

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: January 22, 2025

TO: Planning Commission

FROM: Planning Staff

SUBJECT: Consideration of an appeal of the Director of Planning and Building's decision to approve a Significant Tree Removal Permit to remove a 35-inch diameter at breast height (DBH) Coast Live Oak tree, pursuant to Section 12,000 of the San Mateo County Ordinance Code, on a property located at 830 Menlo Oaks Drive in the unincorporated Menlo Oaks area of San Mateo County.

County File Number: PLN2023-00336 (Danforth/Saaber)

PROPOSAL

The appellant has appealed staff's decision to approve a Significant Tree Removal Permit to remove a 35-inch DBH Coast Live Oak tree located in the front yard of an 27,581 sq. ft. property, which, according to the applicant, conflicts with proposed development planned for the property. The appellant contends that the tree is healthy and that there are viable alternatives to development of the site which would avoid the removal of the subject tree.

RECOMMENDATION

That the Planning Commission deny the appeal and uphold the decision of the Director of Planning and Building to approve the removal of the 35-inch DBH Coast live oak tree, County file number, PLN2023-00336.

BACKGROUND

Report Prepared By: Angela Chavez, Senior Planner

Appellant: John Danforth

Applicant: Lisa Wellman for Plan A Design Group

Owner: Sanam Saaber

Public Notification: Ten (10) day advanced notification for the hearing was mailed to property owners within 300 feet of the project parcel and a notice for the hearing posted in a newspaper (San Mateo County Times) of general public circulation.

Location: 830 Menlo Oaks Drive, Menlo Oaks

APN: 062-160-050

Size: 27,581 sq. ft.

Existing Zoning: R-1/S-100 (One-Family Residential District/20,000 sq. ft. minimum parcel size)

General Plan Designation: Low Density Residential

Sphere-of-Influence: City of Menlo Park

Existing Land Use: Single-Family Residential

Water Supply: The property has an existing water connection provided by California Water Service - Bear Gulch Division.

Sewage Disposal: The property has an existing sewer connection provided by West Bay Sanitary District.

Flood Zone: The project parcel has a designated flood zone designation of Zone X (areas of minimal flood hazard), FEMA Panel No. 06081C0308E, Effective Date: October 16, 2012.

Environmental Evaluation: This project is exempt from the California Environmental Quality Act (CEQA), pursuant to CEQA Guidelines, Section 15304 (Minor Alterations to Land). This class exempts minor public and private alterations in the condition of land, water and/or vegetation, such as a removal of a tree.

Setting: The project parcel is a flat lot located approximately 0.17 of a mile from the intersection of Bay Road and Menlo Oaks Drive within an established residential neighborhood. The property is developed with a single-family residence and is landscaped.

Project Background: The original application was submitted on October 16, 2023 and proposed the removal of eight (8) trees citing health and hazards as the rationale for removal. The arborist report that accompanied the application was reviewed by the County Arborist and found to be insufficient and a revision to the report was requested. The County Arborist requested that the images be provided of trees for removal, which detail conditions/defects of concern. The County Arborist also requested that the consulting arborist update the report to identify alternatives to removal pursuant Section

12,021 of the tree regulations. A revised arborist report was submitted on January 10, 2024. The revised arborist report was reviewed by the County Arborist who again requested that images of the trees proposed for removal be provided and to include images which detail the conditions of concern identified by the arborist. The County Arborist also requested that alternatives to removal be explored particularly for trees that are located outside of the proposed development footprint. On March 11, 2024 a revised application was received which reduced the number of trees proposed for removal from eight to one which is now the subject of this approval. The revised application notes that the subject Coast Live Oak tree is in fair condition but being proposed for removal as part of a proposed addition project to the house (County File No. BLD2023-01600).

As part of the permit processing, notice of the application was mailed to all neighbors located within 100 feet of the property and site posters were placed on-site for 10 days. During the 10-day comment period Staff received correspondence from six concerned parties and neighborhood advocacy groups in opposition to the proposed removal of the subject Coast Live Oak tree. The opposition comments noted that the development could still occur without removing the tree and expressed concerns over removing a tree in fair health, as well as the overall loss of significant trees in the community.

Staff reviewed the project application materials along with all submitted comments and determined that the removal of the Coast Live Oak tree due to the proposed development was consistent with the requirements of the Significant Tree Removal Ordinance. An approval of the application was issued on June 5, 2024. The appellant filed an appeal on June 20, 2024.

DISCUSSION

A. KEY ISSUES

The appellant submitted an appeal and subsequent email in opposition to the Director of Planning and Building's decision to approve the Significant Tree Removal Permit, PLN2023-00336. The submitted documentation states that the appellant disagrees with the decision to allow removal of the significant tree based on the following concerns.

1. This healthy tree has a lean as do many or most of the legally protected oaks trees in Menlo Oaks. I urge you to come to my block and see for yourself. The first attached photo only captures part of what I mean.

Staff Response: While the consulting arborist's summary of the tree was included in the letter of decision it was not included as part of the applicant's request to remove the tree, in staff's discussion, as rationale to support the removal, or as one of the findings of approval. The application for removal notes that the tree is in close proximity to the proposed addition and that repeated vehicle traffic over the critical root zone of the tree would result in

impacts. While the lean of the tree is not included as finding, there are expected impacts to the critical root zone and should the tree remain and fail, it does pose risks the neighboring residence (given the direction of the lean).

2. The tree in question poses no apparently significant risk as is. Certainly, no more than for any other mature tree. If there is any such risk from this tree, it is because the new owner wants to run a new driveway over some of the root system. See second attached picture, which shows the construction now underway. This kind of owner-created risk (in the face of a known issue) cannot be allowed to overcome the mandates of County tree ordinances.

Staff Response: The request for removal cited development related impacts that would result in negative impacts to the tree. The overall development project proposes a remodel/addition to the first floor and the creation of a second floor. Currently, the property does not include the required covered parking and so the proposed addition/remodel includes the creation of an attached garage. A portion of the right side of the house would be converted/with minor expansion to accommodate this space. This work also includes an expansion of the driveway immediately adjacent to the subject tree. The location of the proposed garage, driveway, and reoccurring travel over the critical root zone of the tree would result in damage to the root system. While the tree is adequately distanced from the proposed addition, it would be impacted by this related development. The permit approval was not based on an evaluation or finding that the tree posed a risk to the proposed development.

3. As I noted very early on, before any construction of this new house began, there was a relatively simple way to entirely avoid even this risk from the new driveway. That was to flip the plans 180 degrees and simply put the garage and driveway on the other side of the lot. The owner did not do that. Instead, while this appeal was pending, she began work on the house. This was in the face of a known issue and significant neighborhood opposition.

Staff Response: As noted previously, the associated building permit for this property is not for a new house but for an addition/remodel of the existing residence. The proposed project includes a remodel/addition to the existing first floor (focused on the right and rear of the existing residence) and the creation of a second floor. While the proposed project will increase the size of the lower floor, the layout is still very similar to the existing floor plan. Given that the width of the existing family room located on the right side of the structure is wider than the bedroom on the left side, placing the garage in this location results in less disturbance of the existing floor plan and of structure overall. Given that the subject tree does not impede access to the

garage, tree protection measures were installed, and the construction was allowed to commence.

4. Even now, the owner can use hand excavation near the tree and can use a gravel driveway instead of pavers. (I myself will be doing both for my own planned driveway replacement -- because of my own trees). This will significantly reduce any risk to (or from) this tree.

Staff Response: The parcel is developed with a paved horseshoe design driveway. The area around the base of the subject tree is also currently paved as part of the existing driveway design. The project proposes only minor alterations to the location of the driveway and proposes to replace the portion at the front of the house with asphalt concrete paving. While the project could incorporate pavers it will not address the proximity of the tree to the proposed garage, nor the impacts associated with the weight of repeated ingress/egress over the critical root zone of the tree.

5. This tree is extremely visible from the road and forms a vital part of a dense tree canopy. See attached third photo. Removing it will leave an enormous gap in the canopy. No new replacement tree (even if planted in the same spot) will fill that gap for 100-200 years.

Staff Response: The subject parcel has three large oaks located in the front yard area. Two of the trees are located closer to the street, are the most visible, and are to remain. The subject tree, while large, is located further back on the property, at approximately 53 feet from the front property line. However, the two aforementioned trees also have significant canopies, and the canopies of all three trees are growing into each other. Overall, there is approximately 14,922 sq. ft of tree canopy covering the parcel. The subject tree comprises approximately 1,813 sq. ft. or 8% of that the tree canopy. Given the location of the subject tree, the impacts to the street view and overall tree canopy of the parcel are minimal. Furthermore, given the dense canopy on the parcel, the removal of the subject tree could also allow the other adjacent oaks to thrive as they will no longer be competing for resources.

6. Enforcing the County tree ordinances (which has, frankly, been done only sporadically; the vast majority -- over 95% -- of tree removal permits are approved) is now critical. We have had a tough few years with droughts followed by heavy rains. And some Menlo Oaks trees have been weakened by construction and/or excessive irrigation. So, some old trees in Menlo Oaks have recently fallen. Many more are now threatened by currently planned County action. On my block alone, at least 10 mature trees (mostly mature oaks) will be "impacted" (the County's word) by recently approved County road-widening. So, for all these reasons, we need to be especially

vigilant to save the heritage and significant trees that we can save. This is one of them.

Staff Response: Staff recognizes the value of trees to the environment as well as their contributions to the communities in which they are located. However, the approval of this application or other tree removal permits is not an indication that the County is not enforcing the tree ordinances. Further, each application is evaluated on its individual merits under the applicable standards set forth in the regulations, and those standards do not provide for consideration of overall neighborhood patterns of development. It is also noteworthy that this application was substantially revised through several rounds of internal review prior to public noticing and the subsequent approval decision. As a result of process, the applicant significantly reduced the number of trees initially proposed for removal, allowing the large majority of the canopy of this parcel to remain undisturbed.

B. ENVIRONMENTAL REVIEW

That the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15304 (Minor Alterations to Land). This class exempts minor public or private alterations in the condition of land, water and/or vegetation, such as the removal of a tree.

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Location Map
- C. Revised Tree Removal Application
- D. Revised Arborist Report and Plans
- E. Letter of Decision Approving the Application
- F. Appeal Application and Supporting Documents

County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN2023-00336 Hearing Date: January 22, 2025

Prepared By: Angela Chavez, For Adoption By: Planning Commission
Senior Planner

RECOMMENDED FINDINGS

1. The trees will be replaced by plantings approved by the Director of Planning and Building, unless special conditions indicate otherwise.
2. The required action is necessary to allow reasonable economic or other enjoyment of the property as discussed, the original letter of decision issued on June 5, 2024.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

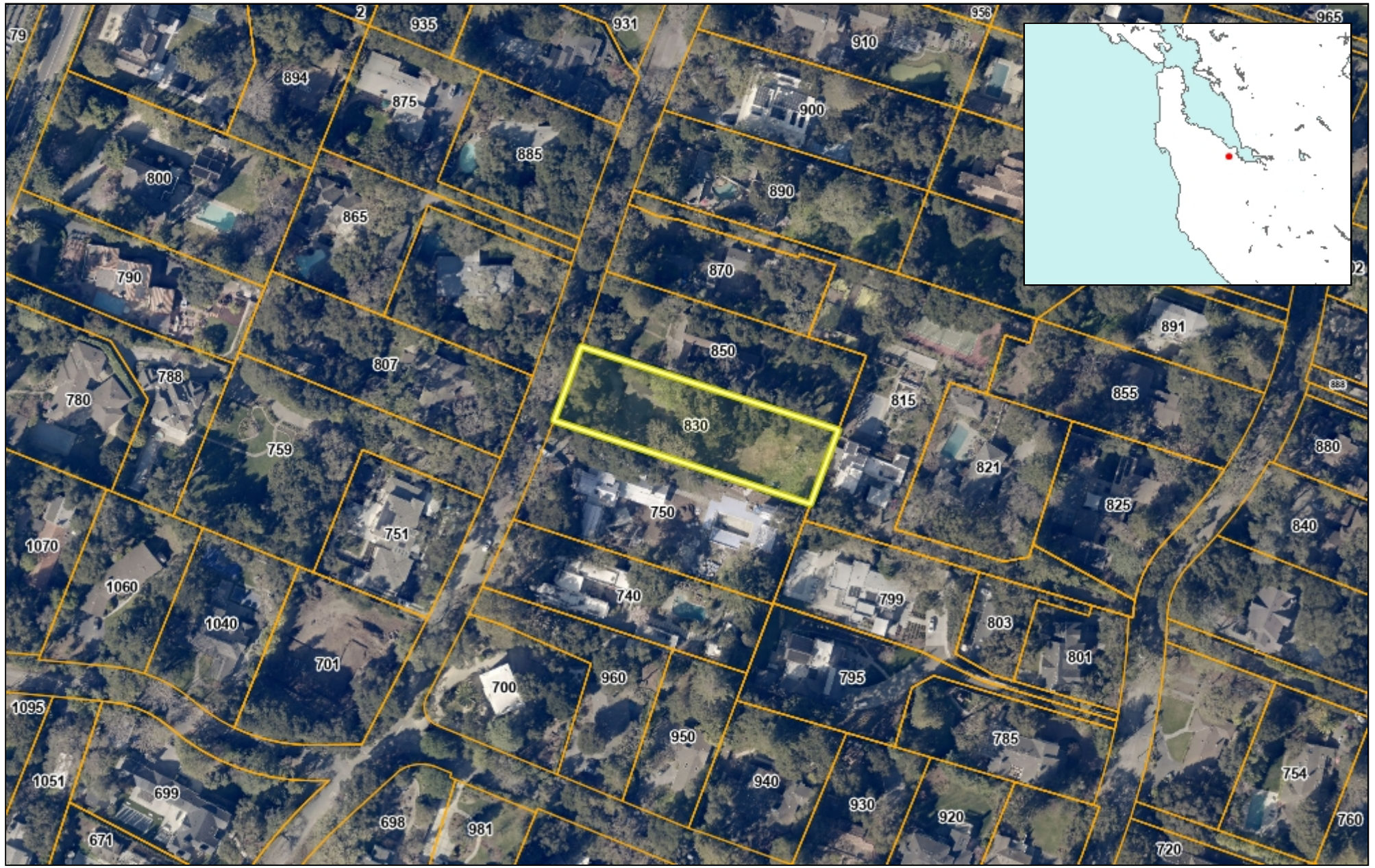
1. The tree indicated on the application form dated October 16, 2023, may be removed after the end of the appeal period, assuming no appeal is filed. A separate Tree Removal Permit shall be required for the removal of any additional trees. If the tree removal is associated with a building permit, the tree may only be removed after building permit issuance.
2. The decision letter associated with this Significant Tree Removal Permit approval shall be on the site and available at all times during the tree removal operation and shall be available to any person for inspection. The issued permit shall be posted in a conspicuous place at eye level at a point nearest the street.
3. The applicant shall plant on-site a total of two (2) trees using at least 24-inch box Coast live oak trees or other California native oak species for the tree removed. For tree permits not associated with a building permit, replacement planting shall occur within one (1) year of the Tree Removal Permit approval date (Section 12,024 of the San Mateo County Significant Tree Ordinance Code). Replacement trees shall be planted in locations which do not conflict with utility lines or built improvements, such as structures, fences, driveways and sidewalks.

4. The applicant shall submit photo verification to the Planning Department of the planted replacement trees required in Condition of Approval No. 3. Photos shall either be submitted in person to the Planning Department, or via email to PlanningProjects@smcgov.org with reference to the Planning Application PLN Number, as identified in the subject line of this letter.
5. If the subject Tree Removal Permit is associated with a building permit for construction of a new residence, the required tree replanting, per Condition of Approval No. 3, shall be required prior to the final building inspection approval. Any outstanding tree replacements not yet complied with from previously approved tree removal permits, if any, shall also be fulfilled. An inspection final by the Planning Department will be added to the associated building permit, BLD2023-01600, and can be satisfied via photo verification described in Condition 4.
6. The tree shall not be removed until the associated building permit (BLD2023-01600) has been issued.
7. If work authorized by an approved permit is not commenced within the period of one year from the date of approval, the permit shall be considered void.
8. During the tree removal phase, the applicant shall, pursuant to Chapter 4.100 of the San Mateo County Ordinance Code, minimize the transport and discharge of stormwater runoff from the construction site by:
 - a. Stabilizing all denuded areas and maintaining erosion control measures continuously between October 1 and April 30.
 - b. Removing spoils promptly and avoiding stockpiling of fill materials when rain is forecast. If rain threatens, stockpiled soils and other materials shall be covered with a tarp or other waterproof material.
 - c. Storing, handling, and disposing of construction materials and wastes so as to avoid their entry to the storm drain system or water body.
 - d. Using filtration or other measures to remove sediment from dewatering effluent.
 - e. Avoiding cleaning, fueling or maintaining vehicles on-site, except in an area designated to contain and treat runoff.
 - f. Limiting and timing application of pesticides and fertilizers to avoid polluting runoff.
9. The applicant shall clear all debris from the public right-of-way.




COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT B



WGS_1984_Web_Mercator_Auxiliary_Sphere
 © Latitude Geographics Group Ltd.

1:2,257 

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT C

Application for Permit to Remove Tree(s)

Sections 11,000 et seq and 12,000 et seq of the San Mateo County Ordinance Code.

HERITAGE TREE(S) SIGNIFICANT TREE(S)

Property Owner: _____

Mailing Address: _____

ZIP code: _____

Telephone: _____ Email: _____

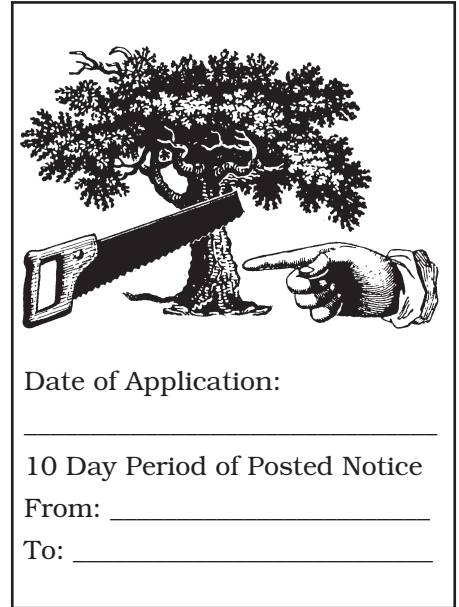
Applicant (if different): _____

Mailing Address: _____

ZIP code: _____

Telephone: _____ Email: _____

Address where tree(s) located: _____ Parcel Number: _____



| Tree(s) Diameter or Circumference (at 4½ ft. height) | Kind of tree(s) | Heritage Tree? (Yes / No) | Health of tree(s) | Reason for Removal/Trimming |
|--|-----------------|---------------------------|-------------------|-----------------------------|
| | | | | |
| | | | | |
| | | | | |
| | | | | |

REMOVAL PLAN:

- Method of removal: By Owner
 By Tree Removal Service.
 Name: _____ Phone: _____
- Disposal of tree debris: All debris to be removed from site by Tree Removal Service
 All/some debris to remain on site; Purpose: _____

The information contained in the application is accurate and true to the best of my knowledge. I understand that an approved permit is conditional. Further, the decision on this application may be appealed to the San Mateo County Planning Commission. Authority to remove or trim a tree is effective only after the approval appeal period has expired.

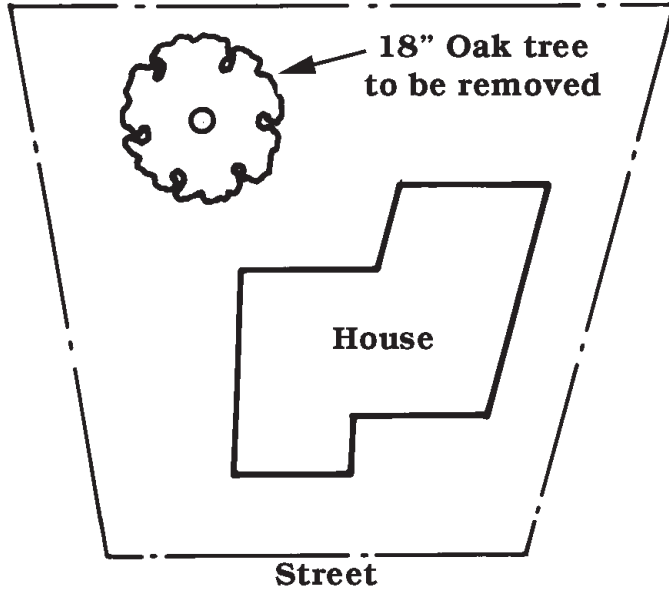
 Applicant's Signature

Public Notification of this application request will be sent to all property owners within 100 feet of the project site and in addition, to the Mid-Coast Community Council if your project site is located in the Mid-Coast.

REMOVAL PLAN:

Sketch site plan (aerial view) of location of tree(s) and their drip-line(s) showing approximate property lines, nearby building locations, roads, other trees, and any proposed improvements or additions which necessitate tree removal/trimming. Please CIRCLE or LABEL tree(s) to be removed. (Attach extra Site Plan if necessary).

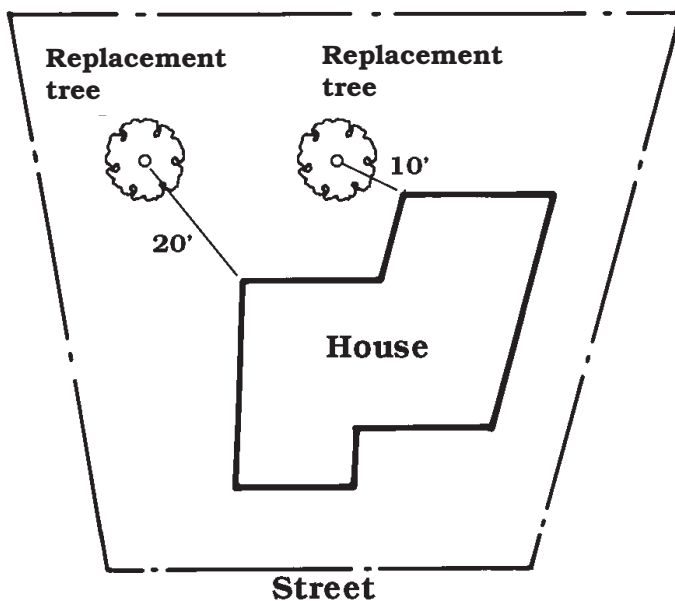
EXAMPLE:



REPLANTING PLAN:

The replanting plan shall show the location (including approximate distance to house), type, size (i.e. 15 gal., 10 gal., etc.) of proposed trees. In Bayside Design Review (DR) Zoning Districts, a 2:1 15 gallon replacement or 1:1 24 inch box ratio is required. Please sketch the site plan indicating location, size and species of new tree(s) to replace tree(s) removed. Tree replacement must be completed within one (1) year of the permit's final approval.

EXAMPLE:



Note: Acceptance of this application by Planning Staff...

- **Does not guarantee the approval of the proposed tree removal(s).** Planning staff will grant a tree removal permit only if staff is able to make one or more of the findings listed in Section 12,023 of the "Regulation of Removal of Significant Trees". A copy of this ordinance can be obtained at the Planning counter or at www.co.sanmateo.ca.us. The decision to make these findings takes into consideration public comment, recommendation(s) of reviewing agencies, the reason for removal and documentation of the tree's health or hazard as indicated by an arborist (if required, see below).
- **Does not imply that the application is "complete".** Other items, such as a report from a certified arborist, may be requested in order to complete your application (Section 12,021) For example, an arborist report may be required in order to confirm or refute a property owner's claim that a tree is diseased or a hazard to safety or property.

Applicant to sign below, in acknowledgment of the above information.

Applicant

See last page for Tree Replacement Requirements

RECOMMENDED SPECIES OF REPLACEMENT TREES:

Trees on this list are either native* to California, or are appropriate for San Mateo County climate zone 14-17 as designated in the Sunset Western Garden Book. Any native species removed must be replaced with a native species.

Tree replacement ratios to trees removed shall be as noted below, unless where adjusted by the Community Development Director.

To determine which species is best suited for your property or for planning instructions, contact a local nursery or a certified arborist.

1. Bayside Design Review Districts

2:1 replacement required; 15 gallon size trees (minimum)

24 inch box = 1:1 replacement

**RH/DR Zoning District = 3:1 replacement required; 5 gallon size trees (minimum)*

| | | |
|---------------------|---------------------------|-------------------|
| Austrian black pine | Flowering cherries, plums | Maidenhair tree* |
| Bishop pine* | Holly oak | Olive (fruitless) |
| Blue oak* | Incense cedar* | Red maple* |
| California bay | Indian longleaf pine | Red oak* |
| Canary island pine* | Israeli oak | Scotch pine |
| Coast live oak* | Italian stone pine | Shumard oak* |
| Cork oak* | Japanese black pine | Silk tree |
| Coulter pine* | Jelescote pine | Valley oak* |
| Deodar cedar* | London plane* | Western red cedar |

2. Bayside Non-Design Review Districts

1:1 replacement required; 15 gallon size tree (minimum)

| | | |
|---------------------|---------------------------|-------------------|
| Austrian black pine | Flowering cherries, plums | Maidenhair tree* |
| Bishop pine* | Holly oak | Olive (fruitless) |
| Blue oak* | Incense cedar* | Red maple* |
| California bay | Indian longleaf pine | Red oak* |
| Canary Island pine* | Israeli oak | Scotch pine |
| Coast live oak* | Italian stone pine | Shumard oak* |
| Cork oak* | Japanese black pine | Silk tree |
| Coulter pine* | Jelescote pine | Valley oak* |
| Deodar cedar* | London plane* | Western red cedar |

3. Skyline, La Honda / Rural

1:1 replacement required; 15 gallon (minimum)

Big leaf maple*
Black oak
California bay laurel*

4. Coastside

2:1 replacement required; 15 gallon size (minimum)

| | | |
|---------------------|------------------|---------------------|
| Blackwood acacia | Deodar cedar* | Norfolk Island pine |
| Bushy youte | London plane* | Peppermint willow |
| Cajeput | Maidenhair tree | Red maple |
| California buckeye* | Monterey cypress | |
| Coulter pine* | Monterey pine* | |



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT D

1. THE MANDATORY PROVISIONS OF THE GREEN BUILDING STANDARDS CODE SHALL APPLY TO THIS PROJECT. THE REQUIREMENTS OF THE CODE SHALL ONLY APPLY TO THE SPECIFIC AREA OF ADDITION OR ALTERATION.

2. Construction waste management. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.

Exceptions:
 1. Excavated soil and land-clearing debris.
 2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.
 3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.

2a. CONTRACTOR TO SUBMIT CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.

1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reused on the project or salvaged for future use or sale.
2. Specify if construction and demolition waste materials will be sorted on-site (source-separated) or bulk mixed (single stream).
3. Identify diversion facilities where the construction and demolition waste material will be taken.
4. Identify construction method employed to reduce the amount of construction and demolition waste generated.
5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

3. OPERATION AND MAINTENANCE MANUAL

At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
2. Operation and maintenance instructions for the following:
 - a. Equipment and appliances, including water-saving devices and systems, HVAC systems, water-heating systems and other major appliance and equipment.
 - b. Roof and yard drainage, including gutters and downspouts.
 - c. Space conditioning systems, including condensers and air filters.
 - d. Landscape irrigation systems.
 - e. Water systems.
3. Information from local utility, water and waste recovery provider on methods to further reduce resource consumption, including recycle program and location.
4. Public transportation and/or carpool option available in the area.
5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.
6. Information about water-conserving landscape and irrigation design and controllers which conserve water.
7. Instruction for maintaining gutter and downspouts and the importance of diverting water at least 5 feet away from the foundation:
 - a. Information on required routine maintenance measure, including, but not limited to, caulking, painting, grading around the building, etc.
 - b. Information about state solar energy and incentive programs available.
10. A copy of all special inspection verifications required by the enforcing agency or this code.

4. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS PER CAL GREEN CODE SECTION 4.504.2.1. REFER TO SHEET CG.0.154 (TABLE 4.504.1 AND TABLE 4.504.2)

5. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS PER CAL GREEN CODE SECTION 4.504.2.2. REFER TO SHEET CG.0.154 (TABLE 4.504.3)

6. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS PER CAL GREEN CODE 4.504.2.3. COMPLIANCE PROVIDED BY FIELD VERIFICATION OF ON-SITE PRODUCT CONTAINERS.

7. ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS, VERSION 1.2 JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350) SEE CALIFORNIA DEPT. OF PUBLIC HEALTH'S WEBSITE FOR CERTIFICATION PROGRAMS AND TESTING LABS. <https://www.cdph.ca.gov/programs/CCDPHP/DEOD/CEHLBIAQ/Pages/VOC.aspx>

7a. ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS, VERSION 1.2 JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350) SEE CALIFORNIA DEPT. OF PUBLIC HEALTH'S WEBSITE FOR CERTIFICATION PROGRAMS AND TESTING LABS. <https://www.cdph.ca.gov/programs/CCDPHP/DEOD/CEHLBIAQ/Pages/VOC.aspx>

7b. ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1

8. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA DEPT. OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS, VERSION 1.2 JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350) SEE CALIFORNIA DEPT. OF PUBLIC HEALTH'S WEBSITE FOR CERTIFICATION PROGRAMS AND TESTING LABS. <https://www.cdph.ca.gov/programs/CCDPHP/DEOD/CEHLBIAQ/Pages/VOC.aspx>

9. HARDWOOD, PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARBS AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD PER SHEET CG.0.154 (TABLE 4.504.3)

10. DOCUMENTATION WILL BE PROVIDED, AT THE REQUEST OF THE BUILDING DIVISION, TO VERIFY COMPLIANCE WITH VOC FINISH MATERIALS PER CGC 4.504.2.4.

11. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT. MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING:

- a. MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE-TYPE OR CONTACT-TYPE MOISTURE METER.
- b. MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 FEET TO 4 FEET FROM THE GRADE STAMPED END OF EACH PIECE TO BE VERIFIED.
- c. AT LEAST THREE RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE ENFORCING AGENCY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING.

12. ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS IN SOLE / BOTTOM PLATES AT EXTERIOR WALLS SHALL BE ROBERT PROOFED BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY PER CGC SECTION 4.406.1

13. AT THE TIME OF ROUGH INSTALLATION OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING AND COOLING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEETMETAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST OR DEBRIS WHICH MAY COLLECT IN THE SYSTEM.

14. A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH THE FOLLOWING:

- a. A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE UNDER A 6 MIL VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED PER SECTION 4.505.2 AND R504.2.3

15. HEATING AND AIR CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS:

- a. THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ACCA MANUAL J, ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
- b. DUCT SYSTEMS ARE SIZED ACCORDING TO ACCA 28-D MANUAL D, ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
- c. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ACCA 36-S MANUAL S OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.

16. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.

17. UPON REQUEST, VERIFICATION OF COMPLIANCE WITH CAL GREEN CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATIONS, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE BUILDING OFFICIAL WHICH SHOW SUBSTANTIAL CONFORMANCE.

18. PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1701.1 OF THE CALIFORNIA PLUMBING CODE.

19. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified in the application checklist.

CAL GREEN BUILDING CODE NOTES

51

SAABER RESIDENCE

830 MENLO OAKS DR. MENLO PARK, CA 94025



FRONT PERSPECTIVE
NOT TO SCALE

32



REAR PERSPECTIVE
NOT TO SCALE

33

ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE CURRENT ADOPTED BUILDING CODES AND THE REGULATIONS AND CODES OF THE COUNTY OF SAN MATEO. CURRENT APPLICABLE CODES INCLUDE THE FOLLOWING:

- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

2. DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DRAWING SCALE OR PROPORTION. LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.

3. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THIS JOB.

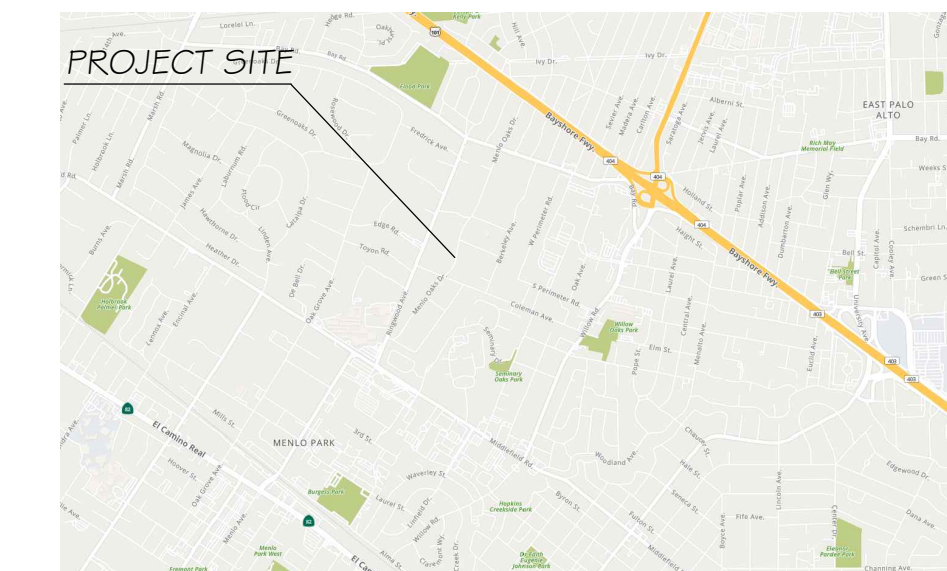
4. CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY ON-SITE DISCREPANCIES OR CONFLICTS THAT DO NOT ALLOW THE BUILDING TO BE CONSTRUCTED AS PER PLANS.

GENERAL NOTES

21

VICINITY MAP

10



1. CONTRACTOR TO PROVIDE ELECTRICAL LOAD CALCULATIONS AS A DEFERRED SUBMITTAL TO THE BUILDING DEPARTMENT TO DEMONSTRATE PROPOSED NEW ELECTRICAL PANEL IS ADEQUATE TO SUPPORT THE PROPOSED ADDITION.

2. CONTRACTOR TO PROVIDE GAS LINE DIAGRAM PER CPC SECTION 1215 AS A DEFERRED SUBMITTAL TO THE BUILDING DEPARTMENT

DEFERRED SUBMITTALS

22

PROJECT DIRECTORY

11

AN AUTOMATIC FIRE SPRINKLER SYSTEM IS REQUIRED. PLANS, HYDRAULIC CALCULATIONS, AND SYSTEM SPECIFICATIONS FOR THE AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE SUBMITTED FOR REVIEW AND APPROVAL UNDER A SEPARATE PERMIT.

FIRE SPRINKLERS

23

PROJECT DESCRIPTION

12

SINGLE FAMILY RESIDENTIAL RECONSTRUCTION TO CONSIST OF NEW SECOND STORY ADDITION AND GROUND LEVEL ADDITIONS FOR AN EXISTING ONE-STORY HOME. RENOVATION OF EXISTING LOWER FLOOR AREAS. NEW ENTRY PORCH AT FRONT OF RESIDENCE. ADDITION OF NEW (2) CAR GARAGE.

PROPERTY OWNER:

SANAM SAABER
830 MENLO OAKS DR.
MENLO PARK, CA 94025
(650) 329-9219

EROSION CONTROL CONTACT

25

ENCROACHMENT PERMIT

13

CONTRACTOR TO APPLY FOR ENCROACHMENT PERMIT FROM SAN MATEO COUNTY BEFORE STARTING WORK IN THE PUBLIC RIGHT OF WAY.

LAND USE DATA

| | |
|---------------------------------|---------------------|
| PLANNING / BUILDING DEPT. INFO: | COUNTY OF SAN MATEO |
| ZONING: | R-1 / S-100 |
| A.P.N.: | 062-160-090 |

BUILDING DATA

| | |
|--------------------|------|
| CONSTRUCTION TYPE: | VB |
| OCCUPANCY GROUP: | R-3U |

SITE DATA

| | |
|----------------------------------|---------------|
| TOTAL LOT AREA | 27,540.0 SF |
| PROPOSED BUILDING FOOTPRINTS | 3361.0 SF |
| NEW ENTRY PORCH | 76.0 SF |
| PROPOSED LOT COVERAGE | 3437.0 SF |
| PERCENT OF PROPOSED LOT COVERAGE | 12.5 % |
| AVERAGE LOT SLOPE: | ± 2 % |
| AMOUNT OF CUT AND FILL: | 0 CUBIC YARDS |

EXISTING / PROPOSED AREAS

| | |
|--|-----------|
| EXISTING LIVING AREA TO REMAIN | 2172.0 SF |
| EXISTING LIVING AREA TO BE NEW GARAGE AREA | 484.0 SF |
| PROPOSED NEW GARAGE AREA | 95.0 SF |
| TOTAL PROPOSED GARAGE AREA | 579.0 SF |
| PROPOSED NEW LOWER LIVING AREAS | 610.0 SF |
| PROPOSED NEW UPPER LIVING AREA | 1490.0 SF |
| TOTAL PROPOSED LIVING AREA | 4272.0 SF |
| TOTAL PROPOSED FLOOR AREA | 4851.0 SF |

MAXIMUM FLOOR AREA CALCULATION

| | |
|------------------------------|----------------------------|
| MAXIMUM ALLOWABLE FLOOR AREA | 27,540 SF (1.30) = 8262 SF |
| TOTAL PROPOSED FLOOR AREA | = 4851.0 SF |

PROPOSED FLOOR AREA RATIO

| | |
|-------------------------|-------------|
| TOTAL FLOOR AREA | = 4851.0 SF |
| FLOOR AREA TO LOT RATIO | = .18 |

HEIGHT OF PROPOSED ADDITION

27'-0" ABOVE FINISH GRADE

PARKING CALCULATION

NEW TWO-CAR GARAGE

PROJECT DATA

24

TITLE SHEET / PROJECT DATA

- A1.0 SITE PLAN
- A1.0a ARBORIST REPORT
- AR.0 ARBORIST REPORT
- AR.1 ARBORIST REPORT
- I TOPOGRAPHIC AND BOUNDARY SURVEY
- C-0 CIVIL TITLE SHEET
- C-1 CIVIL NOTES
- C-2 GRADING AND UTILITY PLAN
- C-3 EROSION CONTROL PLAN
- C-3.1 BEST MANAGEMENT PRACTICES
- C-3.2 TREE PROTECTION PLAN
- C-4 CIVIL DETAILS
- A1.1 EXISTING / DEMO FLOOR PLAN
- A1.2 PROPOSED LOWER FLOOR PLAN
- A1.3 PROPOSED UPPER FLOOR PLAN
- A1.4 DOOR / WINDOW SCHEDULES ARCHITECTURAL NOTES ROOF PLAN
- A1.5 EXTERIOR ELEVATIONS
- A2.0 EXTERIOR ELEVATIONS
- A2.1 EXTERIOR ELEVATIONS
- A2.2 EXISTING EXTERIOR ELEVATIONS
- A3.0 SECTIONS
- A3.1 SECTIONS
- A4.0 ARCHITECTURAL DETAILS
- A4.1 ARCHITECTURAL DETAILS
- MEP.0 ELECTRICAL / MECH. PLANS
- MEP.1 ELECTRICAL / MECH. PLANS
- T24.0 TITLE 24 ENERGY COMPLIANCE
- T24.1 TITLE 24 ENERGY COMPLIANCE
- S-1 STRUCTURAL NOTES
- S-1A STRUCTURAL NOTES
- S-2 FOUNDATION PLAN
- S-3 FLOOR FRAMING PLAN
- S-4 ROOF FRAMING PLAN
- S-5 STRUCTURAL DETAILS
- S-6 STRUCTURAL DETAILS
- S-7 STRUCTURAL DETAILS

SHEET INDEX

14

PLAN A DESIGN GROUP
 VISUALIZE DESIGN MANAGE
 1045 ALAMEDA DE LAS PULGAS SUITE C
 BELMONT, CA 94002
 (650) 207-1566
 info@plannedesigngroup.com

OWNER:
 SANAM SAABER
 830 MENLO OAKS DR.
 MENLO PARK, CA
 94025

PROJECT:
 SAABER RESIDENCE
 830 MENLO OAKS DR.
 MENLO PARK, CA
 94025

REVISIONS:

- 1-31-24 PLAN CHECK COMMENTS
- 1-9-24 TREE REMOVAL PERMIT
- 3-4-24 REVISED ARBORIST REPORT

Contractor shall notify the Designer of any on-site discrepancies or conflicts that do not allow the building to be constructed as per plans.

Contractor shall verify and be responsible for all dimensions and conditions on this job.

Written dimensions on these drawings shall take precedence over scaled dimensions. Small scale drawings take precedence over larger scale drawings.

Contractor and owner shall take full responsibility for water proofing of proposed structure.

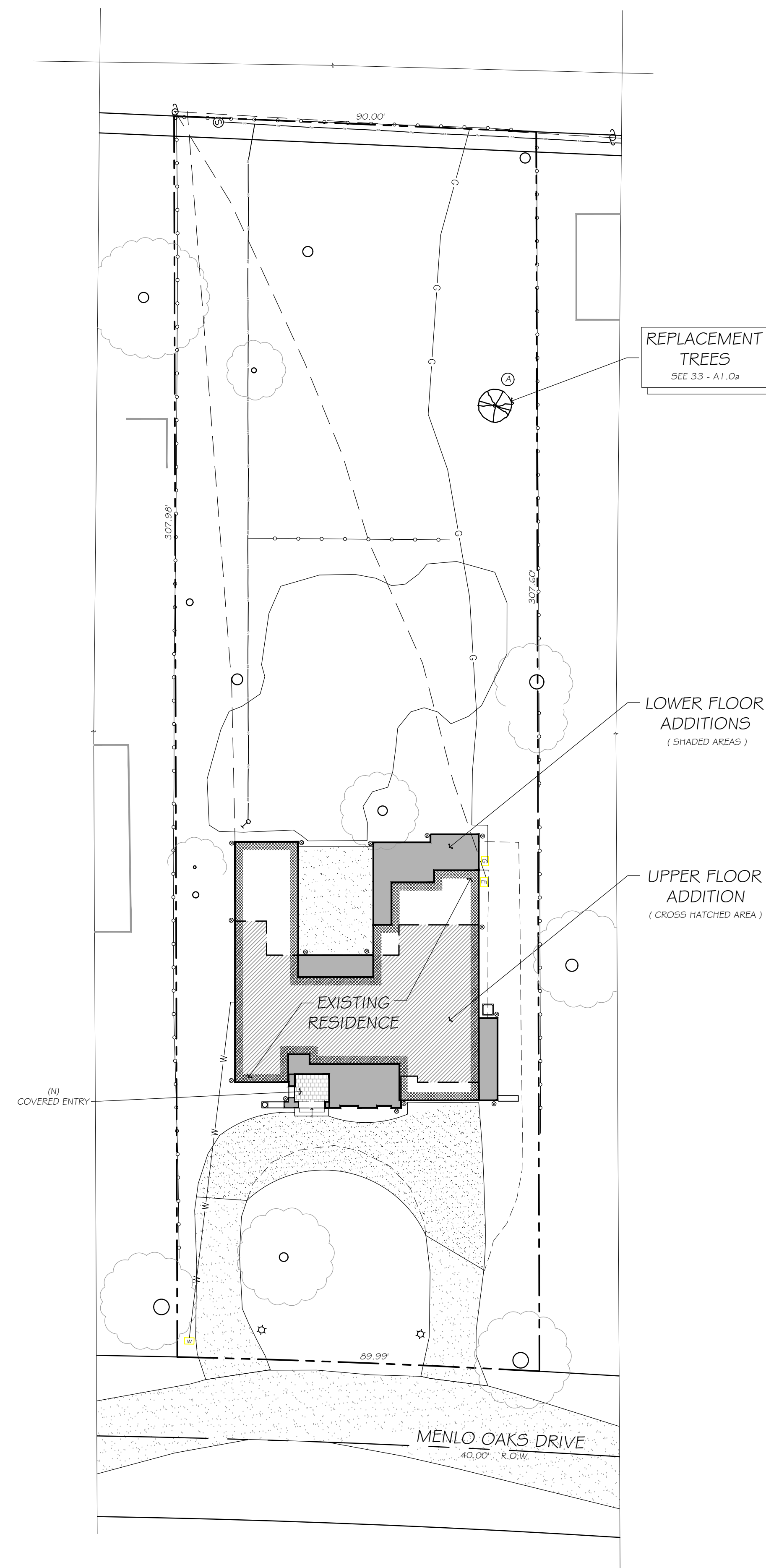
DATE: MARCH 4, 2024

SHEET TITLE:

TITLE SHEET / PROJECT DATA

SHEET NUMBER:

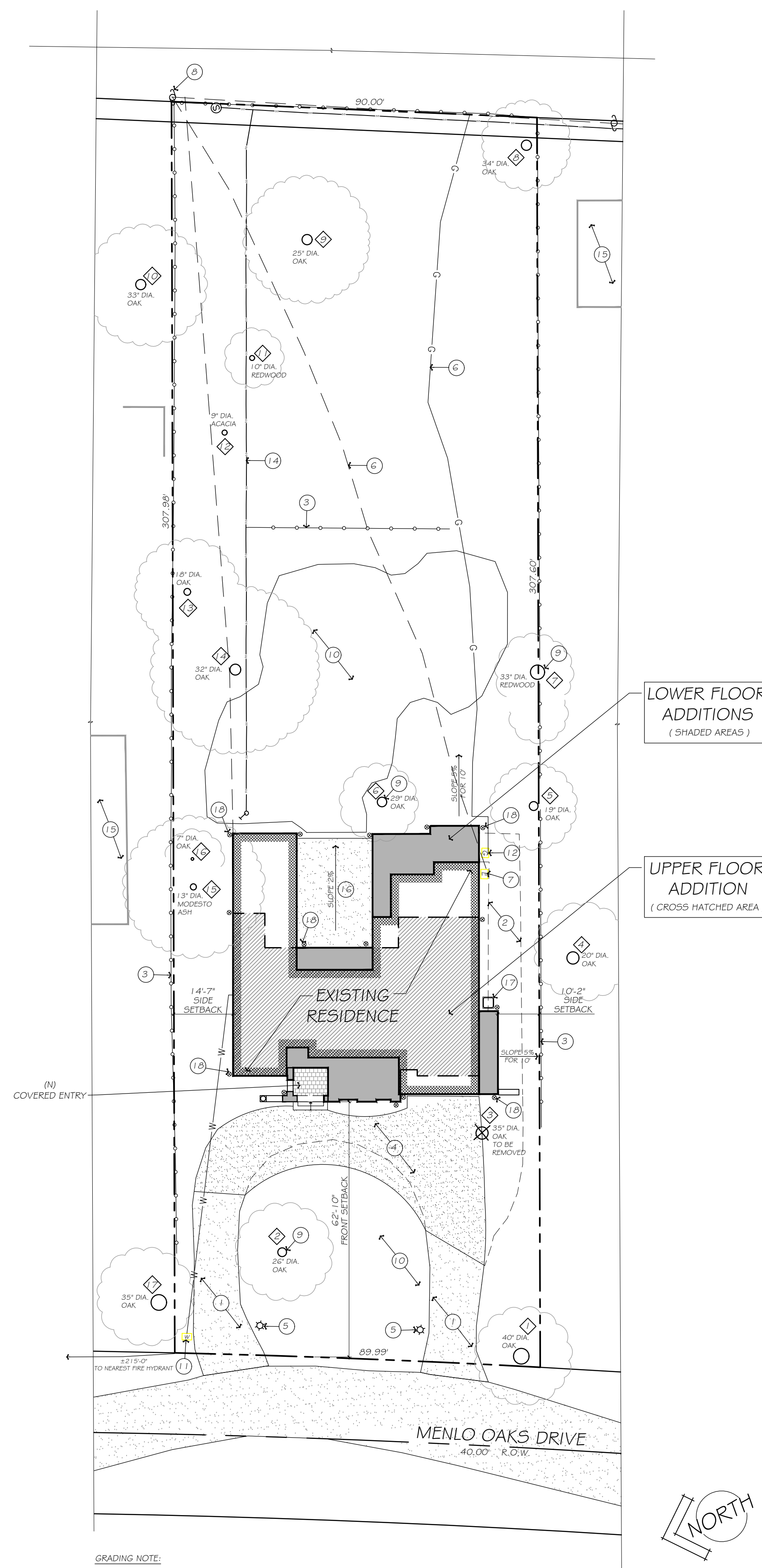
A1.0



TREE REPLANTING PLAN
SCALE: 1" = 20'

54

SITE PLAN
SCALE: 1" = 20'



44

| SYMBOL | SIZE | SPECIES | DISTANCE TO HOUSE |
|--------|---------|-----------------------|-------------------|
| ① | 24" BOX | CREPE MYRTLE STANDARD | 160' |

REPLACEMENT TREE SCHEDULE

33

- ① EXISTING CONCRETE DRIVEWAY
- ② EXISTING CONCRETE WALKWAY
- ③ EXISTING WOOD FENCE
- ④ EXISTING SIDEWALK, CURB AND GUTTER
- ⑤ EXISTING OVERHEAD UTILITY LINES
- ⑥ EXISTING ELECTRIC METER
- ⑦ EXISTING UTILITY POLE
- ⑧ EXISTING TREE TO REMAIN
- ⑨ EXISTING LAWN AREA
- ⑩ EXISTING WATER METER
- ⑪ EXISTING GAS METER
- ⑫ EXISTING LANDSCAPED AREA
- ⑬ EXISTING SEWER LATERAL
- ⑭ EXISTING ADJACENT RESIDENCE
- ⑮ NEW CONCRETE PATIO / LESS THAN 18" A.G. / SLOPE 2% AWAY FROM STRUCTURE
- ⑯ EXISTING COVERED ENTRY PORCH
- ⑰ NEW HEAT PUMP EXTERIOR UNITS ON CONCRETE PAD
- ⑱ NEW DOWNSPOUT LOCATION TYP.

REFERENCE NOTES

34

| SYMBOL | DIAMETER AT 54" A.G. | SPECIES | PROTECTED STATUS | REMOVE / REMAIN | CONDITION | CONSTRUCTION WITHIN TPZ ? |
|--------|----------------------|----------------|------------------|-----------------|-----------|---------------------------|
| ① | 40" | COAST LIVE OAK | SIGNIFICANT | REMAIN+ PROTECT | FAIR | NO |
| ② | 26" | COAST LIVE OAK | SIGNIFICANT | REMAIN+ PROTECT | FAIR | NO |
| ③ | 35" | COAST LIVE OAK | SIGNIFICANT | REMOVE | FAIR | NO |
| ④ | 20" | COAST LIVE OAK | SIGNIFICANT | REMAIN+ PROTECT | FAIR | NO |
| ⑤ | 19" | COAST LIVE OAK | SIGNIFICANT | REMAIN+ PROTECT | POOR | NO |
| ⑥ | 29" | COAST LIVE OAK | SIGNIFICANT | REMAIN+ PROTECT | FAIR | NO |
| ⑦ | 33" | REDWOOD | SIGNIFICANT | REMAIN+ PROTECT | FAIR | NO |
| ⑧ | 34" | COAST LIVE OAK | SIGNIFICANT | REMAIN+ PROTECT | POOR | NO |
| ⑨ | 25" | VALLEY OAK | SIGNIFICANT | REMAIN+ PROTECT | FAIR | NO |
| ⑩ | 33" | COAST LIVE OAK | SIGNIFICANT | REMAIN+ PROTECT | FAIR | NO |
| ⑪ | 10" | REDWOOD | NO | REMAIN+ PROTECT | FAIR | NO |
| ⑫ | 9" | ACACIA | NO | REMAIN+ PROTECT | POOR | NO |
| ⑬ | 18" | COAST LIVE OAK | SIGNIFICANT | REMAIN+ PROTECT | FAIR | NO |
| ⑭ | 32" | COAST LIVE OAK | SIGNIFICANT | REMAIN+ PROTECT | FAIR | NO |
| ⑮ | 11" 1.3" | MODESTO ASH | SIGNIFICANT | REMAIN+ PROTECT | FAIR | NO |
| ⑯ | 7" | COAST LIVE OAK | NO | REMAIN+ PROTECT | FAIR | NO |
| ⑰ | 35" | COAST LIVE OAK | SIGNIFICANT | REMAIN+ PROTECT | FAIR | NO |

- TREE NOTES:
- REFER TO ARBORIST REPORT BY KLEINHEINZ ARBORIST SERVICES LLC DATED MARCH 1, 2024 FOR TREE PROTECTION PLAN REQUIREMENTS SHEET AR.0 AND AR.1
 - REFER TO AR.0, AR.1 AND CIVIL SHEET C3.2 FOR TREE PROTECTION PLANS

EXISTING TREE SCHEDULE

23

OWNER:
SANAM SAABER
830 MENLO OAKS DR.
MENLO PARK, CA
94025

PROJECT:
SAABER RESIDENCE
830 MENLO OAKS DR.
MENLO PARK, CA
94025

- REVISIONS:
- △ PLAN CHECK COMMENTS 1-31-24
 - △ TREE REMOVAL PERMIT 1-9-24
 - △ REVISED ARBORIST REPORT 3-4-24

Contractor shall notify the Designer of any on-site discrepancies or conflicts that do not allow the building to be constructed as per plans.

Contractor shall verify and be responsible for all dimensions and conditions on the job.

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Contractor and/or owner shall take full responsibility for water proofing of proposed structure.

DATE: MARCH 4, 2024
SHEET TITLE:

SITE PLAN

SHEET NUMBER:

A1.0a

Kleinheinz Arborist Services LLC

February 8, 2023
Updated March 1, 2024

Site Address: 830 Menlo Oaks Dr. Menlo Park, CA

As requested, an arborist report of my findings on trees located at 830 Menlo Oaks Dr. has been compiled. The following information is site-specific and written for reporting purposes accordingly.

Tree ratings and condition will follow this scale

| | |
|--------|-----------|
| 1-29 | Very Poor |
| 30-49 | Poor |
| 50-69 | Fair |
| 70-89 | Good |
| 90-100 | Excellent |

| Tree # | Species | DBH (inches) | H/Sp (feet) | Cond | Requirements |
|--------|---|--------------|-------------|------|--------------------|
| 1 | Coast Live Oak (<i>Quercus agrifolia</i>) | 40 | 45/35 | 50 | Remain and Protect |
| 2 | Coast Live Oak (<i>Quercus agrifolia</i>) | 26 | 40/30 | 50 | Remain and Protect |
| 3 | Coast Live Oak (<i>Quercus agrifolia</i>) | 35 | 45/25 | 50 | Removal |
| 4 | Coast Live Oak (<i>Quercus agrifolia</i>) | 20 | 40/30 | 50 | Remain and Protect |
| 5 | Coast Live Oak (<i>Quercus agrifolia</i>) | 19 | 30/20 | 30 | Remain and Protect |
| 6 | Cypress (<i>Cupressus</i>) | 29 | 50/40 | 50 | Remain and Protect |

KLEINHEINZ ARBORIST SERVICES LLC

821 Vista Ln. Ione CA 95640 (TEL) 650-759-1081 k.arborist@yahoo.com 1

Tree number four located in the neighboring property on the right side is a Coast Live Oak (*Quercus agrifolia*). This tree stands around 40 feet in height and appears to have a DBH of approximately 20 inches. I was unable to gain access to the property to get the exact DBH. This tree appears to be in fair health, but does have a significant lean over the neighboring property and houses.

Requirements: This tree should be protected throughout the duration of construction, as listed in the tree protection plan below. The fencing for this tree should extend 3 feet off of the fence and then extend approximately 15 feet and connect back to the existing fence. I do feel this will be sufficient to help minimize soil compaction on the neighboring tree.

Tree number five located in the backyard on the right side along the fence is a Coast Live Oak (*Quercus agrifolia*). This tree stands around 30 feet in height and has a DBH of 19 inches. This tree appears to be in poor health and has very poor form. There is a large cavity at the base, which appears to be from an old wound with a lot of rot and decay present, leaving the base of the tree with less than 50% of sound wood. This tree has a lean towards the neighboring property and it's very heavy in foliage towards the neighboring property.

Requirements: this tree should be protected throughout the duration of project as listed in Tree protection plan provided below.

Tree number six located in the back center of the property is a Valley Oak (*Quercus lobata*). This tree stands around 50 feet in height and has a DBH of 29 inches. This tree appears to be in fair health, but does have poor form with a significant lean towards the neighboring property. This tree is one sided with very dense foliage. The side in which it is densely covered in foliage, is the side in which the tree leans.

Requirements: This tree should be protected throughout the duration of construction, as listed in the tree protection plan below. This tree should have a weight reduction performed throughout the canopy. I did not observe any signs of the ground lifting on the opposite side in which the tree is leaning, which would indicate the tree is moving, as was discovered in the tree #3.

Tree number seven located in the neighboring property on the back right side appears to be a potentially shared tree, which is a Coastal Redwood (*Sequoia sempervirens*). This tree stands around 100 feet in height and has a DBH of approximately 33 inches. This tree appears to be in fair health and has fair form for its species.

Requirements: This tree should be protected throughout the duration of construction, as listed in the tree protection plan below.

KLEINHEINZ ARBORIST SERVICES LLC

821 Vista Ln. Ione CA 95640 (TEL) 650-759-1081 k.arborist@yahoo.com 4

| Tree # | Species | DBH (inches) | H/Sp (feet) | Cond | Requirements |
|--------|---|--------------|-------------|------|--------------------|
| 7 | Coastal Redwood (<i>Sequoia sempervirens</i>) | 33 | 100 | 50 | Remain and Protect |
| 8 | Coast Live Oak (<i>Quercus agrifolia</i>) | 34 | 30/20 | 30 | Remain and Protect |
| 9 | Valley Oak (<i>Quercus lobata</i>) | 25 | 40/30 | 50 | Remain and Protect |
| 10 | Coast Live Oak (<i>Quercus agrifolia</i>) | 33 | 50/40 | 50 | Remain and Protect |
| 11 | Coastal Redwood (<i>Sequoia sempervirens</i>) | 10 | 35/25 | 50 | Remain and Protect |
| 12 | Jacaranda (<i>Mimosafolia</i>) | 9 | 25/15 | 25 | Remain and Protect |
| 13 | Coast Live Oak (<i>Quercus agrifolia</i>) | 18 | 35/25 | 50 | Remain and Protect |
| 14 | Coast Live Oak (<i>Quercus agrifolia</i>) | 32 | 50/40 | 50 | Remain and Protect |
| 15 | Modesto Ash (<i>Fraxinus velutina</i>) | 11,13 | 45/35 | 50 | Remain and Protect |
| 16 | Coast Live Oak (<i>Quercus agrifolia</i>) | 7 | 25/15 | 50 | Remain and Protect |
| 17 | Coast Live Oak (<i>Quercus agrifolia</i>) | 35 | 50/40 | 50 | Remain and Protect |

Tree number one located on the right side of the driveway entrance is a Coast Live Oak (*Quercus agrifolia*). This tree stands around 45 feet in height and has a DBH 40 inches. This tree appears to be in fair health, but does have poor form. This tree appears to have lost some large limbs over time. In the areas where limbs were lost, there are signs of rot and decay.

Requirements: This tree should be protected throughout the duration of construction, as listed in tree protection plan below.

KLEINHEINZ ARBORIST SERVICES LLC

821 Vista Ln. Ione CA 95640 (TEL) 650-759-1081 k.arborist@yahoo.com 2

Note: There are some small shrubs located along the right side of the fence that are not of significant size, therefore, they are not indicated on the report.

Tree number eight located in the back right side of the property is a Coast Live Oak (*Quercus agrifolia*). This tree stands around 30 feet in height and has a DBH of 34 inches. This tree appears to be in poor health and has very poor form with a significant lean towards the power poles and over the neighboring structure. There are many dead and dying branches throughout the canopy. This tree has been heavily pruned over the years to clear high-voltage wires, and not to ANSI standards.

Requirements: This tree should be protected throughout the duration of construction, as listed in the tree protection plan below.

Tree number nine located in the back of the property is a Valley Oak (*Quercus lobata*). This tree stands around 40 feet in height and has a DBH of 25 inches. This tree appears to be in fair health, but does have very poor form. This tree appears to be in fair health, but does have very poor form. There is a large cavity at the base, which appears to be from an old wound with a lot of rot and decay present, leaving the base of the tree with less than 50% of sound wood. This tree has a lean towards the neighboring property and it's very heavy in foliage towards the neighboring property. It does appear some large limbs were removed over time, potentially going towards high-voltage voltage wires.

Requirements: This tree should be protected throughout the duration of construction, as listed in the tree protection plan below.

Tree number ten located in the backyard in the neighboring property is a Coast Live Oak (*Quercus agrifolia*). This tree stands around 50 feet in height and appears to have a DBH of around 33 inches. This tree appears to be in fair health and has fair form for its species.

Requirements: This tree should be protected throughout the duration of construction, as listed in the tree protection plan below.

Tree number eleven located in the backyard left side is a Coastal Redwood (*Sequoia sempervirens*). This tree stands around 35 feet in height and has a DBH of 10 inches. This tree appears to be in fair health. This tree does have a lot of excess sprouting off of the base and does appear to have some browning throughout the canopy.

Requirements: This tree should be protected throughout the duration of construction, as listed in the tree protection plan below.

Tree number twelve located in the backyard left side is a Jacaranda (*Mimosafolia*). This tree stands around 25 feet in height and has a DBH of 9 inches. This tree appears to be in very poor health and has poor form. It does appear that this tree is more than 80 percent dead.

KLEINHEINZ ARBORIST SERVICES LLC

821 Vista Ln. Ione CA 95640 (TEL) 650-759-1081 k.arborist@yahoo.com 5

Note: There are some smaller shrubs, located between the neighboring property, driveway and driveway of 830. None of these shrubs are of significant size, therefore, are not indicated in the report.

Tree number two located outside of the property is a Coast Live Oak (*Quercus agrifolia*). This tree stands around 40 feet in height and has a DBH of 28 inches. This tree appears to be in fair health, but does have poor form with a significant lean. There has been some bracing installed below laterals to help this tree to remain standing. There are many dead and dying branches throughout the upper canopy.

Requirements: This tree should be protected throughout the duration of construction, as listed in the tree protection plan below. However, this tree should have dead and dying branches removed and a crown thinning performed.

Tree number three located at the end of driveway right side front yard is a Coast Live Oak (*Quercus agrifolia*). This tree stands around 45 feet in height and has a DBH of 35 inches. This tree does appear to be in fair health, but it does have very poor form with a significant lean towards the neighboring property. The canopy of this tree extends far into the neighbor's yard by approximately 40 feet and over the owner's house, as well. There does appear to be some uplifting of the blacktop around the base of this tree, indicating that the tree has moved over time. This tree is very dense in foliage and heavy towards the neighboring property. There are some signs of borer activity present at the base of the tree.



Requirements: The removal of this tree is necessary before commencing any construction, as it is situated in a location that directly conflicts with the proposed development plans.

KLEINHEINZ ARBORIST SERVICES LLC

821 Vista Ln. Ione CA 95640 (TEL) 650-759-1081 k.arborist@yahoo.com 3

Requirements: This tree should be protected throughout the duration of construction, as listed in the tree protection plan below.

Tree number thirteen located in the backyard is a Coast Live Oak (*Quercus agrifolia*). This tree stands around 35 feet in height and has a DBH of 18 inches. This tree appears to be in fair health, but does have a very poor form with a significant lean towards the neighboring property. This tree is very heavy in foliage and is one-sided in foliage for the neighboring property.

Requirements: This tree should be protected throughout the duration of construction, as listed in the tree protection plan below.

Tree number fourteen located on the left side backyard is a Coast Live Oak (*Quercus agrifolia*). This tree stands around 50 feet in height and has a DBH of 32 inches. This tree appears to be in fair health. This tree is one-sided in foliage with a heavy lean towards the house. There is a large oak tree that was adjacent to this one in the backyard that has recently fallen. The large tree that has fallen appears to have suppressed this tree into growing and being one-sided in foliage with a lean towards the structure.

Requirements: This tree should be protected throughout the duration of construction, as listed in the tree protection plan below.

Tree number fifteen located in the side yard is a Modesto Ash tree (*Fraxinus velutina*). This tree stands around 45 feet in height and is codominant from the base up by two leads measuring at 11 inches and 13 inches. This tree appears to be in fair health, but does have poor form. There are many large surfacing roots that have uplifted bricks down the walkway towards the house and the roots are impacting the fence to the backyard, as well. This tree has very poor form throughout the upper canopy and the canopy extends over the neighboring property and the owner's house.

Requirements: This tree should be protected throughout the duration of construction, as listed in the tree protection plan below.

Tree number sixteen located in the left side yard is a Coast Live Oak (*Quercus agrifolia*). This tree stands around 25 feet in height and has a DBH of 7 inches. This tree appears to be in fair health and does have fair form for its species.

Requirements: This tree should be protected throughout the duration of construction, as listed in the tree protection plan below.

KLEINHEINZ ARBORIST SERVICES LLC

821 Vista Ln. Ione CA 95640 (TEL) 650-759-1081 k.arborist@yahoo.com 6

OWNER:

SANAM SAABER
830 MENLO OAKS DR.
MENLO PARK, CA
94025

REVISIONS:

- △ PLAN CHECK COMMENTS 1-31-24
- △ TREE REMOVAL PERMIT 1-9-24
- △ REVISED ARBORIST REPORT 3-4-24

Contractor shall notify the Designer of any on-site discrepancies or conflicts that do not allow the building to be constructed as per plans.

Contractor shall verify and be responsible for all dimensions and conditions on this job.

Written dimensions on these drawings shall take precedence over scaled dimensions. Small scale drawings take precedence over larger scale drawings.

Contractor and/or owner shall take full responsibility for water proofing of proposed structure.

DATE: MARCH 4, 2024

SHEET TITLE:

ARBORIST
REPORT

SHEET NUMBER:

AR.0

Note: There are some shrubs located along the left side of the property. These are oleanders, privets and podocarpus. They appear to have been used for screening, but are not indicated on the report.

Tree number seventeen located on the west side front yard of the neighboring property is a Coast Live Oak (*Quercus agrifolia*). This tree stands around 50 feet in height and has a DBH of 35 inches. This tree appears to be of fair health, but does have a poor form with a lean over the tree and driveway.

Requirements: This tree should be protected throughout the duration of construction, as listed in the tree protection plan below.

All proposed work within the canopy drip line of any trees must be supervised by a site arborist. Any observations or findings resulting from work conducted within the canopy area must be documented and included in the final project report upon completion.

Required Tree Protection Plan:

Tree Protection Zones

Tree protection zone should be installed and maintained throughout the entire length of the project. Prior to the commencement of any development project, cyclone fencing shall be installed at about the drip line (where and if possible) of any protected tree which will or will not be affected by the construction. The drip line shall not be altered in any way so as to increase the encroachment of the construction. Fencing for the protection zone should be a 6 foot metal chain-link fence thing supported by 1 to 2 inch metal poles driven into the ground about 2 feet where possible. The support poles should be spaced no more than 10 feet apart where possible. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones. Excavation, grading, soil deposits, drainage and leveling are prohibited within the tree protection zones. No wires, signs or ropes shall be attached to the protected trees on site. Utility services and irrigation lines shall all be placed outside of the tree protection zones.

Inspection

The site Arborist will install or the contractor should install before the start of construction. The County of San Mateo usually requires a letter stating the fencing is in place before any permits are to be granted. The Arborist

KLEINHEINZ ARBORIST SERVICES LLC

821 Vista Ln. Ione CA 95640 (TEL) 650-759-1081 k.arborist@yahoo.com 7

must inspect the site anytime excavation work is to take place within 10 times the diameter of a protected tree on site. It is the contractor's responsibility to contact the site Arborist if excavation work is to take place within 10 times the diameter of the protected trees on site. Contact information: Cody Kleinheinz at 650-759-1081.

Root Pruning and Grading

If for any reason, roots are to be cut, they shall be monitored and documented. Large roots over 2 inches diameter or large masses of roots to be cut must be inspected by the site Arborist. The site Arborist, at this time, may recommend irrigation or fertilization of the root zone. All roots needing to be cut should be cut clean with a saw or a lopper. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist. This site Arborist must first give consent if roots over 2 inches in diameter are to be cut. If any construction is done within six times diameter of any tree, roots should be discovered prior to any work by hand digging. All this work shall be done and overseen by the arborist.

Landscape Barrier Zone

If for any reason a smaller tree protection zone is needed for access, a landscape buffer consisting of wood chips spread to a depth of 6 inches with plywood or steel plates placed on top will be placed where tree protection fencing is required. The landscape buffer will help to reduce compaction to the unprotected root zone.

Trenching and Excavation

Trenching for irrigation, drainage, electrical or any other reason shall be done by hand when inside the drip line of a protected tree. Hand digging and the careful placement of pipes below or besides protected roots will significantly reduce root loss, thus reducing trauma to the tree. All trenches shall be backfilled with native materials and compacted to near its original level, as soon as possible. Trenches to be left open for a period of time will require the covering of all exposed roots with burlap and be kept moist. The trenches will also need to be covered with plywood to help protect the exposed roots.

KLEINHEINZ ARBORIST SERVICES LLC

821 Vista Ln. Ione CA 95640 (TEL) 650-759-1081 k.arborist@yahoo.com 8

Sincerely,

Cody Kleinheinz
Certified Arborist WE-7720A
Tree Risk Assessor



KLEINHEINZ ARBORIST SERVICES LLC

821 Vista Ln. Ione CA 95640 (TEL) 650-759-1081 k.arborist@yahoo.com 9



OWNER:
SANAM SAABER
830 MENLO OAKS DR.
MENLO PARK, CA
94025

PROJECT:
SAABER RESIDENCE
830 MENLO OAKS DR.
MENLO PARK, CA
94025

- REVISIONS:
- △ PLAN CHECK COMMENTS 1-31-24
 - △ TREE REMOVAL PERMIT 1-9-24
 - △ REVISED ARBORIST REPORT 3-4-24

Contractor shall notify the Designer of any on-site discrepancies or conflicts that do not allow the building to be constructed as per plans.
Contractor shall verify and be responsible for all dimensions and conditions on the job.
Written dimensions on these drawings shall take precedence over scaled dimensions. Small scale drawings take precedence over larger scale drawings.
Contractor and/or owner shall take full responsibility for water proofing of proposed structure.

DATE: MARCH 4, 2024

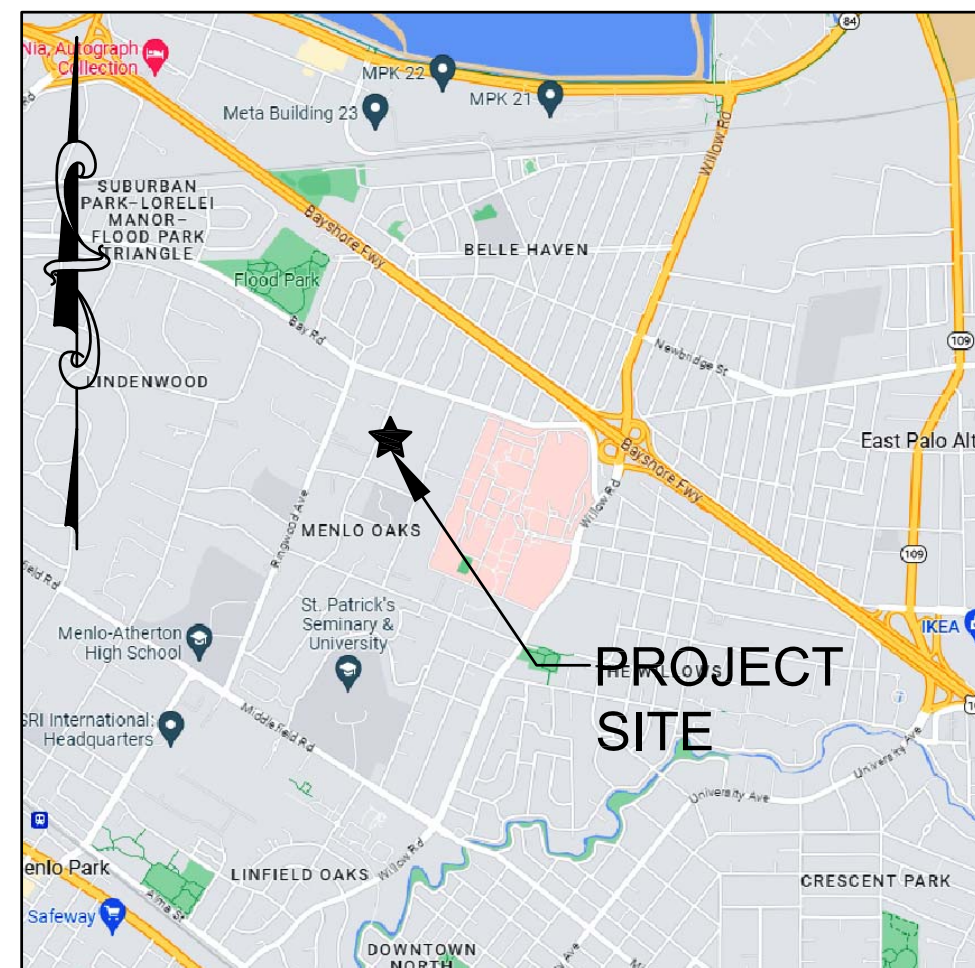
SHEET TITLE:
ARBORIST REPORT

SHEET NUMBER:
AR.1

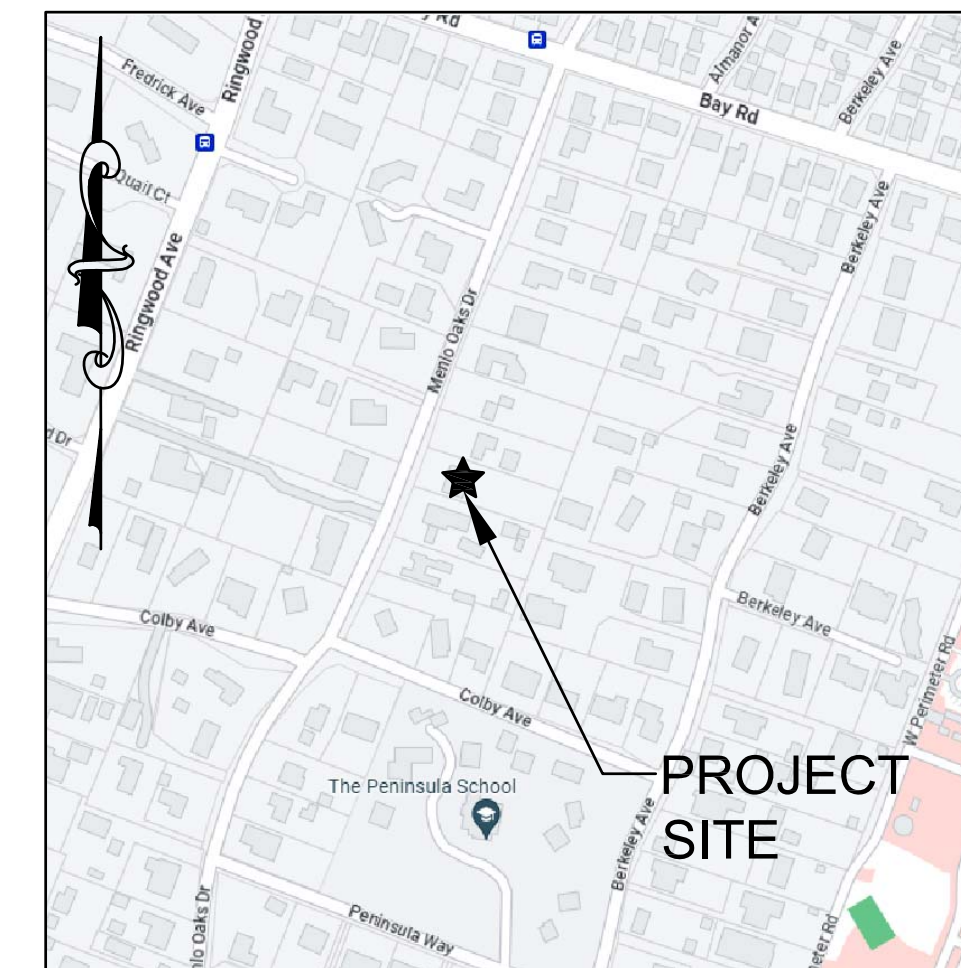
SAABER RESIDENCE

830 MENLO OAKS DRIVE

MENLO PARKS (SMCO), CA 94025



VICINITY MAP
N.T.S.



LOCATION MAP
N.T.S.

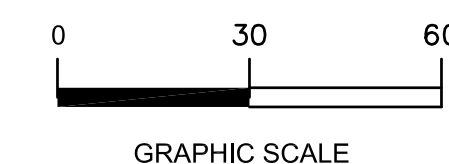
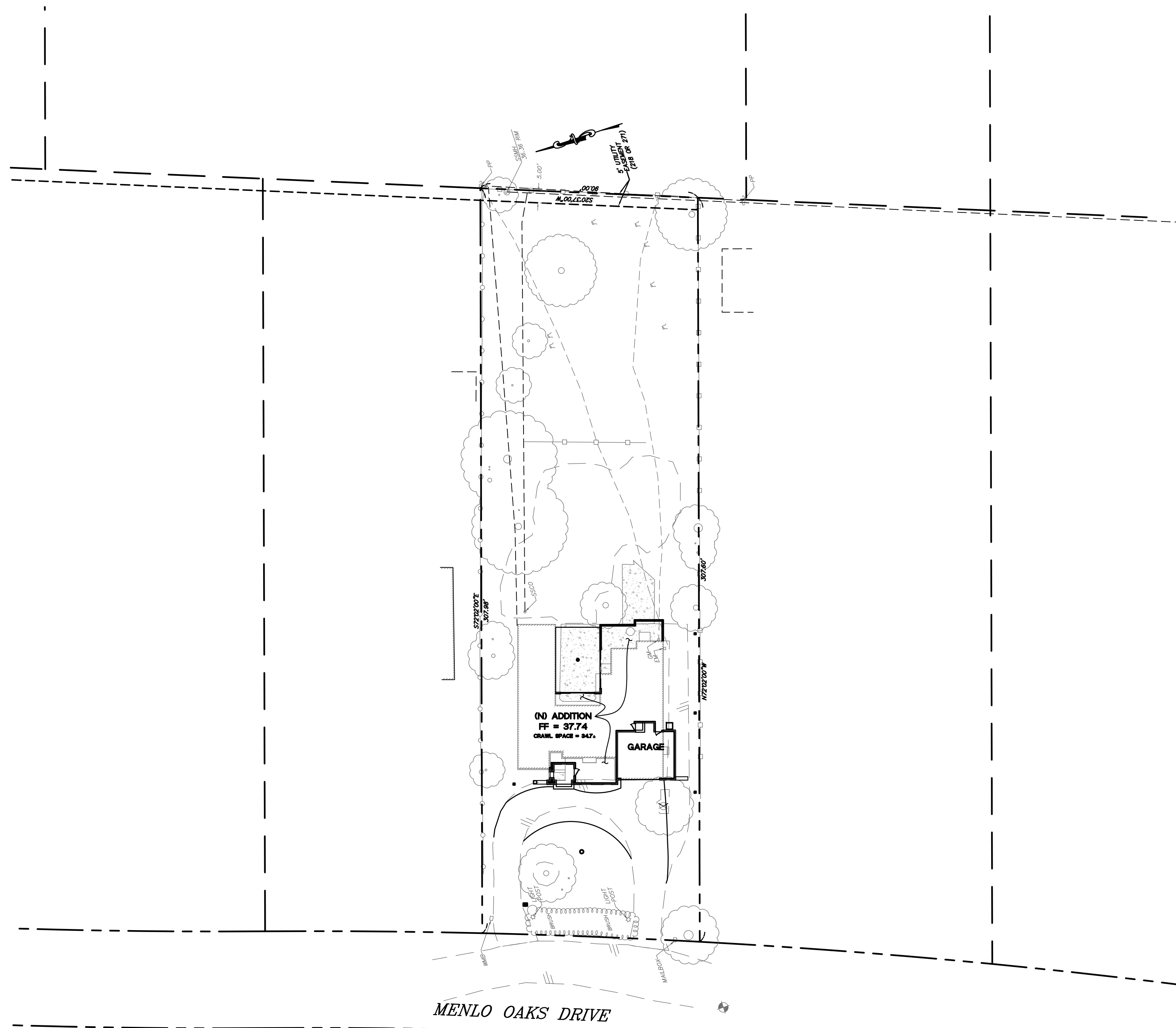
ABBREVIATIONS

| | |
|--------|-----------------------------|
| AB | AGGREGATE BASE |
| AC | ASPHALT CONCRETE |
| AD | AREA DRAIN |
| ATD | ATRIUM DRAIN |
| BFP | BACK FLOW PREVENTION DEVICE |
| BW | BOTTOM OF WALL ELEVATION |
| CB | CATCH BASIN |
| CL | CENTER LINE |
| CS | CRAWL SPACE ELEVATION |
| CIP | CAST IRON PIPE |
| CONC | CONCRETE |
| DD | DECK DRAIN |
| DDCV | DOUBLE DETECTOR CHECK VALVE |
| DG | DECOMPOSED GRANITE |
| DIP | DUCTILE IRON PIPE |
| DS | ROOF DOWN SPOUT |
| DWY | DRIVEWAY |
| (E) | EXISTING |
| ELEC | ELECTRICAL |
| EM | ELECTRICAL METER |
| EP | EDGE OF PAVEMENT |
| FC | FACE OF CURB ELEVATION |
| FDC | FIRE DEPARTMENT CONNECTION |
| FF | FINISHED FLOOR ELEVATION |
| FG | FINISHED GROUND ELEVATION |
| FL | FLOW LINE ELEVATION |
| FM | FORCE MAIN LINE |
| FS | FINISHED SURFACE ELEVATION |
| FP | FINISHED PAVEMENT ELEVATION |
| FW | FIRE WATER LINE |
| GB | GRADE BREAK |
| GM | GAS METER |
| GR | GRATE ELEVATION |
| GV | GATE VALVE |
| HP | HIGH POINT |
| HW | HEATED WATER LINE |
| INV | PIPE INVERT ELEVATION |
| JT | JOINT TRENCH |
| JP | JOINT POLE |
| LD | LANDSCAPE DRAIN |
| LF | LINEAR FEET |
| LP | LOW POINT |
| (N) | NEW |
| PV | POST INDICATOR VALVE |
| POC | POINT OF CONNECTION |
| RIM | RIM ELEVATION |
| S | SLOPE |
| SAP | SEE ARCHITECTURAL PLANS |
| SBD | STORM SUB DRAIN |
| SBDCCO | STORM SUB DRAIN CLEANOUT |
| SD | STORM DRAIN |
| SDCO | STORM DRAIN CLEANOUT |
| SCR | SEE GEOTECHNICAL REPORT |
| SICB | SIDE INLET CATCH BASIN |
| SLP | SEE LANDSCAPE PLANS |
| SPP | SEE PLUMBING PLANS |
| SS | SANITARY SEWER |
| SSCO | SANITARY SEWER CLEANOUT |
| SSP | SEE STRUCTURAL PLANS |
| TW | TOP OF WALL ELEVATION |
| TYP | TYPICAL |
| VD | PIPE VERTICAL DROP |
| W | DOMESTIC WATER LINE |
| WM | WATER METER |

EARTHWORK QUANTITIES

| | | | |
|--|-----------------------|----------------------------|---------|
| GROSS QUANTITIES: | | QUANTITY BREAKDOWN: | |
| CUT | 35 C.Y. | BUILDINGS: | |
| FILL | 75 C.Y. | CUT | 25 C.Y. |
| TOTAL TO BE MOVED | 110 C.Y. | FILL | 10 C.Y. |
| BALANCE | 40 C.Y. FILL (IMPORT) | SITE WORK: | |
| | | CUT | 10 C.Y. |
| | | FILL | 65 C.Y. |
| NET QUANTITIES (BUILDING AND STRUCTURES OMITTED): | | | |
| CUT | 10 C.Y. | | |
| FILL | 65 C.Y. | | |
| TOTAL TO BE MOVED | 75 C.Y. | | |
| BALANCE | 55 C.Y. FILL (IMPORT) | | |

EARTHWORK QUANTITIES SHOWN ABOVE ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL CALCULATE THEIR OWN EARTHWORK QUANTITIES, AND USE THEIR CALCULATIONS FOR BIDDING AND COST ESTIMATING PURPOSES.



LEGEND:

| | | |
|-----------------|-----------------|--|
| EXISTING | PROPOSED | |
| SS | SS | SANITARY SEWER |
| SD | SD | STORM DRAIN |
| | | STORM SUB-DRAIN (PERFORATED PIPE) |
| | | TRANSITION FROM PERF. PIPE TO SOLID PIPE |
| FM | FM | FORCE MAIN |
| FW | FW | FIRE WATER LINE |
| W | W | DOMESTIC WATER SERVICE |
| IRR | IRR | IRRIGATION SERVICE |
| G | G | NATURAL GAS |
| E | E | ELECTRIC |
| JT | JT | JOINT TRENCH |
| X | X | FENCE |
| O | O | CLEAN OUT |
| | | DOUBLE DETECTOR CHECK VALVE |
| | | POST INDICATOR VALVE |
| | | VALVE |
| | | METER BOX |
| | | STREET LIGHT |
| | | AREA DRAIN |
| | | CATCH BASIN |
| | | FIRE HYDRANT |
| | | FIRE DEPARTMENT CONNECTION |
| | | BENCHMARK |
| | | MANHOLE |
| | | SIGN |
| | | DOWNSPOUT |
| | | SPLASH BLOCK |
| | | CONTOURS |
| | | PROPERTY LINE |
| | | SETBACK |
| | | GRASS SWALE |
| | | RETAINING WALL/ BUILDING STEMWALL |
| | | (E) TREE TO BE REMOVED |

SHEET INDEX

| SHEET NO. | DESCRIPTION |
|-----------|-----------------------------------|
| C-0 | TITLE SHEET |
| C-1 | NOTES SHEET |
| C-2 | GRADING AND UTILITY PLAN |
| C-3 | EROSION AND SEDIMENT CONTROL PLAN |
| C-3.1 | BEST MANAGEMENT PRACTICES (BMPs) |
| C-3.2 | TREE PROTECTION PLAN |
| C-4 | DETAIL SHEET |

HYDROLOGY

| (E) IMPERVIOUS AREA | (N) IMPERVIOUS AREA | REQUIRED STORAGE VOL. | STORAGE VOL. PROVIDED |
|---------------------|---------------------|-----------------------|-----------------------|
| 6,886 SF | 6,330 SF | 169 CF | 211 CF |



PRECISION ENGINEERING AND CONSTRUCTION, INC.
T: 650.226.8640
Belmont, CA 94002
Travis@precision-etc.com

DATE: _____

REVISIONS:

| | |
|--|--|
| | |
| | |
| | |
| | |



TITLE SHEET
SAABER RESIDENCE
830 MENLO OAKS DRIVE
MENLO PARK (SMCO), CA 94025

Date: **06/08/2023**

Scale: **AS SHOWN**

Design: **AJP**

Check: **TRL**

Drawing Number: **C-0**

PEC Job No. **PEC 22-111**

CAUTION:

- 1. THE LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS PLAN WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). CONTRACTOR SHALL VERIFY LOCATION AND DEPTH PRIOR TO ANY EXCAVATION OR IMPROVEMENT.
2. CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION- PHONE (800) 642-2444. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND SHALL CLEARLY MARK (AND THEN PRESERVE THESE MARKERS) FOR THE DURATION OF CONSTRUCTION ON ALL TELEPHONE, DATA, STREET LIGHT, SIGNAL LIGHT AND POWER FACILITIES THAT ARE IN OR NEAR THE AREA OF CONSTRUCTION PRIOR TO BEGINNING ANY WORK ON THIS SITE.
3. THESE DRAWINGS DO NOT ADDRESS CONTRACTOR MEANS AND METHODS OF CONSTRUCTION OR PROCESSES THAT MAY BE ASSOCIATED WITH ANY TOXIC SOILS IF FOUND ON SITE. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL CITY AND COUNTY STANDARDS AND APPROPRIATE REGULATIONS IF TOXIC SOILS ARE ENCOUNTERED OR SUSPECTED OF BEING CONTAMINATED.

GENERAL SITE NOTES:

- 1. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING ON THIS WORK AND CONSIDER THE EXISTING CONDITIONS AND SITE CONSTRAINTS IN THE BID. CONTRACTOR SHALL BE IN THE POSSESSION OF AND FAMILIAR WITH ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS AND SPECIFICATIONS PRIOR TO SUBMITTING OF A BID.
2. THE CONTRACTOR SHALL MAINTAIN ALL SAFETY DEVICES, AND SHALL BE RESPONSIBLE FOR CONFORMANCE TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS LAWS AND REGULATIONS.
3. ALL WORK ON-SITE AND IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS & SPECIFICATIONS.
4. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND INDEMNIFY AND HOLD THE OWNER, THE CONSULTING ENGINEER AND THE CITY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE CONSULTING ENGINEER.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING THE JOB SITE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT UNAUTHORIZED PERSONS ON THE JOB SITE BY PROVIDING A CONSTRUCTION FENCE AROUND THE ENTIRE AREA OF DEMOLITION AND CONSTRUCTION, INCLUDING ALL STAGING AND STORAGE AREAS. CONSTRUCTION FENCE SHALL BE A MINIMUM OF A 6' HIGH GALVANIZED CHAIN LINK WITH GREEN WINDSCREEN FABRIC ON THE OUTSIDE OF THE FENCE.
7. EXISTING PEDESTRIAN WALKWAYS, BIKE PATHS AND ACCESSIBLE PATHWAYS SHALL BE MAINTAINED, WHERE FEASIBLE, DURING CONSTRUCTION.
8. IF A CONFLICT ARISES BETWEEN THE SPECIFICATIONS AND THE PLAN NOTES, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
9. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT IF ONE EXISTS.

EXISTING CONDITIONS:

- 1. EXISTING TOPOGRAPHIC SURVEYS PERFORMED BY TRIAD/HOLMES ASSOCIATES ON AUGUST 21, 2022 (JOB #09-2307). GRADES ENCOUNTERED ON-SITE MAY VARY FROM THOSE SHOWN. CONTRACTOR SHALL REVIEW THE PLANS AND CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE.
2. CLIENT AGREES TO HOLD ENGINEER HARMLESS FROM ANY AND ALL OCCURRENCES RESULTING FROM THE INACCURACIES OF THE CLIENT SUPPLIED TOPOGRAPHIC AND/OR BOUNDARY SURVEY (PREPARED BY OTHERS).

SURVEYOR'S NOTES:

BENCHMARK:

ELEVATIONS ARE BASED ON NAVD 88/CITY DATUM. PROJECT BENCHMARK IS THE SET MAG NAIL IN MENLO OAKS DR AS SHOWN. ELEVATION 35.96

RECORD DRAWINGS:

- 1. THE CONTRACTOR SHALL KEEP UP-TO-DATE AND ACCURATE A COMPLETE RECORD SET OF PRINTS OF THE CONTRACT DRAWINGS SHOWING EVERY CHANGE FROM THE ORIGINAL DRAWINGS MADE DURING THE COURSE OF CONSTRUCTION INCLUDING EXACT FINAL LOCATION, ELEVATION, SIZES, MATERIALS, AND DESCRIPTION OF ALL WORK. RECORDS SHALL BE "REDLINED" ON A SET OF CONSTRUCTION PLAN DRAWINGS. A COMPLETE SET OF CORRECTED AND COMPLETED RECORD DRAWING PRINTS SHALL BE SUBMITTED TO THE OWNER PRIOR TO FINAL ACCEPTANCE.

SITE MAINTENANCE

- 1. UPON PROJECT COMPLETION THE OWNER SHALL BE SOLELY RESPONSIBLE TO ROUTINELY INSPECT AND MAINTAIN ALL ON-SITE STORM DRAIN FACILITIES. STORM DRAIN FACILITIES INCLUDE: ROOF GUTTERS AND DOWNSPOUTS, SURFACE DRAINS, SEDIMENTATION BASIN, TRENCH DISSIPATER AND DISCHARGE POINTS (BUBBLE UP BOX). STORM DRAIN SYSTEM SHALL BE CLEANED AND/OR FLUSHED ON A BIENNIAL BASIS OR AS FOUND NECESSARY.

DEMOLITION NOTES :

- 1. PRIOR TO BEGINNING DEMOLITION WORK ACTIVITIES, CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES OUTLINED IN THE EROSION CONTROL PLAN & DETAILS.
2. THE CONTRACTOR SHALL MAINTAIN ALL SAFETY DEVICES, AND SHALL BE RESPONSIBLE FOR CONFORMANCE TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS LAWS AND REGULATIONS.
3. CONTRACTOR IS TO COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS, INCLUDING BUT NOT LIMITED TO, THE SAFETY AND HEALTH STANDARDS LAWS AND REGULATIONS AND REMOVAL AND DISPOSAL OF HAZARDOUS MATERIAL(S).
4. CONTRACTOR'S BID IS TO INCLUDE ALL VISIBLE SURFACE AND ALL SUBSURFACE FEATURES IDENTIFIED TO BE REMOVED OR ABANDONED IN THESE DOCUMENTS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF THE DEMOLITION WORK.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION, AND DISPOSAL OF SAID MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS. THE CONTRACTOR SHALL PAY ALL FEES ASSOCIATED WITH THE DEMOLITION WORK.
7. BACKFILL ALL DEPRESSIONS AND TRENCHES FROM DEMOLITION. REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS.
8. REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
9. THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING IMPROVEMENTS FACILITIES AND STRUCTURES WHICH ARE TO REMAIN. ANY ITEMS DAMAGED BY THE CONTRACTOR OR HIS AGENTS OR ANY ITEMS REMOVED FOR HIS USE SHALL BE REPLACED IN EQUAL OR BETTER CONDITION AS APPROVED BY THE OWNER.
10. COORDINATE ALL UTILITY SHUT-DOWN/DISCONNECT LOCATIONS WITH APPROPRIATE DRAWINGS (ELECTRICAL, MECHANICAL, ARCHITECTURAL, ETC.). CONTRACTOR IS TO SHUT OFF ALL UTILITIES AS NECESSARY PRIOR TO DEMOLITION. CONTRACTOR IS TO COORDINATE SERVICE INTERRUPTIONS WITH THE OWNER. DO NOT INTERRUPT SERVICES TO ADJACENT OFF-SITE OWNERS. ANY EXISTING UNDERGROUND UTILITY LINES TO BE ABANDONED, SHOULD BE REMOVED FROM WITHIN THE PROPOSED BUILDING ENVELOPE AND THEIR ENDS CAPPED OUTSIDE OF THE BUILDING ENVELOPE.
11. THIS PLAN IS NOT INTENDED TO BE A COMPLETE CATALOGUE OF ALL EXISTING STRUCTURES AND UTILITIES. THIS PLAN INTENDS TO DISCLOSE GENERAL INFORMATION KNOWN BY THE ENGINEER AND TO SHOW THE LIMITS OF THE AREA WHERE WORK WILL BE PERFORMED. THIS PLAN SHOWS THE EXISTING FEATURES TAKEN FROM A FIELD SURVEY, FIELD INVESTIGATIONS AND AVAILABLE INFORMATION. THIS PLAN MAY OR MAY NOT ACCURATELY REFLECT THE TYPE OR EXTENT OF THE ITEMS TO BE ENCOUNTERED AS THEY ACTUALLY EXIST, WHERE EXISTING FEATURES ARE NOT SHOWN, IT IS NOT IMPLIED THAT THEY ARE NOT TO BE DEMOLISHED OR REMOVED. THE CONTRACTOR SHALL PERFORM A THOROUGH FIELD INVESTIGATION AND REVIEW OF THE SITE WITHIN THE LIMIT OF WORK SHOWN IN THIS PLAN SET TO DETERMINE THE TYPE, QUANTITY AND EXTENT OF ANY AND ALL ITEMS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE EXTENT OF EXISTING STRUCTURES AND UTILITIES AND QUANTITY OF WORK INVOLVED IN REMOVING THESE ITEMS FROM THE SITE.

TREE/PLANT PROTECTION NOTES:

- 1. PRIOR TO BEGINNING CONSTRUCTION ON SITE, CONTRACTOR SHALL IDENTIFY AND PROTECT EXISTING TREES AND PLANTS DESIGNATED AS TO REMAIN.
2. PROTECT EXISTING TREES TO REMAIN FROM SPILLED CHEMICALS, FUEL OIL, MOTOR OIL, GASOLINE AND ALL OTHER CHEMICALLY INJURIOUS MATERIAL, AS WELL AS FROM PUDDLING OR CONTINUOUSLY RUNNING WATER. SHOULD A SPILL OCCUR, STOP WORK IN THAT AREA AND CONTACT THE CITY'S ENGINEER/INSPECTOR IMMEDIATELY. CONTRACTOR SHALL BE RESPONSIBLE TO MITIGATE DAMAGE FROM SPILLED MATERIAL AS WELL AS MATERIAL CLEAN UP.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ONGOING MAINTENANCE OF ALL TREES DESIGNATED TO REMAIN AND FOR MAINTENANCE OF RELOCATED TREES STOCKPILED DURING CONSTRUCTION. CONTRACTOR WILL BE REQUIRED TO REPLACE TREES THAT DIE DUE TO LACK OF MAINTENANCE.

HORIZONTAL CONTROL NOTES:

- 1. ALL DIMENSIONS ON THE PLANS ARE IN FEET OR DECIMALS THEREOF UNLESS SPECIFICALLY CALLED OUT AS FEET AND INCHES.

PAVEMENT SECTION:

- 1. SEE STRUCTURAL DRAWINGS FOR BUILDING SLAB SECTIONS AND PAD PREPARATIONS.
2. SEE GEOTECHNICAL REPORT FOR ALL FLATWORK, VEHICULAR PAVEMENT SECTIONS, BASE AND COMPACTION REQUIREMENTS.
3. THE FINAL OR SURFACE LAYER OF ASPHALT CONCRETE SHALL NOT BE PLACED UNTIL ALL ON-SITE IMPROVEMENTS HAVE BEEN COMPLETED, INCLUDING ALL GRADING, AND ALL UNACCEPTABLE CONCRETE WORK HAS BEEN REMOVED AND REPLACED, UNLESS OTHERWISE APPROVED BY THE CITY/COUNTY ENGINEER AND/OR DEVELOPER'S CIVIL ENGINEER.
4. ALL PAVING SHALL BE IN CONFORMANCE WITH SECTION 26 "AGGREGATE BASE" AND SECTION 39 "ASPHALT CONCRETE" PER LATEST EDITION OF CALTRANS STANDARD SPECIFICATIONS.

GRADING NOTES:

- 1. PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL STRUCTURES BY SLOPING THE FINISHED GROUND SURFACE AT LEAST 5%, UNLESS OTHERWISE NOTED ON THE PLANS. SLOPE LANDINGS 2% (1/4" PER FOOT) AWAY FROM STRUCTURES UNLESS OTHERWISE NOTED ON PLANS. ANY AREAS ON THE SITE NOT CONFORMING TO THESE BASIC RULES DUE TO EXISTING CONDITIONS OR DISCREPANCIES IN THE DOCUMENTS ARE TO BE REPORTED TO THE CIVIL ENGINEER PRIOR TO PROCEEDING WITH PLACEMENT OF BASE ROCK OR FORMWORK FOR CURBS AND/OR FLATWORK.
2. CONTRACTOR SHALL DETERMINE EARTHWORK QUANTITIES BASED ON THE TOPOGRAPHIC SURVEY, THE GEOTECHNICAL INVESTIGATION AND THE PROPOSED SURFACE THICKNESS AND BASE THE BID ACCORDINGLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM IF A SEPARATE DEMOLITION CONTRACT HAS BEEN ISSUED TO TAKE THE SITE FROM THE WAY IT IS AT THE TIME OF THE BID TO THE CONDITIONS DESCRIBED IN THESE DOCUMENTS. BRING ANY DIFFERENCES BETWEEN THE STATE IN WHICH THE SITE IS DELIVERED TO THE CONTRACTOR AND THESE DOCUMENTS TO THE ATTENTION OF THE CIVIL ENGINEER.
3. ALL FILL SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT AND THE CONTRACTOR SHALL COORDINATE AND COMPLY WITH THE GEOTECHNICAL ENGINEER TO TAKE THE APPROPRIATE TESTS TO VERIFY COMPACTION VALUES.
4. IMPORT SOILS SHOULD MEET THE REQUIREMENTS OF THE SOILS REPORT AND SPECIFICATIONS.
5. DO NOT ADJUST GRADES ON THIS PLAN WITHOUT PRIOR WRITTEN APPROVAL OF THE CIVIL ENGINEER.
6. SITE STRIPPINGS THAT CONTAIN ONLY ORGANIC MATERIAL (NO DEBRIS TRASH, BROKEN CONC. OR ROCKS GREATER THAN 1" IN DIAMETER) MAY BE USED IN LANDSCAPE AREAS, EXCEPT FOR AREAS IDENTIFIED AS IMPORT TOP SOIL BY THE LANDSCAPE DRAWINGS. EXCESS STRIPPINGS SHALL BE REMOVED FROM SITE.
7. ROUGH GRADING TO BE WITHIN 0.1' AND FINISH GRADES ARE TO BE WITHIN 0.05', HOWEVER CONTRACTOR SHALL NOT CONSTRUCT ANY IMPROVEMENTS THAT WILL CAUSE WATER TO POND OR NOT MEET REQUIREMENTS IN GRADING NOTE #1.
8. THE CONTRACTOR SHALL EXERCISE EXTREME CARE TO CONFORM TO THE LINES, GRADES, SECTIONS, AND DIMENSIONS AS SET FORTH ON THESE PLANS. ALL GRADED AREAS SHALL CONFORM TO THE VERTICAL ELEVATIONS SHOWN WITH A TOLERANCE OF ONE-TENTH OF A FOOT. WHERE GRADED AREAS DO NOT CONFORM TO THESE TOLERANCES, THE CONTRACTOR SHALL BE REQUIRED TO DO CORRECTIVE GRADING, AT NO EXTRA COST TO THE CLIENT.
9. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO THE START OF CONSTRUCTION AS TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND CIVIL ENGINEER IN WRITING PRIOR TO START OF CONSTRUCTION WHICH MAY REQUIRE CHANGES IN DESIGN AND/OR AFFECT THE EARTHWORK QUANTITIES.
10. THE CONTRACTOR SHALL ADJUST TO FINAL GRADE ALL EXISTING MANHOLES, CURB INLETS, CATCH BASINS, VALVES, MONUMENT COVERS, AND OTHER CASTINGS WITHIN THE WORK AREA TO FINAL GRADE IN PAVEMENT AND LANDSCAPE AREAS UNLESS NOTED OTHERWISE.

STORM DRAIN NOTES:

- 1. USE DETECTABLE METALIZED WARNING TAPE APPROXIMATELY 6" BELOW THE SURFACE. TAPE SHALL BE A BRIGHT COLOR AND IMPRINTED WITH "CAUTION-BURIED STORM DRAIN LINE BELOW".
2. PRIVATE STORM DRAIN LINE 4-INCH THROUGH 12-INCH IN NON-Traffic AREAS SHALL BE INSTALLED WITH A MINIMUM OF EIGHTEEN (18) INCHES OF COVER AND SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
3. PRIVATE STORM DRAIN LINE 4-INCH THROUGH 12-INCH WITHIN VEHICULAR TRAFFIC AREAS SHALL BE INSTALLED WITH A MINIMUM OF EIGHTEEN (18) INCHES OF COVER AND SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 PIPE. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, OBTUSE ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
4. PAINT THE TOP OF THE CURBS ADJACENT TO EACH CATCH BASIN INSTALLED UNDER THIS WORK OR ADJACENT TO THIS SITE WITH THE WORDS "NO DUMPING". WORDING TO BE BLUE 4" HIGH LETTERS ON A PAINTED WHITE BACKGROUND.
5. ALL AREA DRAINS AND CATCH BASINS GRATES WITHIN PEDESTRIAN ACCESSIBLE AREAS SHALL MEET ADA REQUIREMENTS.
6. DRAINS SHOWN ON CIVIL PLANS ARE NOT INTENDED TO BE THE FINAL NUMBER AND LOCATION OF ALL DRAINS. PLACEMENT AND NUMBER OF LANDSCAPING DRAINS ARE HIGHLY DEPENDENT ON GROUND COVER TYPE AND PLANT MATERIAL. CONTRACTOR SHALL ADD ADDITIONAL AREA DRAINS AS NEEDED AND AS DIRECTED BY THE LANDSCAPE ARCHITECT/OWNER.
7. WHERE FEASIBLE ALL DOWNSPOUTS SHALL DISCHARGE TO A SPLASHBLOCK OR IMPERVIOUS SURFACE AND FLOW TO LANDSCAPED FEATURES BEFORE ENTERING THE DRAINAGE SYSTEM. USE OF AREA DRAINS (RATHER THAN DIRECT CONNECTION TO DRAINAGE SYSTEM) TO COLLECT ROOF/SURFACE WATER IS STRONGLY ENCOURAGED IN CONFORMANCE WITH COUNTYWIDE C.3 REQUIREMENTS. OTHERWISE, DOWNSPOUTS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM WITH 4" PVC SDR 35 PIPE WHERE SHOWN ON PLANS. SEE ARCHITECTURE PLANS FOR EXACT LOCATION OF THE DOWN SPOUTS.
8. CONTRACTOR SHALL INSTALL RAIN GUTTER GUARDS OR WIRE MESH ON ALL ROOF GUTTERS TO REDUCE THE AMOUNT TO LEAVES AND DEBRIS FROM ENTERING THE STORM DRAIN SYSTEM.

GENERAL UTILITY SYSTEM NOTES :

- 1. UNDERGROUND UTILITIES OR STRUCTURES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS AND EXTENT BASED UPON FIELD OBSERVATION ONLY. NO GUARANTEE IS MADE TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL VERIFY THE TYPE, SIZE, LOCATION AND DEPTH OF ALL THE UTILITIES AND CROSSINGS TO ENSURE THEY ARE CORRECT AS SHOWN. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN EXCAVATING AND SHALL PROTECT ALL EXISTING UTILITIES FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS.
2. CONTRACTOR SHALL PREPARE AN ACCURATE COMPOSITE UTILITY PLAN THAT TAKES INTO ACCOUNT THE ACTUAL LOCATIONS OF EXISTING UTILITIES AS DETERMINED DURING THE DEMOLITION WORK, AND ALL PROPOSED UTILITIES SHOWN ON THE CIVIL, ELECTRICAL, JOINT TRENCH AND FIRE SPRINKLER DRAWINGS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.
4. CONTRACTOR SHALL REPLACE ALL COVERS AND GRATE LIDS FOR MANHOLES, VAULTS, CATCH BASINS, ETC., WITH VEHICULAR-RATED STRUCTURES IN ALL TRAFFIC ACCESSIBLE AREAS.
5. TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN EXISTING PUBLIC STREET AREAS. CONTRACTOR SHALL BACKFILL TRENCHES, OR PLACE STEEL PLATING WITH ADEQUATE CUTBACK TO PREVENT SHIFTING OF STEEL PLATE AND/OR HOT-MIX ASPHALT REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF THE WORKING DAY.
6. ALL TRENCHES SHALL BE BACK FILLED PER THE SPECIFICATIONS WITH APPROPRIATE TESTS BY THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.
7. CLEAN OUTS, CATCH BASINS, MANHOLES, AREA DRAINS AND UTILITY VAULTS ARE TO BE ACCURATELY LOCATED BY THEIR RELATIONSHIP TO THE BUILDING, FLATWORK, ROOF DRAINS, AND/OR CURB LAYOUT, NOT BY THE LENGTH OF PIPE SPECIFIED IN THE DRAWINGS (WHICH IS APPROXIMATE). CONTRACTOR SHALL STAKE LOCATIONS OF ABOVE GROUND UTILITY EQUIPMENT (BACKFLOW PREVENTOR, TRANSFORMER, UTILITY METERS, ETC.) AND MEET WITH OWNER TO REVIEW LOCATION PRIOR TO INSTALLATION.
8. ALL UTILITY SYSTEMS (SANITARY SEWER, STORM DRAIN, WATER SYSTEM, ETC.) ARE DELINEATED IN A SCHEMATIC MANNER ON THESE PLANS. CONTRACTOR IS TO PROVIDE ALL FITTINGS, ACCESSORIES AND WORK NECESSARY TO COMPLETE THE UTILITY SYSTEM SO THAT IT IS FULLY FUNCTIONING FOR THE PURPOSE INTENDED.
9. CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO COMMENCEMENT OF ANY WORK. ALL WORK FOR STORM AND SANITARY SEWER INSTALLATION SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT TO ALLOW FOR ANY NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONTRACTOR FAILS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORKS UP STREAM, HE SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY. CONTRACTOR SHALL VERIFY LOCATION OF SANITARY SEWER LATERAL WITH OWNER PRIOR TO CONSTRUCTION.
10. CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITIES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT HORIZONTAL AND VERTICAL CLEARANCE. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE CIVIL ENGINEER PRIOR TO INSTALLATION.
11. VERTICAL SEPARATION REQUIREMENTS:

A MINIMUM OF SIX (6) INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN CROSSING UTILITY PIPES, EXCEPT THAT THE MINIMUM VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER PIPELINES SHALL BE 12 INCHES AND ALL NEW WATER PIPES SHALL BE TYPICALLY INSTALLED TO CROSS ABOVE/OVER EXISTING SANITARY SEWER PIPELINES.

WHERE NEW WATER PIPELINES ARE REQUIRED TO CROSS UNDER EXISTING AND/OR NEW SANITARY SEWER PIPELINES, THE MINIMUM VERTICAL SEPARATION SHALL BE 12 INCHES. WATER LINE PIPE ENDS SHALL BE INSTALLED NO CLOSER THAN 10' MINIMUM HORIZONTAL DISTANCE FROM CENTERLINE OF UTILITY CROSSINGS, WHERE FEASIBLE.

HORIZONTAL SEPARATION REQUIREMENTS:

A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND ANY EXISTING UTILITIES SHALL BE 5' FEET, EXCEPT THAT THE MINIMUM HORIZONTAL SEPARATION FOR WATER AND SANITARY SEWER PIPELINES SHALL BE 10' MINIMUM, UNLESS OTHERWISE NOTED. WHERE WATER LINES HAVE TO CROSS SANITARY SEWER LINES, DO SO AT A 90° ANGLE AND WATER LINES SHALL BE A MINIMUM OF 12" ABOVE TOP OF SANITARY SEWER LINES.

A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND JOINT TRENCH SHALL BE 5 FEET.

SANITARY SEWER NOTES:

- 1. USE DETECTABLE METALIZED WARNING TAPE APPROXIMATELY 6" BELOW THE SURFACE. TAPE SHALL BE A BRIGHT COLOR AND IMPRINTED WITH "CAUTION-BURIED SANITARY SEWER LINE BELOW".
2. ALL SEWER WORK SHALL BE IN CONFORMANCE WITH THE CITY OR APPROPRIATE SANITARY SEWER DISTRICT.
3. PUBLIC AND PRIVATE SANITARY SEWER MAIN AND SERVICE LINE 4-INCH THROUGH 8-INCH WITH A MINIMUM OF TWENTY FOUR (24) INCHES OF COVER SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26 GREEN SEWER PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-73 WITH GLUED JOINTS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS OR 45° ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
4. ALL LATERALS SHALL HAVE A CLEANOUT AT FACE OF BUILDING, AT THE PROPERTY LINE AND AS SHOWN ON PLANS PER THE CITY STANDARD OR APPROPRIATE SANITARY SEWER DISTRICT.
5. IF (E) SEWER LATERAL IS TO BE USED, CONTRACTOR SHALL CONDUCT WATER PRESSURE TEST AND A VIDEO INSPECTION ON THE ENTIRE SECTION OF EXISTING LATERAL FROM HOUSE TO SEWER MAIN. CONTRACTOR SHALL PERFORM ANY NECESSARY CLEANING AND/OR REPAIRS WITHIN THE LATERAL AND AT THE CONNECTION.

WATER SYSTEM NOTES:

- 1. USE DETECTABLE METALIZED WARNING TAPE APPROXIMATELY 6" BELOW THE SURFACE. TAPE SHALL BE A BRIGHT COLOR AND IMPRINTED WITH "CAUTION-BURIED WATER LINE BELOW".
2. ALL WATER SERVICE CONNECTIONS, INCLUDING BUT NOT LIMITED TO WATER VALVE, FURNISH ALL MATERIALS, INSTALL TAPPING TEE, VALVE AND ALL THRUST BLOCKS, BACKFILL, RESTORE THE SURFACE, AND CLEAN UP. THE APPLICABLE WATER DISTRICT STANDARDS WILL PROVIDE THE CONTRACTOR WITH A LIST OF APPROVED CONTRACTORS FOR MAKING WET TAPS.
3. CONTRACTOR SHALL SIZE AND INSTALL ALL NEW DESIGN BUILD DOMESTIC IRRIGATION AND FIRE WATER LINE(S) IN ACCORDANCE WITH THE LATEST EDITION OF THE UNIFORM CALIFORNIA PLUMBING AND FIRE CODES. (ALL FIXTURE UNIT COUNTS SHALL BE REVIEWED AND APPROVED BY THE CITY'S BUILDING AND/OR WATER DEPARTMENT PRIOR TO CONSTRUCTION.)
4. ALL WATER LINES SHALL BE INSTALLED WITH 36" MINIMUM COVER.
5. PUBLIC AND PRIVATE WATER MAIN AND WATER SERVICE LINE 4" THROUGH 12-INCH SHALL BE POLYVINYL CHLORIDE (PVC) AND SHALL MEET AWWA C900, RATED FOR 200 PSI CLASS PIPE WITH EPOXY COATED DUCTILE IRON FITTINGS AND FUSION EPOXY COATED GATE VALVES. ALL JOINTS SHALL BE FACTORY MANUFACTURED WITH BELL AND SPIGOT ENDS AND RUBBER GASKETS.
6. ALL WATER LINES 2" OR SMALLER SHALL BE TYPE K COPPER WITH SILVER BRAZED JOINTS. CONTRACTOR TO VERIFY PRESSURES FROM EXISTING LINES ARE ADEQUATE TO SERVICE BUILDINGS AS SPECIFIED BY THE PLUMBING PLANS.
7. CONNECTIONS TO THE EXISTING WATER MAIN SHALL BE APPROVED BY THE APPLICABLE WATER DISTRICT STANDARDS. THE CONTRACTOR SHALL PAY THE ACTUAL COSTS OF CONSTRUCTION. THE CONTRACTOR SHALL PERFORM ALL EXCAVATION, PREPARE THE SITE, FURNISH ALL MATERIALS, INSTALL TAPPING TEE, VALVE AND ALL THRUST BLOCKS, BACKFILL, RESTORE THE SURFACE, AND CLEAN UP. THE APPLICABLE WATER DISTRICT STANDARDS WILL PROVIDE THE CONTRACTOR WITH A LIST OF APPROVED CONTRACTORS FOR MAKING WET TAPS.
8. ALL WATER VALVES SHALL BE CLUSTERED, UNLESS OTHERWISE DIRECTED BY THE CITY/COUNTY OR APPLICABLE WATER DISTRICT.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COLLECTING AND DELIVERING WATER SAMPLES FOR ANALYSIS TO A CITY/COUNTY/APPLICABLE WATER DISTRICT APPROVED LAB.
10. ALL ON AND OFF-SITE LANDSCAPE IRRIGATION SYSTEMS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECTURAL PLANS AND SPECIFICATIONS AND SHALL BE CONNECTED TO THE EXISTING AND/OR NEW WATER SYSTEM AND METERED ACCORDINGLY.
11. INSTALL CITY/COUNTY/APPLICABLE WATER DISTRICT APPROVED PRESSURE REGULATOR AND REDUCED BACKFLOW PREVENTOR ON WATER LINE AT ENTRANCE TO BUILDING. REFERENCE PLUMBING PLANS FOR MORE DETAIL.

FIRE PROTECTION NOTES:

- 1. CONTRACTOR SHALL INSTALL THE DESIGN BUILD FIRE SERVICE LINE, BACKFLOW PREVENTOR, SPRINKLERS AND EQUIPMENT IN ACCORDANCE WITH THE FIRE PROTECTION CONSULTANT'S PLANS, SPECIFICATIONS, LATEST EDITION OF THE UNIFORM/CALIFORNIA FIRE CODE AND CITY/TOWN STANDARDS.
2. THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL PREPARE SHOP DRAWINGS SHOWING ALL INFORMATION REQUIRED BY THE LOCAL FIRE MARSHAL, INCLUDING ANGLES, THRUST BLOCKS, VALVES, FIRE HYDRANTS, PIV'S, FDC'S, BACKFLOW ASSEMBLIES, FLEXIBLE CONNECTIONS, VAULTS, ETC.
3. SHOP DRAWINGS SHALL BE SUBMITTED TO THE LOCAL FIRE MARSHAL, THE RATING AGENCY AND THE PROJECT MANAGER, ALLOWING TIME FOR REVIEW AND ACCEPTANCE, PRIOR TO START OF WORK.
4. THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL OBTAIN ALL APPROVALS AND PERMITS PRIOR TO ORDERING MATERIALS, FABRICATING SYSTEMS OR ANY INSTALLATION.
5. GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND EQUIPMENT LOCATIONS. RISER LOCATIONS ARE SHOWN ON ARCHITECTURAL AND PLUMBING DRAWINGS AND ARE TO BE COORDINATED WITH ACTUAL FIELD CONDITIONS.

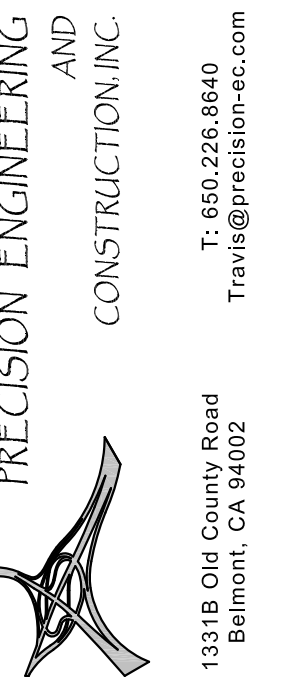
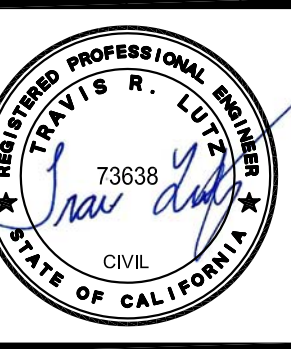


Table with 2 columns: REVISIONS, DATE





NOTES SHEET
SAABER RESIDENCE
830 MENLO OAKS DRIVE
MENLO PARK (SMCO), CA 94025

Table with 2 columns: Date (06/08/2023), Scale (NONE), Design (AJP), Check (TRL), Drawing Number (C-1), PEC Job No. (PEC 22-111)

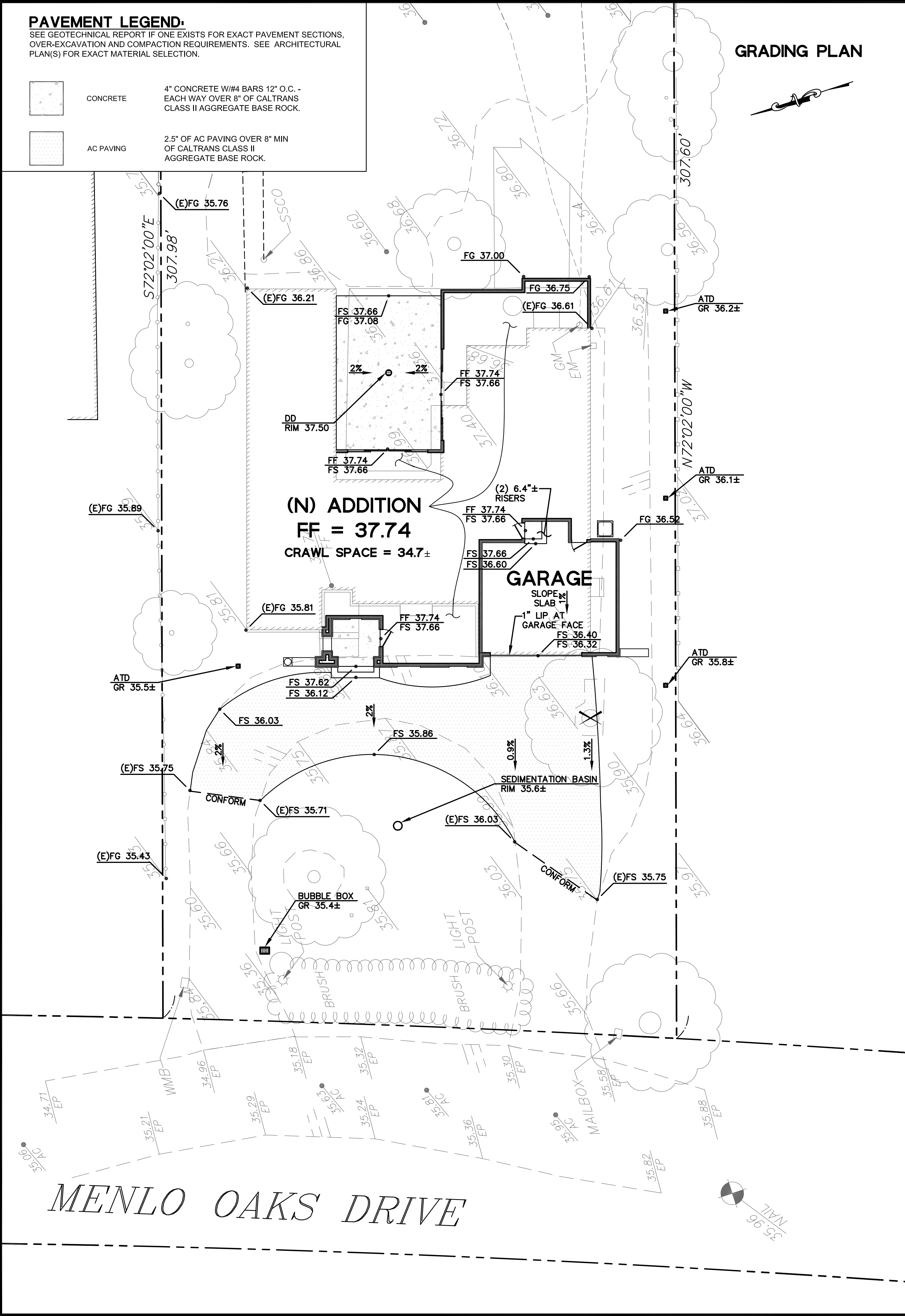
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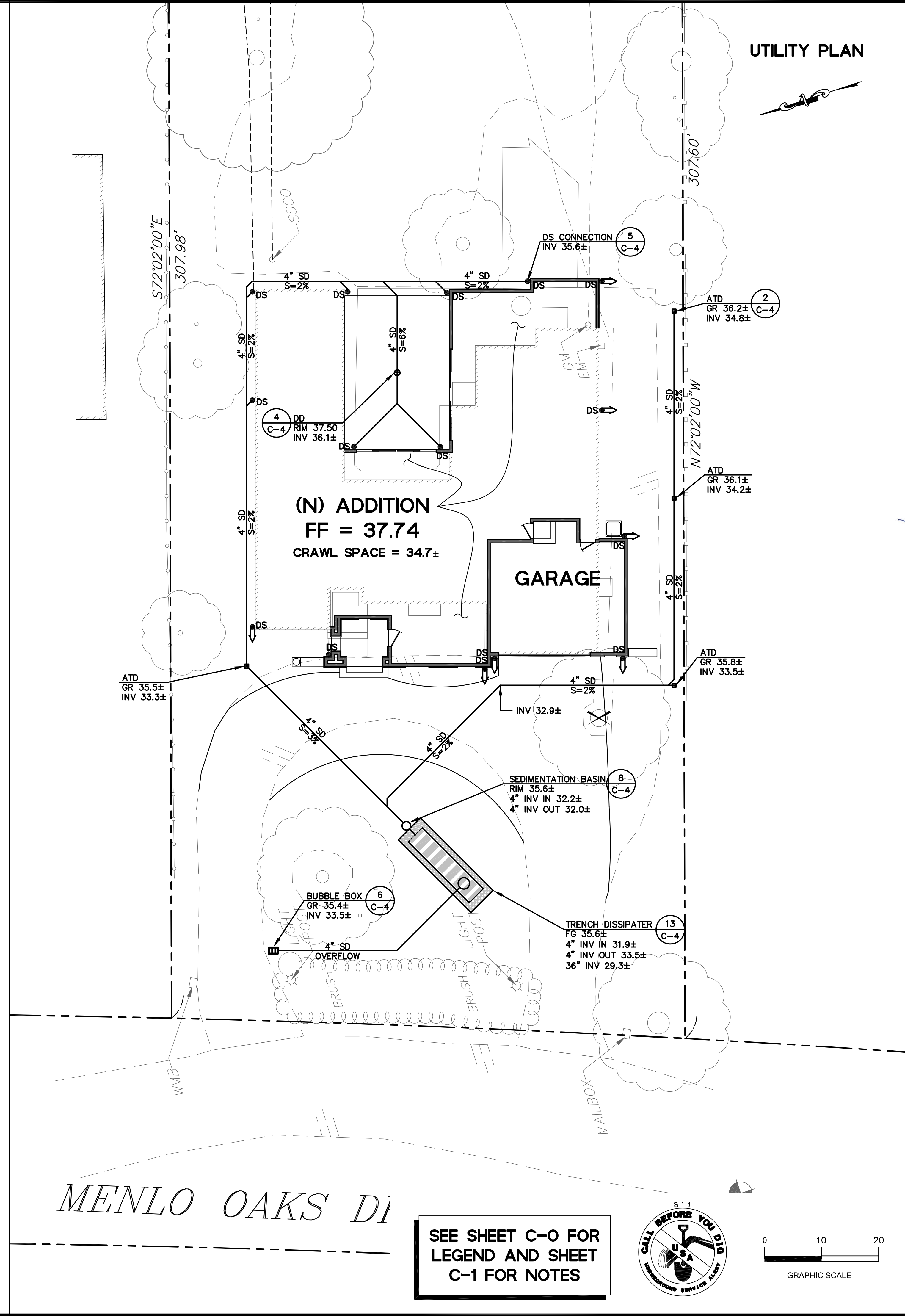
SEE GEOTECHNICAL REPORT IF ONE EXISTS FOR EXACT PAVEMENT SECTIONS, OVER-EXCAVATION AND COMPACTION REQUIREMENTS. SEE ARCHITECTURAL PLAN(S) FOR EXACT MATERIAL SELECTION.

-  CONCRETE 4" CONCRETE W/#4 BARS 12" O.C. - EACH WAY OVER 8" OF CALTRANS CLASS II AGGREGATE BASE ROCK.
-  AC PAVING 2.5" OF AC PAVING OVER 8" MIN OF CALTRANS CLASS II AGGREGATE BASE ROCK.

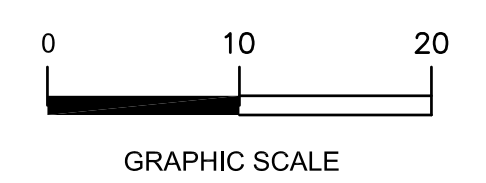
GRADING PLAN



UTILITY PLAN



SEE SHEET C-0 FOR LEGEND AND SHEET C-1 FOR NOTES

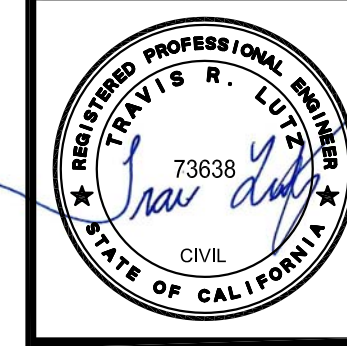


PRECISION ENGINEERING AND CONSTRUCTION, INC.
 13315 Old County Road
 Belmont, CA 94002
 T: 650.226.8640
 Travis@precision-ec.com

DATE: _____

REVISIONS:

| | |
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| NO. | DESCRIPTION |
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GRADING AND UTILITY PLAN
SABER RESIDENCE
830 MENLO OAKS DRIVE
MENLO PARK (SMCO), CA 94025

Date: 06/08/2023

Scale: 1" = 10'

Design: AJP

Check: TRL

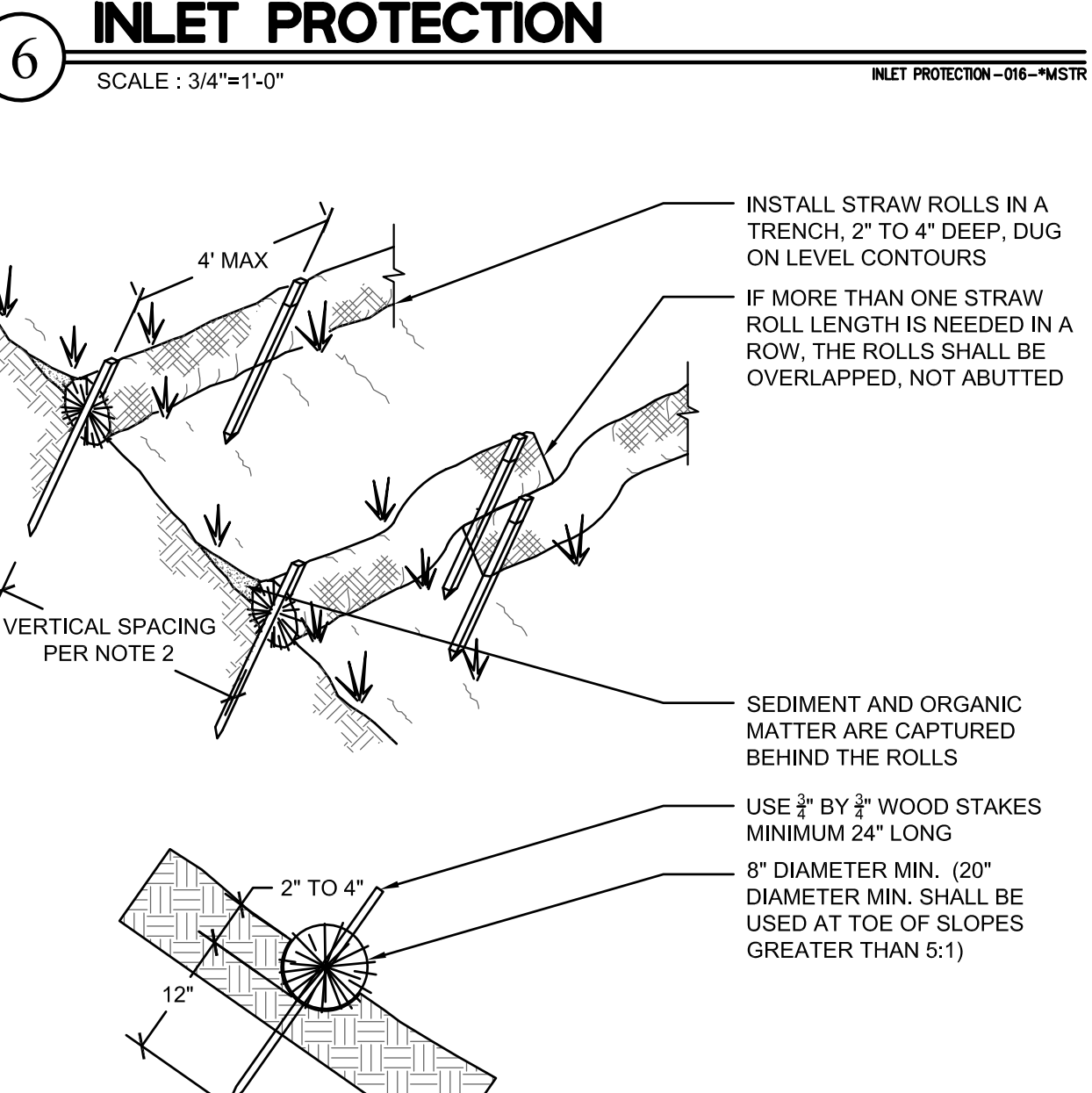
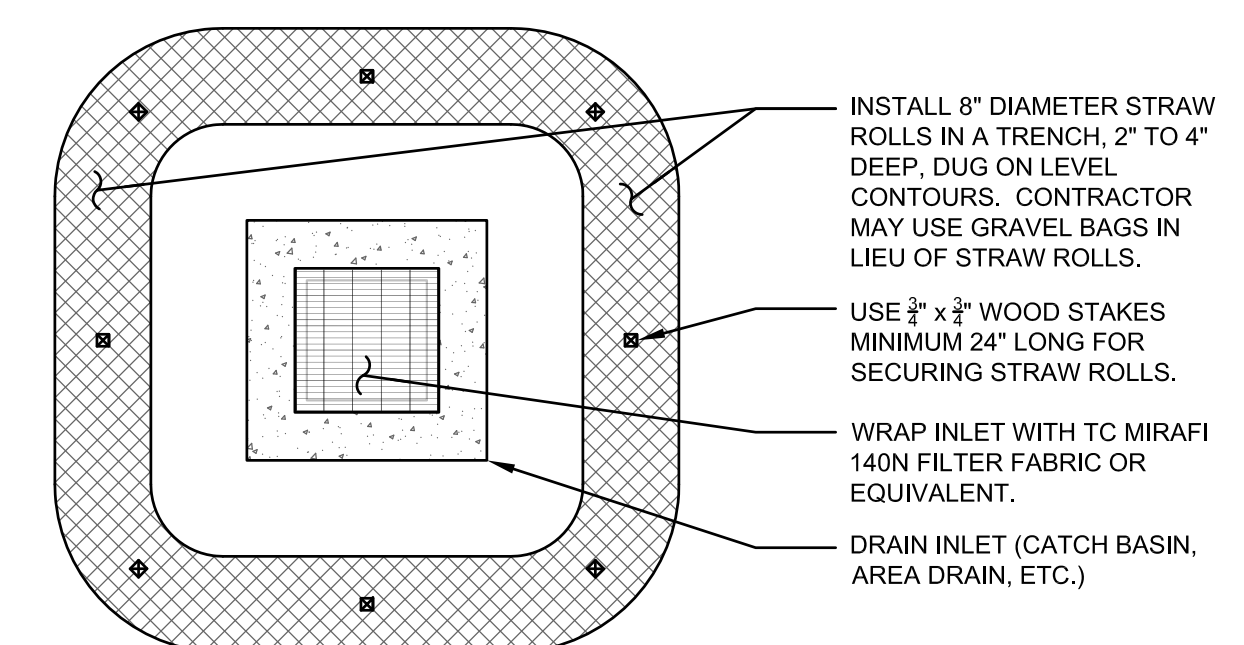
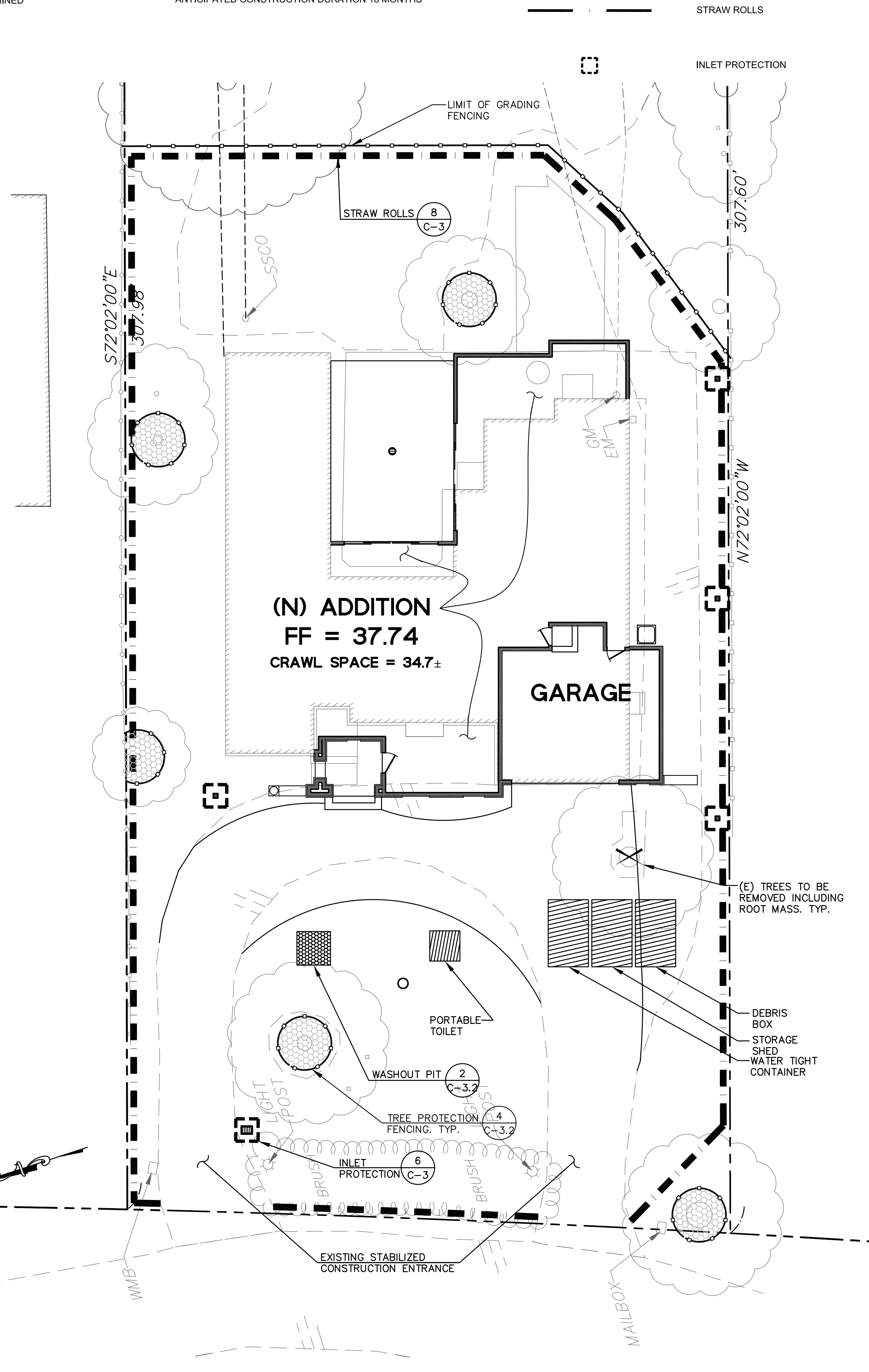
Drawing Number: **C-2**

PEC Job No. PEC 22-111

0:\Projects\2022\22-111 - 830 Menlo Oaks Dr - Menlo Park (SMCO)\DWG\PEC 22-111 SHEETS.dwg
 PLOTTED BY: _____
 DATE: 06/08/2023 10:00 AM

- ALL EROSION CONTROL MATERIALS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR, UNLESS OTHERWISE NOTED, BY OCTOBER 1st AND SHALL CONTINUE IN EFFECT UNTIL APRIL 30th OR UNTIL INSTALLATION OF THE PERMANENT SITE IMPROVEMENTS.
- CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN WHICH ARE SCHEMATIC MINIMUM REQUIREMENTS, THE FULL EXTENT OF WHICH ARE TO BE DETERMINED BY THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF THE EROSION CONTROL SYSTEM SO THAT IT WORKS WITH THE CONTRACTOR'S INTENDED USE AND MANAGEMENT OF THE CONSTRUCTION SITE.
- ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED, AS REQUIRED, AT THE CONCLUSION OF EACH WORKING DAY DURING THE RAINY SEASON. THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL FACILITIES AND MAKE NECESSARY REPAIRS PRIOR TO ANTICIPATED STORMS AND AT REASONABLE INTERVALS DURING STORMS OF EXTENDED DURATION. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.
- AS SOON AS PRACTICAL FOLLOWING EACH STORM, THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS IN THE STREET AND FROM THE EROSION CONTROL SEDIMENT BASINS AND SHALL CLEAR THE OUTLET PIPES OF ANY BLOCKAGE.
- NECESSARY EROSION CONTROL MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL MEASURES AND FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS.
- WATER TRUCKS SHALL BE PRESENT AND IN USE AT THE CONSTRUCTION SITE. ALL PORTIONS OF THE SITE SUBJECT TO BLOWING DUST SHALL BE WATERED AS OFTEN AS DEEMED NECESSARY BY GREYSTONE WEST AND/OR THE DISTRICT IN ORDER TO INSURE PROPER CONTROL OF BLOWING DUST FOR THE DURATION OF THE PROJECT.
- WHEEL WASHERS SHALL BE INSTALLED AND USED TO CLEAN ALL TRUCKS AND EQUIPMENT LEAVING THE CONSTRUCTION SITE. IF WHEEL WASHERS CANNOT BE INSTALLED, TIRES OR TRACKS OF ALL TRUCKS AND EQUIPMENT SHALL BE WASHED OFF BEFORE LEAVING THE CONSTRUCTION SITE.
- THE CONTRACTOR SHALL DEMONSTRATE DUST SUPPRESSION MEASURES, SUCH AS REGULAR WATERING, WHICH SHALL BE IMPLEMENTED TO REDUCE EMISSIONS DURING CONSTRUCTION AND GRADING IN A MANNER MEETING THE APPROVAL OF THE CONSTRUCTION MANAGER. THIS SHALL ASSIST IN REDUCING SHORT-TERM IMPACTS FROM PARTICLES WHICH COULD RESULT IN NUISANCES THAT ARE PROHIBITED BY RULE 403 (FUGITIVE DUST).

- GRADING OR ANY OTHER OPERATIONS THAT CREATES DUST SHALL BE STOPPED IMMEDIATELY IF DUST AFFECTS ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE SUFFICIENT DUST CONTROL FOR THE ENTIRE PROJECT SITE AT ALL TIMES. THE SITE SHALL BE WATERED AS NECESSARY TO PREVENT DUST NUISANCE. IN THE EVENT THAT THE CONTRACTOR NEGLECTS TO USE ADEQUATE MEASURES TO CONTROL DUST, THE HOME OWNER RESERVES THE RIGHT TO TAKE WHATEVER MEASURES ARE NECESSARY TO CONTROL DUST AND CHARGE THE COST TO THE CONTRACTOR.
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA VEHICLE TRAFFIC, SHEET FLOW, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER. COVER STOCKPILED MATERIAL WITH VISQUEUM OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
- ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS SHALL BE COVERED WITH TARPULINS OR OTHER EFFECTIVE COVERS.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE. NEVER CLEAN MACHINERY, EQUIPMENT OR TOOLS INTO A STREET, GUTTER OR STORM DRAIN.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPERSAL BY WIND.
- CLEAN UP ALL SPILLS USING DRY METHODS.
- CALL 911 IN CASE OF A HAZARDOUS SPILL.
- BMP'S AS OUTLINED IN, BUT NOT LIMITED TO, CALIFORNIA STORM WATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA, JANUARY 2003, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THE PROJECT. ALL CONSTRUCTION IMPROVEMENTS SHALL ADHERE TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE CITY OR COUNTY STORM DRAIN SYSTEMS. ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY CITY INSPECTORS.
- PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
- CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE TOWN AND HOME OWNER. THE ADJACENT STREET SHALL BE KEPT CLEAN OF DEBRIS, WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION. METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE RIGHT-OF-WAY IS PERMITTED.
- UPON SATISFACTORY COMPLETION OF THE WORK, THE ENTIRE WORK SITE SHALL BE CLEANED BY THE CONTRACTOR AND LEFT WITH A SMOOTH AND NEATLY GRADED SURFACE FREE OF CONSTRUCTION RUBBISH, AND DEBRIS OF ANY NATURE.
- THE CONTRACTOR SHALL ADHERE TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES (BMP) FOR SEDIMENTATION PREVENTION AND EROSION CONTROL TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE TOWN OF COUNTY STORM DRAIN SYSTEMS.
- SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONTRACTOR SHALL INSTALL A STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE INCEPTION OF ANY WORK ON-SITE AND MAINTAIN IT FOR THE DURATION OF THE CONSTRUCTION PROCESS SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY SWALES, SILT FENCES, AND EARTH PERMS IN CONJUNCTION WITH PROPERLY INSTALLED INLET FILTERS.
- SILT FENCE(S) AND FIBER ROLL(S) SHALL BE INSTALLED PRIOR TO SEPTEMBER 15 AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED. CONTRACTOR SHALL CONTINUOUSLY MONITOR THESE MEASURES, FOLLOWING AND DURING ALL RAIN EVENTS, TO ENSURE THEIR PROPER FUNCTION.
- PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.
- MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL DENUDED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
- STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
- CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
- USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) AS NECESSARY.
- AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
- LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
- LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
- AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
- TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
- PLACEMENT OF EROSION MATERIALS AT THESE LOCATIONS IS REQUIRED ON WEEKENDS AND DURING RAIN EVENTS: (LIST LOCATIONS).
- THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE ETC., SHALL NOT BE ENLARGED OR "RUN OVER."
- CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON."
- DUST CONTROL IS REQUIRED YEAR-ROUND.
- EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
- USE OF PLASTIC SHEETING BETWEEN OCTOBER 1ST AND APRIL 30TH IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.



- NOTES:**
- INSTALL SUCH THAT RUNOFF WILL NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL. TURN ENDS UP SLOPE TO PREVENT RUNOFF FROM GOING AROUND ROLL.
 - SPACE STRAW ROLLS AS FOLLOWS:
 - SLOPE OF 4:1 OR FLATTER = 20 FEET APART
 - SLOPE BETWEEN 4:1 AND 2:1 = 15 FEET APART
 - SLOPE OF 2:1 OR GREATER = 10 FEET APART
 - INSPECT AND REPAIR STRAW ROLLS AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE.
 - IN LIEU OF STRAW ROLL INSTALLATION AROUND PROJECT PERIMETER, CONTRACTOR HAS OPTION TO PRESERVE A NATURAL VEGETATED BUFFER 3 FOOT MINIMUM IN WIDTH OR A 6 INCH HIGH BERM.

PRECISION ENGINEERING AND CONSTRUCTION, INC.
 1331E Old County Road
 Belmont, CA 94002
 T: 650.226.8640
 Travis@precision-etc.com

DATE: _____
 REVISIONS: _____

EROSION AND SEDIMENT CONTROL PLAN
SAABER RESIDENCE
830 MENLO OAKS DRIVE
MENLO PARK (SMCO), CA 94025

Date: **06/08/2023**
 Scale: **AS SHOWN**
 Design: **AJP**
 Check: **TRL**
 Drawing Number: **C-3**
 PEC Job No. **PEC 22-111**

SEE SHEET C-0 FOR LEGEND AND SHEET C-1 FOR NOTES

CALL BEFORE YOU DIG
 811
 UNDEGROUND SERVICE LOCATOR

0:\Users\j... \Projects\114\2022\PEC 22-111 - 830 Menlo Oaks Dr - Menlo Park (SMCO)\DWG\PEC 22-111_SHEETS.dwg
 PLOTTED BY: [Name]
 DATE: [Date]



SAN MATEO COUNTYWIDE
**Water Pollution
Prevention Program**
Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



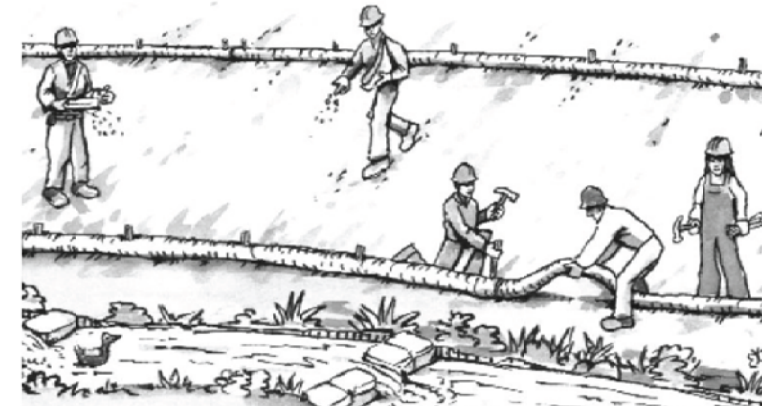
Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work

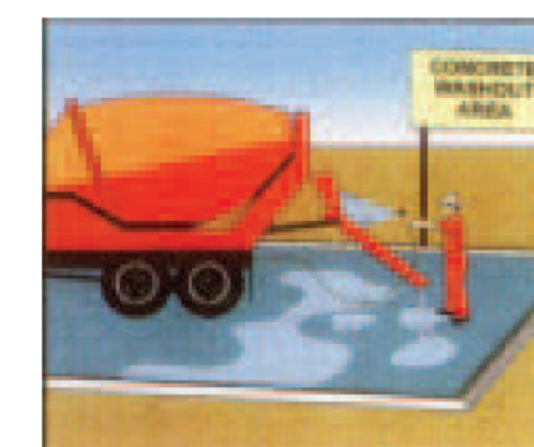


- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



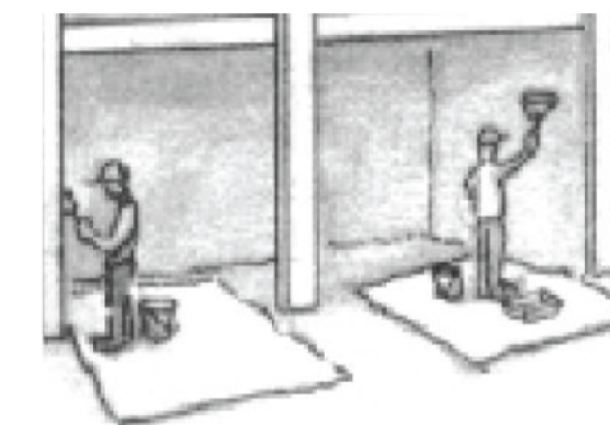
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

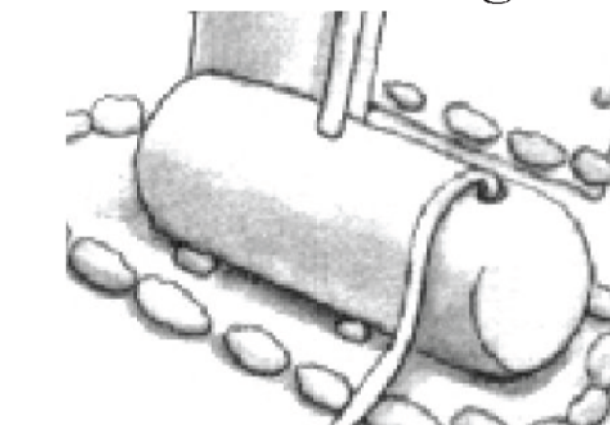
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

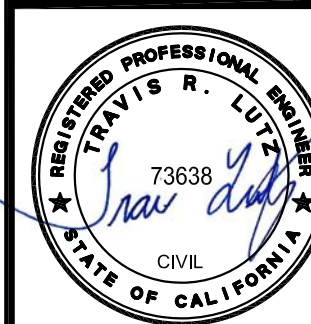
Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

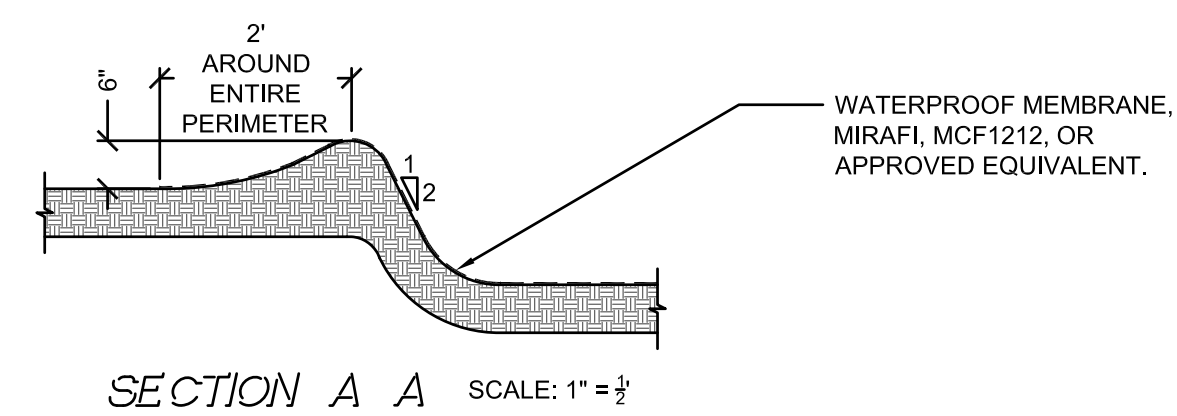
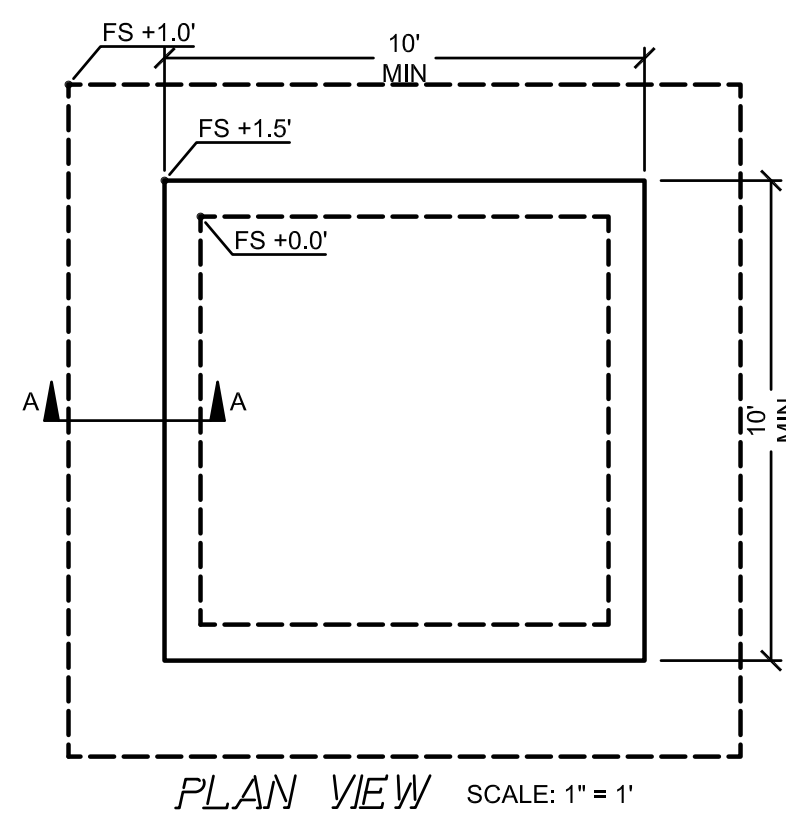
Storm drain polluters may be liable for fines of up to \$10,000 per day!

| | |
|------------|--|
| DATE: | |
| REVISIONS: | |



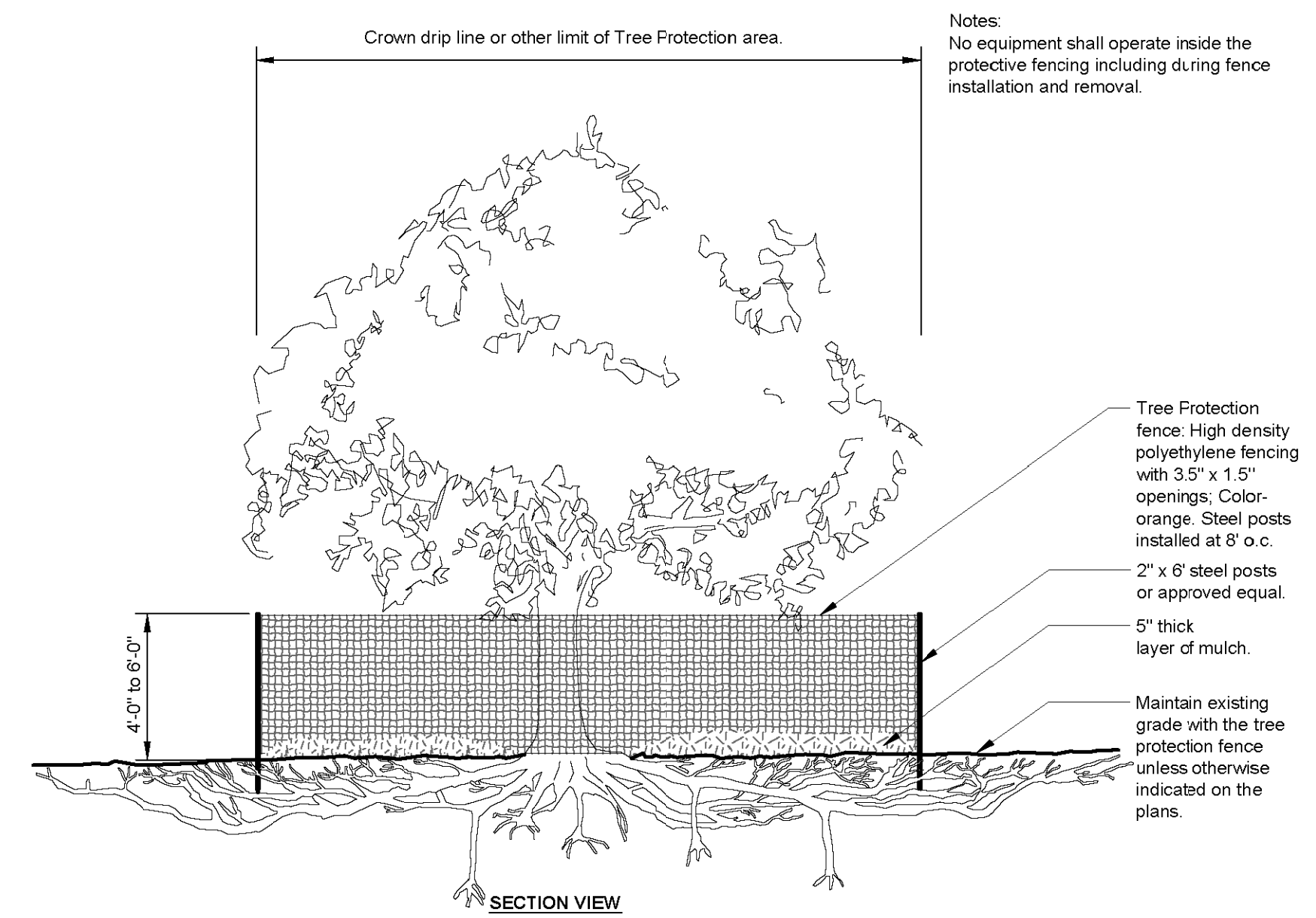
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|-----------------|------------|
| Date: | 06/08/2023 |
| Scale: | NONE |
| Design: | AJP |
| Check: | TRL |
| Drawing Number: | C-3.1 |
| PEC Job No. | PEC 22-111 |

03/20/24 09:04:00 Project: F:\Projects\2023\22-111 - 830 Menlo Oaks Drive, Menlo Park, (SMCO)\DWG\22-111-BEST.PEC
DRAWN BY: AJP
CHECKED BY: TRL

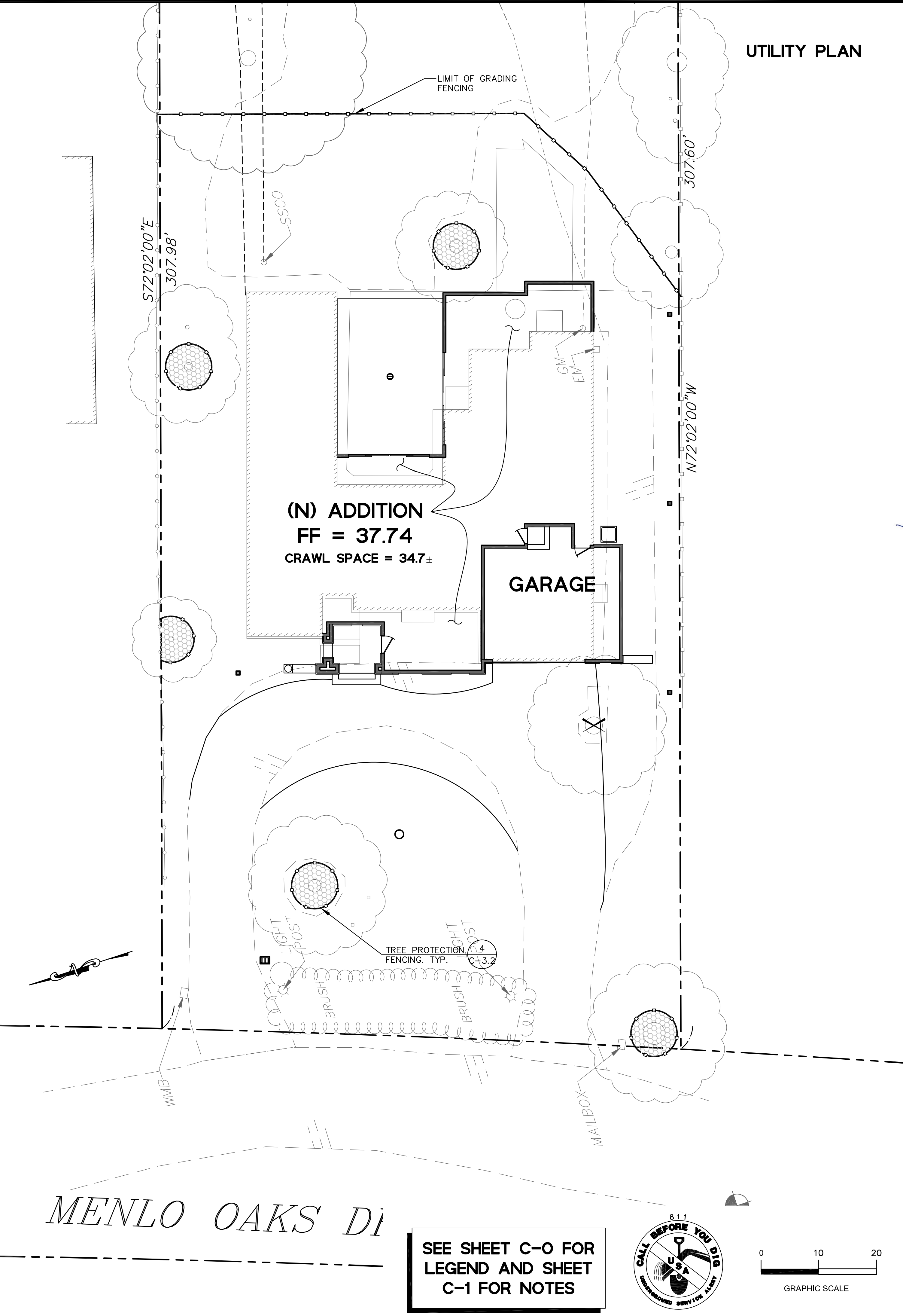


- NOTES:
1. LOCATE AWAY FROM STORM DRAIN INLETS, DRAINAGE FACILITIES, OR WATERCOURSES. DO NOT DISCHARGE WASH WATER TO STORM DRAINS OR WATERCOURSES.
 2. BERM UP EDGES AS SHOWN IN SECTION A-A TO CONTAIN WASH WATERS AND TO PREVENT RUNON AND RUNOFF.
 3. IF WASH WATER REACHES WITHIN 3" OF THE TOP OF BERM, CONTRACTOR SHALL UTILIZE SUMP PUMP AND DESILTING BASIN TO REMOVE SEDIMENT LADEN WASH WATER.

2 TEMPORARY WASHOUT PIT
SCALE: AS SHOWN WASHOUT PIT-024-MSTR

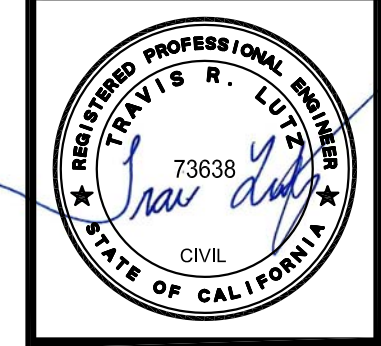


4 TREE PROTECTION



PRECISION ENGINEERING AND CONSTRUCTION, INC.
1331E Old County Road
Belmont, CA 94002
T: 650.226.8640
Travis@precision-ec.com

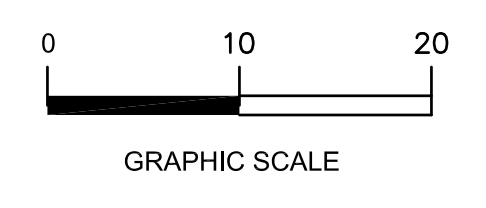
| | |
|------------|--|
| DATE: | |
| REVISIONS: | |



TREE PROTECTION PLAN
SABER RESIDENCE
830 MENLO OAKS DRIVE
MENLO PARK (SMCO), CA 94025

Date: 06/08/2023
 Scale: 1" = 10'
 Design: AJP
 Check: TRL
 Drawing Number: C-3.2
 PEC Job No. PEC 22-111

SEE SHEET C-0 FOR LEGEND AND SHEET C-1 FOR NOTES



06/08/2023 11:41 AM C:\Users\travis\OneDrive\Documents\Projects\22-111 - 830 Menlo Oaks Dr - Menlo Park (SMCO)\DWG\PEC 22-111 SHEETS.dwg
 PLOTTED BY: TRAVIS



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT E



COUNTY OF SAN MATEO
PLANNING AND BUILDING

455 County Center, 2nd Floor | Mail Drop PLN 122
Redwood City, CA 94063
(650) 363-4161
planning.smcgov.org

June 5, 2024

Lisa Wellman
1045 Alameda De Las Pulgas, Ste. C
Belmont, CA 94002

lisa@planadesigngroup.com

Dear Lisa Wellman:

SUBJECT: Bayside Significant Tree Removal Permit
830 Menlo Oaks Drive, Menlo Oaks
APN 062-160-050; County File No. PLN2023-00336

Your application for Significant Tree Removal Permit to remove one (1) 35-inch Diameter at Breast Height (DBH) Coast live oak tree in the front yard on the subject property, is hereby **approved**, pursuant to Section 12,000 of the San Mateo County Ordinance Code. Public notification was sent out on March 12, 2024. The posting period began on March 12, 2024 and ended on March 22, 2024. Several comments and objections were received from individuals and neighborhood groups.

At the time of application, the project proposed the removal of eight (8) trees citing health and hazards as the rationale for removal. However, the application was subsequently revised to only include the subject tree citing proposed construction as the reason for removal. A revised arborist report was submitted to support the revised application.

As part of the permit application, the applicant submitted an arborist report completed by Cody Kleinheinz, certified arborist, of Kleinheinz Arborist Services LLC, dated February 8, 2023. The arborist's evaluation of the subject tree cited that the tree was in fair vigor and very poor form with a significant lean towards the neighboring property. The arborist noted uplifting of the blacktop around the base of the tree, indicating that the tree is potentially starting to uproot. The arborist also noted that there is no treatment to correct this situation. Therefore, the arborist recommended the removal of the tree as failure could result in significant property damage and serious injury.

Staff received six comments in opposition to the proposed removals from individual concerned parties and neighborhood advocacy groups. The opposition comments noted that the development could still occur without removing the tree and expressed concerns over removing a tree in fair health, as well as the overall loss of significant trees in the community. Staff reviewed the tree removal application documentation and submitted building plans, County file. No. BLD2023-01600. While Staff was unable to substantiate the initial claims of

potential failure, we were able to confirm that the subject tree was in close proximity to the proposed driveway and garage which would provide the required off-street parking. Given the proximity, vehicle weight associated with vehicles parking, entering, and exiting the garage could negatively impact the roots of the tree. Staff requested the applicant to explore alternative designs for the proposal but found that damage may be unavoidable as relocating the proposed garage to an alternative location has the potential to impact one of the other Oak trees in the front yard. Therefore, staff has determined that the removal of the Coast live oak tree due to the proposed development is consistent with the requirements of the Significant Tree Removal Ordinance. The County Arborist reviewed the application and concurred with the proposed removal, subject to the re-planting of two (2) 24-inch box Coast live oak trees or other California native oak species.

Based on the foregoing, your application is hereby approved subject to the following findings and conditions of approval:

FINDINGS

Staff found that:

1. The trees will be replaced by plantings approved by the Director of Planning and Building, unless special conditions indicate otherwise.
2. The required action is necessary to allow reasonable economic or other enjoyment of the property.

CONDITIONS OF APPROVAL

1. The tree indicated on the application form dated October 16, 2023, may be removed after the end of the appeal period, assuming no appeal is filed as stipulated in this letter. A separate Tree Removal Permit shall be required for the removal of any additional trees. If the tree removal is associated with a building permit, the tree may only be removed after building permit issuance.
2. This Significant Tree Removal Permit approval shall be on the site and available at all times during the tree removal operation and shall be available to any person for inspection. The issued permit shall be posted in a conspicuous place at eye level at a point nearest the street.
3. The applicant shall plant on-site a total of two (2) trees using at least 24-inch box Coast live oak trees or other California native oak species for the tree removed. For tree permits not associated with a building permit, replacement planting shall occur within one (1) year of the Tree Removal Permit approval date (Section 12,024 of the San Mateo County Significant Tree Ordinance Code). Replacement trees shall be planted in locations which do not conflict with utility lines or built improvements, such as structures, fences, driveways and sidewalks.

4. The applicant shall submit photo verification to the Planning Department of the planted replacement trees required in Condition of Approval No. 3. Photos shall either be submitted in person to the Planning Department, or via email to PlanningProjects@smcgov.org with reference to the Planning Application PLN Number, as identified in the subject line of this letter.
5. If the subject Tree Removal Permit is associated with a building permit for construction of a new residence, the required tree replanting, per Condition of Approval No. 3, shall be required prior to the final building inspection approval. Any outstanding tree replacements not yet complied with from previously approved tree removal permits, if any, shall also be fulfilled. An inspection final by the Planning Department will be added to the associated building permit, BLD 2023-01600, and can be satisfied via photo verification described in Condition 4.
6. The tree shall not be removed until the associated building permit (BLD2023-01600) has been issued.
7. If work authorized by an approved permit is not commenced within the period of one year from the date of approval, the permit shall be considered void.
8. During the tree removal phase, the applicant shall, pursuant to Chapter 4.100 of the San Mateo County Ordinance Code, minimize the transport and discharge of stormwater runoff from the construction site by:
 - a. Stabilizing all denuded areas and maintaining erosion control measures continuously between October 1 and April 30.
 - b. Removing spoils promptly and avoiding stockpiling of fill materials when rain is forecast. If rain threatens, stockpiled soils and other materials shall be covered with a tarp or other waterproof material.
 - c. Storing, handling, and disposing of construction materials and wastes so as to avoid their entry to the storm drain system or water body.
 - d. Using filtration or other measures to remove sediment from dewatering effluent.
 - e. Avoiding cleaning, fueling or maintaining vehicles on-site, except in an area designated to contain and treat runoff.
 - f. Limiting and timing application of pesticides and fertilizers to avoid polluting runoff.
9. The applicant shall clear all debris from the public right-of-way.

To ensure compliance with the above conditions, a "Parcel Tag" will be placed on this parcel which shall restrict future development until these conditions are met, particularly with regard to the planting and photo verification of the replacement trees. Upon fulfillment of these conditions, as determined by the Director of Planning and Building, the subsequent parcel tag shall be lifted.

The approval of this Tree Removal Permit and any conditions of the approval may be appealed within ten (10) working days of the date of this letter. An appeal form accompanied by the applicable filing fee of \$616.35 must be submitted by **5:00 p.m., June 20, 2024**. If at the end of that period no appeal has been filed, the subject trees may be removed (Section 12,028 of the San Mateo County Ordinance Code.)

You will be notified if an appeal is made.

If you have any questions, please call the project planner, Katheryne Castro Rivera, at 650/599-1554 or by email at kcastrorivera@smcgov.org.

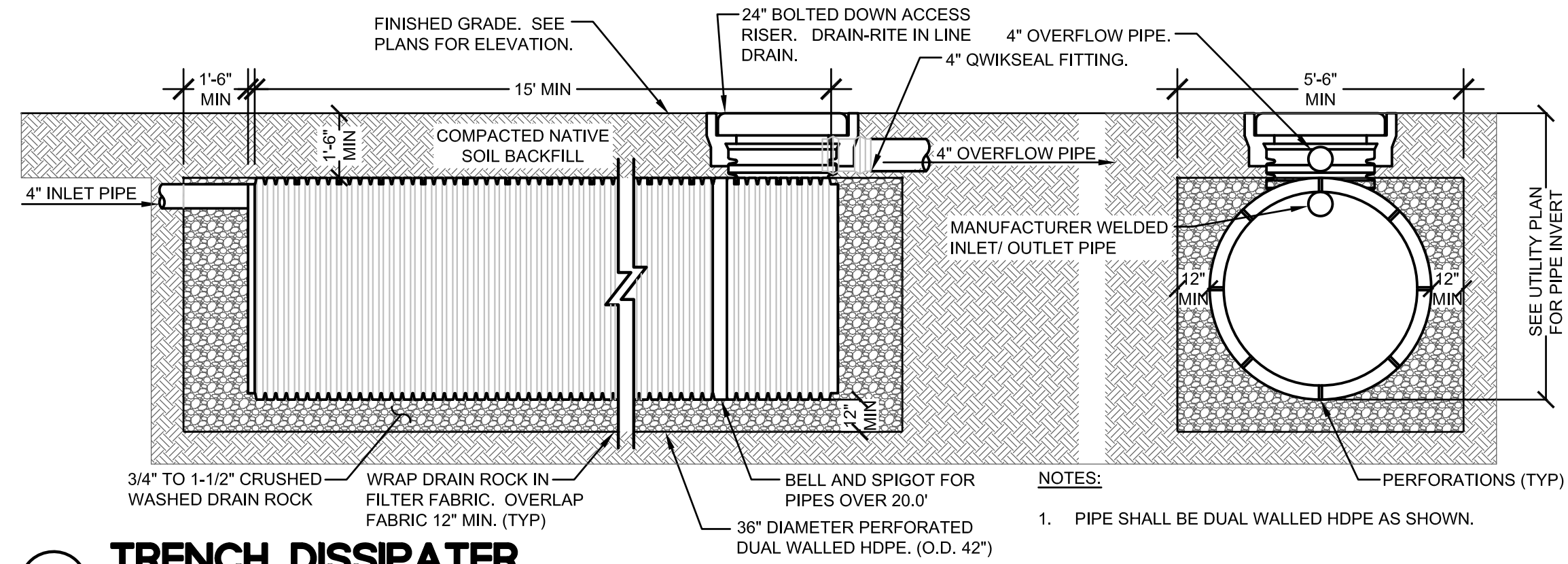
To provide feedback, please visit the Department's Customer Survey at the following link: <https://www.smcgov.org/planning/webforms/san-mateo-county-planning-and-building-engagement-survey>

FOR STEVE MONOWITZ
DIRECTOR OF PLANNING AND BUILDING, By:



Angela Chavez, Senior Planner

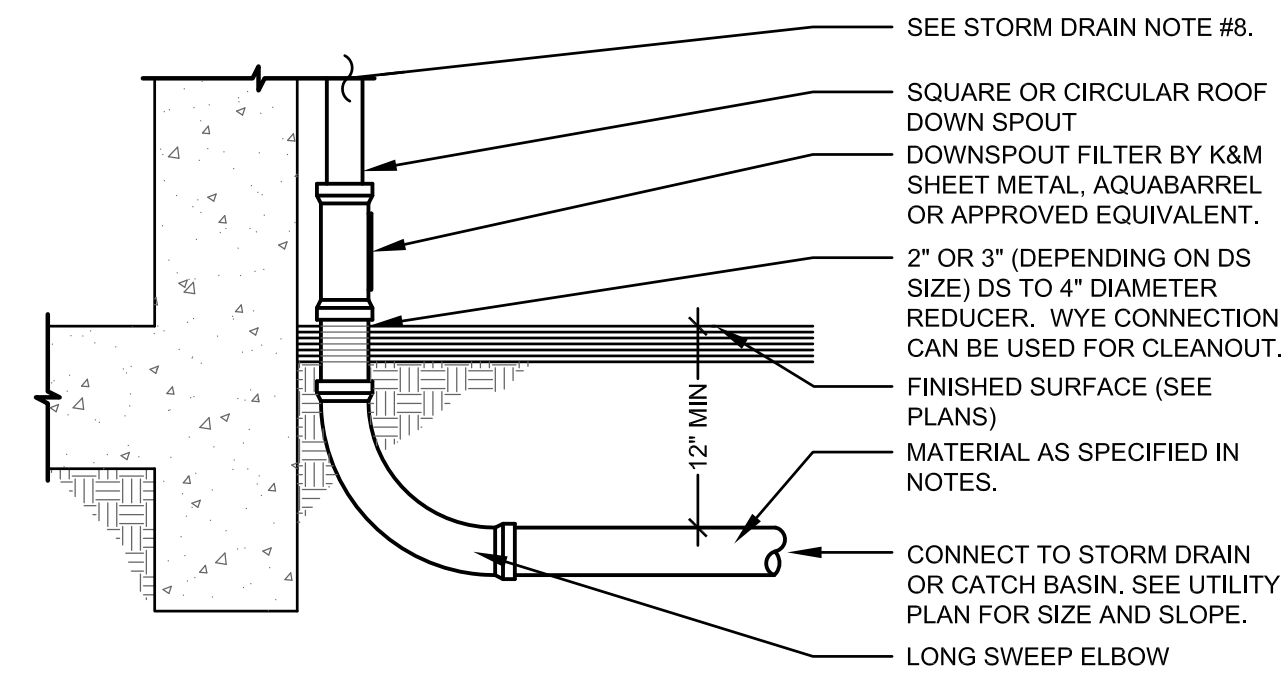
cc: MOTA
Interested Parties



13 TRENCH DISSIPATER

SCALE : 3/8"=1'-0"

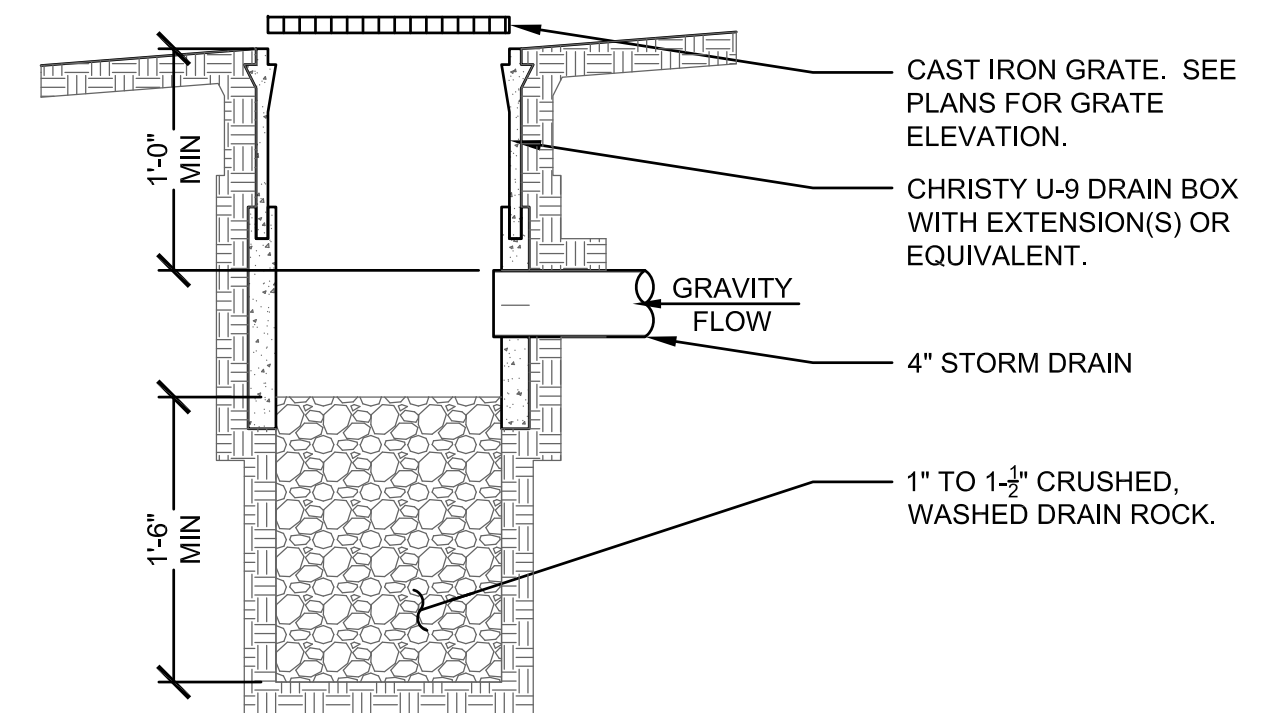
DETECTION TANK-S24-MSTR



5 DOWNSPOUT CONNECTION

SCALE : 3/4"=1'-0"

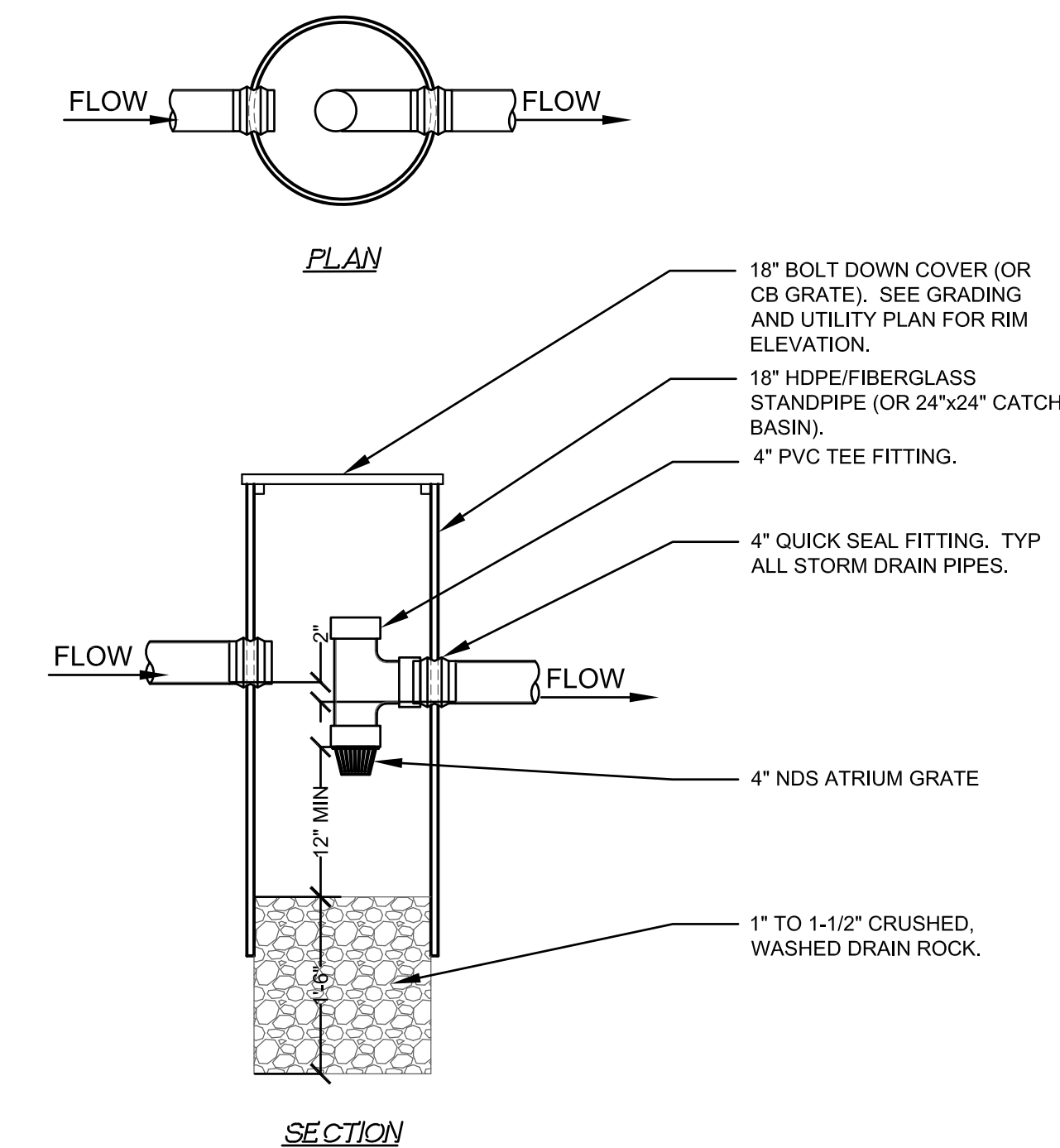
DS CONNECT-016-MSTR



6 BUBBLE BOX

SCALE : 1"=1'-0"

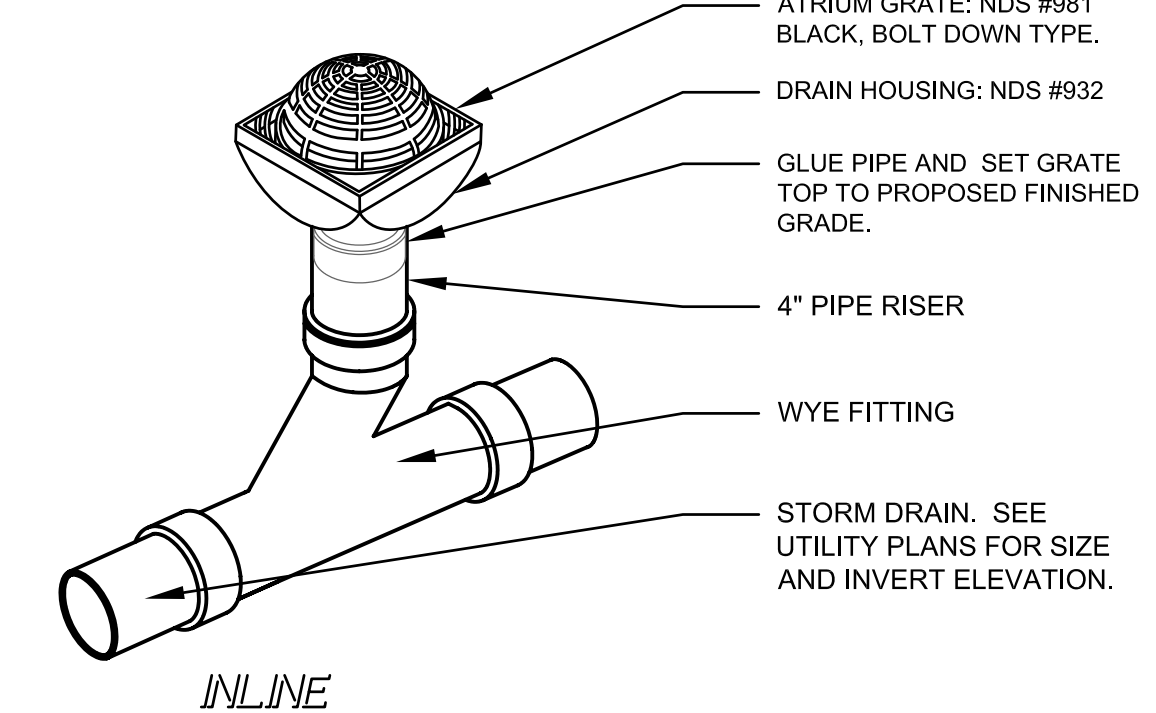
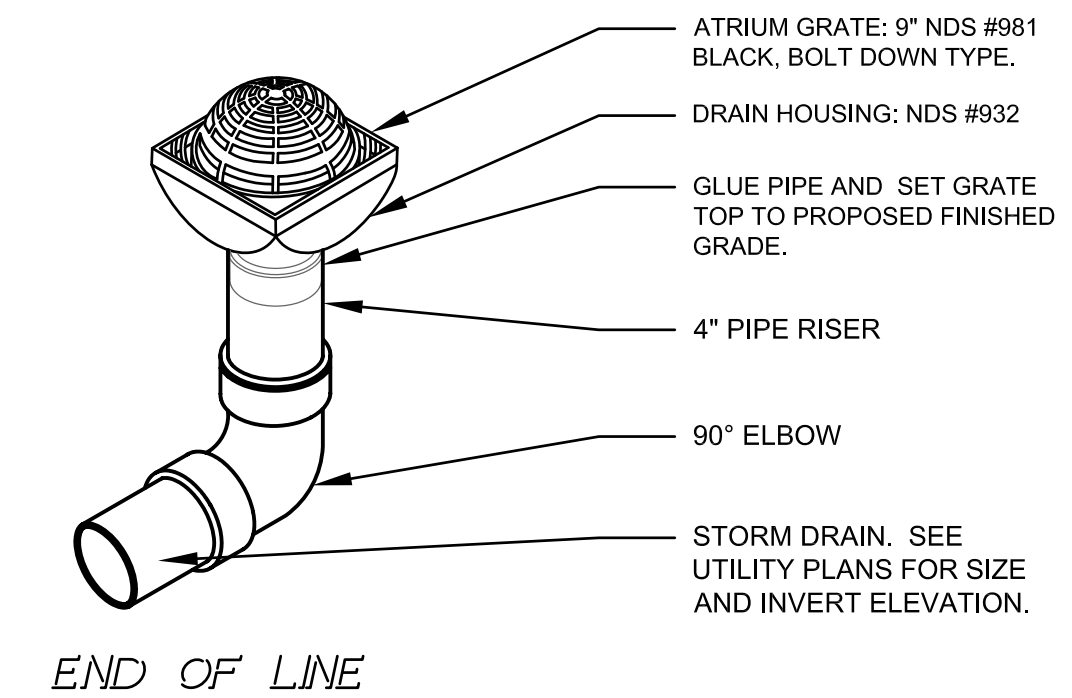
BUBBLE BOX-012-MSTR



8 SEDIMENT BASIN

SCALE : 3/4"=1'-0"

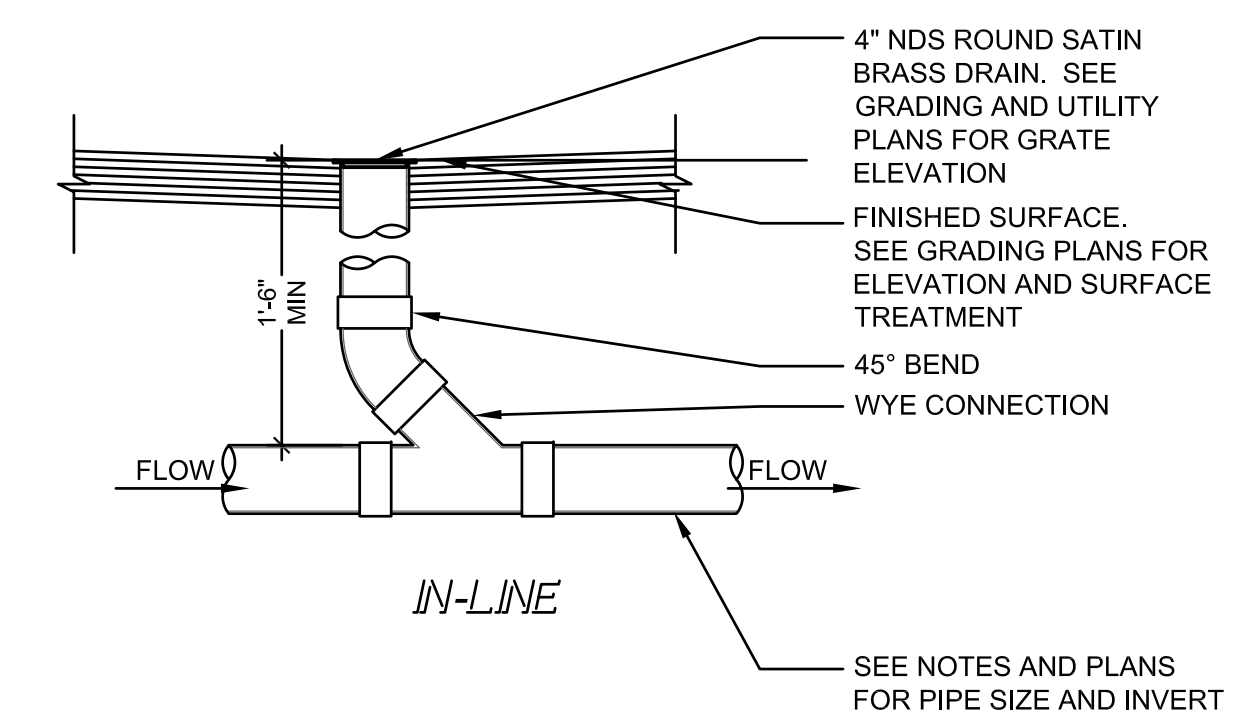
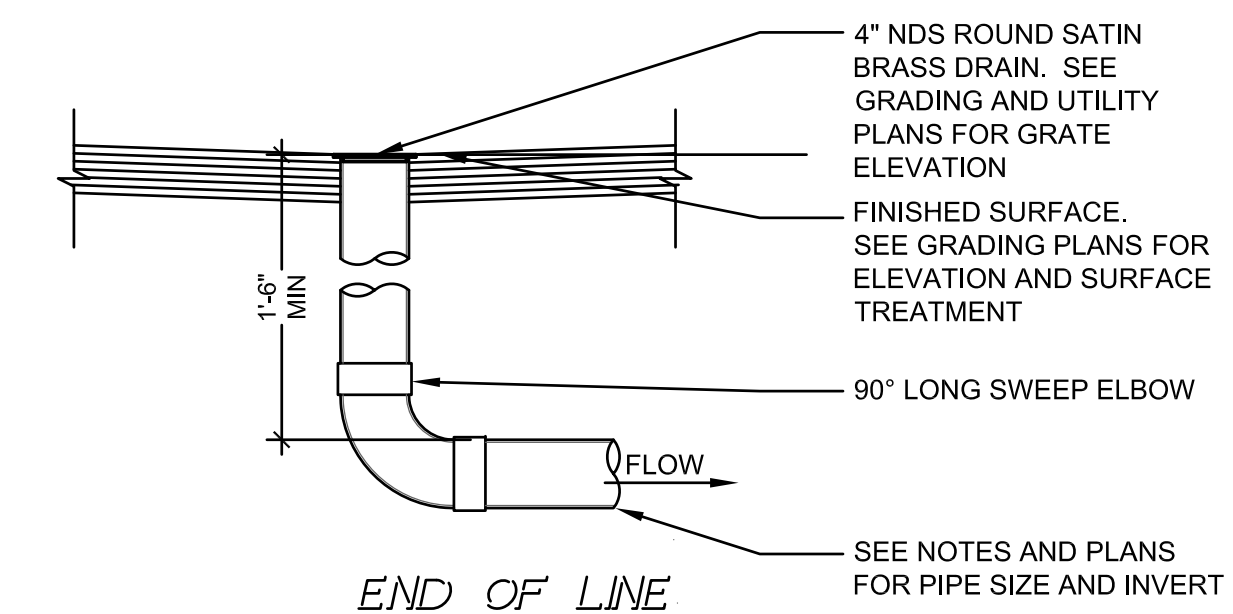
SD BASIN-016-MSTR



2 SQUARE ATRIUM DRAIN

SCALE : 1"=1'-0"

SQUARE ATRIUM DRAIN-012-MSTR



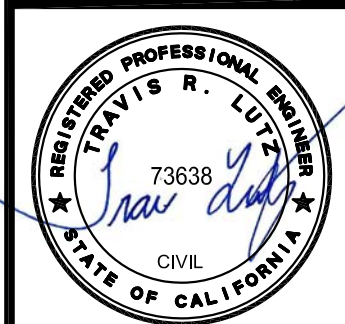
4 DECK DRAIN

SCALE : 1"=1'-0"

DECK DRAIN-012-MSTR

03/20/24 01:14:54 PEST-0141 11/14/2023 02:11:11 - 800 Main St, Suite 214, Menlo Park, CA 94025 (415) 351-1111 SHEETS: 049
 01/20/23
 01/20/23

| | |
|------------|--|
| DATE: | |
| REVISIONS: | |



DETAIL SHEET
SAABER RESIDENCE
830 MENLO OAKS DRIVE
MENLO PARK (SMCO), CA 94025

| | |
|-----------------|------------|
| Date: | 06/08/2023 |
| Scale: | AS SHOWN |
| Design: | AJP |
| Check: | TRL |
| Drawing Number: | C-4 |
| PEC Job No. | PEC 22-111 |

OWNER:
 SANAM SAABER
 830 MENLO OAKS DR.
 MENLO PARK, CA
 94025

PROJECT:
SAABER RESIDENCE
 830 MENLO OAKS DR.
 MENLO PARK, CA
 94025

- REVISIONS:
- 1. PLAN CHECK COMMENTS
1-31-24
 - 2. TREE REMOVAL PERMIT
1-9-24

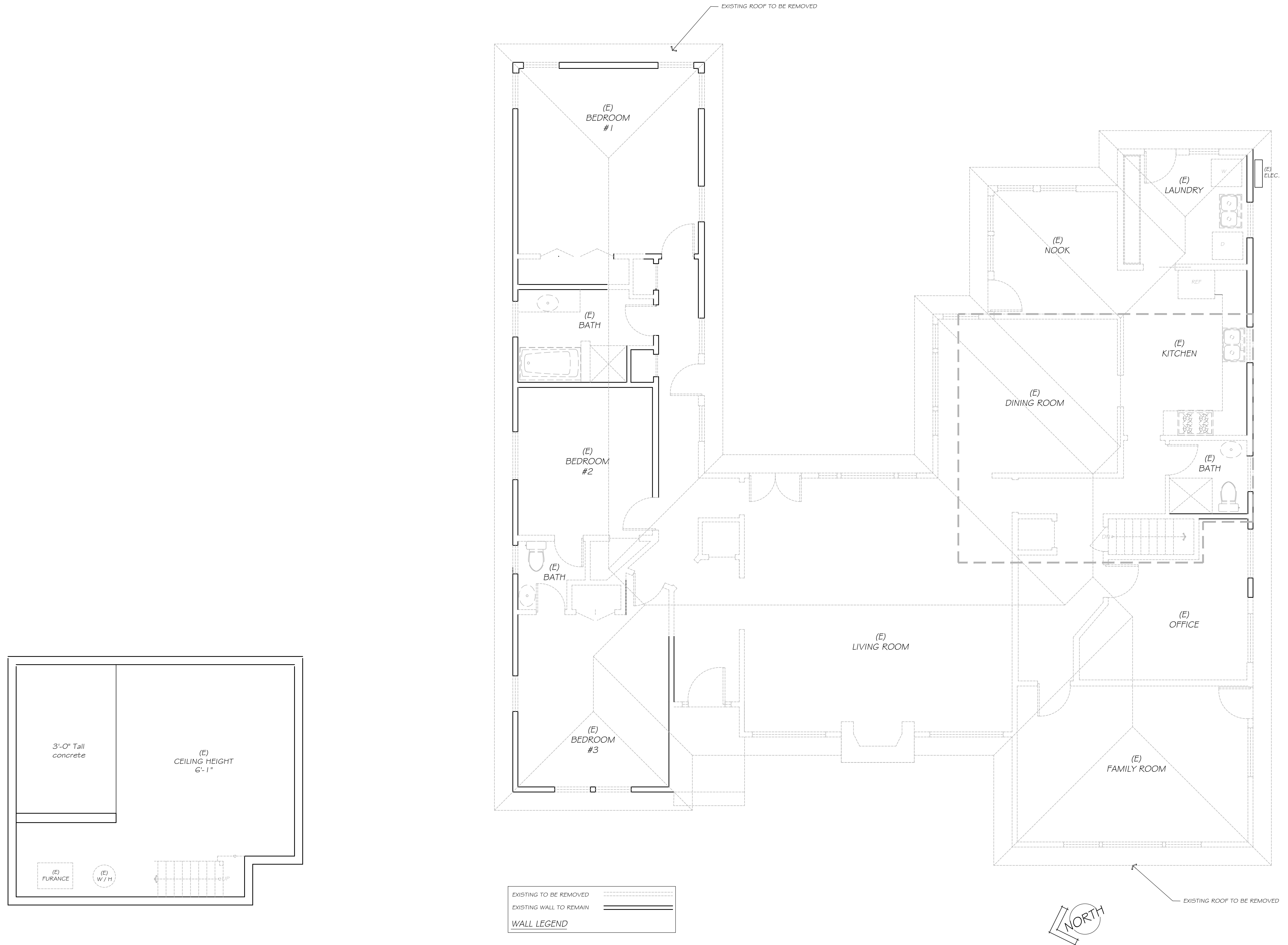
Contractor shall notify the Designer of any on-site discrepancies or conflicts that do not allow the building to be constructed as per plans.
 Contractor shall verify and be responsible for all dimensions and conditions on this job.
 Written dimensions on these drawings shall take precedence over scaled dimensions. Small scale drawings take precedence over larger scale drawings.
 Contractor and/or owner shall take full responsibility for water proofing of proposed structure.

DATE: JANUARY 31, 2024
 SHEET TITLE:

EXISTING / DEMO FLOOR PLAN

SHEET NUMBER:

A1.1



OWNER:
 SANAM SAABER
 830 MENLO OAKS DR.
 MENLO PARK, CA
 94025

PROJECT:
SAABER RESIDENCE
 830 MENLO OAKS DR.
 MENLO PARK, CA
 94025

REVISIONS:
 PLAN CHECK COMMENTS
 1-31-24
 TREE REMOVAL PERMIT
 1-9-24

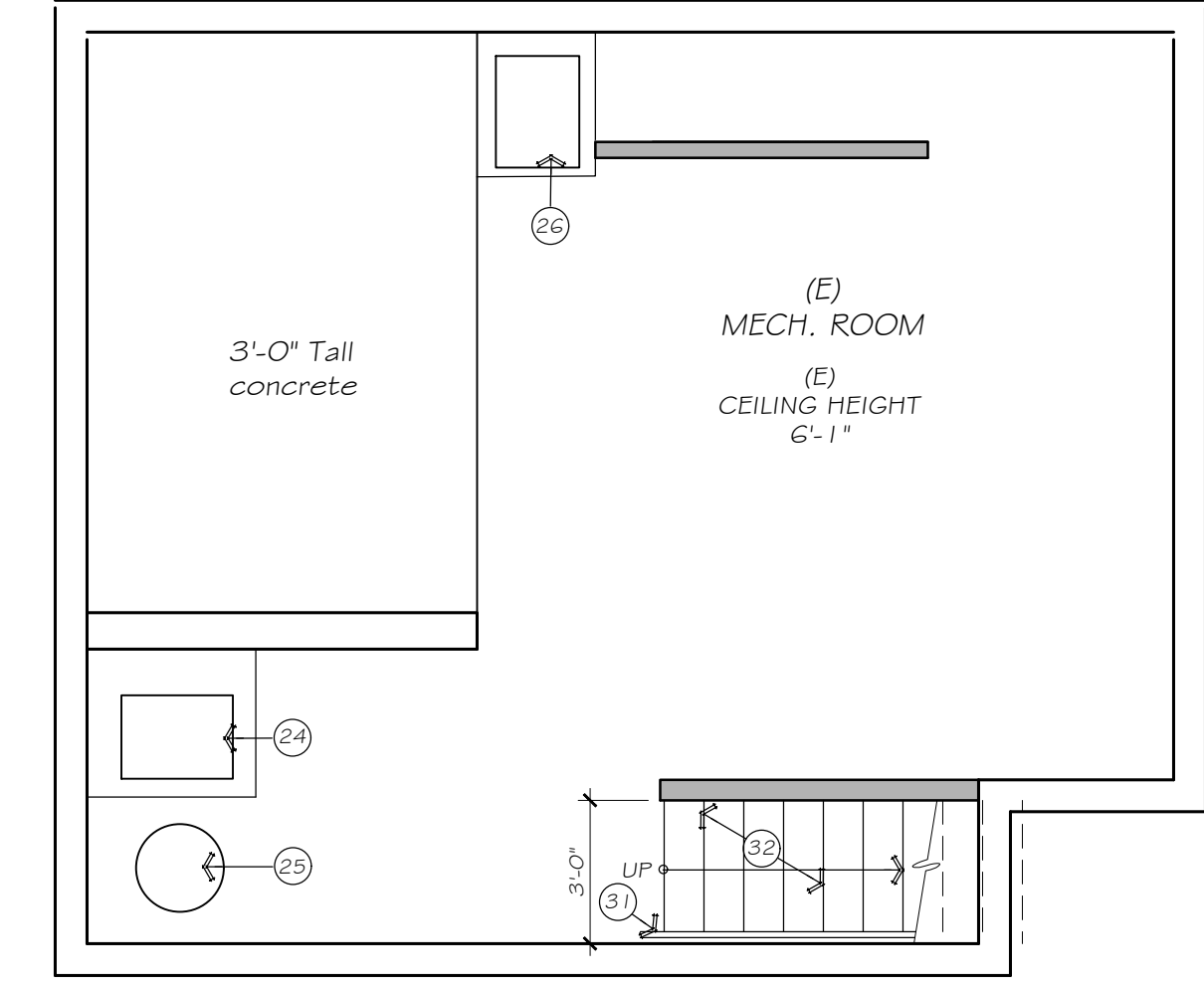
Contractor shall notify the Designer of any on-site discrepancies or conflicts that do not allow the building to be constructed as per plans.
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 Contractor and/or owner shall take full responsibility for water proofing of proposed structure.

DATE: JANUARY 31, 2024

SHEET TITLE:
PROPOSED LOWER FLOOR PLAN

SHEET NUMBER:

A1.2



PROPOSED BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"

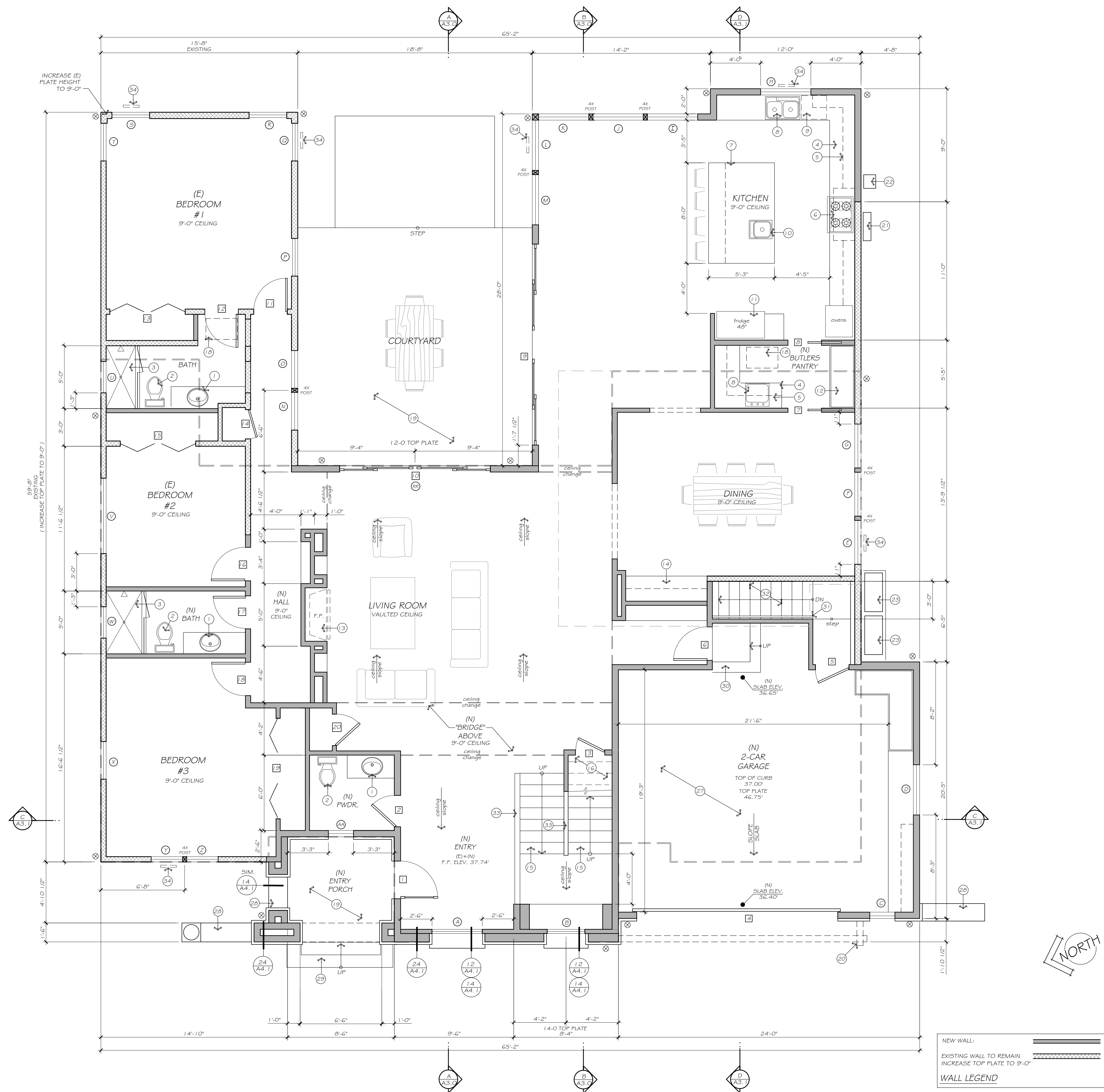
NEW UNDERFLOOR VENTILATION:
 REQUIRED VENT AREA: 2860.0 SF / 1500 = 1.90 SF NET FREE AREA (NFA)
 PROVIDE: MIN. (4) 6"x14" FOUNDATION VENTS @ 58 SQ. FT. NFA = 2.32 SQ. FT. NFA
 CRAWLSPACE GROUND SURFACE TO BE COVERED WITH CLASS 1 VAPOR RETARDER MATERIAL / SEE NOTE #1 + #2

- FOUNDATION VENT NOTES:**
- The total area of ventilation openings shall be permitted to be reduced to 1/1500 of the under-floor area where the ground surface is covered with an approved Class 1 vapor retarder material.
 - Where the ground surface is covered with an approved Class 1 vapor retarder material, ventilation openings are not required to be within 3 feet of each external corner of the under-floor space provided that the openings are placed to provide cross ventilation of the space.
 - Do not block (E) foundation vents.
 - Ventilation openings shall be covered for their height and width with any of the following materials provided that the least dimension of the covering shall not exceed 1/4 inch:
 - Expanded sheet metal plates not less than 0.047 inch thick.
 - Cast-iron grill or grating.
 - Hardware cloth of 0.035 inch wire or heavier.
 - Corrosion-resistant wire mesh, with the least dimension being 1/8 inch thick.

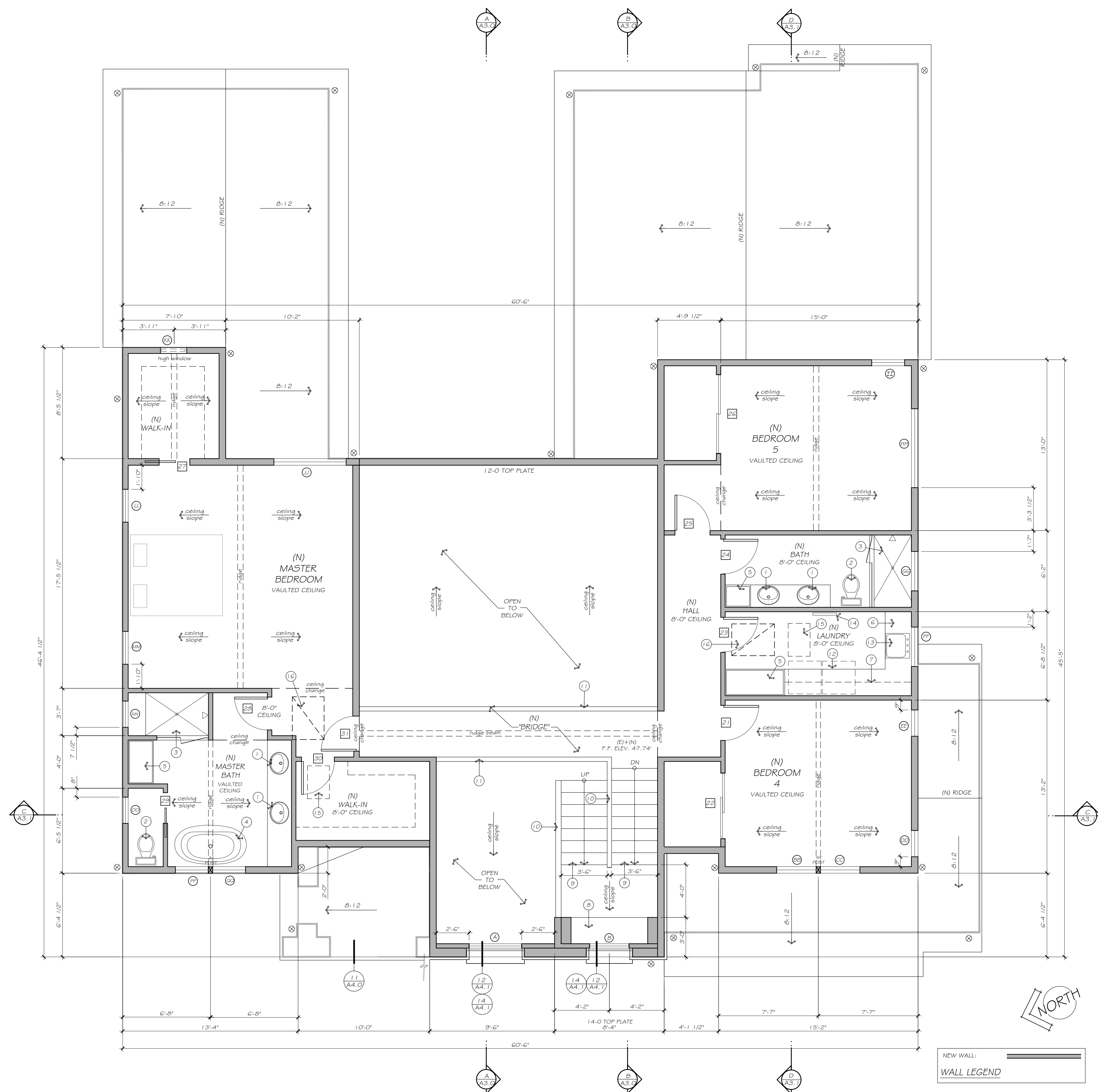
UNDERFLOOR VENT CALCULATIONS

- NEW BATHROOM SINK AND VANITY / MAX. FLOW RATE PER 1.1 - A1.4
- NEW TOILET / MAX. FLOW RATE PER 1.1 - A1.4 / PROVIDE MIN. 24" CLEAR AT FRONT OF FIXTURE / 15" MIN. CLEAR WIDTH BOTH SIDES OF TOILET MEASURED FROM CENTERLINE OF FIXTURE
- NEW TILED SHOWER WITH TEMPERED GLASS ENCLOSURE / MIN. 22" SHOWER DOOR / MIN. 1024 SQ. IN. FINISHED INTERIOR AREA / MAX. FLOW RATE PER 1.1 - A1.4 / REFER TO 5.5-A.1.4
- NEW COUNTER WITH CABINETS BELOW
- NEW UPPER CABINETS
- NEW COOKTOP PER OWNER WITH HOOD DUCTED TO EXTERIOR ABOVE
- NEW KITCHEN ISLAND WITH SEATING KNEE SPACE
- NEW KITCHEN SINK / MAX. FLOW RATE PER 1.1 - A1.4
- NEW DISHWASHER PER OWNER
- NEW PREP SINK / MAX. FLOW RATE PER 1.1 - A1.4 / SEE 32 - A4.1 FOR PLUMBING DIAGRAM
- NEW 48" REFRIGERATOR / FREEZER PER OWNER
- NEW FULL HEIGHT PANTRY CABINET
- NEW GAS FIREPLACE / HEAT-N-GLO SL-950TR / #UL307B
- NEW DINING ROOM BUILT IN
- NEW STAIRS TO UPPER LEVEL / 11" TREADS / MAX. 7.75" RISERS
- MIN. 1/2" GYPSUM BOARD AT WALLS AND CEILINGS UNDER STAIR AREAS
- NEW WASHER / DRYER LOCATION
- NEW 2X3X0 ATTIC ACCESS ABOVE / PROVIDE WEATHER STRIPPING AND PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS
- NEW CONCRETE PATIO WITH STONE OR TILE FINISH SURFACE PER OWNER / SLOPE 2% AWAY FROM STRUCTURE
- NEW 45 DEG. WOOD SUPPORT BRACKETS WITH WHITE PAINT FINISH / SEE STRUCTURAL DETAILS
- EXISTING ELECTRICAL PANEL WITH MIN. 200 AMP DISCONNECT / V.I.F.
- RELOCATE GAS METER TO SIDE OF NEW ADDITION
- NEW HEAT PUMP EXTERIOR UNIT / "MITSUBISHI" MODEL "MX2" OR EQUIVALENT MULTI-ZONE EXTERIOR UNIT / PROVIDE CONCRETE SLAB SUPPORT PAD MIN. 3" ABOVE ADJACENT GRADE
- NEW DUCTED HEAT PUMP AIR HANDLER UNIT FOR LOWER FLOOR BEDROOMS HEATING AND COOLING / "MITSUBISHI" MODEL "SV2" OR EQUIVALENT
- NEW HEAT PUMP WATER HEATER / PROVIDE SEISMIC STRAPPING PER 34 - A4.0
- NEW DUCTED HEAT PUMP AIR HANDLER UNIT FOR LOWER FLOOR LIVING AREAS HEATING AND COOLING / "MITSUBISHI" MODEL "SV2" OR EQUIVALENT
- MIN. 1/2" GYPSUM BOARD AT WALLS / 5/8" TYPE X GYP. BOARD AT GARAGE CEILINGS
- NEW HALF WALL WITH STONE VENEER AND PRECAST CONCRETE WALL CAP / SEE ELEVATION SHEETS
- NEW CONCRETE STEPS WITH STONE OR TILE FINISH SURFACE PER OWNER / 14" TREADS / MAX. 7.75" RISERS
- NEW GARAGE STEPS / 10" TREADS / MAX. 7.75" RISERS
- NEW HANDRAIL / SEE #1 - 51 - A1.4
- NEW STAIRS TO BASEMENT MECHANICAL ROOM / 10" TREADS / MAX. 7.75" RISERS
- NEW METAL STAIR GUARDRAIL WITH HANDRAIL / SEE #1 + #2 - 51 - A1.4
- NEW UNDERFLOOR VENT PER 13 - A1.2 / FORM OPENING IN CONCRETE FOUNDATION WHERE OCCURS

REFERENCE NOTES



PROPOSED LOWER FLOOR PLAN
 SCALE: 1/4" = 1'-0"



UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"

- REVISIONS:**
- 1. PLAN CHECK COMMENTS 1-31-24
 - 2. TREE REMOVAL PERMIT 1-9-24
- Contractor shall notify the Designer of any on-site discrepancies or conflicts that do not allow the building to be constructed as per plans.
- Contractor shall verify and be responsible for all dimensions and conditions on the job.
- Written dimensions on these drawings shall take precedence over scaled dimensions. Small scale drawings take precedence over larger scale drawings.
- Contractor and/or owner shall take full responsibility for water proofing of proposed structure.
- DATE: JANUARY 31, 2024
- SHEET TITLE:
UPPER FLOOR FLOOR PLAN
- SHEET NUMBER:

REFERENCE NOTES

- 1 NEW BATHROOM SINK AND VANITY / MAX. FLOW RATE PER 11 - A1.4
- 2 NEW TOILET / MAX. FLOW RATE PER 11 - A1.4 / PROVIDE MIN. 24" CLEAR AT FRONT OF FIXTURE / 15" MIN. CLEAR WIDTH BOTH SIDES OF TOILET MEASURED FROM CENTERLINE OF FIXTURE
- 3 NEW TILED SHOWER WITH TEMPERED GLASS ENCLOSURE / MIN. 22" SHOWER DOOR / MIN. 1024 SQ. IN. FINISHED INTERIOR AREA / MAX. FLOW RATE PER 11 - A1.4 / REFER TO S3-A1.4
- 4 NEW FREE STANDING BATHTUB PER OWNER
- 5 NEW BUILT-IN CABINET
- 6 NEW COUNTER WITH CABINETS BELOW
- 7 NEW UPPER CABINETS
- 8 NEW BUILT-IN WINDOW SEAT WITH STORAGE BELOW
- 9 NEW STAIRS TO LOWER LEVEL / 11" TREADS / MAX. 7.75" RISERS
- 10 NEW METAL STAIR GUARDRAIL WITH HANDRAIL / SEE #1 + #2 - S1 - A1.4
- 11 NEW 42" HIGH OPEN METAL GUARDRAIL / SEE #3 - S1 - A1.4
- 12 NEW WASHER / DRYER LOCATION
- 13 NEW LAUNDRY SINK PER OWNER / MAX. FLOW RATE PER 11 - A1.4
- 14 NEW FOLD DOWN IRONING BOARD PER OWNER
- 15 NEW 22X30 ATTIC ACCESS ABOVE / PROVIDE WEATHER STRAPPING AND PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS
- 16 NEW HORIZONTAL DUCTED MINI-SPLIT HEATING AND COOLING UNIT / 'MITSUBISHI' MODEL 'PEAD' OR EQUIVALENT

OWNER:
SANAM SAABER
830 MENLO OAKS DR.
MENLO PARK, CA
94025

PROJECT:
SAABER RESIDENCE
830 MENLO OAKS DR.
MENLO PARK, CA
94025

REVISIONS:
1. PLAN CHECK COMMENTS 1-31-24
2. TREE REMOVAL PERMIT 1-9-24

Contractor shall notify the Designer of any on-site discrepancies or conflicts that do not allow the building to be constructed as per plans.
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Contractor and/or owner shall take full responsibility for water proofing of proposed structure.

DATE: JANUARY 31, 2024
SHEET TITLE:
UPPER FLOOR FLOOR PLAN

SHEET NUMBER:

AS OF JANUARY 1, 2014 ALL BUILDINGS BUILT BEFORE 1994 ARE REQUIRED TO HAVE ALL (EXISTING AND NEWLY PROPOSED) NON-COMPLIANT PLUMBING FIXTURES REPLACED TO COMPLY WITH CURRENT CODE, PRIOR TO FINAL.

AS PART OF THIS PROJECT ALL NON-COMPLYING PLUMBING FIXTURES (EXISTING AND PROPOSED) ARE TO BE REPLACED WITH FIXTURES THAT COMPLY WITH THE FOLLOWING FLOW RATES PER CAL GREEN BUILDING STANDARDS CODE.

- Plumbing fixtures and fittings shall comply with the following:
- 4.303.1.1 Water Closets: ≤ 1.28 gal/flush
 - 4.303.1.2 Urinals: ≤ 0.5 gal/flush
 - 4.303.1.3.1 Single Showerheads: ≤ 1.8 gpm @ 80 psi
 - 4.303.1.3.2 Multiple Showerheads: combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gpm @ 80 psi or only one shower outlet is to be in operation at a time
 - 4.303.1.4.1 Residential Lavatory Faucets: ≤ 1.2 gpm @ 80 psi
 - 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas of Residential Buildings: ≤ 0.5 gpm @ 60 psi
 - 4.303.1.4.3 Metering Faucets: ≤ 0.25 gallons per cycle
 - 4.303.1.4.4 Kitchen Faucets: ≤ 1.8 gpm @ 60 psi; temporary increase to 2.2 gpm allowed but shall default to 1.8 gpm

PLUMBING FIXTURE NOTES

11

OWNER:
 SANAM SAABER
 830 MENLO OAKS DR.
 MENLO PARK, CA
 94025

1. BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR PER CRC R307.2.
2. PROVIDE SHOWERS AND TUB - SHOWER COMBINATIONS WITH CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING TYPE PER CPC SECTION 41.6.
3. CONTROL VALVES AND SHOWER HEADS AT NEW SHOWERS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENT OR OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT AND THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY PER CRC 408.9.
4. FIBER-CEMENT OR FIBER-MAT REINFORCED CEMENT SHALL BE USED AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWER AREAS PER CRC 702.4.2.
5. SHOWER STALLS TO BE 1024 SQ. INCHES MINIMUM AND PROVIDE A CLEAR AREA CAPABLE OF ENCOMPASSING A 30" DIAMETER CIRCLE PER CRC 408.6.

BATH AND SHOWER NOTES

53

HANDRAIL / GUARDRAIL NOTES

51

1. HANDRAIL REQUIREMENTS:
 - a. HANDRAIL TO BE 34-36" ABOVE STAIR NOSING.
 - b. HANDRAILS SHALL BE GRIPFALDE WITH AN OUTER DIAMETER OF 1 1/4" - 2"
 - c. CLEAR SPACE BETWEEN HANDRAIL AND WALL OR GUARD SHALL NOT BE LESS THAN 1 1/2"
 - d. HANDRAIL CONNECTION SHALL BE DESIGNED TO WITHSTAND 200 LB. LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE HANDRAIL.

2. STAIR GUARDRAIL REQUIREMENTS:
 - a. STAIR GUARDRAIL HEIGHT SHALL BE MIN. 34" ABOVE A LINE CONNECTING THE LEADING EDGES OF THE TREADS.
 - b. STAIR GUARDRAIL SHALL BE DESIGNED TO WITHSTAND 200 LB. LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE HANDRAIL.
 - c. GUARDRAIL SHALL HAVE BALLUSTER SPACING ALONG OPEN SIDE SUCH THAT A 4" DIA. SPHERE CANNOT PASS. TRIANGULAR OPENINGS AT THE OPEN SIDE OF STAIR FORMED BY RISER, TREAD AND BOTTOM RAIL OF GUARD SHALL NOT ALLOW PASSAGE OF A 6" DIA. SPHERE.

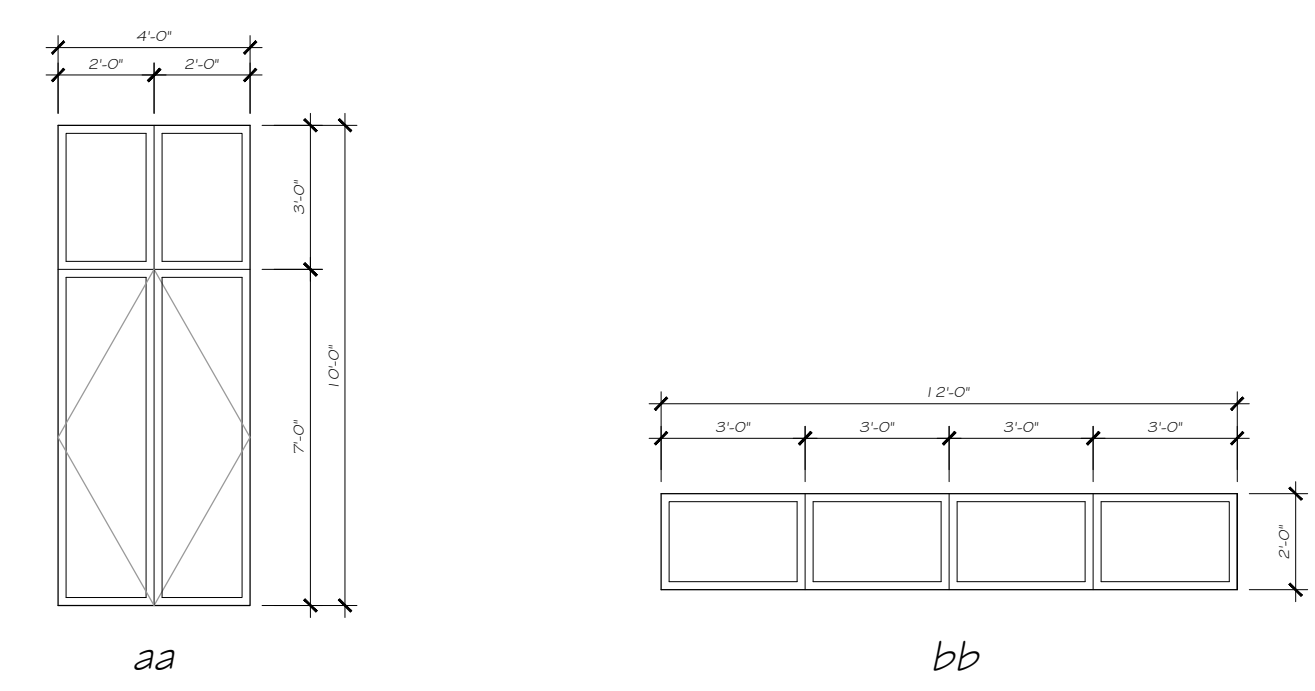
3. STANDARD GUARDRAIL REQUIREMENTS:
 - a. GUARDRAIL HEIGHT SHALL BE MIN. 42" ABOVE WALKING SURFACE.
 - b. GUARDRAIL SHALL BE DESIGNED TO WITHSTAND 200 LB. LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE HANDRAIL.
 - c. GUARDRAIL SHALL HAVE BALLUSTER SPACING ALONG OPEN SIDE SUCH THAT A 4" DIA. SPHERE CANNOT PASS.

| SYMBOL | SIZE | TYPE | HEADER HEIGHT A.P.F. | NOTES |
|--------|----------------|----------------------------|----------------------|--------|
| (A) | 4'-0" X 10'-0" | FRENCH CASEMENT OVER FIXED | 12'-0" | #3 #4 |
| (B) | 3'-0" X 5'-0" | DBL HUNG | 12'-0" | #3 |
| (C) | 2'-0" X 2'-0" | CIRCULAR | 8'-0" | |
| (D) | 4'-0" X 2'-6" | SLIDER | 8'-0" | |
| (E) | 3'-6" X 5'-0" | DBL HUNG | 8'-0" | |
| (F) | 3'-6" X 5'-0" | DBL HUNG | 8'-0" | |
| (G) | 3'-6" X 5'-0" | DBL HUNG | 8'-0" | |
| (H) | 4'-0" X 4'-6" | DBL HUNG | 8'-0" | |
| (I) | 4'-0" X 5'-0" | DBL HUNG | 8'-0" | |
| (J) | 4'-0" X 5'-0" | DBL HUNG | 8'-0" | |
| (K) | 4'-0" X 5'-0" | DBL HUNG | 8'-0" | |
| (L) | 4'-0" X 5'-0" | DBL HUNG | 8'-0" | |
| (M) | 4'-0" X 5'-0" | DBL HUNG | 8'-0" | |
| (N) | 3'-0" X 5'-0" | DBL HUNG | 8'-0" | |
| (O) | 3'-0" X 5'-0" | DBL HUNG | 8'-0" | |
| (P) | 3'-0" X 5'-0" | DBL HUNG | 8'-0" | #1 |
| (Q) | 3'-0" X 5'-0" | DBL HUNG | 8'-0" | #1 |
| (R) | 3'-0" X 5'-0" | DBL HUNG | 8'-0" | #1 |
| (S) | 3'-0" X 5'-0" | DBL HUNG | 8'-0" | #1 |
| (T) | 3'-0" X 5'-0" | DBL HUNG | 8'-0" | #1 |
| (U) | 2'-6" X 2'-6" | AWING | 8'-0" | #2, #3 |
| (V) | 6'-0" X 5'-0" | (2) DBL HUNG COMBO | 8'-0" | |
| (W) | 2'-6" X 2'-6" | AWING | 8'-0" | #2, #3 |
| (X) | 3'-0" X 5'-0" | DBL HUNG | 8'-0" | #1 |
| (Y) | 2'-6" X 5'-0" | DBL HUNG | 8'-0" | |
| (Z) | 2'-6" X 5'-0" | DBL HUNG | 8'-0" | |
| (aa) | 2'-0" X 2'-0" | CIRCULAR | 8'-0" | |
| (bb) | 3'-0" X 5'-0" | DBL HUNG | 8'-0" | #1 |
| (cc) | 3'-0" X 5'-0" | DBL HUNG | 8'-0" | #1 |
| (cd) | 2'-0" X 2'-0" | CASEMENT | 6'-8" | |
| (ce) | 2'-0" X 2'-0" | CASEMENT | 6'-8" | |
| (cf) | 3'-0" X 3'-0" | CASEMENT | 6'-8" | |
| (cg) | 3'-0" X 2'-0" | SLIDER | 6'-8" | #2, #3 |
| (ch) | 6'-0" X 3'-6" | DBL CASEMENT | 6'-8" | #1 |
| (ci) | 2'-6" X 3'-6" | CASEMENT | 6'-8" | |
| (cj) | 5'-6" X 3'-0" | DBL CASEMENT | 6'-8" | |
| (ck) | 2'-0" X 2'-0" | FIXED | ±8'-9" | |
| (cl) | 2'-6" X 4'-0" | CASEMENT | 6'-8" | #1 |
| (cm) | 2'-6" X 4'-0" | CASEMENT | 6'-8" | #1 |
| (cn) | 2'-0" X 2'-0" | CASEMENT | 6'-8" | #2, #3 |
| (co) | 2'-0" X 2'-0" | CASEMENT | 6'-8" | |
| (cp) | 2'-6" X 5'-0" | DBL HUNG | 8'-0" | #3 |
| (cq) | 2'-6" X 5'-0" | DBL HUNG | 8'-0" | #3 |
| (cr) | 12'-0" X 2'-0" | FIXED TRANSOM | ±10'-9" | #3 #5 |

- WINDOW NOTES:
1. EGRESS WINDOW / MAX. CLEAR SILL HEIGHT 44" ABOVE FINISH FLOOR, MIN. CLEAR WIDTH 20", MIN. CLEAR HEIGHT 24", MIN. / MIN. NET CLEAR OPENING 5,0 5" FOR GROUND FLOOR, 5,7 5" OTHER FLOORS / REFER TO CRC SECTION R310.1 VERIFY WITH MANUFACTURER SPECIFICATIONS PRIOR TO ORDERING.
 2. PROVIDE PRIVACY GLAZING
 3. PROVIDE TEMPERED GLAZING
 4. SEE WINDOW ELEVATION "aa"
 5. SEE WINDOW ELEVATION "bb"

WINDOW SCHEDULE

24



WINDOW ELEVATIONS

34

1. WINDOW AND DOOR SIZES ON SCHEDULES REFER TO APPROXIMATE ROUGH OPENING SIZE IN WOOD FRAMED STUD WALL. USE MANUFACTURER STANDARD SIZES WHEREVER POSSIBLE. CONTRACTOR TO VERIFY ROUGH OPENING SIZE WITH DOOR AND WINDOW MANUFACTURER SPECIFICATIONS PRIOR TO CONSTRUCTION.
2. ALL GLAZING IN DOORS TO BE TEMPERED AND DUAL GLAZED.
3. SEE TITLE-24 DOCUMENTS FOR MAXIMUM U-FACTORS AND SHGC VALUES

DOOR / WINDOW GENERAL NOTES

10

| SYMBOL | SIZE | TYPE | CONSTRUCTION | NOTES |
|--------|----------------|----------------------------|--------------|-------|
| (1) | 3'-0" X 8'-0" | CUSTOM ENTRY | SC EXTERIOR | #2 |
| (2) | 2'-6" X 8'-0" | PANEL | SC | |
| (3) | 2'-4" X 8'-0" | PANEL | SC | |
| (4) | 16'-0" X 8'-0" | SECTIONAL GARAGE DOOR | SC EXTERIOR | #2 |
| (5) | 2'-8" X 8'-0" | PANEL | SC | #3 |
| (6) | 2'-8" X 8'-0" | PANEL | SC | #3 |
| (7) | 2'-8" X 8'-0" | POCKET PANEL | SC | |
| (8) | 2'-8" X 8'-0" | POCKET PANEL | SC | |
| (9) | 16'-0" X 8'-0" | FULL LITE (4) PANEL SLIDER | SC EXTERIOR | #2 |
| (10) | 12'-0" X 8'-0" | FULL LITE (4) PANEL SLIDER | SC EXTERIOR | #2 |
| (11) | 2'-8" X 8'-0" | PANEL | SC | |
| (12) | 2'-8" X 8'-0" | PANEL | SC | |
| (13) | 6'-0" X 8'-0" | BI-PASS CLOSET | SC | |
| (14) | 2'-4" X 8'-0" | PANEL | SC | |
| (15) | 6'-0" X 8'-0" | BI-PASS CLOSET | SC | |
| (16) | 2'-8" X 8'-0" | PANEL | SC | |
| (17) | 2'-8" X 8'-0" | PANEL | SC | |
| (18) | 2'-8" X 8'-0" | PANEL | SC | |
| (19) | 8'-0" X 8'-0" | BI-FOLD CLOSET | SC | |
| (20) | 2'-6" X 8'-0" | PANEL | SC | |
| (21) | 2'-8" X 6'-8" | PANEL | SC | |
| (22) | 5'-0" X 6'-8" | BI-PASS CLOSET | SC | |
| (23) | 2'-8" X 6'-8" | PANEL | SC | #3 |
| (24) | 2'-8" X 6'-8" | PANEL | SC | |
| (25) | 2'-8" X 6'-8" | PANEL | SC | |
| (26) | 6'-0" X 6'-8" | BI-PASS CLOSET | SC | |
| (27) | 2'-4" X 6'-8" | POCKET PANEL | SC | |
| (28) | 2'-6" X 6'-8" | PANEL | SC | |
| (29) | 2'-4" X 6'-8" | POCKET PANEL | SC | |
| (30) | 2'-6" X 6'-8" | PANEL | SC | |
| (31) | 2'-8" X 6'-8" | PANEL | SC | |

- DOOR NOTES:
1. PROVIDE LOUVERED CLOSET DOOR OF MIN. 100 SQ. IN. FOR MAKE UP AIR FOR CLOTHES DRYER PER CMC SECTION 504.3.2
 2. PROVIDE TEMPERED GLAZING
 3. PROVIDE 20MIN. FIRE RATED CONSTRUCTION AND SELF CLOSING AND LATCHING MECHANISM

DOOR SCHEDULE

14

PROJECT:
SABER RESIDENCE
 830 MENLO OAKS DR.
 MENLO PARK, CA
 94025

- REVISIONS:
1. PLAN CHECK COMMENTS 1-31-24
 2. TREE REMOVAL PERMIT 1-9-24

Contractor shall notify the Designer of any on-site discrepancies or conflicts that do not allow the building to be constructed as per plans.

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Contractor and/or owner shall take full responsibility for water proofing of proposed structure.

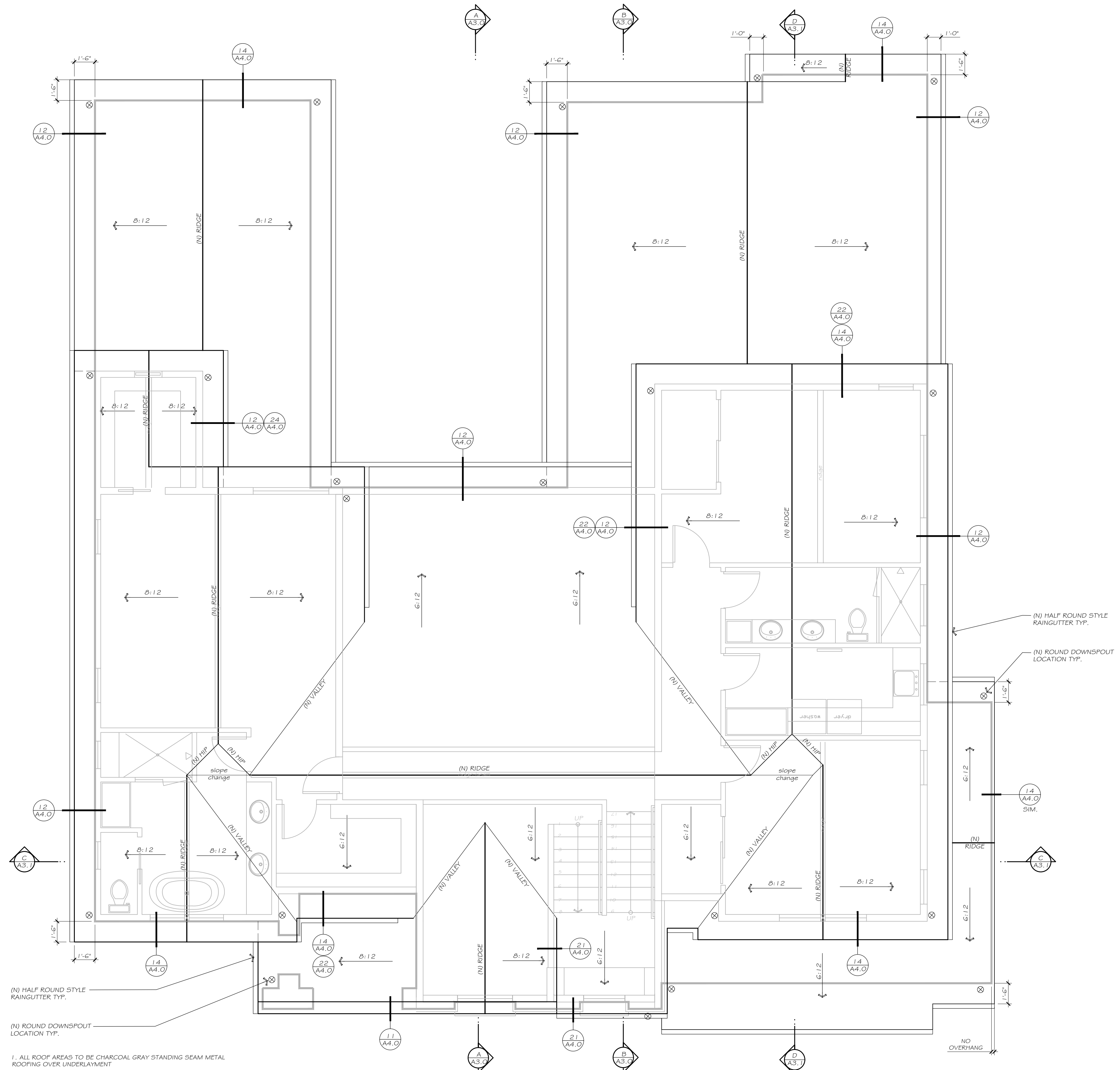
DATE: JANUARY 31, 2024

SHEET TITLE:

DOOR + WINDOW SCHEDULES / ARCH NOTES

SHEET NUMBER:

A1.4



1. ALL ROOF AREAS TO BE CHARCOAL GRAY STANDING SEAM METAL ROOFING OVER UNDERLAYMENT

2. FILL RAFTER BAYS AT CEILINGS WITH AIR IMPERMEABLE SPRAY FOAM INSULATION IN DIRECT CONTACT WITH THE UNDERSIDE OF THE STRUCTURAL ROOF SHEATHING.

⊗ NEW DOWNSPOUT LOCATION TYP.

ROOF PLAN NOTES / LEGEND

ROOF PLAN
SCALE: 1/4" = 1'-0"

OWNER:
SANAM SAABER
830 MENLO OAKS DR.
MENLO PARK, CA
94025

PROJECT:
SAABER RESIDENCE
830 MENLO OAKS DR.
MENLO PARK, CA
94025

REVISIONS:

| | | |
|----|---------------------|---------|
| 1. | PLAN CHECK COMMENTS | 1-31-24 |
| 2. | TREE REMOVAL PERMIT | 1-9-24 |

Contractor shall notify the Designer of any on-site discrepancies or conflicts that do not allow the building to be constructed as per plans.

Contractor shall verify and be responsible for all dimensions and conditions on this job.

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DATE: JANUARY 31, 2024

SHEET TITLE:
ROOF PLAN

SHEET NUMBER:

A1.5



WEST ELEVATION
SCALE: 1/4" = 1'-0"

22



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

24

OWNER:
SANAM SAABER
830 MENLO OAKS DR.
MENLO PARK, CA
94025

PROJECT:
SAABER RESIDENCE
830 MENLO OAKS DR.
MENLO PARK, CA
94025

- REVISIONS:
1. PLAN CHECK COMMENTS
1-31-24
 2. TREE REMOVAL PERMIT
1-9-24

Contractor shall notify the Designer of any on-site discrepancies or conflicts that do not allow the building to be constructed as per plans.
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DATE: JANUARY 31, 2024
SHEET TITLE:
PROPOSED EXTERIOR ELEVATIONS

SHEET NUMBER:
A2.0



EAST ELEVATION
SCALE: 1/4" = 1'-0"

22



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

24

OWNER:
SANAM SAABER
830 MENLO OAKS DR.
MENLO PARK, CA
94025

PROJECT:
SAABER RESIDENCE
830 MENLO OAKS DR.
MENLO PARK, CA
94025

- REVISIONS:
- 1. PLAN CHECK COMMENTS 1-31-24
 - 2. TREE REMOVAL PERMIT 1-9-24

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Contractor and owner shall take full responsibility for water proofing of proposed structure.

DATE: JANUARY 31, 2024

SHEET TITLE:
PROPOSED EXTERIOR ELEVATIONS

SHEET NUMBER:

A2.1



EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"

21



EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

22



EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"

23



EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"

24

OWNER:
SANAM SAABER
830 MENLO OAKS DR.
MENLO PARK, CA
94025

PROJECT:
SAABER RESIDENCE
830 MENLO OAKS DR.
MENLO PARK, CA
94025

- REVISIONS:
- 1. PLAN CHECK COMMENTS
1-31-24
 - 2. TREE REMOVAL PERMIT
1-9-24

Contractor shall notify the Designer of any on-site discrepancies or conflicts that do not allow the building to be constructed as per plans.

Contractor shall verify and be responsible for all dimensions and conditions on the job.

Written dimensions on these drawings shall take precedence over scaled dimensions. Small scale drawings take precedence over larger scale drawings.

Contractor and/or owner shall take full responsibility for water proofing of proposed structure.

DATE: JANUARY 31, 2024

SHEET TITLE:
EXISTING
EXTERIOR
ELEVATIONS

SHEET NUMBER:

A2.2

OWNER:
 SANAM SAABER
 830 MENLO OAKS DR.
 MENLO PARK, CA
 94025

PROJECT:
SAABER RESIDENCE
 830 MENLO OAKS DR.
 MENLO PARK, CA
 94025

- REVISIONS:
- △ PLAN CHECK COMMENTS 1-31-24
 - △ TREE REMOVAL PERMIT 1-9-24

Contractor shall notify the Designer of any on-site discrepancies or conflicts that do not allow the building to be constructed as per plans.
 Contractor shall verify and be responsible for all dimensions and conditions on this job.
 Written dimensions on these drawings shall take precedence over scaled dimensions. Small scale drawings take precedence over larger scale drawings.
 Contractor and or owner shall take full responsibility for water proofing of proposed structure.

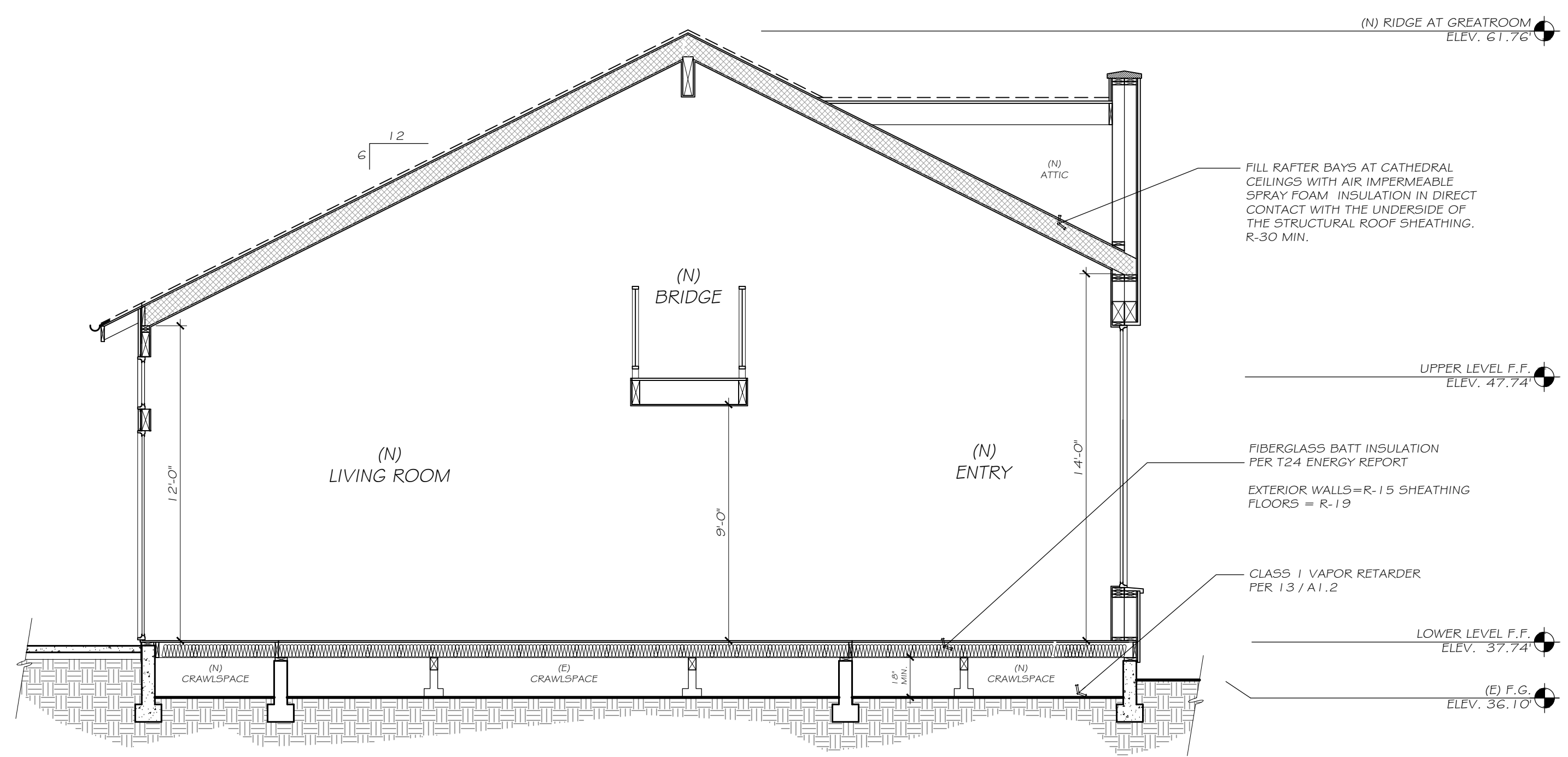
DATE: JANUARY 31, 2024

SHEET TITLE:

SECTIONS

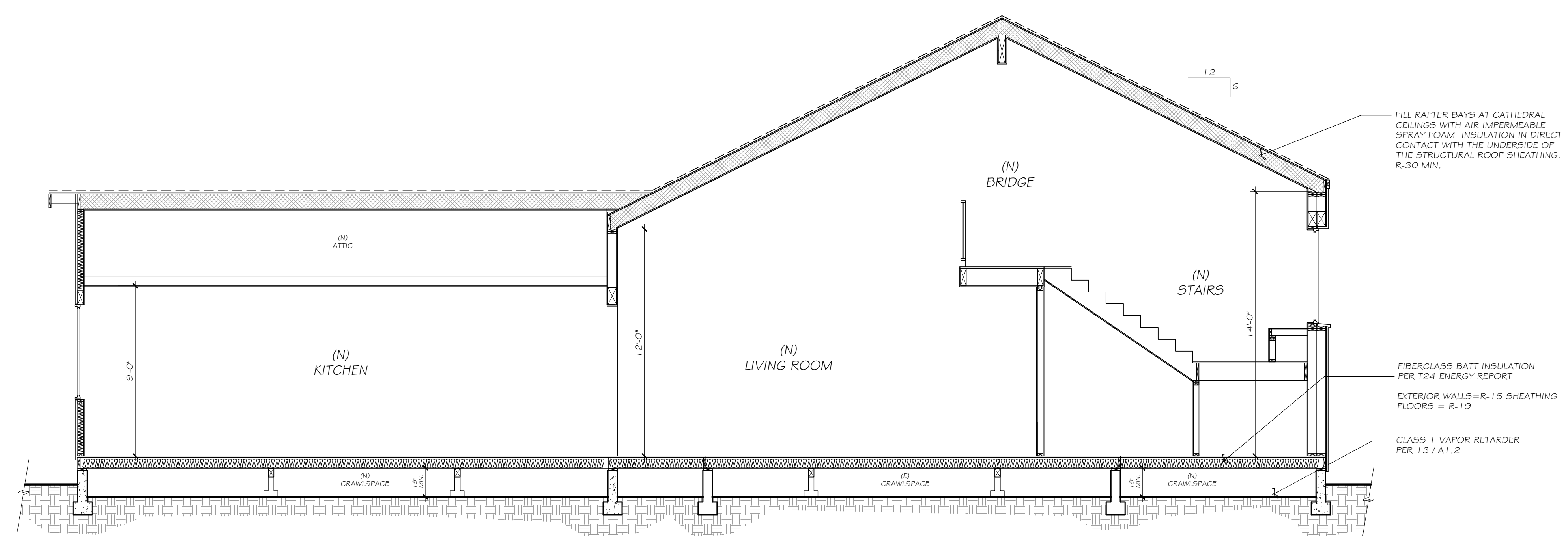
SHEET NUMBER:

A3.0



SECTION A
 SCALE: 1/4" = 1'-0"

22



SECTION B
 SCALE: 1/4" = 1'-0"

24



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT F

Application for Appeal

County Government Center • 455 County Center, 2nd Floor
Redwood City • CA • 94063 • Mail Drop PLN 122
Phone: 650 • 363 • 4161 Fax: 650 • 363 • 4849

- To the Planning Commission
- To the Board of Supervisors

Name: John
Danforth
Phone, W: 650-740-110 H: _____

Address: 885 Menlo Oaks Drive
Menlo Park
Zip: 94035

2. Appeal Information

Permit Numbers involved:
830 Menlo Oaks Drive
Permit PLN2023-00336

I hereby appeal the decision of the:

- Staff or Planning Director
- Zoning Hearing Officer
- Design Review Committee
- Planning Commission

made on unknown 2024 to approve/deny the above-listed permit applications.

I have read and understood the attached information regarding appeal process and alternatives.

- yes
- no *

Appellant's Signature

Date:

[Handwritten Signature]
6/14/24

3. Basis for Appeal

Planning staff will prepare a report based on your appeal. In order to facilitate this, your precise objections are needed. For example: Do you wish the decision reversed? If so, why? Do you object to certain conditions of approval? If so, then which conditions and why?

Please accept my apologies but I have only today become aware of the possibly urgen need for this a

This is a placeholder until I can gather all the information.

* This form has no attachment re process and alternatives. I will read them when I find them.

This tree is healthy and should not be removed for the convenience of a new driveway.

There are many viable alternatives to removal of this healthy, vigorous tree.

Angela Chavez

From: John Danforth <jdanforth@gmail.com>
Sent: Tuesday, September 10, 2024 9:11 AM
To: Angela Chavez
Cc: Mary Ann Carmack; Judy Horst; Anne Kortlander
Subject: Re: appeal from PLN2023-00336

CAUTION: This email originated from outside of San Mateo County. Unless you recognize the sender's email address and know the content is safe, do not click links, open attachments or reply.

Hi Angela,

Please accept this email and its attachments as the additional materials I indicated I might send for this tree removal permit appeal.

There are several points I want to stress.

1. This healthy tree has a lean as do many or most of the legally-protected oaks trees in Menlo Oaks. I urge you to come to my block and see for yourself. The first attached photo only captures part of what I mean.
2. The tree in question poses no apparently significant risk as is. Certainly no more than for any other mature tree. If there is any such risk from this tree, it is because the new owner wants to run a new driveway over some of the root system. See second attached picture, which shows the construction now underway. This kind of owner-created risk (in the face of a known issue) cannot be allowed to overcome the mandates of County tree ordinances.
3. As I noted very early on, before any construction of this new house began, there was a relatively simple way to entirely avoid even this risk from the new driveway. That was to flip the plans 180 degrees and simply put the garage and driveway on the other side of the lot. The owner did not do that. Instead, while this appeal was pending, she began work on the house. This was in the face of a known issue and significant neighborhood opposition.
4. Even now, the owner can use hand excavation near the tree and can use a gravel driveway instead of pavers. (I myself will be doing both for my own planned driveway replacement -- because of my own trees.) This will significantly reduce any risk to (or from) this tree.
5. This tree is extremely visible from the road and forms a vital part of a dense tree canopy. See attached third photo. Removing it will leave an enormous gap in the canopy. No new replacement tree (even if planted in the same spot) will fill that gap for 100-200 years.
6. Enforcing the County tree ordinances (which has, frankly, been done only sporadically; the vast majority -- over 95% - of tree removal permits are approved) is now critical. We have had a tough few years with droughts followed by heavy rains. And some Menlo Oaks trees have been weakened by construction and/or excessive irrigation. So some old trees in Menlo Oaks have recently fallen. Many more are now threatened by currently-planned County action. On my block alone, at least 10 mature trees (mostly mature oaks) will be "impacted" (the County's word) by recently-approved County road widening. So, for all these reasons, we need to be especially vigilant to save the heritage and significant trees that we can save. This is one of them.

Thank you for your consideration. When you do have a hearing date for this appeal please email it to me. And please also send it to the folks "cc'd" here.

John Danforth
885 Menlo Oaks Drive





