



THE ALAMEDA PERSPECTIVE 
6 PROPOSED



THE ALAMEDA PERSPECTIVE 
EXISTING



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AVENUE
PORTOLA
RESIDENCE
167 AVENUE PORTOLA,

	<b>REVISIONS</b>				
NO.	DESCRIPTION	DATE			
2	DEMONSTRATION OF SCALE CONTEXT	7/26/2024			

PROJECT NUMBER: 22111

ISSUE DATE: 05/03/2024

SCALE: 1/8" = 1'-0"

ISSUE STATUS:

CDRC APPLICATION

DEMONSTRATION OF SCALE

(A3.3)

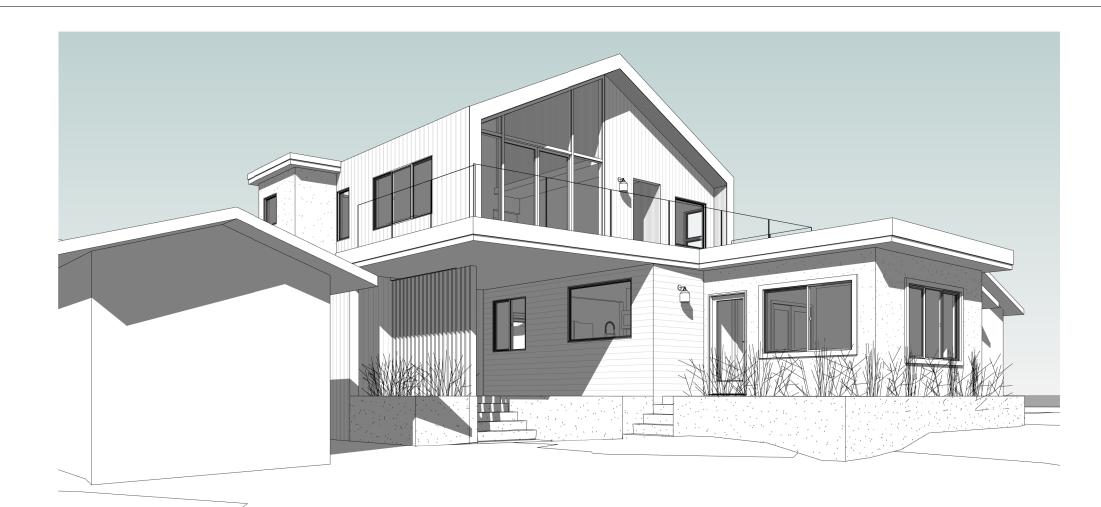
## AVENUE PORTOLA RESIDENCE

## **GENERAL NOTES**

- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2022 BUILDING CODE, CALIFORNIA ELECTRICAL, MECHANICAL, PLUMBING AND FIRE CODE. AS AMENDED AND ADOPTED BY SAN MATEO COUNTY.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS OF THE SITE, AND EXISTING UTILITIES PRIOR TO COMMENCING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO THE START OF WORK. CONTRACTOR SHALL GIVE NOTICES AND COMPLY WITH THE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF
- ANY PERTINENT PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. NOTIFY ARCHITECT IF THE DRAWINGS CONTRACTOR SHALL KEEP A RECORD SET OF ALL AS-BUILT CONDITIONS AND PROVIDE THE ARCHITECT WITH A SET OF
- REPRODUCIBLE AS-BUILT DRAWINGS UPON COMPLETION OF THE PROJECT. DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONS, SIZES, ETC. REFER TO DIMENSIONS GIVEN ON DRAWINGS OR CONSULT WITH ARCHITECT. ALL INTERIOR DIMENSIONS ARE TO THE FACE OF FINISH, UNLESS OTHERWISE NOTED. ALL EXTERIOR
- REFER TO STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL REQUIREMENTS OF THIS DISCIPLINE. ALL STRUCTURAL INFORMATION SHOWN ON ARCHITECTURAL DRAWINGS IS FOR COORDINATION PURPOSES ONLY. CONTRACTOR SHALL
- PROMPTLY NOTIFY ARCHITECT UPON DISCOVERY OF POSSIBLE CONFLICTS. PROVIDE FIRE BLOCKING AT CEILINGS, FLOORS, FURRED DOWN CEILINGS, SHOWERS, SOFFITS, AND AT CONCEALED DRAFT OPENINGS NOT TO EXCEED 10' MAXIMUM.
- THE MINIMUM TREAD DIMENSION SHALL BE 10 INCHES. THE MAXIMUM RISER SHALL BE 7.75 INCHES WITH A MAXIMUM
- INSULATION SHALL BE PROVIDED PER T24 REPORT. REFER TO ROOF NOTES, SECTIONS & DETAILS FOR SPECIFIC INSULATION SPECIFICATIONS. GENERALLY, EXTERIOR WALLS SHALL BE R-15, FLOORS SHALL BE R-19 (NOT APPLICABLE ON
- ALL SHEET METAL WORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE "SMACNA ARCHITECTURAL SHEET METAL MANUAL," LATEST ADDITION. ALL DOORS NOT LOCATED BY DIMENSIONS ON PLANS SHALL BE 4" FROM FACE OF STUD TO EDGE OF OPENING.
- INTERIOR WOOD DOORS SHALL BE 1 3/4" THICK AND SHALL MATCH (E) IN TYPE & FINISH. FURNISH ALL LABOR. MATERIAL. EQUIPMENT AND SERVICES REQUIRED FOR COMPLETE INSTALLATION OF WOOD DOORS. FURNISH AND INSTALL PERIMETER WEATHER STRIPPING AND THRESHOLDS AT EXTERIOR DOORS AS MANUFACTURED BY
- NEW WINDOWS AND EXTERIOR DOORS WITH GLAZING SHALL MEET THE U-FACTOR AND SHGC SPECIFIED IN THE T24 REPORT. DIMENSIONS ARE NOMINAL - VERIFY WTH MFR FOR SPECIFIC R.O. AND MODEL NUMBER.
- ALL GLASS AND GLAZING SHALL CONFORM WITH HUMAN IMPACT AND SAFETY REQUIREMENTS AND SHALL BE IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE CALIFORNIA BUILDING CODE, LATEST EDITION. ALL GLASS SHALL BE SET ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- EACH UNIT OF TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED. FURNISH, TAG AND DELIVER TO THE JOB SITE ALL FINISHED HARDWARE AS REQUIRED TOGETHER WITH ALL NECESSARY
- SCREWS, FITTINGS, TRIM, ETC. FOR A COMPLETE AND READY INSTALLATION, REVIEW FINISH HARDWARE WITH OWNER GYPSUM DRYWALL MATERIAL & APPLICATION SHALL BE IN ACCORDANCE WITH THE "GYPSUM CONSTRUCTION HANDBOOK,
- LATEST EDITION AS PUBLISHED BY UNITED STATES GYPSUM & WITH THE UNIFORM BUILDING CODE, LATEST ADOPTED EDITION. GYPSUM WALLBOARD SHALL BE 1/2" THICK UNLESS OTHERWISE NOTED. TAPE AND FINISH ALL JOINTS AND NAIL HEADS. ALL GYPSUM DRYWALL SHALL BE FINISHED TO MATCH EXISTING. PROVIDE CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS AS A BASE FOR ALL WALL TILE IN TUB AND SHOWER
- AREAS AND WALL AND CEILING PANELS IN SHOWER AREAS. ALL MILLWORK SHALL BE MANUFACTURED IN ACCORDANCE WITH THE STANDARDS IN THE LATEST EDITION OF THE "MANUAL OF MILLWORK" OF THE WOODWORK INSTITUTE OF CALIFORNIA (WIC). EXTERIOR TRIM SHALL MATCH EXISTING, AND RECEIVE A WATER REPELLANT PRESERVATIVE TREATMENT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. INSTALLATION OF MILLWORK SHALL CONFORM TO WIC CUSTOM GRADE STANDARDS.
- ALL INTERIOR PAINT SHALL BE LOW-V.O.C., BY BENJAMIN MOORE OR EQ. PAINT AND STAIN COLORS, MOULDINGS & FLOORING AS WELL AS ELECTRICAL, LIGHTING & PLUMBING FIXTURES TRIM
- PAINT WORK SHALL BE IN ACCORDANCE WITH THE BENJAMIN MOORE PAINTS "SPECIFICATIONS FOR ARCHITECT ENGINEERS AND PAINTING CONTRACTORS," LATEST EDITION. ALL PRODUCTS SHALL BE THOSE OF BENJAMIN MOORE PAINTS, OR EQUIVALENT PRODUCTS. ALL COLORS SHALL BE AS SELECTED BY THE OWNER. PREPARE LARGE SAMPLES OF EACH COLOR FOR REVIEW BY THE OWNER BEFORE PROCEDING WITH THE WORK. ALL EXTERIOR & INTERIOR SURFACES SHALL RECEIVE (1) COAT PRIMER AND (2) COATS FINISH S DIRECTED BY THE OWNER. INTERIOR PAINT TO BE ROLLED-ON, NOT SPRAYED
- USE LOW-V.O.C. CAULK AND CONSTRUCTION ADHESIVES FOR ALL ADHESIVES KITCHEN COUNTERTOPS, BACKSPLASH AND SLABS AS WELL AS EDGE PROFILES AND COLOR SHALL BE SELECTED BY THE OWNER, FINISH SHALL BE POLISHED, SUBMIT SAMPLES TO THE OWNER FOR APPROVAL, INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- FURNISH AND INSTALL FLOORING AS SELECTED BY THE OWNER INCLUDING FINISH. INSTALLATION OF FLOORING AND APPLICATION OF FINISH SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. CONTRACTOR SHALL INSTALL "ENERGY STAR" RESIDENTIAL APPLIANCES AS SELECTED BY OWNER. INSTALL PER
- PLUMBING FIXTURES SHALL BE AS SELECTED BY THE OWNER AND SHALL INCLUDE ALL FITTINGS, TRIM & ACCESSORIES
- REQUIRED FOR A COMPLETE & FINISHED INSTALLATION. SEE ADDITIONAL BATHROOM NOTES ON A2-2. PROVIDE SMOKE DETECTORS IN THE FOLLOWING AREAS (AS APPLICABLE): AT EACH STORY AND BASEMENT; WITHIN EACH BEDROOM AND CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA; IN EACH ROOM WHERE NON-BEDROOM CEILING HEIGHTS EXCEED THE HALL CEILING HEIGHT BY MORE THAN 2'-0". SMOKE DETECTOR ALARMS SHALL BE INSTALLED A MINIMUM OF 20 FEET HORIZONTAL DISTANCE FROM A PERMANENTLY INSTALLED COOKING APPLIANCE. SMOKE DETECTORS SHALL BE REQUIRED TO BE LISTED BY THE CALIFORNIA STATE FIRE
- MARSHALL AND SHALL BE POWERED BY 110V BUILDING WIRING WITH BATTERY BACKUP CARBON MONOXIDE (CO) ALARMS SHALL BE INSTALLED ON THE CEILING OR WALL IN EACH AREA/HALLWAY ADJACENT TO SLEEPING ROOMS. CARBON MONOXIDE DETERCTORS SHALL BE REQUIRED TO BE LISTED BY THE CALIFORNIA STATE FIRE MARSHALL AND SHALL BE POWERED BY 110V BUILDING WIRING WITH BATTERY BACKUP. REFER TO ELECTRICAL PLAN, E.1. INSTALLATION OF WIRING, ELECTRICAL DEVICES & LIGHTING FIXTURES SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS & SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION.
- CONFIRM LOCATION OF ALL HEATING OUTLETS, ELECTRICAL RECEPTACLES & SWITCHES WITH OWNER PRIOR TO
- FURNISH AND INSTALL FLOORING AS SELECTED BY THE OWNER INCLUDING FINISH. INSTALLATION OF FLOORING AND
- APPLICATION OF FINISH SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS PLUMBING FIXTURES SHALL BE AS SELECTED BY THE OWNER AND SHALL INCLUDE ALL FITTINGS, TRIM & ACCESSORIES
- REQUIRED FOR A COMPLETE & FINISHED INSTALLATION. SEE ADDITIONAL BATHROOM NOTES ON A2.2. PROVIDE DUCTING TO THE EXTERIOR FROM ALL BATHROOM EXHAUST. SEE ADDITIONAL NOTES ON A2.2 A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION & DEMOLITION WASTE GENERATED AT THE SITE SHALL BE
- DIVERTED TO AN OFFSITE RECYCLE, DIVERSION, OR SALVAGE FACILITY PER CGC 4.408. CONTRACTOR SHALL COMPLETE AND SUBMIT THE "CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT AGREEMENT" FORM PRIOR TO PULLING THE PERMIT. CONTACT GREEN HALO RECYCLING SPECIALIST WITH ANY QUESTIONS. WRB: WATER RESISTIVE BARRIER = 2 LAYERS SUPER JUMBO TEX, 60 MINUTE BUILDING PAPER, OR EQUAL. USE UNDER ALL
- EXTERIOR WALL CLADDINGS, PROVIDE 4 IN. HORIZONTAL LAPS, 12 IN. END LAPS MINIMUM. SEAL PENETRATIONS WATERTIGHT. REPAIR DAMAGES, TEARS, AND WATER PATHS TO PREVENT WATER INTRUSION BEFORE CONCEALMENT SAF = SELF-ADHERED FLASHING. COVER SAF MATERIALS INSTALLED UNDER CEMENT PLASTER WITH 1 LAYER WRB MATERIAL TO PREVENT DIRECT CONTACT WITH CEMENT PLASTER.
  - SAF1 = 40-MIL WCOR V-40 (SBS RUBBER) OR EQUAL. USE UNDER TRIM, STANDARD DETAILING. SAF2 = 25-MIL ALUMINUM FLASHING (SBS RUBBER) OR EQUAL. USE AT WINDOWS/DOORS TO SEAL AGAINST. SAF3 = 30-MIL GRACE ULTRA (BUTYL RUBBER) OR EQUAL. USE AT HIGH-HEAT LOCATIONS, UNDER SHEET METAL
- EXPOSED TO SUN, UNDER RED ROSIN PAPER ISOLATION SHEET. WINDOW/DOOR SILL PANS AND HEAD FLASHINGS: PROVIDE WINDOWS/DOORS WITH WATERTIGHT SOLDERED SHEET METAL SILL PANS WITH REAR VERTICAL LEG, END DAMS, 4 IN. HIGH FLANGES, AND HEAD FLASHINGS WITH SOLDERED END CAPS AND 4 IN. HIGH FLANGES OUT ONTO WALL SURFACE FOR INTEGRATING WITH WRB AND WATERPROOFING SYSTEMS. PROVIDE SAF WRAPPING INTO FULL PERIMETER OF ROUGH OPENING UNDER WINDOW/DOOR SILL PANS AND ATTACHMENT FINS, LAPPING JAMB SAF OVER END DAMS OF SILL PANS.
- PROVIDE SAF OVER WRB, AT ALL INSIDE/OUTSIDE EXTERIOR WALL CORNERS, SOFFIT EDGES, UNDER STUCCO CONTROL JOINTS, OVER WEEP SCREEDS, AND UNDER SHEET METAL FLASHINGS.
- PER CRC SECTION 313.3.7, AN OWNER'S MANUAL FOR THE FIRE SPRINKLER SYSTEM SHALL BE PROVIDED TO THE OWNER. A SIGN OF VALUVE TAG SHALL BE INSTALLED AT THE MAIN SHUTOFF VALVE TO THE WATER DISTRIBUTION SYSTEM STATING THE FOLLOWING" WARNING, THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS AND AUTOMATIC SHUTOFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE
- SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN.' UPON REQUEST, VERIFICATION OF COMPLIANCE WITH 2016 CALIFORNIA GREEN BUILDING CODE MAY INCLUDE CONSTRCUTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE BUILDING DEPARTMENT WHICH WILL SHOW SUBSTANTIAL CONFORMANCE. AN OPERATION AND MAINTENANCE MANUAL WILL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER PER CGC 4.410.1. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING
- BE CHECKED PRIOR TO FINISH MATERIAL BEING APPLIED PER CGC 4.504.3. RODENT PROOFING: ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE RODENT PROOFED BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY PER CGC 4.406.1. A CAPILLARY BREAK SHALL BE INSTALLED IF A SLAB ON GRADE FOUNDATION SYSTEM IS USED. THE USE OF A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE UNDER A 6 MIL VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED PER CGC 4.505.2 AND CRC R506.2.3.

SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT SHALL

## **PERSPECTIVE VIEW**



## **ANNOTATIONS HORIZONTAL** CENTERLINE HVAC HEATING, VENTILATING POUND OR NUMBER AIR CONDITIONING ANCHOR BOLT **INSULATION** AREA DRAIN MAX **MAXIMUM**

T.W.

TYP

WD

TOP OF SLAB

TOP OF WALL

VERIFY IN FIELD

WITH/WASHER

WATERPROOF

WEATHERSTRIP

UNLESS OTHERWISE NOTED

WEATHER-RESISTANT BARRIER

DUPLEX WALL OUTLET, 15" A.F.F. (U.O.N.)

**OUTLET EQUIPPED WITH GROUND FAULT** 

**OUTLET EQUIPPED WITH GROUND FAULT** 

INTERRUPTER & WEATHER PROOF FOR

SINGLE WALL SWITCH, 48" A.F.F. (U.O.N.)

WALL SWITCH W/DIMMER, 48" A.F.F. (U.O.N.)

**OUTDOOR LOCATIONS** 

COAX CABLE

FLOOR RECEPTACLE

**TYPICAL** 

WOOD

WITHOUT

A.D. A.F.F. ABOVE FINISH FLOOR MECH **MECHANICA** ARC FAULT CIRCUIT INTERRUPT **MEMBRANE** MEMB ALUMINUM MET/MTL METAL ANOD **ANODIZED MANUFACTURER** MIN APPROX APPROXIMATE MINIMUM **ARCHITECTURAL** NOT TO SCALE CLEAR CONCRETE ON CENTER CONSTR PLYWD CONSTRUCTION PLYWOOD CENTER PAINT DOUBLE REINFORCED DEMO DEMOLISH REF REFRIGERATOR DIM DIMENSION REQD REQUIRED DOWN R.O. **ROUGH OPENING** D.S. SIM DOWNSPOUT SIMII AR DWG **DRAWING** SPEC **SPECIFICATION** STD (E)/EXIST **EXISTING** STANDARD ELECTRICAL STL STEEL **ELEVATOR OR ELEVATION** STRUCT STRUCTURAL SANITARY SEWER S.S. EQUAL **EXTERIOR** S.S.D. SEE STRUCTURAL DRAWINGS F.A.R. FLOOR AREA RATIO **SYMMETRICAL** FURNISHED BY OWNER/OTHER TRFAD **TEMPERED** FL F.O.C.

FACE OF CONCRETE

GROUND FAULT INTERRUPTOR

GALVANIZED SHEET METAL

**SYMBOLS & LEGEND** 

**NEW CONSTRUCTION** 

EXISTING TO REMAIN

50 CFM MIN. EXHAUST FAN

HARD WIRED, INTERCONNECTED

BATTERY BACKUP SHALL BE LISTED

IN ACCORDANCE WITH UL 217 AND

SMOKE DETECTOR / CARBON

MONOXIDE DETECTOR WITH

UL 2034, TYP. - CONFIRM (E)

DEMOLITION

DOOR TAG

WINDOW TAG

FACE OF FINISH

FACE OF STUD

FOOT OR FEET

GALVANIZED

**HOLLOW CORE** 

HARDWOOD

GAUGE

GYPSUM

F.O.F.

F.O.S

GYP

## SHEET INDEX

**ARCHITECTURE** PROJECT DATA, VICINITY MAP, GENERAL NOTES, SHEET INDEX A0.1 AREA PLANS, DOOR & WINDOW SCHEDULES, MECH. NOTES, VENT **EXISTING & PROPOSED SITE PLAN** 

EXISTING / DEMO FLOOR PLANS, DEMO NOTES PROPOSED FLOOR PLANS

**BOUNDARY & TOPOGRAPHIC SURVEY** 

PROPOSED ROOF PLANS EXISTING HOUSE ELEVATIONS, PROPOSED DETAHCED GARAGE ELEVATIONS, GARAGE SECTIONS

**CEILING MOUNTED FIXTURE - DECORATIVE** 

DECORATIVE LOW VOLTAGE PENDANT - TBD

RECESSED WALL WASHER FIXTURE

RECESSED FLUORESCENT FIXTURE

RECESSED LED CAN FIXTURE, WET

WALL MOUNTED LIGHT FIXTURE

EXTERIOR WALL MOUNTED LIGHT FIXTURE

RECESSED LED CAN FIXTURE

UNDERCABINET LED LIGHT

LOCATION

- PROPOSED HOUSE EXTERIOR ELEVATIONS, MATERIAL SPECIFICATIONS PERSPECTIVE VIEWS
- DEMONSTRATION OF SCALE }/ BUILDING SECTIONS 2
- CIVIL DRAINAGE PLAN
- C2 EROSION CONTROL PLAN

## **PROJECT DATA**

R-3/S-3/DR/CD **APPLICABLE CODES:** 2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA PLUMBING CODE

2022 CALIFORNIA FIRE CODE ALL OTHER STATE AND LOCAL ORDINANCES AND REGULATIONS ADOPTED BY SAN MATEO COUNTY. **CONSTRUCTION TYPE:** 

2022 CALIFORNIA ENERGY CODE

R-3 (MAIN RESIDENCE) / U-1 (GARAGE)

5,729.21 SF

PROPOSED GARAGE AREA: PROPOSED 1ST FLOOR ADDITION: 433.60 SF PROPOSED 2ND FLOOR ADDITION: 758.24 SF

TOTAL PROPOSED FLOOR AREA: 2,547.35 SF (NO FLOOR AREA LIMITATION IN S-3 ZONING)

MAX LOT COVERAGE (50%): PROPOSED LOT COVERAGE 1,948.01 SF (SEE AREA PLANS & CALCULATIONS, A0.1)

REQUIRED FRONT SETBACK: REQUIRED REAR SETBACK: REQUIRED SIDE SETBACK:

**FIRE SPRINKLERS:** 

MAX HEIGHT: 36 FEET / 3 STORIES

PROJECT SCOPE: ADDITIONS & RENOVATIONS TO EXISTING SINGLE STORY HOME: ADDITION TO FIRST FLOOR, NEW SECOND FLOOR, NEW DETACHED 2 CAR GARAGE WITH HALF BATHROOM AND OUTDOOR SHOWER, MINIMAL GRADING FOR FOUNDATIONS.

PREVIOUSLY EXIST.

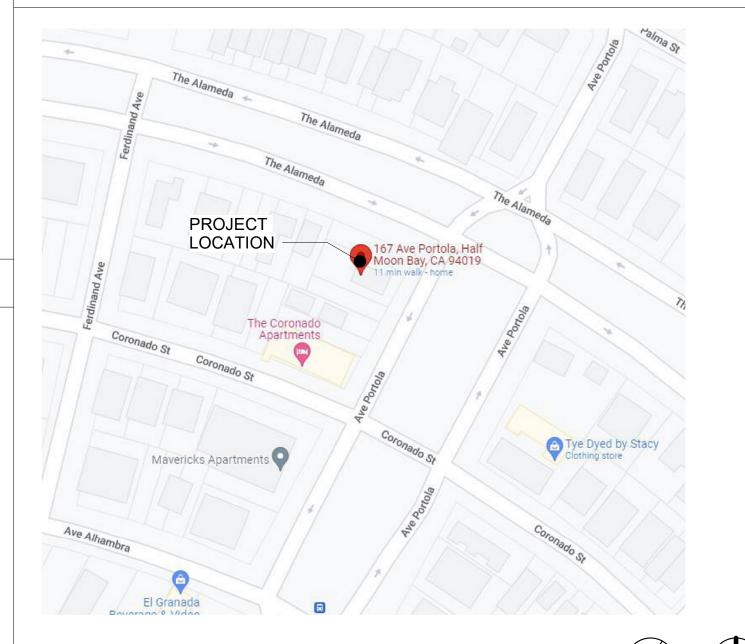
AND NO TREE REMOVAL IS REQUIRED.

PER SECTION 9105, SECTION 903.6.1(C)5, A NFPA-13D AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE RERQUIRED UNDER A SEPARATE PERMIT DUE TO THE ADDITION OF A SECOND STORY WHEN ONE DID NOT

## **CONSTRUCTION HOURS**

NOISE SOURCES ASSOCIATED WITH DEMOLITION, CONSTRUCTION, REPAIR, REMODELING, OR GRADING OF ANY REAL PROPERTY, PROVIDED SAID ACTIVITIES DO NOT TAKE PLACE BETWEEN THE HOURS OF 6:00 P.M. AND 7:00 A.M. WEEKDAYS, 5:00 P.M. AND 9:00 A.M. ON SATURDAYS OR AT ANY TIME ON SUNDAYS, THANKSGIVING AND CHRISTMAS.

## **VICINITY MAP**









## PROJECT DIRECTORY

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## RE

REVISIONS					
NO.	DESCRIPTION	DATE			
2	DEMONSTRATION OF SCALE CONTEXT	7/26/2024			
-					

22111 PROJECT NUMBER: 05/03/2024 ISSUE DATE: As indicated **ISSUE STATUS:** CDRC APPLICATION

> PROJECT DATA VICINITY MAP, GENERAL NOTES, SHEET INDEX

## WINDOW SCHEDULE WIDTH | HEIGHT | HT **HEAD HT** COMMENTS NO. **TYPE** GARAGE F.F.E. SLIDER 6' - 0" | 3' - 6" 3' - 2" 6' - 8" CASEMENT 2' - 6" 4' - 0" 4' - 0" 8' - 0" TEMPERED GLASS (E) HOUSE F.F.E SLIDER-FIXED-SLIDER 7' - 0" 4' - 5" 2' - 2" 6' - 7" EXISTING EXISTING SLIDER 6' - 0" 4' - 0" 2' - 7" 6' - 7" FIXED 6' - 2" | 3' - 11" | 3' - 8" | 7' - 7" EXISTING SLIDER 4' - 0" | 4' - 0" | 3' - 4" | 7' - 4" EXISTING W2 FIXED 2' - 6" 2' - 6" 3' - 0" 5' - 6" 2' - 6" 2' - 6" 5' - 6" 8' - 0" W3 FIXED | CASEMENT-FIXED-CASEMENT | 8' - 11 1/2" | 3' - 11 1/2" | 3' - 0" | 6' - 11 1/2" FIXED 2' - 6" 2' - 6" 5' - 6" 8' - 0" FIXED 2' - 6" 2' - 6" 3' - 0" 5' - 6" EMPERED GLASS FIXED 2' - 6" 2' - 6" 5' - 6" 8' - 0" 3' - 0" 1' - 6" 5' - 6" 7' - 0" TEMPERED GLASS W8 SLIDER 2ND FLOOR F.F.E W9 FIXED 4' - 0" 4' - 0" 2' - 8" 6' - 8" 2' - 6" 2' - 6" 1' - 8" 4' - 2" W10 FIXED FIXED 2' - 6" 2' - 6" 4' - 2" 6' - 8" 2' - 6" 2' - 6" 4' - 2" 6' - 8" W12 FIXED 1' - 8" 4' - 2" 2' - 6" 2' - 6" W13 FIXED 4' - 2" 6' - 8" 2' - 6" 2' - 6" W14 W15 2' - 6" 2' - 6" 4' - 2" 6' - 8" FIXED W16 FIXED 2' - 6" 2' - 6" 4' - 2" 6' - 8" FIXED EMPERED GLASS 2' - 6" 2' - 6" 4' - 2" 6' - 8" W18 CASEMENT 2' - 0" 4' - 0" 2' - 8" 6' - 8" TEMPERED GLASS CASEMENT-FIXED-CASEMENT 7' - 11 1/2" 3' - 11 1/2" 2' - 8 1/2" 6' - 8" W19 DOOR SCHEDULE **COMMENTS** NO. **TYPE** WIDTH | HEIGHT **GARAGE F.F.E** OVERHEAD GARAGE DOOR OVERHEAD GARAGE DOOR 003 SINGLE GLASS DOOR 3' - 0" 8' - 0" TEMPERED GLASS 4-PANEL BIFOLD DOORS 5' - 0" SINGLE PANEL DOOR 2' - 8" 6' - 8" SINGLE PANEL DOOR 2' - 6" 6' - 8" 8' - 0" 6' - 8" SLIDING CLOSET DOOR 8' - 0" 6' - 8" SLIDING CLOSET DOOR (E) HOUSE F.F.E SINGLE PANEL DOOR 2' - 8" 6' - 8" SINGLE PANEL DOOR 12' - 0" 8' - 0" 4-PANEL DOUBLE GLASS TEMPERED GLASS PAINTED TO MATCH FRONT DOOR. PROVIDE DOG DOOR AT HALF GLASS DOOR SINGLE PANEL DOOR SINGLE PANEL POCKET DOOR 2' - 8" 6' - 8" BIPASS CLOSET DOORS 5' - 0" 6' - 8" SINGLE PANEL DOOR 2' - 8" 6' - 8" SINGLE GLASS DOOR 3' - 0" 6' - 8" TEMPERED GLASS 2ND FLOOR F.F.E. SINGLE GLASS DOOR TEMPERED GLASS DOUBLE GLASS SLIDER CUSTOM FIXED UNITS FLANKING DOORS - REFER TO 6' - 4 1/8" | 8' - 0" ELEVATIONS

**DOOR & WINDOW SCHEDULES** 

SINGLE PANEL DOOR

SINGLE PANEL DOOR

SINGLE PANEL DOOR

SINGLE PANEL POCKET DOOR 3' - 0"

SINGLE PANEL POCKET DOOR 2' - 8"

6' - 8"

6' - 8"

2' - 8"

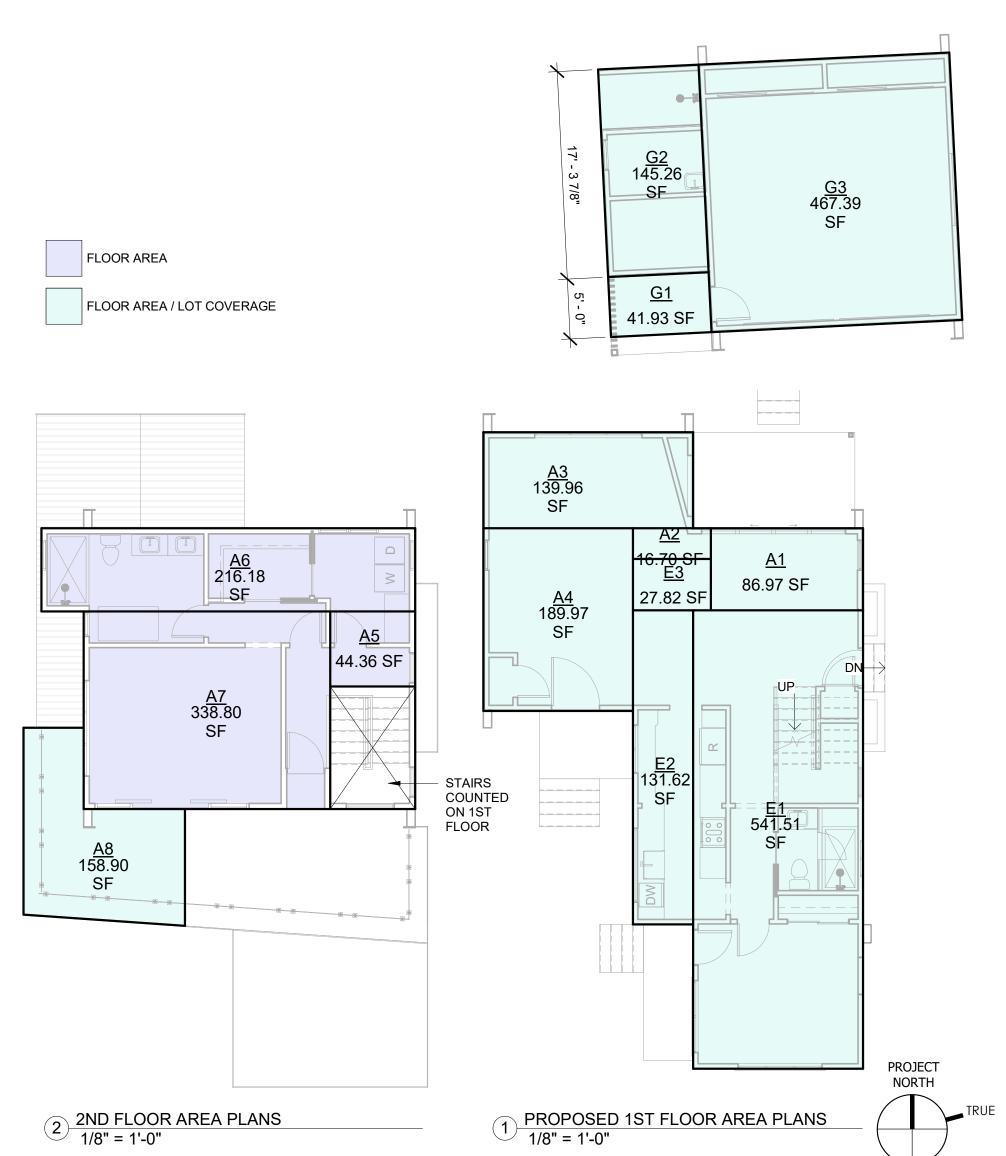
2' - 8" 6' - 8"

## AREA PLANS & SCHEDULES

NAME	AREA	<b>DIMENSIONS</b>	COMMENTS
			1
FLOOR AF	REA		
A5	44.36 SF		
A6	216.18 SF		
A7	338.80 SF		
	599.34 SF		
FLOOR AF	REA / LOT COVER	RAGE	
A1	86.97 SF		
A2	16.70 SF		
A3	139.96 SF		
A4	189.97 SF		
A8	158.90 SF		
E1	541.51 SF		
E2	131.62 SF		
E3	27.82 SF		
G1	41.93 SF		
G2	145.26 SF		
	107.00.05		
G3	467.39 SF		

<u>TOTAL PROPOSED FLOOR AREA</u> = **2,547.35 SF** <u>LOT COVERAGE</u> = A1 + A2 + A3 + A4 + E1 + E2 + E3 + G1 + G2 + G3 = **1,948.01 SF** 

NAME	AREA	DIMENSIONS	COMMENTS
ADDITION			
A1	86.97 SF		
A2	16.70 SF		
A3	139.96 SF		
<b>A</b> 4	189.97 SF		
A5	44.36 SF		
A6	216.18 SF		
<b>A7</b>	338.80 SF		
A8	158.90 SF		
	1191.84 SF		
EXISTING			
	541.51 SF		
EXISTING E1 E2	541.51 SF 131.62 SF		
E1 E2			
E1 E2	131.62 SF		
E1 E2	131.62 SF 27.82 SF		
E1 E2 E3	131.62 SF 27.82 SF		
E1 E2 E3 GARAGE	131.62 SF 27.82 SF		
E1 E2 E3 GARAGE	131.62 SF 27.82 SF 700.94 SF		
E1	131.62 SF 27.82 SF 700.94 SF		



## MECHANICAL NOTES

- REMOVE EXISTING WALL HEATER. NEW HEATING SYSTEM FOR TWO STORY HOUSE TBD DURING PERMITTING PHASE. NEW WALL MOUNTED SPLIT SYSTEM TO BE PROVIDED FOR THE DETACHED GARAGE.
- 2. HEATING & AIR CONDITIONING SYSTEM SHALL BE SIZED,
  DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING
  THE FOLLOWING METHODS:
- A. HEAT LOSS/HEAT GAIN VALUES IN ACCORDANCE WITH ANSI/ACCA 2, MANUAL J-2004 OR EQUIVALENT;
  B. DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1, MANUAL D-2009 OR EQUIVALENT;
- C. SELECT HEATING AND COOLING EQUIPMENT IN ACCORDANCE WITH ANSI/ACCA 3, MANUAL S-2004 OR EQUIVALENT.

DUCTS EXCEEDING 40' IN LENGTH SHALL REQUIRE HERS

- DUCT SIZE REQUIREMENTS SHALL COMPLY WITH MANUFACTURER'S RECOMMENDATIONS FOR AIR FLOW RATING, TYP.
- VERIFICATION, TYP.

  5. HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS AND EQUIPMENT BY A RECOGNIZED TRAINING OR
- CERTIFICATION PROGRAM PER CGC 702.1.

  6. FOR INTERMITTENT LOCAL EXHAUST, THE MINIMUM
  BATHROOM INTERMITTENT VENTILATION AIR FLOW SHALL BE
  50 CFM AND KITCHEN HOOD EXHAUST SHALL BE 100 CFM PER
  ASHRAE 62.2-2010 SECTION 4.6.5.
- 7. CONTINUALLY OPERATING LOCAL EXHAUST BATHROOM FANS SHALL PROVIDE 5 AIR CHANGES PER HOUR MINIMUM PER ASHRAE 62.2-2007 SECTION 4.6.4.
- 8. VENTILATION FAN SOUND RATINGS SHALL BE LESS THAN 1
  SCONE FOR CONTINUOUS FANS, OR 3 SCONE FOR
  INTERMITTENT FANS UNLESS THEIR MAXIMUM RATED AIR
  FLOW EXCEEDS 400CFM.
- 9. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR RATED AND SHALL BE DUCTED TO TERMINATE OUTSIDE THE BUILDING PER 2019 CALGREEN SECTION 4.506.1.
- 10. PER CEC SECTION 150(o), ALL DWELLING UNITS SHALL MEET THE REQUIREMENTS OF AHSRAE STANDARD 62.2-2010 SECTION 4.6, VENTILATION AND ACCEPTABLE INDOOR AIR QUALITY IN LOW RISE RESIDENTIAL BUILDINGS. PROVIDE WHOLE HOUSE FAN AS LOCATED ON PLANS, AND PROVIDE A LABEL AT A READIBLY ACCESSIBLE CONTROL SWITCH WHICH
- READS "fAN TO BE LEFT ON FOR INDOOR AIR QUALITY"

  11. THE PRESCRIPTIVE FAN DUCT SIZING REQUIREMENTS FOR AIR FLOW (PER ASHRAE 62.2-2010 SECTION 4.6.7.3) SHALL COMPLY WITH TABLE 14-16 OR COMPLY WITH MANUFACTURER'S DESIGN CRITERIA.

 Table 4-16: Prescriptive Duct Sizing for Single-Fan Exhaust Systems

 Duct Type
 Flex Duct
 Smooth Duct

 Fan Rating 62 Pa (cfm@ 0.25 in. w.c.)
 50
 80
 100
 125
 50
 80
 100
 125

 Diameter inch
 Maximum Length ft.
 3
 X
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of duct of this size with assumed turns and fitting will exceed the rated
ASHRAE 62.2, Table 5.3

			2.2 Table 4. entilation	Fig. 1	1
Floor Area		Numb	er of Bedro	oms	
(sq ft)	0 - 1	2 - 3	4 - 5	6 - 7	> 7
< 1500	30	45	60	75	90
1501 - 3000	45	60	75	90	105
3001 - 4500	60	75	90	105	120
4501 - 6000	75	90	105	120	135
6001 - 7500	90	105	120	135	150
> 7500	105	120	135	150	165

## W/D NOTES

- PROVIDE WATER HEATER HAMMER DEVICE AT SUPPLY LINE
- OF WASHERS.

  2. PROVIDE METAL PAN & DRAIN UNDER WASHER AND DAYLIGHT TO OUTSIDE. TRAP SEAL PROTECTION SHALL BE PROVIDED FOR FLOOR DRAINS THAT ARE INFREQUENTLY
- USED, PER CPC SECTION 1007.
  PROVIDE EXHAUST AIR VENT FOR DRYER TO BE EQUIPPED
  W/DRAFT DAMPER REFER TO 1/E.1. TOTAL COMBINED
  HORIZONTAL AND VERTICAL LENGTH SHALL NOT EXCEED 14
  FFET.

## FLOOR VENT CALCS

HOUSE FLOOR VENT CALCULATIONS

FLOOR AREA OF CRAWLSPACE TO BE VENTED (SEE 1/A0.1 & 2/A0.1: E1 + E2 + E3 + A1 + A2 + A3 + A4) = 1,134.54 SF

1,134.54/150 = 7.6 SF = 1,094.4 SQ. IN NFVA REQUIRED

(1) 14" X 7" VENT = 98 SQ.IN. NFVA

(12) 14" X 7" VENTS PROVIDED = 1,176 SQ. IN. NFVA

1,176 SQ. IN. NFVA PROVIDED > 1,094.4 SQ. IN. REQUIRED



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<b>REVISIONS</b>				
NO.	DESCRIPTION	DATE		

PROJECT NUMBER: 22111

ISSUE DATE: 05/03/2024

SCALE: As indicated

ISSUE STATUS:

CDRC APPLICATION

AREA PLANS, DOOR & WINDOW SCHEDULES, MECH. NOTES, VENT CALCS

A0.1

# SITE PLAN NOTES 1. CONTRACTOR SHALL CONSTRUCT A COUNTY STANDARD SIDEWALK PER COUNTY DETAIL D-3 ALONG ENTIRE PARCEL FRONTAGE WHERE NO SIDEWALK EXISTS. 2. CONTRACTOR SHALL REPLACE ANY DAMAGED CURB, GUTTER, AND SIDEWALK ALONG THE ENTIRE PARCEL FRONTAGE PER COUNTY DETAIL D-3. PROJECT DIRECTORY ARCHITECT FAT PEN STUDIOS, INC. 620 AVENUE PORTOLA #522 EL GRANADA, CA 94018 650-918-7117 info@fatpenstudios.com

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CIVIL / GEOTECH ENGINEER SIGMA PRIME GEOSCIENCES

RESIDI

**REVISIONS** 

NO. DESCRIPTION DATE

PROJECT NUMBER:

ISSUE DATE:

ISSUE STATUS:

CDRC APPLICATION

**EXISTING & PROPOSED** 

SITE PLAN

SCALE:

CDRC RESPONSE TO 6/24/2024 COMMENTS

DEMONSTRATION OF SCALE CONTEXT 7/26/2024

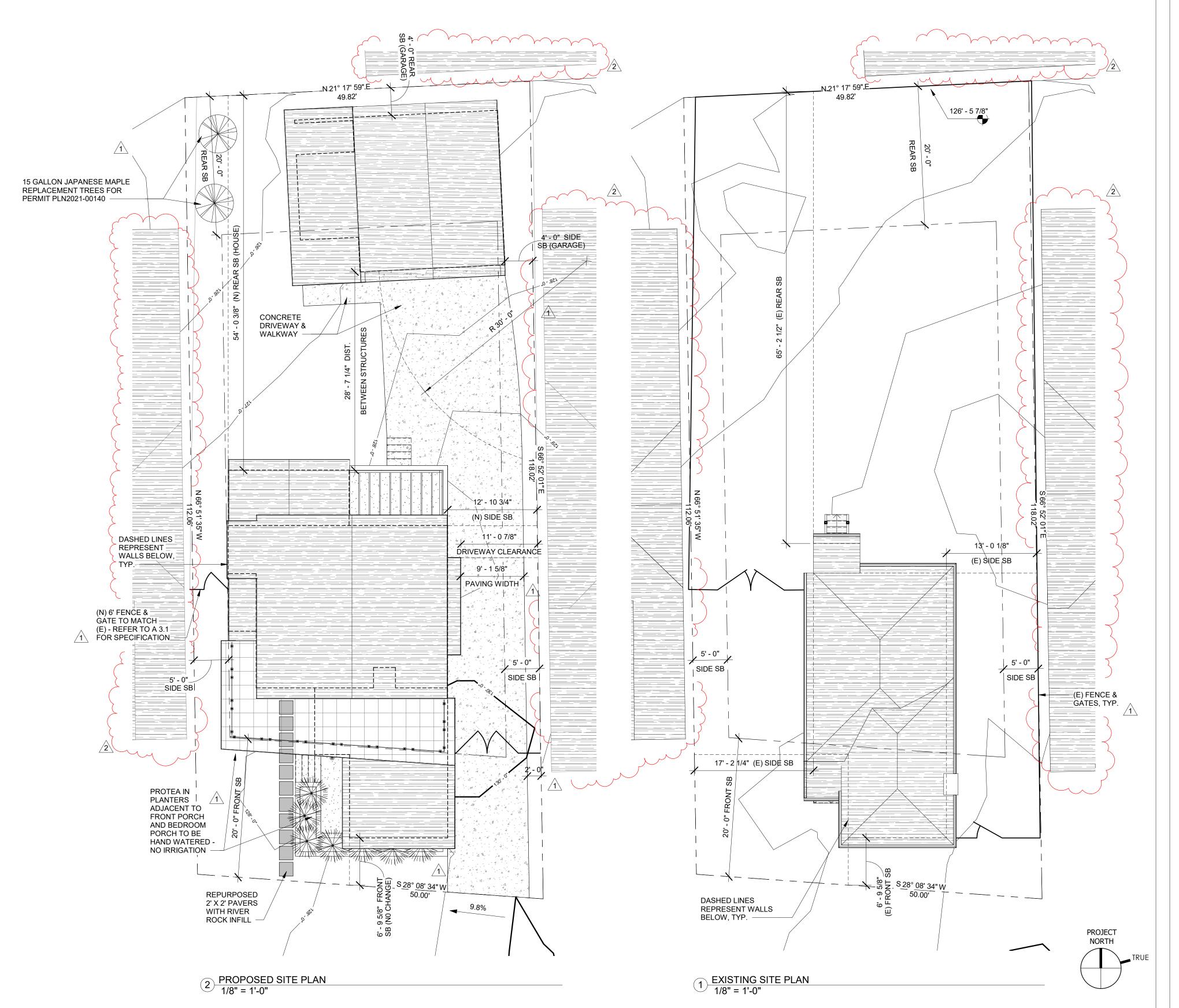
22111

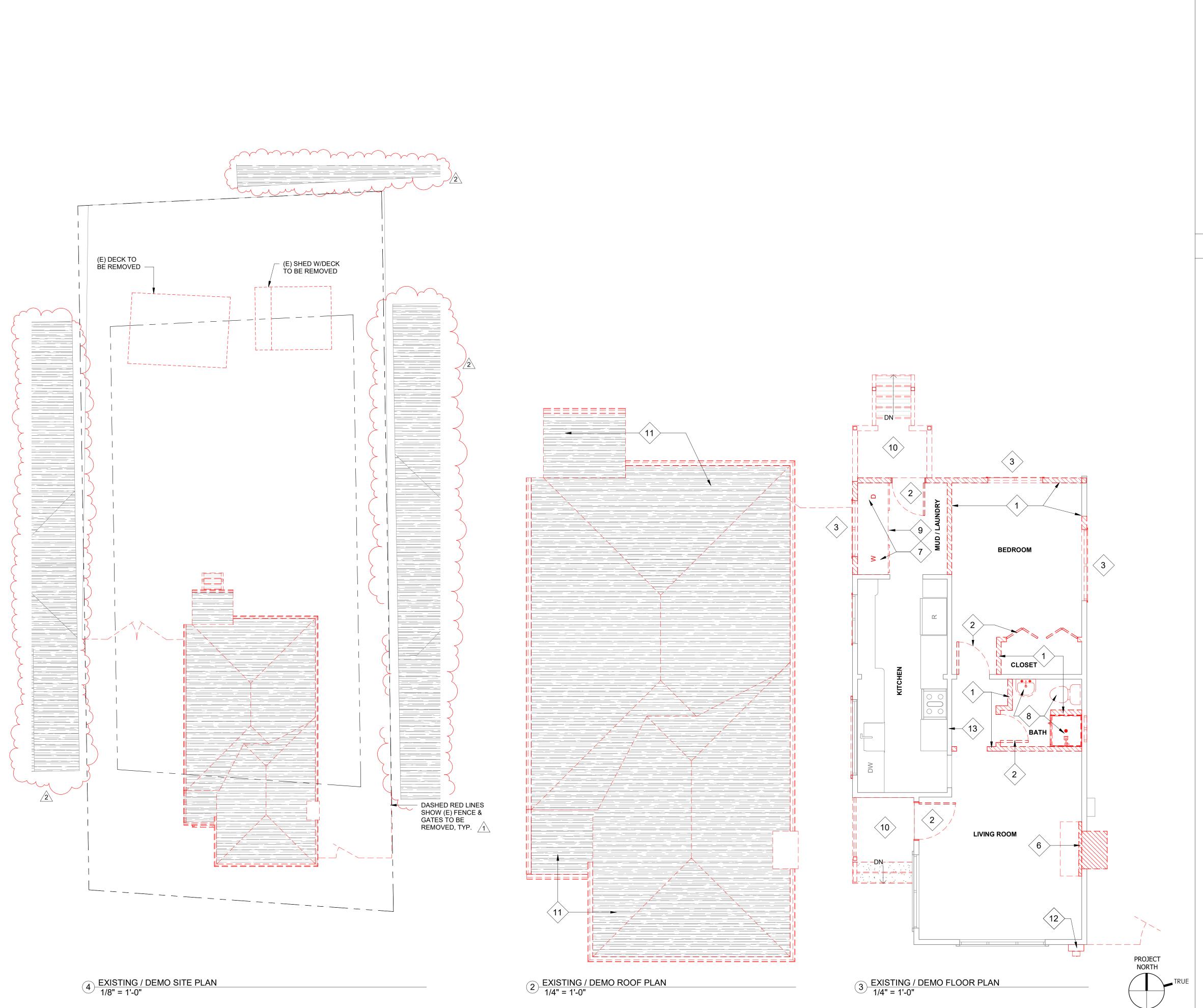
05/03/2024

1/8" = 1'-0"

978-766-0957

650-728-3590





## **GENERAL DEMO NOTES**

- THE DRAWINGS DO NOT ASSUME TO SHOW ALL OBJECTS EXISTING. BEFORE COMMENCING WORK, VERIFY WITH OWNER OR ARCHITECT IN WRITING ALL OBJECTS TO BE REMOVED AND ALL OBJECTS TO BE PRESERVED. CONTRACTOR IS RESPONSIBLE FOR ALL SALVAGE ITEMS.
- USE ALL MEANS NECESSARY TO PROTECT EXISTING OBJECTS DESIGNATED TO REMAIN AND, IN THE EVENT OF DAMAGE, IMMEDIATELY MAKE ALL REPAIRS AND REPLACEMENTS NECESSARY TO THE APPROVAL OF THE
- DEMOLITION OF AN ITEM OR SYSTEM INCLUDES REMOVAL OF ALL COMPONENTS RELATED TO THAT ITEM. (I.E. REMOVAL OF DOOR INCLUDES DOOR, DOORFRAME, SILL, HARDWARE, ETC.)
- ALL DEBRIS SHALL BE WET AT TIME OF HANDLING TO PREVENT DUST.
- CONTRACTOR SHALL PREPARE AND SUBMIT A "CONSTRUCTION AND DEMOLITION RECYCLING WASTE REDUCTION PLAN" PRIOR TO DEMOLITION. A MINIMUM OF 65% OF THE NON-HAZARDOUS
- CONSTRUCTION DEMOLITION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO AN OFFSITE RECYCLE, DIVERSION, OR SALVAGE FACILITY PER CGC 4.408. THE EXISTING NONCONFORMING WALL CANNOT BE
- DEMOLISHED PAST THE FRAMING MEMBERS. IF THE WALL IS DEMOLISHED AS PART OF THE PROJECT, IT CANNOT BE REBUILT IN ITS CURRENT NONCONFORMING LOCATION, AND WILL BE REQUIRED TO MEET THE CURRENT ZONING ORDINANCE SETBACK REQUIREMENTS.

## SPECIFIC DEMO NOTES

REMOVE (E) WALL.

REMOVE (E) DOOR. REMOVE (E)

WINDOW. REMOVE (E)

CASED OPENING REMOVE (E) FLOORING AS SPECIFIED BY

OWNER, TYP. REMOVE (E) FIREPLACE, HEARTH,

MANTLE & CHIMNEY.

RELOCATE (E) ELEC METER - CONTRACTOR TO COORDINATE WITH PG&E.

> REMOVE (E) WALL **(13**) HEATER.

REMOVE (E)

REMOVE (E)

& COUNTÈR

APPLIANCE - CONSULT OWNER IF APPLIANCE TO BE SALVAGED

PLUMBINĠ FIXTURE.

REMOVE (E) PORCH,

STEPS & RAILING.

REMOVE (E) ROOF,

ROOF EAVÉ & GUTTER.

REMOVE (E) CASEWORK



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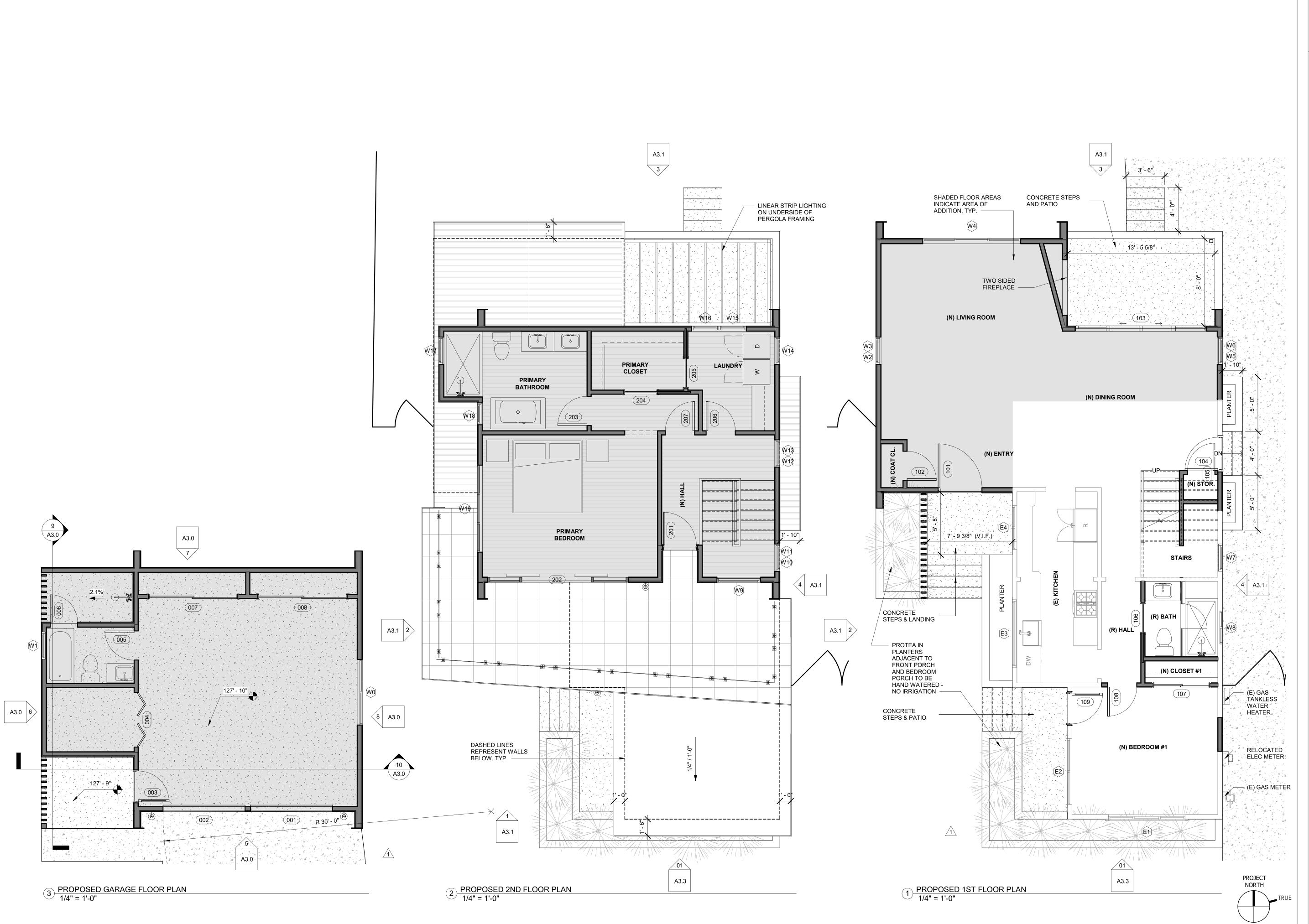
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DESCRIPTION  CDRC RESPONSE TO COMMENTS  DEMONSTRATION OF	6/24/2024 7/26/2024
COMMENTS DEMONSTRATION OF	
	7/26/2024
SCALE CONTEXT	1120/2024

22111 PROJECT NUMBER: 05/03/2024 ISSUE DATE: As indicated ISSUE STATUS: CDRC APPLICATION

EXISTING / DEMO FLOOR PLANS, DEMO NOTES

A2.0





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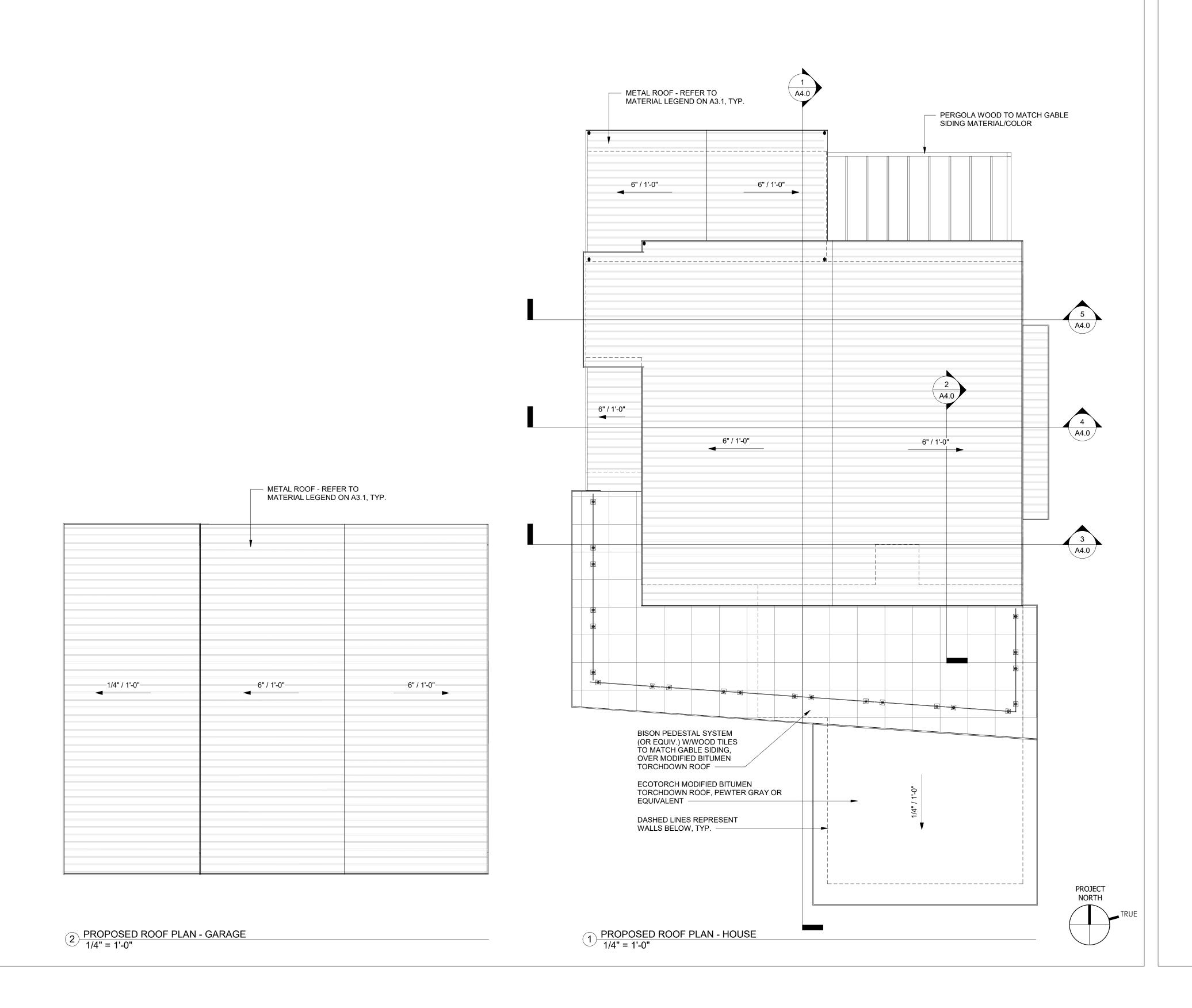
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## AVENUE PORTOLA RESIDENCE 167 AVENUE PORTOLA, EL GRANADA CA 94018

REVISIONS					
NO.	DESCRIPTION	DATE			
1	CDRC RESPONSE TO COMMENTS	6/24/2024			

PROJECT NUMBER:  ISSUE DATE:  SCALE:  ISSUE STATUS:	22111 05/03/202 <sup>2</sup> 1/4" = 1'-0'
CDRC APPI	LICATION
PROPOSEI PLA	





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NO.	DESCRIPTION	DATE		

PROJECT NUMBER: 22111
ISSUE DATE: 05/03/2024
SCALE: 1/4" = 1'-0"
ISSUE STATUS:
CDRC APPLICATION

PROPOSED ROOF
PLANS

A2.2





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REVISIONS				
NO.	DESCRIPTION	DATE		
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PROJECT NUMBER: 22111

ISSUE DATE: 05/03/2024

SCALE: 1/4" = 1'-0"

ISSUE STATUS:

CDRC APPLICATION

EXISTING HOUSE
ELEVATIONS,
PROPOSED DETAHCED
GARAGE ELEVATIONS,
GARAGE SECTIONS

A3.0



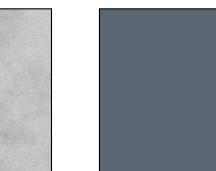
FENCE/GATE: TO **EXTERIOR SCONCES:** 7.5" MATCH EXISTING WEST ELM HENRY OUTDOOR SCONCE, MATTE BLACK (DARK SKY COMPLIANT) OR SIMÌLAR.

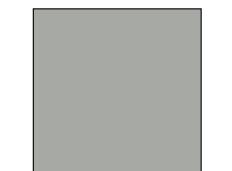
2 PROPOSED LEFT SIDE ELEVATION
1/4" = 1'-0"



STANDING SEAM METAL ROOF COMPOSITE SOFFITS, GABLE AND WALLS: VM ZINC, COLOR: QUARTZ ZINC OR EQUIVALENT

















**DRIVEWAY:** BRUSHED

CONCRETE, NATURAL



PROJECT DIRECTORY

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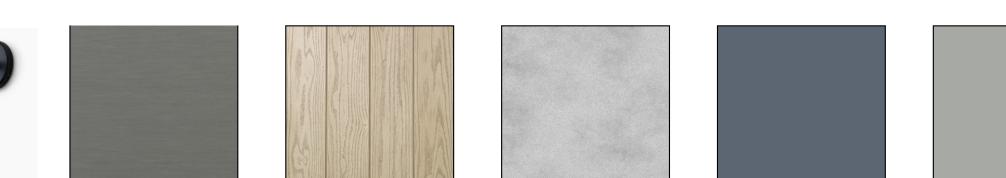
PORT RESIDI

REVISIONS					
NO.	DESCRIPTION	DATE			
1	CDRC RESPONSE TO COMMENTS	6/24/2024			

22111 PROJECT NUMBER: 05/03/2024 ISSUE DATE: 1/4" = 1'-0" SCALE: ISSUE STATUS: CDRC APPLICATION

PROPOSED HOUSE **EXTERIOR** ELEVATIONS, **MATERIAL SPECIFICATIONS** 

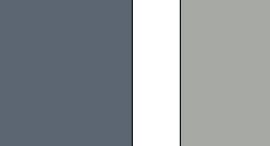
A3.1



PLANTER BOXES & REAR PATIO SIDES: MILLBOARD SHADOW LINE+, COLOR: LIMED OAK, OR EQUIVALENT



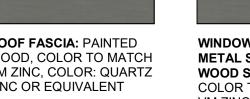






ROOF FASCIA: PAINTED ZINC OR EQUIVALENT

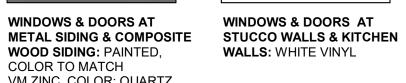
1 PROPOSED FRONT ELEVATION 1/4" = 1'-0"

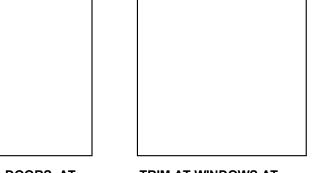








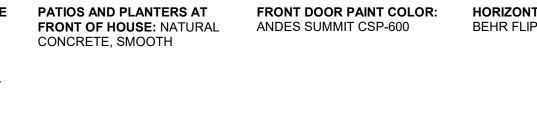




TRIM AT WINDOWS AT STUCCO WALLS & KITCHEN WALLS: WHITE VINYL

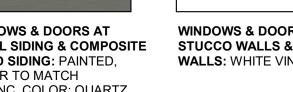


PATIOS AND PLANTERS AT FRONT DOOR PAINT COLOR: **HORIZONTAL SIDING:** FRONT OF HOUSE: NATURAL **BOARD SIDING, RIGHT SIDE** ANDES SUMMIT CSP-600 BEHR FLIPPER PPU25-15



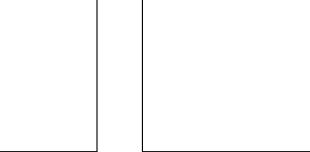




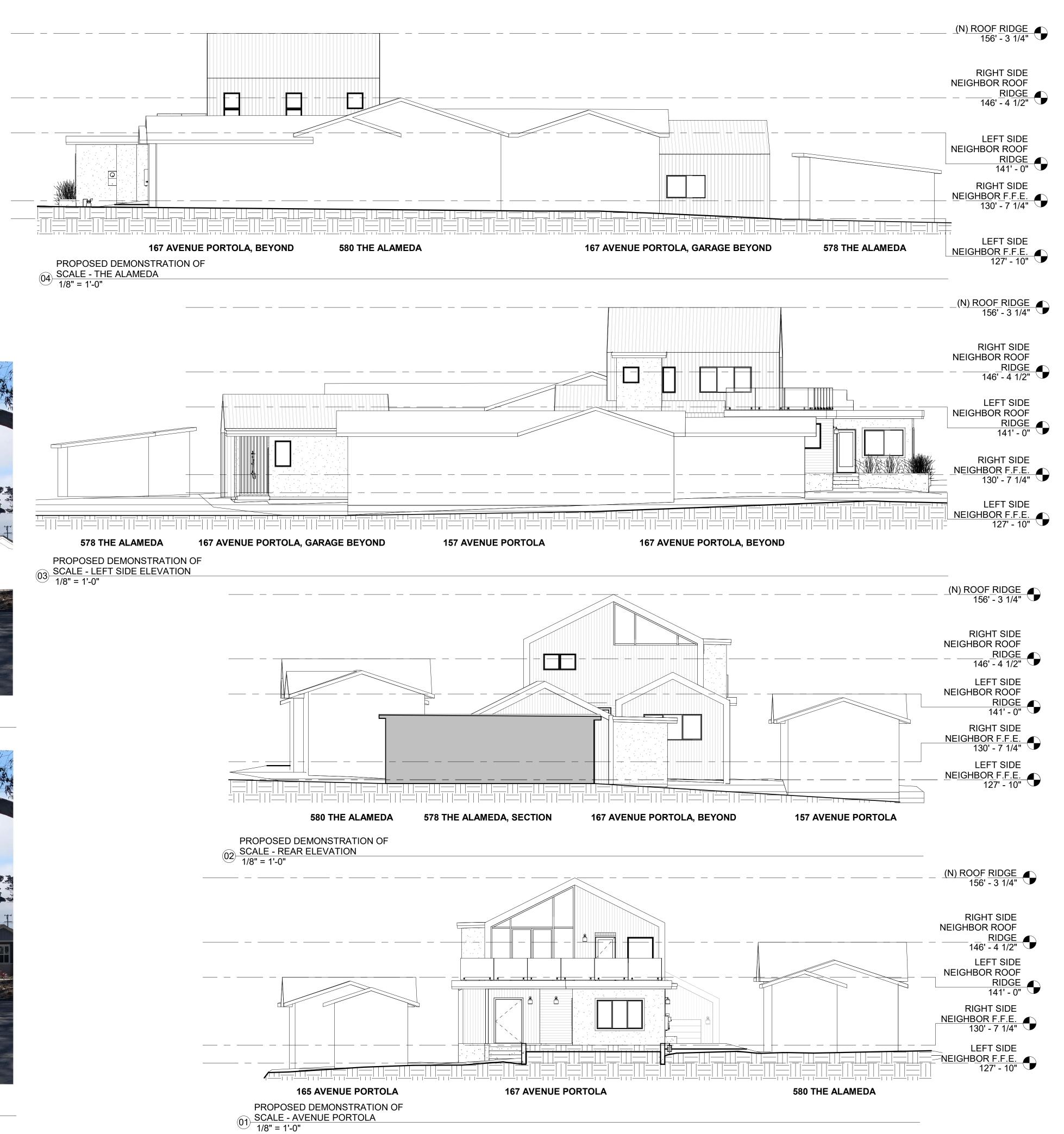


WINDOWS & DOORS AT

\_HORIZONTAL SIDING AT THIS -LOCATION TO BE PAINTED, BEHR FLIPPER PPU25-15









THE ALAMEDA PERSPECTIVE 
6 PROPOSED



THE ALAMEDA PERSPECTIVE 
EXISTING



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REVISIONS					
NO.	DESCRIPTION	DATE			
2	DEMONSTRATION OF SCALE CONTEXT	7/26/2024			

PROJECT NUMBER: 22111

ISSUE DATE: 05/03/2024

SCALE: 1/8" = 1'-0"

ISSUE STATUS:

CDRC APPLICATION

DEMONSTRATION OF SCALE

(A3.3)





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<b>REVISIONS</b>			
NO.	DESCRIPTION	DATE	

PROJECT NUMBER: 22111
ISSUE DATE: 05/03/2024
SCALE: 1/4" = 1'-0"
ISSUE STATUS:
CDRC APPLICATION

BUILDING SECTIONS

A4.0



FENCE/GATE: TO MATCH EXISTING



EXTERIOR SCONCES: 7.5"
WEST ELM HENRY OUTDOOR
SCONCE, MATTE BLACK (DARK
SKY COMPLIANT) OR SIMILAR.



STANDING SEAM METAL ROOF
AND WALLS: VM ZINC, COLOR:
QUARTZ ZINC OR EQUIVALENT

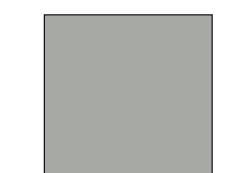
PLANTER BOXES & REAR
PATIO SIDES: MILLBOARD
SHADOW LINE+, COLOR:
LIMED OAK, OR EQUIVALENT



PATIOS AND PLANTERS AT FRONT OF HOUSE: NATURAL CONCRETE, SMOOTH



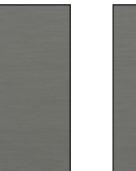
FRONT DOOR PAINT COLOR: ANDES SUMMIT CSP-600



STUCCO WALLS UNDER FLAT ROOF EXPRESSIONS: COLOR BEHR WHIPPED CREAM DC-001 HORIZONTAL SIDING: BEHR FLIPPER PPU25-15

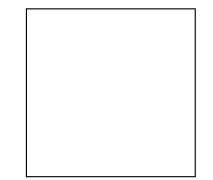


ROOF FASCIA: PAINTED WOOD, COLOR TO MATCH VM ZINC, COLOR: QUARTZ ZINC OR EQUIVALENT





WINDOWS & DOORS AT
METAL SIDING & COMPOSITE
WOOD SIDING: PAINTED,
COLOR TO MATCH
VM ZINC, COLOR: QUARTZ
ZINC OR EQUIVALENT
WINDOWS & DOORS AT
STUCCO WALLS & KITCHEN
WALLS: WHITE VINYL



TRIM AT WINDOWS AT STUCCO WALLS & KITCHEN WALLS: WHITE VINYL



**DRIVEWAY:** BRUSHED CONCRETE, NATURAL











DDO IECT DIDECTOR
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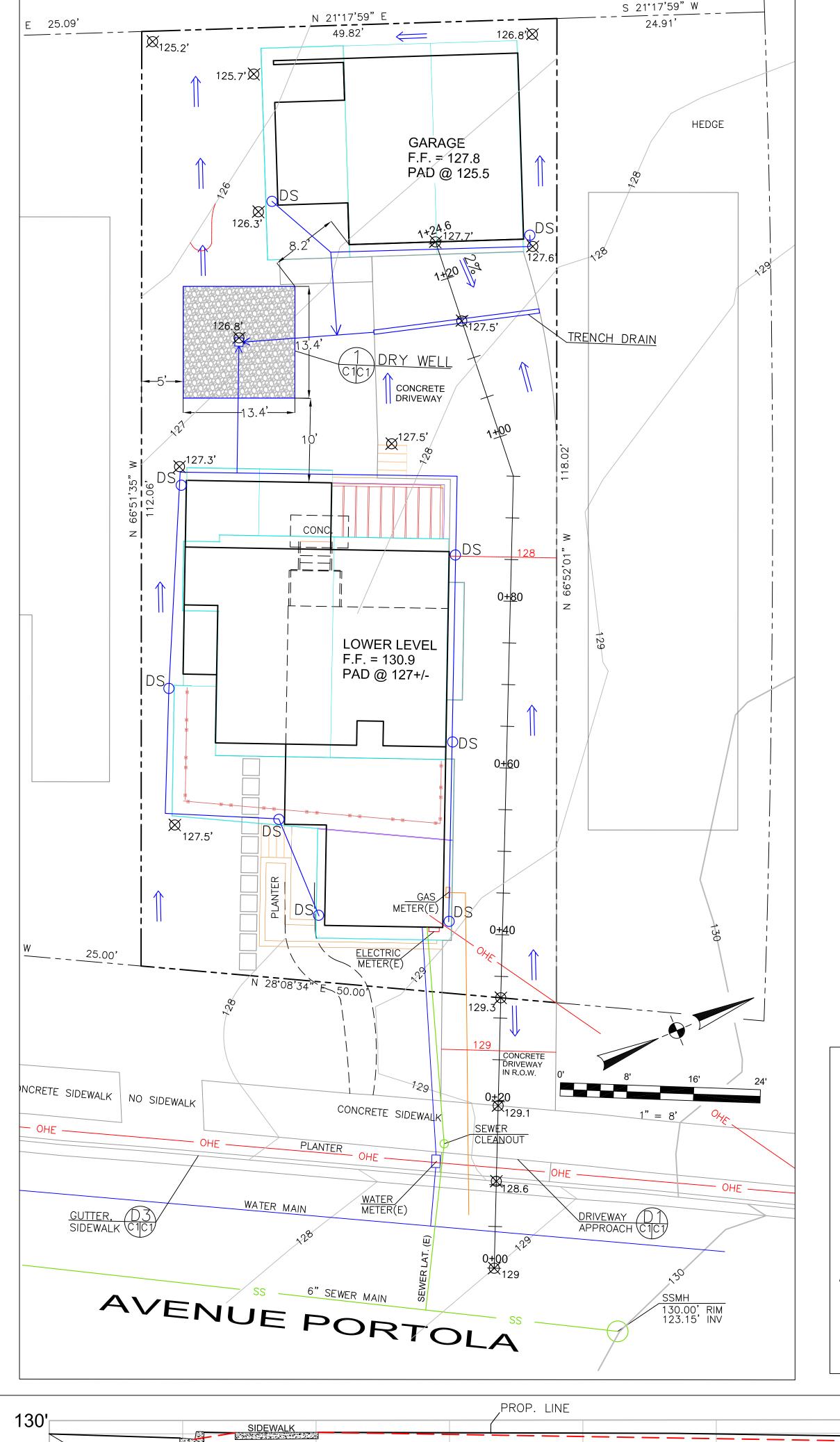
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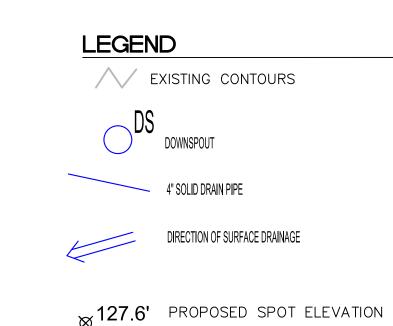


REVISIONS					
NO.	DESCRIPTION	DATE			
1	CDRC RESPONSE TO COMMENTS	6/24/202			

PROJECT NUMBER: ISSUE DATE:	2211 05/03/202	
SCALE:	03/03/202	
ISSUE STATUS:		
CDRC APPLICATION		

A3.2





## GENERAL NOTES

1. PLANS PREPARED AT THE REQUEST OF:

- TARA BENSON, OWNER 2. TOPOGRAPHY BY BGT LAND SURVEYING, SURVEYED APRIL 11, 2019.
- 3. THIS IS NOT A BOUNDARY SURVEY.
- 4. ELEVATION DATUM NAVD88.

## DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.

2. ALL NEW DOWNSPOUT DRAIN LINES SHALL LEAD TO DRY WELL, AS SHOWN.

3. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.

4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DRY WELL TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

## **GRADING NOTES**

SAN MATEO COUNTY DEPARTMENT

PUBLIC WORKS

REDWOOD CITY CALIFORNIA

TYPICAL SECTION
URBAN CURB, GUTTER AND SIDEWALK

STREET LIGHTS, ETC. SHALL BE LOCATED BEHIND THE SIDEWALK, UNLESS OTHERWISE SPECIFICALLY AUTHORIZED BY THE DIRECTOR OF PUBLIC WORKS. A CLEAR ZONE

ALONG THE CURB AND SIDEWALK 18 INCHES IN WIDTH (MEASURED FROM THE FACE OF THE CURB) SHALL BE KEPT CLEAR AND OPEN FROM ALL OBSTRUCTIONS. IN ADDITION, AN AREA 3 FEET IN WIDTH ALONG THE SIDEWALK, EXCLUSIVE OF THE

TYPICAL SECTIONS

2. MINIMUM DEPARTE X 18" LONG DOWELS AT EXPANSION JOINTS AS SHOWN.
4. PLACE 1/2" THICK EXPANSION JOINTS FULL WIDTH 20' ON CENTER.
5. CONSTRUCT MONOLITHIC CURB, GUTTER AND SIDEWALK UNLESS OTHERWISE.

SPECIFICALLY AUTHORIZED BY THE DIRECTOR OF PUBLIC WORKS,

6. SUB-BASE MATERIALS WITHIN 30" OF SUBGRADE SHALL BE COMPACTED TO 95%.

CURB WIDTH, SHALL BE KEPT CLEAR AND OPEN FROM ALL OBSTRUCTIONS IN COMPLIANCE WITH THE STATE BUILDING CODE (PART 2, TITLE 24, C.A.C.).

1/4" SCORING

CLASS 2 AGGREGATE BASE -

#4 REBAR (NOT THRU EXPANSION JOINT)

1. ALL CONCRETE TO BE CLASS B CONCRETE.
2. MINIMUM SIDEWALK THICKNESS = 4 INCHES PCC.

A1-6 CURB

NOTES:

SLIP DOWELS PLACED 18" O.C. 4" LA" CL.B CONC.

NOTE: OBSTRUCTIONS SUCH AS POLES, HYDRANTS, STREET SIGNS, UTILITY BOXES,

SCALE: NONE DATE: 6/95 REVISED: 4/97

POLE, HYDRANT, STREET LIGHT, ETC. (IF AUTHORIZED)

SIDEWALK ACROSS
DRIVEWAY—SEE
STANDARD DRIVEWAY
DETAIL.

SIDEWALK ACROSS
ON 16"
CLASS 2 AGGREGATE BASE

12"----

CURB AND GUTTER

CUT VOLUME: 105 CY (FOR FOUNDATION, DRYWELL, DRIVEWAY) FILL VOLUME: 0 CY

VOLUMES ABOVE ARE APPROXIMATE.

THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.

ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

## SECTION AND DETAIL CONVENTION

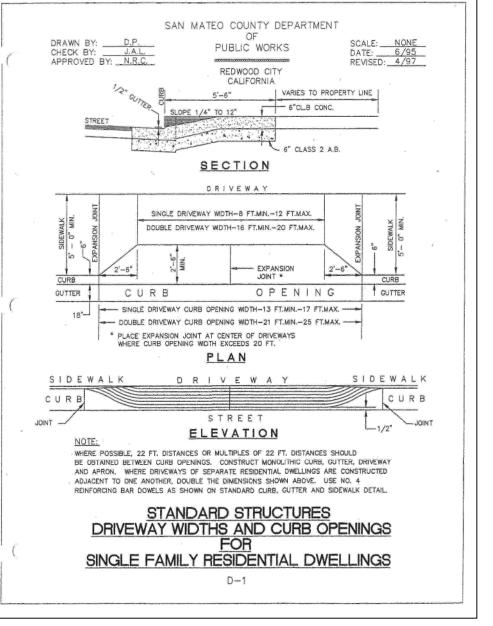
SECTION OR DETAIL IDENTIFICATION REFERENCE SHEET No. REFERENCE SHEET No. ON FROM WHICH SECTION OR DETAIL IS TAKEN DETAIL IS SHOWN

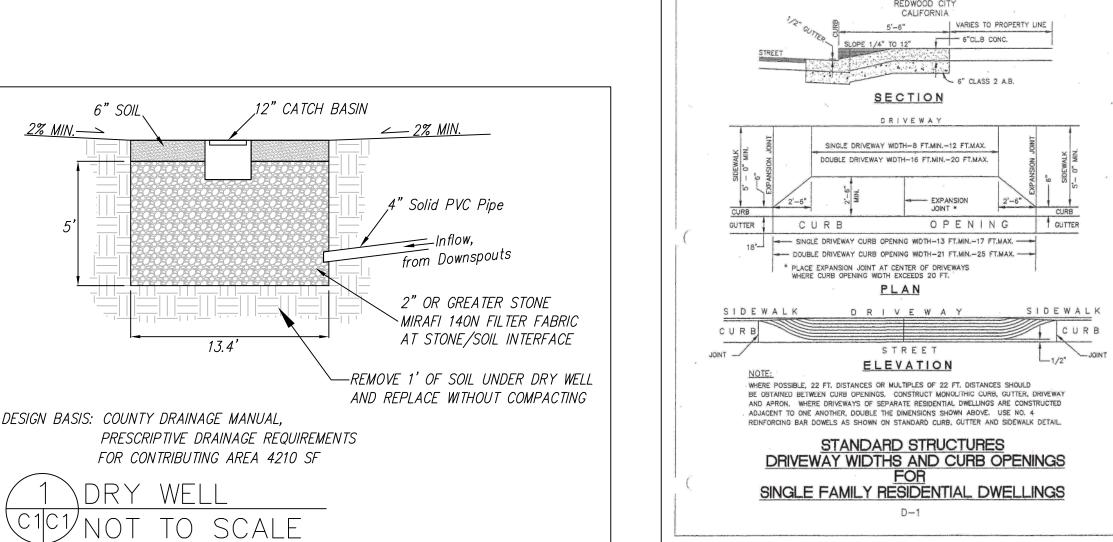


RADLEY PROPERTY 7 AVENUE PORTOLA EL GRANADA AND PLAN

GRADING A  $\omega$   $\omega$ 

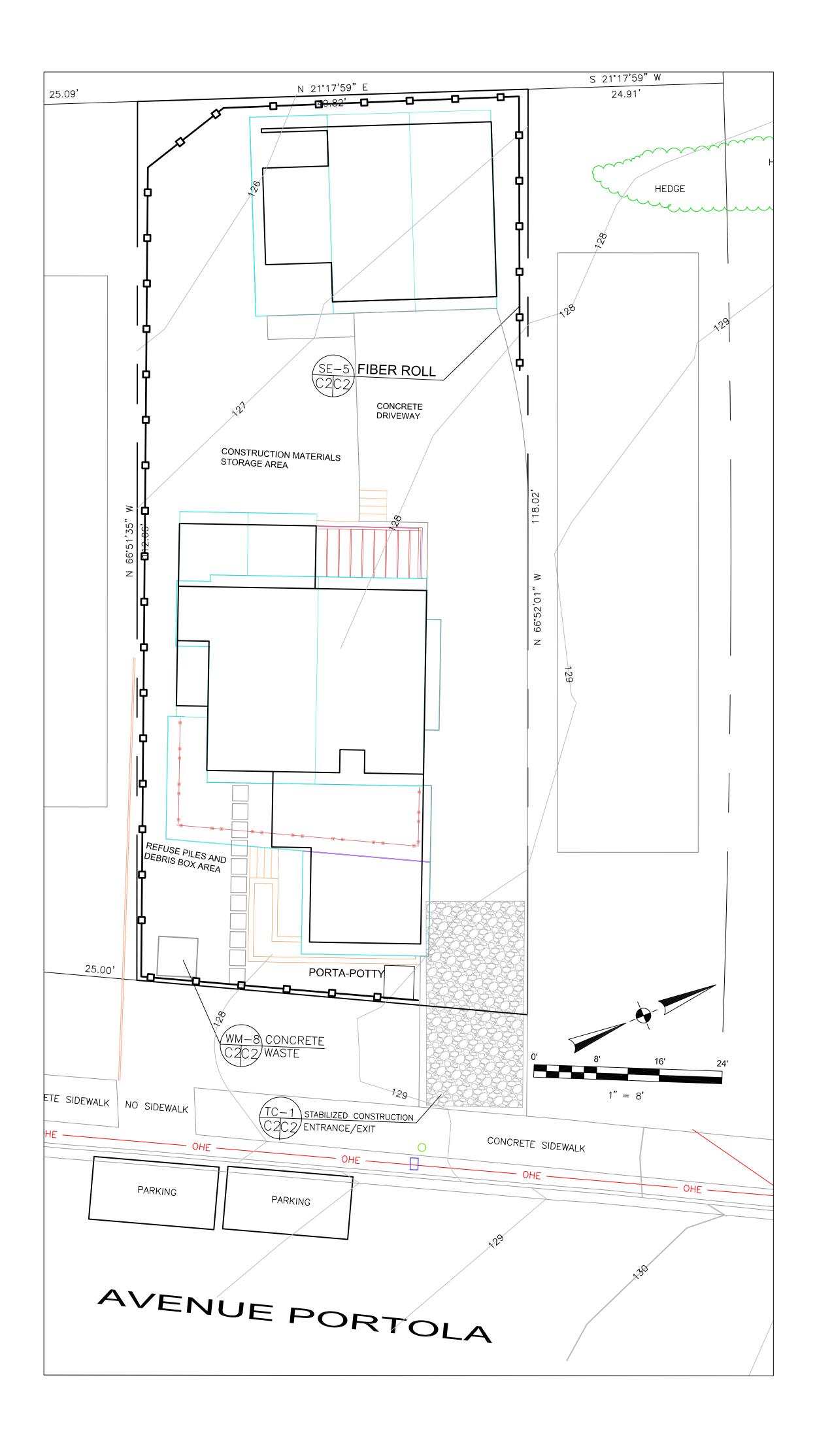
SHEET





130'		PROP. LINE		127.7' @ GARAGE \	130'
	129' @ CL		GRADE (E)	1.7% — CANAGE	
125'				GRADE (N)	125'
0+(	ODRIVEWAY PROFILE 1"=5"			1+2	125' 24.6

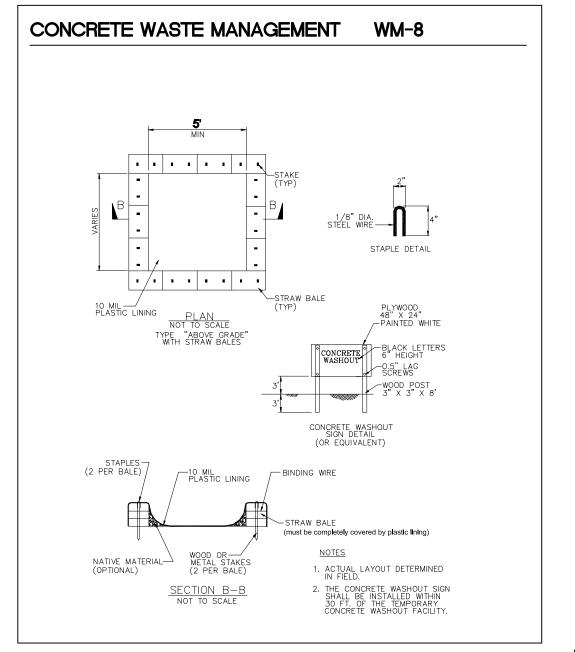
*2% MIN.*—∽



## GENERAL EROSION AND SEDIMENT CONTROL NOTES



- · There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- · Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- · Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- · Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- · Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- · Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- · Limit construction access routes to stabilized, designated access points
- · Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- · Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- · Erosion control materials shall be stored on-site.

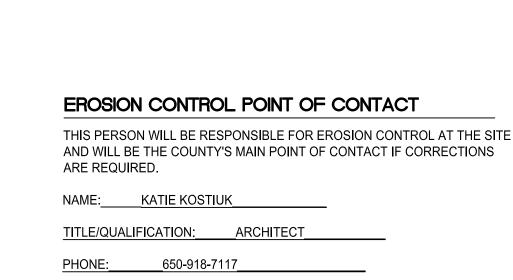


SE-5

ENTRENCHMENT DETAIL N.T.S.

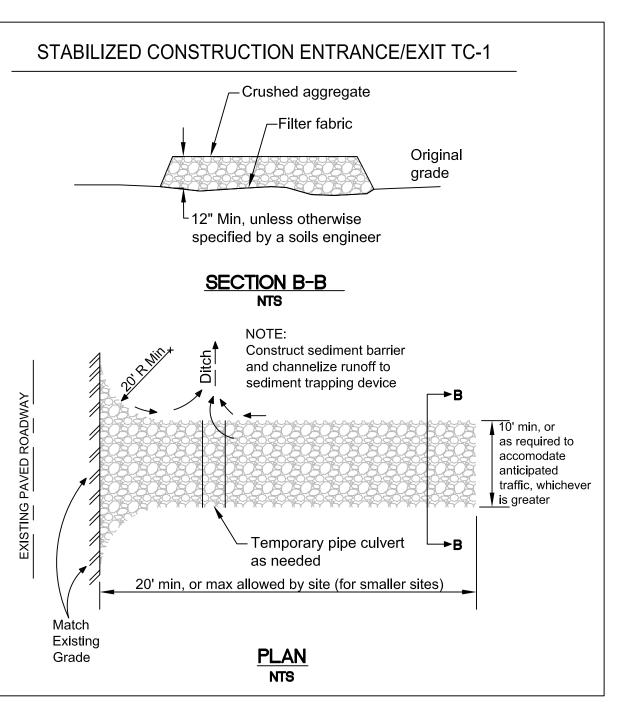
If more than one fiber roll is placed in a row, the rolls must be overlapped, not abutted. Turn the ends of the fiber roll up-slope to prevent runoff from going around the roll.

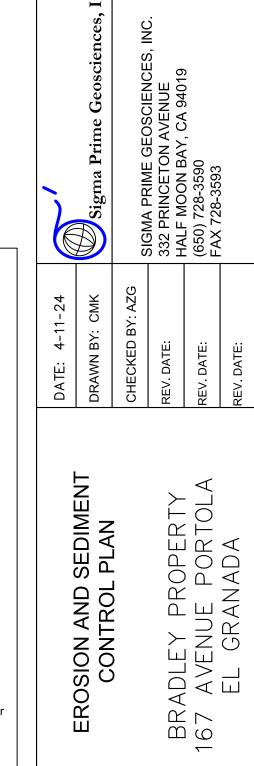
FIBER ROLLS





AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS E-MAIL: KATIE@FATPENSTUDIOS.COM





SHEET

C-2

