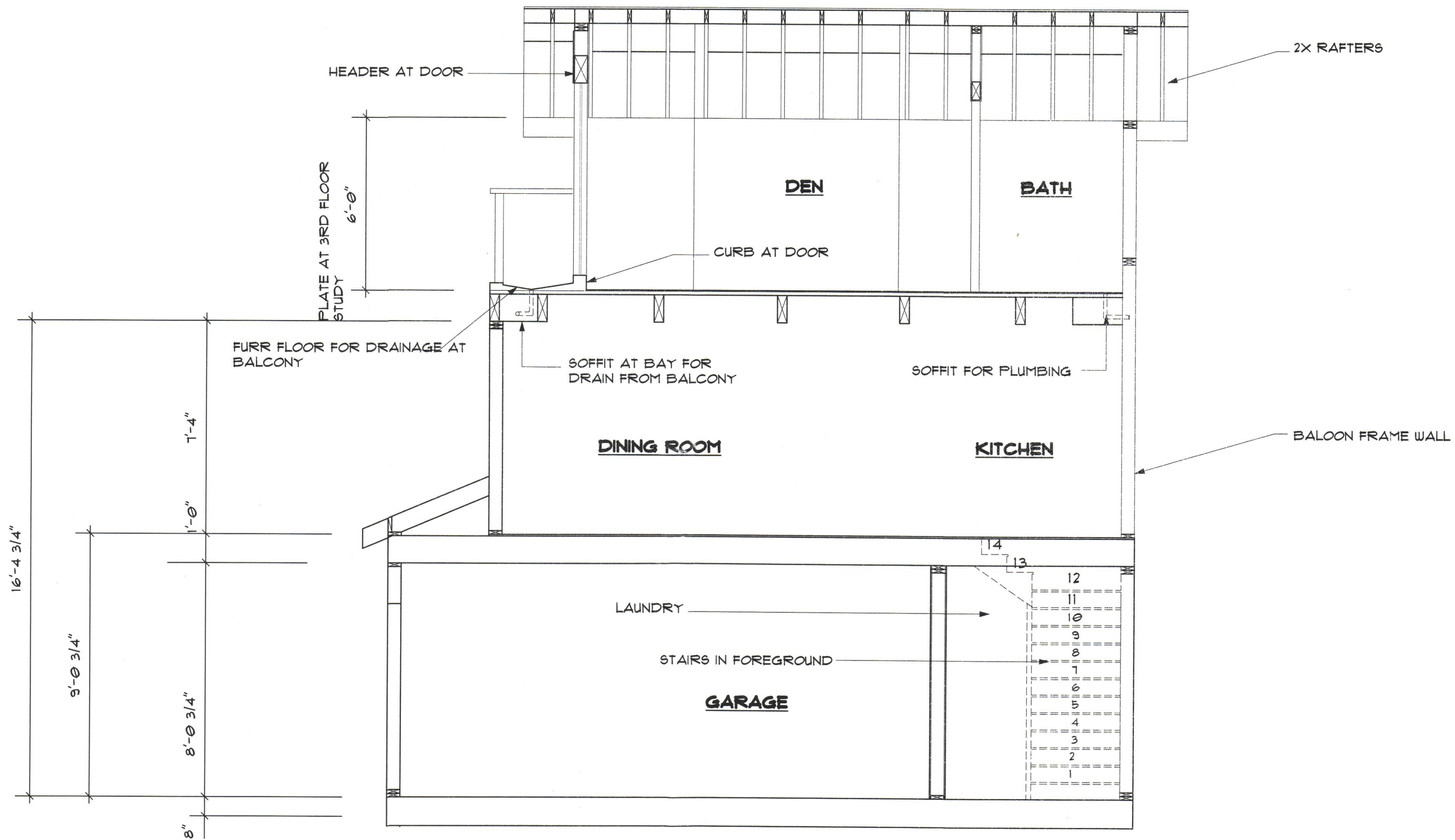
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1501

SCALE  
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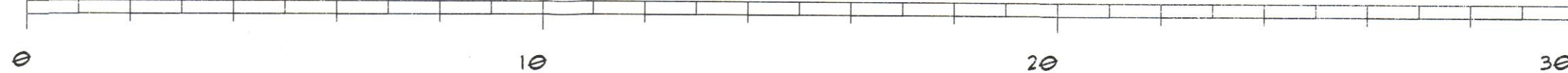
DATE  
06/15/15

SHEET  
**A4.2**



SECTION C-C

SCALE: 3/8" = 1'-0"



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 EMAIL: CRARCHITECT@COASTSIDE.NET

NEW RESIDENCE FOR:

**STEVE KALPAKOFF**

PARKWAY & CYPRESS, MOSS BEACH, CA A.P.N. 03T-225-010

JOB #  
1501

SCALE  
AS NOTED

DATE  
06/15/15

SHEET

A4.3