

**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** March 27, 2024

**TO:** Planning Commission

**FROM:** Planning Staff

**SUBJECT:** Consideration of a Design Review Permit and Non-Conforming Use Permit, pursuant to Sections 6565.3 and 6137 of the San Mateo County Zoning Regulations, to allow the construction of a 571 sq. ft. single-story addition, new 331 sq. ft. deck, and a 41 sq. ft. entry porch to an existing 1,307 sq. ft. single-family residence on a 7,540 sq. ft. parcel. The project involves only minor grading and no tree removal.

County File Number: PLN2023-00051 (Gawoski)

**PROPOSAL**

The applicant proposes a 571 sq. ft. single-story addition, new 331 sq. ft. deck, and 41 sq. ft. entry way to an existing 1,307 sq. ft. residence that includes an attached garage converted to a Junior Accessory Dwelling Unit (JADU). The proposed addition would ultimately replace the existing unconditioned sun porch and covered entry porch that are existing at the front of the property facing the intersection of Lancaster and Vue de Mer. While the addition to the front of the home complies with all applicable zoning standards for setbacks, floor area, lot coverage, height, etc., the Non-Conforming Use Permit (NCUP) is required to allow a major addition/remodel on an existing house that violates the rear yard setback by more than 50 percent. Also, this proposal would increase the bedroom count from 1 to 2 bedrooms in the primary dwelling, and due to the existing legal conversion of the covered garage parking space to a JADU, the applicant has no covered parking available to satisfy the one covered parking space required for the bedroom addition. Therefore, the applicant requests an exception to allow one uncovered space where one covered space is required. The project involves only minor grading and no tree removal.

**RECOMMENDATION**

That the Planning Commission approve the Design Review Permit, Non-Conforming Use Permit, and Coastal Development Exemption, County File Number PLN2023-00051, based on and subject to the required findings and conditions of approval listed in Attachment A.

## **BACKGROUND**

Report Prepared By: Sam Becker, Project Planner, Email: [Sbecker@smcgov.org](mailto:Sbecker@smcgov.org)

Applicant: Doug Gawoski

Owner: John Dahmen and Linda Hwang

Public Notification: Public notification was sent Ten (10) days in advance of this meeting and was mailed to property owners within 300 feet of the project parcel and a notice for the hearing posted in a newspaper (San Mateo County Times) of general public circulation.

Location: 601 Vue de Mer Avenue, Moss Beach

APN: 037-155-010

Size: 7,540 sq. ft.

Existing Zoning: R-1/S-17/DR/CD (One-Family Residential District/5,000 sq. ft. Minimum Parcel Size/Design Review District/Coastal Development District)

General Plan Designation: Residential, Medium Density Residential

Local Coastal Plan Designation: Medium Low Density Residential

Sphere-of-Influence: Half Moon Bay

Existing Land Use: Developed with a single-family home.

Water Supply/Sewer Supply: Montara Water and Sanitary District (MWSD). The property currently has established service connections. A referral of the project was sent to MWSD, who has provided a conditional approval of the project pursuant to future sewer and water permit from the district prior to issuance of the building permit.

Flood Zone: Zone X (Areas of Minimal Flood Hazard), FEMA Panel 06081C0119F;  
Effective Date: August 2, 2017

Environmental Evaluation: This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15301, Class 1, relating to an addition to an existing structure.

Setting: The subject corner parcel is located at the intersection of Lancaster Boulevard and Vue de Mer Avenue, east of Cabrillo Highway (Highway 1) and just west of Seton Coastsides Medical Center. The parcel is developed with a single-family residence and is surrounded by single-family residential development on all sides. The parcel has a

slight downhill slope (12.5%) from the residence on site to the point of the corner lot. The parcel has a mix of Oak and Cypress trees that are located between the property's boundaries and the street.

Chronology:

<u>Date</u>	<u>Action</u>
June 7, 2022	- Pre application meeting with Planning Department for new addition, and to legalize JADU garage conversion.
July 26, 2022	- Building permit submitted to legalize garage converted into JADU by previous owner, under BLD2022-01741.
January 13, 2023	- Permit issued for BLD2022-01741 to legalize JADU in converted garage space.
February 17, 2023	- Application for an addition to existing single-family residence submitted under PLN2023-00051.
December 12, 2023	- Planning Application deemed complete.
January 11, 2024	- Coastside Design Review Committee (CDRC) reviews the subject project and recommends approval.
February 9, 2024	- Building Permit, BLD2022-01741 to legalize JADU finalized.
March 27, 2024	- Planning Commission public hearing

## **DISCUSSION**

### **A. KEY ISSUES**

#### **1. Conformance with County General Plan**

Staff has reviewed the project and found it to be compliant with the policies of the General Plan. The relevant policies are discussed below:

##### **a. Visual Quality**

Policy 4.15 (*Appearance of New Development*) encourages the regulation of development to promote and enhance good design, site relationships, and other aesthetic considerations. As the project site is located within a Design Review District, the project was reviewed by the CDRC and was found to be consistent with the established design review standards applicable in the Midcoast area.

Policy 4.36 (*Urban Area Design Concept*) calls for the maintenance and, where possible, improvement upon the appearance and visual character of development in urban areas. It also calls for new development in urban areas to be designed and constructed to contribute to the orderly and harmonious development of the locality. The placement of the proposed addition is in the front of the existing home facing the down sloped, undeveloped portion of the property, opposite of the only abutting property to the east in the rear of the property. As mentioned previously, the project was reviewed by the CDRC and was found to be in compliance with the established Design Review standards for the Midcoast area. A more detailed discussion of the project’s compliance with the Design Review guidelines is provided under Section A.4. of this staff report.

- b. Urban Land Use Policy 8.15 (*Land Use Compatibility*) calls for the protection and enhancement of the character of existing single-family areas. As mentioned previously, the proposed project was reviewed by the CDRC and was found to be consistent with the applicable design review standards for the Moss Beach area. More specifically, the project was found to be consistent with the policies addressing neighborhood character, exterior colors and materials, and landscaping.

2. Conformance with Zoning Regulations

a. Conformance with S-17 District Development Standards

The project parcel is zoned R-1/S-17/DR/CD (Single-Family Residential/5,000 sq. ft. lot minimum/Design Review/Coastal Development). The existing single-story residence is nonconforming based on the S-17 combining district development standards identified in Table 1 below:

Table 1				
	<i>Required</i>	<i>Existing</i>	<i>Proposed</i>	<i>Complies?</i>
Min. Side Yard Setback	10 ft. (corner lot)	Left: 10 ft.-1 ¾ in. Right: 18 ft.-8 ½ in.	Left: 10 ft.-1 ¾ in. Right: 18 ft.-8 ½ in.	Yes
Min. Front Setback	20 ft.	82 ft. -1 in. to existing entry	45 ft. -6 in. to proposed deck	Yes
Min. Rear Setback	20 ft.	4 ft.-2 ¾ in.	4 ft.-2 ¾ in.	No*
Max. Building Height	28 ft.	22 ft.	22 ft.	Yes

Max. Floor Area Ratio	3,996 sq. ft.	1,307 sq. ft.	2,090 sq. ft.	Yes
Max. Lot Coverage Ratio	3,770 sq. ft.	1,368 sq. ft.	2,311 sq. ft.	Yes
Min. Parking Spaces	1 covered, off-street	1 uncovered, off-street	1 uncovered, off-street	No*
Min. Average Lot Width	50 ft.	68 ft.-4 ¼ in.	68 ft.-4 ¼ in.	Yes
Min. Lot Size	5,000 sq. ft.	7,540 sq. ft.	7,540 sq. ft.	Yes
<i>*Requested nonconformity requiring a use permit</i>				

As shown in Table 1, the project complies with all development standards with the exception of the rear yard setback, which is in violation of required setback by more than 50%, and the covered parking requirement. Pursuant to the Nonconforming Zoning Regulations (Section 6135 and 6137), enlargement of a nonconforming structure requires a nonconforming Use Permit, which is included as part of this application. The NCUP allows for relief from the requirements of the zoning district. A detailed discussion of the project’s compliance with the required NCUP findings is provided below in Section 4 of this report.

3. Conformance with Design Review District Guidelines

The CDRC considered this project at its regularly scheduled January 11, 2024 meeting. The CDRC reviewed and recommended approval of the project with conditions to make minor alterations to the plans in order to bring the project into better conformance with the applicable design review standards. These modifications have been included as Conditions of Approval in Attachment A of this report. Proposed colors and materials are shown on a color and materials board provided by the applicant in Attachment D. The CDRC found the project, as proposed and conditioned, to be in compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast, Section 6565.20 of the San Mateo County Zoning Regulations, specifically elaborated as follows:

- a. Section 6565.20 (C) SITE PLANNING AND STRUCTURE PLACEMENT; 1. Integrate Structures with the Natural Setting: The placement of the addition on the street facing side of the house and on a downslope demonstrates the design’s sensitivity to and consideration for the natural surroundings.

- b. Section 6565.20 (C) SITE PLANNING AND STRUCTURE PLACEMENT; 2. Complement Other Structures in the Neighborhood: The proposed deck faces the intersection of Lancaster Boulevard and Vue De Mer Avenue, and the proposed addition is located at the opposite side of the neighboring property to the east. As a result, the placement of the addition would harmonize with other structures in the neighborhood.
- c. Section 6565.20 (D) ELEMENTS OF DESIGN; 1b. Building Mass, Shape and Scale Neighborhood Scale: The proposed addition respects the scale of the neighborhood in terms of building dimensions, shapes, and façade articulations. In addition, the architectural details appear to be proportional and complementary to other homes in the neighborhood.
- d. Section 6565.20 (D) ELEMENTS OF DESIGN Architectural Styles and Features; 2a. The architectural design and style complement the predominant style of nearby homes, the coastal semi-rural and diverse character of the area, and the natural setting.
- e. Section 6565.20 (D)ELEMENTS OF DESIGN; 4.a.(3). Exterior Materials and Colors: The color palette achieves a warm, muted palette that blends in with the natural environment. Exterior materials and colors are complementary to the neighborhood and architecture of the house.

#### 4. Conformance with Non-Conforming Use Permit Findings

The existing residence, built in 1925, was constructed prior to the adoption and implementation of current Zoning Regulations, and does not conform to the current rear yard setback requirement. The existing residence currently provides a 4 foot-2-3/4-inch rear yard setback where 20 feet is required. As the proposed scope of work qualifies as a major addition/remodel/alteration where an existing non-conformity violates the required zoning standard by 50% or more, the non-conforming regulations require that the entire structure conform with Zoning Regulations currently in effect. Per Section 6135.5.(b) Non-Conforming Structures, this non-conformity results in the requirement of a Use Permit. Additionally, an exception is requested to allow one uncovered, off-street parking space where one covered space is required. Prior to building permits submitted in 2022 and issued in 2023, the project site included a one-bedroom single family development (SFD) residence with a two-car garage serving all required, covered, off-street parking. Once permits were issued to legalize the conversion of garage to a JADU, the parking was not required to be replaced due to State law. However, the current project proposes to increase the bedroom count from 1 to 2 bedrooms, thereby triggering the requirement for another covered, off-

street parking space to be provided. Due to parcel constraints the applicant has determined that they are unable to provide a new covered, off-street parking space. Therefore, the applicant is proposing to utilize the existing driveway (uncovered) to provide the required off-street parking space. Per Sections 6133 and 6137, the following findings must be made in order to approve a Use Permit for the project:

Section 6133

- a. **The proposed development is proportioned to the size of the parcel on which it is being built.**

The applicant proposes an addition of 943 sq. ft. which includes single-story, deck, and entry porch additions on a 7,540 sq. ft lot. The addition to the front and left side of the existing home fully complies with applicable Zoning Regulation standards including maximum allowable setbacks, lot coverage, floor area, and height, as required by the R1/S-17 District. The only nonconformity that exists is the rear portion of the home, currently setback 4-foot-2  $\frac{3}{4}$ -inch from the rear property line, where a 20 feet rear setback is required. The addition will not increase the rear setback nonconformity as its proposed on the opposite side of the home in the front and left side of the parcel. Therefore, the proposed development is proportioned to the size of the parcel on which it is being built.

- b. **All opportunities to acquire additional contiguous land in order to achieve conformity with the Zoning Regulations currently in effect have been investigated and proven to be infeasible.**

The subject parcel is conforming in size and even exceeds minimum lot size by more than 2,500 square feet. However, the parcel is unusual in its shape as it is semi-triangular and street facing on two-sides. This shape limits available building area towards the rear and center of the parcel. As mentioned previously, the existing residence is non-conforming because it was built closer to the rear property line than what the Zoning Regulations currently allow. Considering that the subject parcel is a corner lot and triangular in shape, there is only one property that abuts the subject property, and it is currently developed with a single-family residence. Therefore, there are no opportunities to acquire additional lands to remedy the non-conformity.

- c. **The proposed development is as nearly in conformance with the Zoning Regulations currently in effect as is reasonably possible.**

The proposed additions are located only at the front of the property where all locational criteria are met. The proposed single-story

addition and front deck will result in a 45-foot-6-inch front yard setback, a 10-foot-1 ¾-inch left side yard setback, and an 18 foot-8 ½-inch right side yard setback. The proposed project also complies with the maximum allowable lot coverage and floor area ratios which confirm that the project is proportional to parcel on which it is to be located. Similarly, the request for exception to the off-street parking requirement is only desired because the existing covered parking on site was legally converted to Accessory Dwelling Unit (ADU), which meets the intent of the State ADU legislation and regional housing goals. On site, the applicant has a driveway serving the formerly covered parking, and can provide the required one off-street, albeit uncovered space in that area without need to do any earthwork or create additional impervious surfaces on the site. Therefore, the project is as nearly in conformance with the Zoning Regulations currently in effect as is reasonably possible.

- d. **That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood.**

The project site is not located on a coastal bluff and would be served by public utilities. The project site is developed and the proposed addition to an existing single-family residence is consistent with the surrounding single-family residential neighborhood. As discussed in this report, the project complies with applicable policies of the General Plan and Design Review standards. Therefore, the project, as proposed and conditioned, would not result in significant adverse impact to coastal resources or be detrimental to the public welfare or injurious to property or improvements in the neighborhood.

- e. **Use Permit approval does not constitute a granting of special privileges.**

This project does not constitute a granting of special privileges, as the project is as nearly in conformance with the R-1/S-17 Zoning District regulations as is reasonably possible and other similarly situated parcels may also be developed pursuant to the applicable regulations.

Section 6137

- a. **The Planning Commission, at a public hearing, may grant a Use Permit to except any provision in this Chapter which restricts the continuation, enlargement, reestablishment or replacement of a non-conforming use, structure or situation. The Use Permit shall**



**be processed in accordance with the procedures and requirements of Section 6503. Notwithstanding the provisions of this subsection 1, no Use Permit may be granted to exceed maximum floor area, height, and parcel coverage for parcels located in the Midcoast.**

The request for an exception to the off-street parking requirement, requiring a NCUP, is requested because of the parking situation that currently exists on site. The previous covered, off-street parking (garage) that served the one-bedroom SFD was legally converted to a JADU, which meets the intent of the State ADU legislation and regional housing goals. The conversion of existing garage to JADU did not require a replacement of covered parking. The current proposal of adding one-bedroom triggers the requirement of an additional off-street, covered parking space, but because the covered parking on site was already converted to living space, the only space on parcel available for parking is the driveway serving the formerly covered parking. The driveway location can provide the required one off-street, albeit uncovered space without need to do any earthwork or create additional impervious surfaces on the site. Therefore, the project is as nearly in conformance with the Zoning Regulations currently in effect as is reasonably possible.

B. Local Coastal Program (LCP)

The project qualifies for a categorical exemption from the requirement to obtain a Coastal Development Permit because it includes an addition to an existing single-family residence for a property which is not located between the sea and the first through, improved public road paralleling the sea, or within 300 feet of the inland extent of any beach or of the mean high tide of the sea where there is no beach, a coastal bluff, and/or within a County or State scenic corridor. The project also has an existing water supply and municipal sewer connection.

C. MIDCOAST COMMUNITY COUNCIL

A project referral was sent to the Midcoast Community Council (MCC) on February 17, 2023, for the proposed project. A representative from the MCC responded on February 21, 2023, that the MCC had received the project referral and had no further comments, except that the addition must be proportional to the existing structure.

D. ENVIRONMENTAL REVIEW

This project is categorically exempt from the California Environmental Quality Act (CEQA), pursuant to CEQA Guidelines Section 15301, Class 1, relating to an addition to an existing structure where the addition will not result in an increase of

10,000 sq. ft. if: (A) the project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan, and (B) the area in which the project is located is not environmentally sensitive. The proposed project meets the criteria of (A) as project location is fully served by water, sewer, fire, other relevant service districts that allow for maximum development as a medium density residential designation per its General Plan designation. For criteria (B), the proposal will occur on an already developed site within an existing residential neighborhood with a low likelihood for presence of environmental or coastal resources that the project could affect, and the project would not disturb any previously undisturbed areas.

E. REVIEWING AGENCIES

Building Inspection Section  
Department of Public Works  
Midcoast Community Council  
Montara Water and Sanitary District  
Coastside Fire Protection District

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Location Map
- C. Proposed Plans, date received July 28, 2023
- D. Colors and Materials Board, date received July 28, 2023
- E. Letter of Recommendation by Coastside Design Review Officer, dated February 7, 2024

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County of San Mateo  
Planning and Building Department

**RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL**

Permit File Number: PLN2023-00051

Hearing Date: March 27, 2024

Prepared By: Sam Becker, Project Planner

For Adoption By: Planning Commission

**RECOMMENDED FINDINGS**

Regarding Environmental Review, Find:

1. The project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15301 Class 1, relating to additions to existing structures provided that the addition will not result in an increase of more than 10,000 sq. ft. given that the project is an area where all relevant services and facilities are available, that the proposed development is permissible under the General Plan designation for the project location, and the project area is located on an already developed parcel within an existing residential neighborhood and would not disturb any previously undisturbed, environmentally sensitive areas.

Regarding the Design Review, Find:

2. That, as determined by the CDRC at its meeting of January 11, 2024, the project is in compliance with applicable Design Review Standards for the Coastsides. The project, as designed and conditioned, incorporates a covered parking/garage pattern, window type/placement, and landscaping which is consistent with the character of the surrounding neighborhood. The project, as designed and conditioned, complements the predominant style of the surrounding neighborhood homes. The project is well articulated; uses colors and materials that appear natural; incorporates drought tolerant, native and non-invasive plant species; and uses downward-directed exterior lighting fixture.
  - a. Section 6565.20 (C) SITE PLANNING AND STRUCTURE PLACEMENT; 1. Integrate Structures with the Natural Setting: The placement of the addition on the street facing side of the house and on a downslope demonstrates the design's sensitivity and consideration for the natural surroundings.
  - b. Section 6565.20 (C) SITE PLANNING AND STRUCTURE PLACEMENT; 2. Complement Other Structures in the Neighborhood: The proposed deck faces the intersection of Lancaster Boulevard and Vue De Mer Avenue, and

the proposed addition is opposite neighboring property to the east. As a result, the placement of the addition would harmonize with other structures in the neighborhood.

- c. Section 6565.20 (D) ELEMENTS OF DESIGN; 1b. Building Mass, Shape and Scale Neighborhood Scale: The proposed addition respects the scale of the neighborhood in terms of building dimensions, shapes, and facade articulations. In addition, architectural details that appear proportional and complementary to other homes in the neighborhood.
- d. Section 6565.20 (D) ELEMENTS OF DESIGN Architectural Styles and Features; 2a. The architectural design and style complements the predominant style of nearby homes, the coastal semi-rural and diverse character of the area, and the natural setting.
- e. Section 6565.20 (D)ELEMENTS OF DESIGN; 4.a.(3). Exterior Materials and Colors: The color palette achieves a warm, muted palette that blends in with the natural environment and exterior materials and colors are complementary to the neighborhood and architecture of the house.

Regarding the Non-Conforming Use Permit, Find:

- 3. That the proposed development is proportioned to the size of the parcel on which it is being built, as the project, as proposed and conditioned, complies with the floor area, lot coverage, and height requirements of the R-1/S-17 Zoning District.
- 4. As the parcel is a corner parcel and only has one adjacent lot that is already developed, all opportunities to acquire additional contiguous land in order to achieve conformity with the Zoning Regulations currently in effect have been investigated and proven to be infeasible.
- 5. That the proposed development is as nearly in conformance with the Zoning Regulations currently in effect as is reasonably possible. Based on the reasonable size of the proposed addition, and compliance with lot coverage, floor area, height and front and side setback standards, the project is as nearly in conformance with the Zoning Regulations currently in effect as is reasonably possible.
- 6. That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood. The subject site does not contain sensitive habitat and the CDRC has found that the project is in compliance with applicable design review standards, including that the scale is proportional and complimentary to other homes in the neighborhood.

7. That Use Permit approval does not constitute a granting of special privileges, as the project is as nearly in conformance with the Zoning Regulations currently in effect as is reasonably possible and because the same process is available to similarly situated properties.
8. That a Use Permit may be granted by the Planning Commission, at a public hearing, to except any provision which restricts the continuation, enlargement, reestablishment, or replacement of a non-conforming use, structure or situation. No Use Permit may be granted to exceed maximum floor area, height, and parcel coverage for a parcel located in the Midcoast. Based on the conditions on site, a Use Permit granted for one uncovered, off-street parking space where one covered, off-street space is required, would fit under this exception.

## **RECOMMENDED CONDITIONS OF APPROVAL**

### **Current Planning Section**

1. The project shall be constructed in compliance with the plans approved by the Planning Commission on March 27, 2024, and as reviewed by the CDRC on January 11, 2024. Any changes or revisions to the approved plans are subject to review and approval by the Director of Planning and Building. Minor adjustments to project design may be approved by the Design Review Officer if they are consistent with the intent of and are in substantial conformance with this approval. Alternatively, the Design Review Officer may refer consideration of the revisions to the CDRC, with applicable fees to be paid.
2. The NCUP and Design Review Permit shall be valid for five (5) years from the date of final approval, in which time a building permit shall be issued, and a completed inspection (to the satisfaction of the Building Inspector) shall have occurred within 180 days of issuance of the building permit. The expiration date of the permits may be extended by one 1-year increment with submittal of an application for permit extension and payment of applicable extension fees 60 days prior to the expiration date.
3. The applicant shall include a copy of the final approval letter on the top page of the building plans to provide the Planning approval date and required conditions of approval on the on-site plans.
4. The applicant shall indicate the following on plans submitted for a building permit, as stipulated by the Coastside Design Review Committee:
  - a. Section 6565.20 (D) ELEMENTS OF DESIGN; 4a(3). Exterior Materials and Colors: Black metal railings and natural redwood deck surfaces shall be used to achieve a warm, muted color palette.

- b. Section 6565.20 (F) LANDSCAPING, PAVED AREAS, FENCES, LIGHTING AND NOISE; 4b. Lighting: Dark sky compliant exterior lighting fixtures shall be used so that light and glare can be directed away from neighbors and confined to the site.
5. The CDRC also made the following suggestion for the applicant to consider regarding potential modification to improve the project:
  - a. Modify the existing roof design to match the existing roof slope and/or change the gable roof slope to match the 4:12 ratio of larger roof.
6. The property owner shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including, but not limited to, the following:
  - a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
  - b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
  - c. Performing clearing and earth-moving activities only during dry weather.
  - d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
  - e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
  - f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
  - g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
  - h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated
  - i. Limiting and timing applications of pesticides and fertilizers to prevent polluted runoff.

- j. Limiting construction access routes and stabilization of designated access points.
  - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
  - l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
  - m. Removing spoils promptly, and avoiding stockpiling of fill materials, when rain is forecast. If rain threatens, stockpiled soils and other materials shall be covered with a tarp or other waterproof material.
  - n. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
  - n. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
7. The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.
8. No site disturbance shall occur, including any vegetation removal or land disturbance, until a building permit has been issued.
9. To reduce the impact of construction activities on neighboring properties, comply with the following:
- a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
  - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.

- c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the right-of-way on Lancaster Boulevard and Vue de Mer Avenue. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on Lancaster Boulevard and Vue de Mer Avenue. There shall be no storage of construction vehicles in the public right-of-way.
10. Color and materials verification shall occur in the field after the applicant has applied the approved materials and colors but before a final inspection has been scheduled.
11. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 5:00 p.m. Saturdays. Said activities are prohibited on Sundays, Thanksgiving and Christmas (San Mateo County Ordinance Code Section 4.88.360).

#### Building Inspection Section

12. A building permit is required for this project.

#### Department of Public Works

13. Prior to the issuance of the building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No.3277.
14. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. Applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.

#### Geotechnical Section

15. At time of building permit submittal, a final grading and drainage plan consistent with County requirements shall be provided for County geotechnical evaluation and the determination if any geotechnical reports shall be required. Project will be reviewed by geotechnical reviewer at the building permit stage.

#### Drainage Section

16. At the time of building permit submittal, a final grading and drainage plan consistent with the requirements of the County Drainage Manual and a final C.3 and C.6 Development Review Checklist shall be required.



### Montara Water and Sanitary District (MWSD)

17. Submit Existing Service Application and pay for the initial application fees based on the remodeling type determined by Montara Water and Sanitary District.
18. Applicant shall follow the procedures specified in the Existing Service Application Packet. Video CCTV lower lateral and submit to MWSD (sanitary district) for review. Any defects or pipe that is not to current District code shall be replaced. Current code construction details and additional backflow protection requirements shall apply. Second lateral for new addition may be required.
19. Water meter addition may be required. The condition of the existing water meter(s), BFP and water lateral connection shall be inspected by MWSD to determine if they are in good working condition; MWSD may require repair or replacement of the existing water meter(s), BFP and water lateral connection.
20. If connection to the MWSD's fire protection system is required: Certified Fire Protection Contractor must certify adequate fire flow calculations. Connection fee for fire protection system is required. Connection charge must be paid prior to issuance of Private Fire Protection permit.
21. Applicant shall first apply directly to the MWSD for permits and not their contractor.

### Coastside Fire Protection District (District)

22. At the building permit stage add the following note to plans: Smoke Alarms which are hard wired: As per the California Building Code, and State Fire Marshal regulations, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hard wired, interconnected, and have battery backup. These detectors are required to be placed in each new and reconditioned sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final. Date of installation must be added to the exterior of the smoke alarm and will be checked at final.
23. At the building permit stage add the following note to plans: Escape or rescue windows shall have a minimum net clear openable area of 5.7 sq. ft., 5.0 sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor. (CFC 2022 section 1030.2).

24. At the building permit stage add the following note to plans: Residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. The letters/numerals for permanent address signs shall be 4 inches in height with a minimum 1/2-inch stroke. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire Protection District. This remote signage shall consist of a 6 inch by 18 inch green reflective metal sign with 3 inch reflective Numbers/ Letters similar to Hy-Ko 911 or equivalent. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE).
25. As per Coastside Fire Protection District Ordinance 2022-01, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly in SRA High shall have a minimum fire rating of Class "A" as defined in the current edition of the California Building Code.
26. At the building permit stage add the following note to plans: Vegetation Management (SRA) - The 2022 California Fire Code Chapter 49 and Public Resources Code 4291.A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor an authorization for the removal of living trees. Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity. Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.
27. Fire Access Roads – The applicant must have a maintained asphalt surface road for ingress and egress of fire apparatus. The San Mateo County Department of Public Works, the Coastside Fire Protection District Ordinance 2022-01, and the California Fire Code (CFC) shall set road standards. As per the 2022 CFC, dead-end roads exceeding 150 feet shall be provided with a turnaround in accordance with Coastside Fire Protection District specifications. As per the 2022 CFC, Section Appendix D, road width shall not be less than 20 feet. Fire access roads shall be installed and made serviceable prior to combustibles being placed on the project site and maintained during construction. Approved signs and painted curbs or lines shall be provided and maintained to identify fire access roads and state the prohibition of their obstruction. If the road width does not allow parking on the street (20-foot road) and on-street parking is desired, an additional improved area shall be developed for that use.

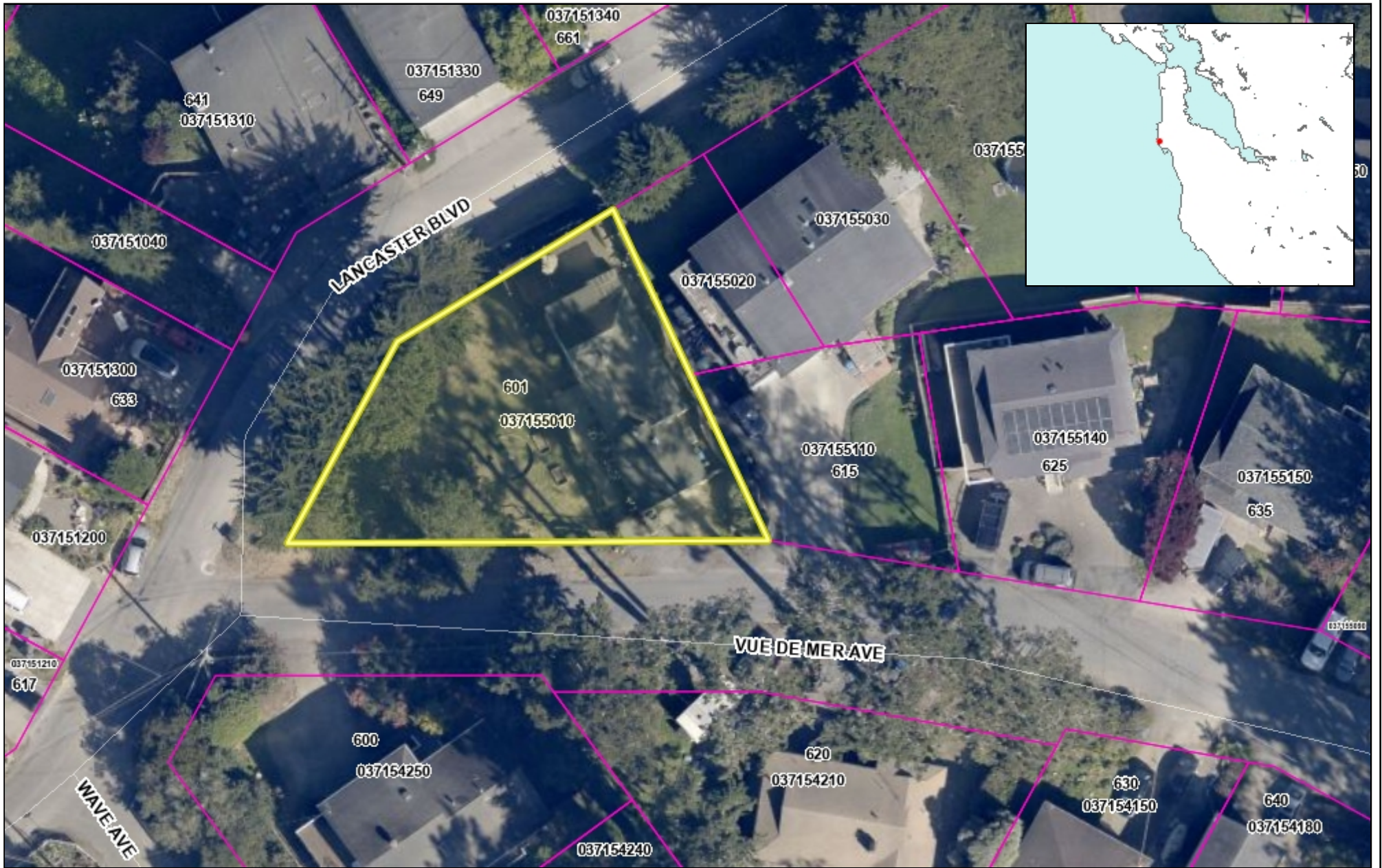
28. As per 2022 CFC, Appendix B and C, a fire district approved fire hydrant (Clow 960) must be located within 500 feet of the proposed single-family dwelling unit measured by way of drivable access. As per 2022 CFC, Appendix B the hydrant must produce a minimum fire flow of 500 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details.
29. If Automatic Fire Sprinklers are required:
  - a. (Fire Sprinkler plans will require a separate permit). As per San Mateo County Building Regulations and Coastside Fire Protection District Ordinance Number 2022-01, the applicant is required to install an automatic fire sprinkler system throughout the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. Sprinkler coverage shall be provided throughout the residence to include all bathrooms, garages, and any area used for storage. The only exception is small linen closets less than 24 sq. ft. with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Department. A building permit will not be issued until plans are received, reviewed and approved. Upon submission of plans, the County will forward a complete set to the Coastside Fire Protection District for review.
  - b. Installation of underground sprinkler pipe shall be flushed and visually inspected by Fire District prior to hook-up to riser. Any soldered fittings must be pressure tested with the trench open. Please email the Coastside Fire Protection District to schedule an inspection: [cfpdfiremarshal@fire.ca.gov](mailto:cfpdfiremarshal@fire.ca.gov) . Fees shall be paid prior to plan review.
  - c. Exterior bell and interior horn/strobe are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe and flow switch, along with the garage door opener are to be wired into a separate circuit breaker at the main electrical panel and labeled.
30. Solar Photovoltaic Systems: These systems shall meet the requirements of the 2022 CFC Section 1204.2.1 and require a separate permit.

20240327\_PLN2023-00051\_PCSR\_WPC\_FINAL



**County of San Mateo - Planning and Building Department**

# **ATTACHMENT B**



0.02 0 0.01 0.02 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.

1:564



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

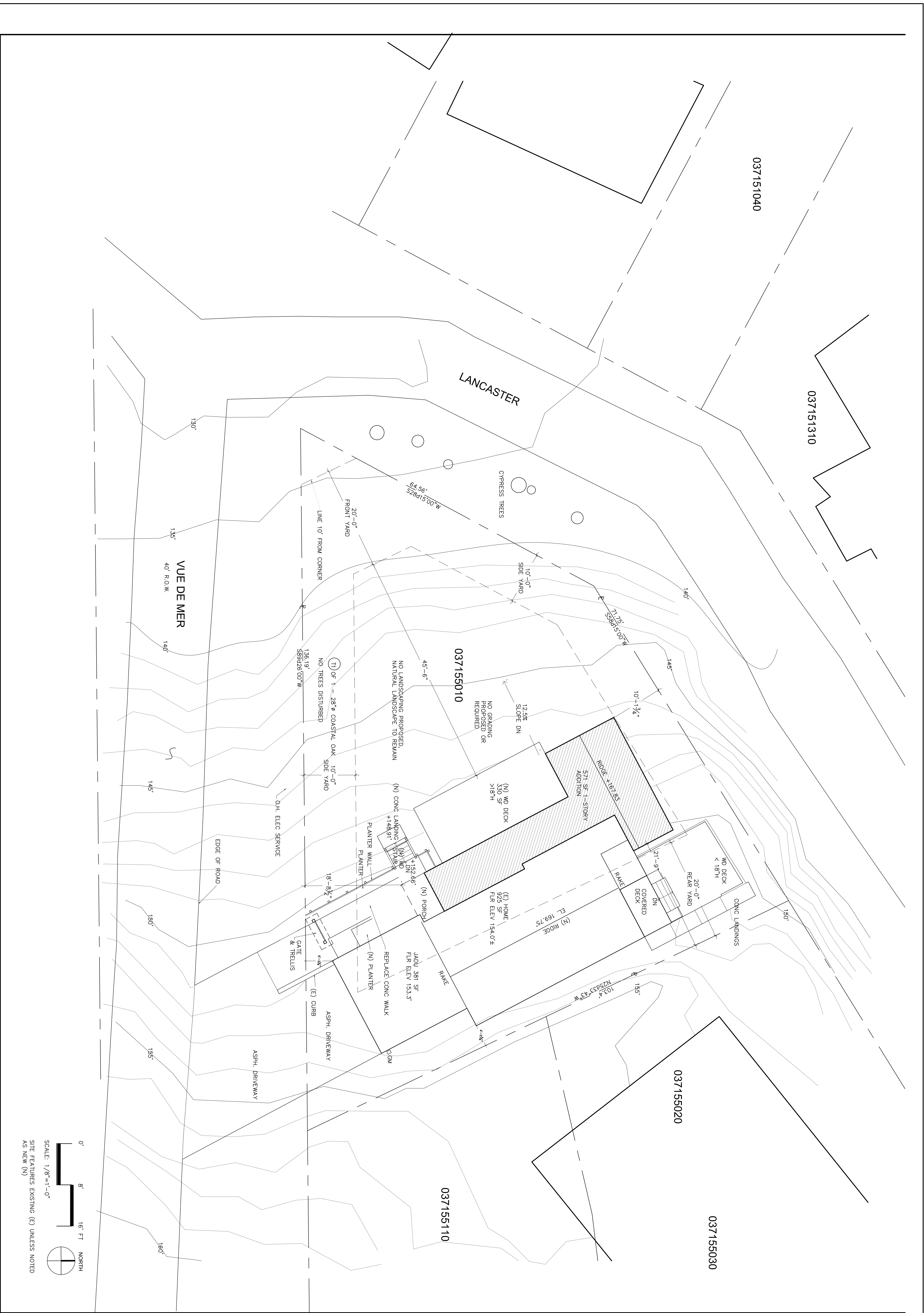
**THIS MAP IS NOT TO BE USED FOR NAVIGATION**



**County of San Mateo - Planning and Building Department**

# **ATTACHMENT C**





Revision



**GAWOSKI ARCHITECTS**  
 10 Nevada Street San Rafael, CA 94901  
 Douglas Gawoski 415 · 342 · 5351

**Dahmen-Hwang Residence**  
**Addition & Remodel**  
 601 Vue de Mer, Moss Beach, CA  
 APN 037155010

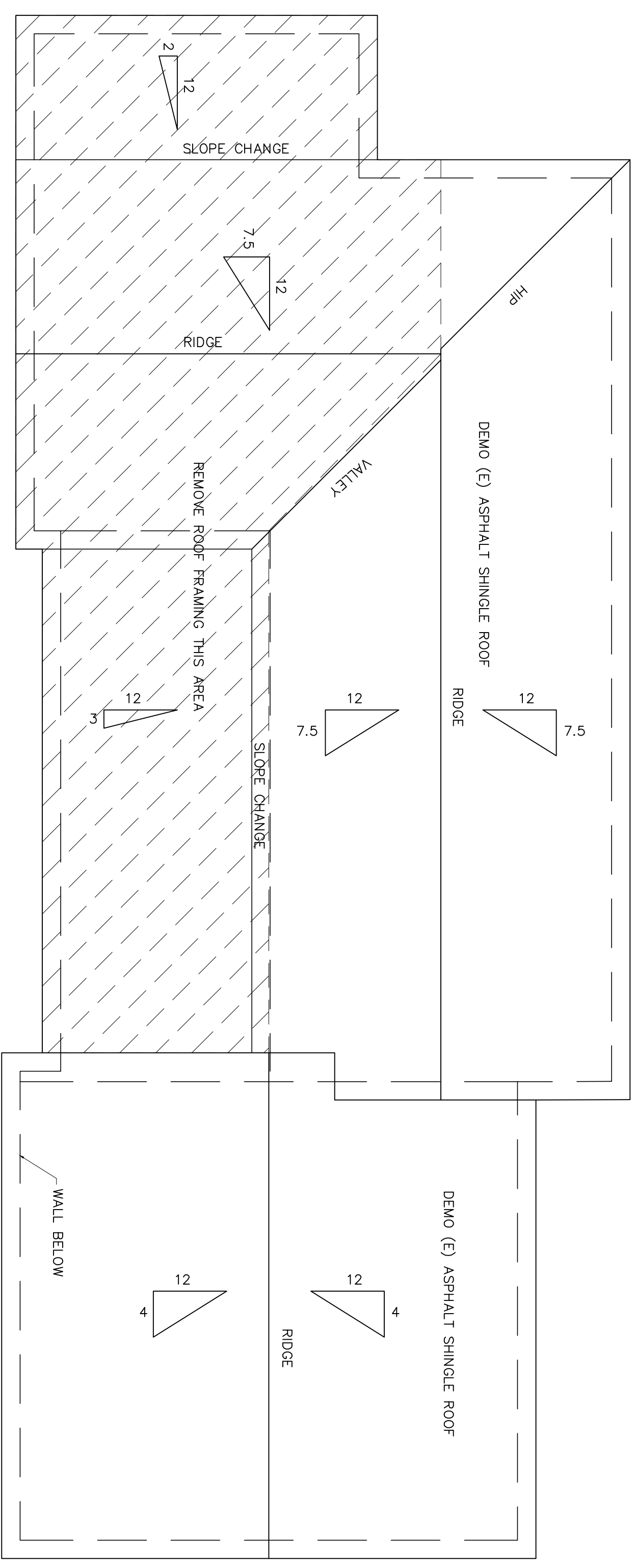
**SITE PLAN**

0' 8' 16' FT NORTH  
 SCALE: 1/8"=1'-0"  
 SITE FEATURES EXISTING (E) UNLESS NOTED  
 AS NEW (N)

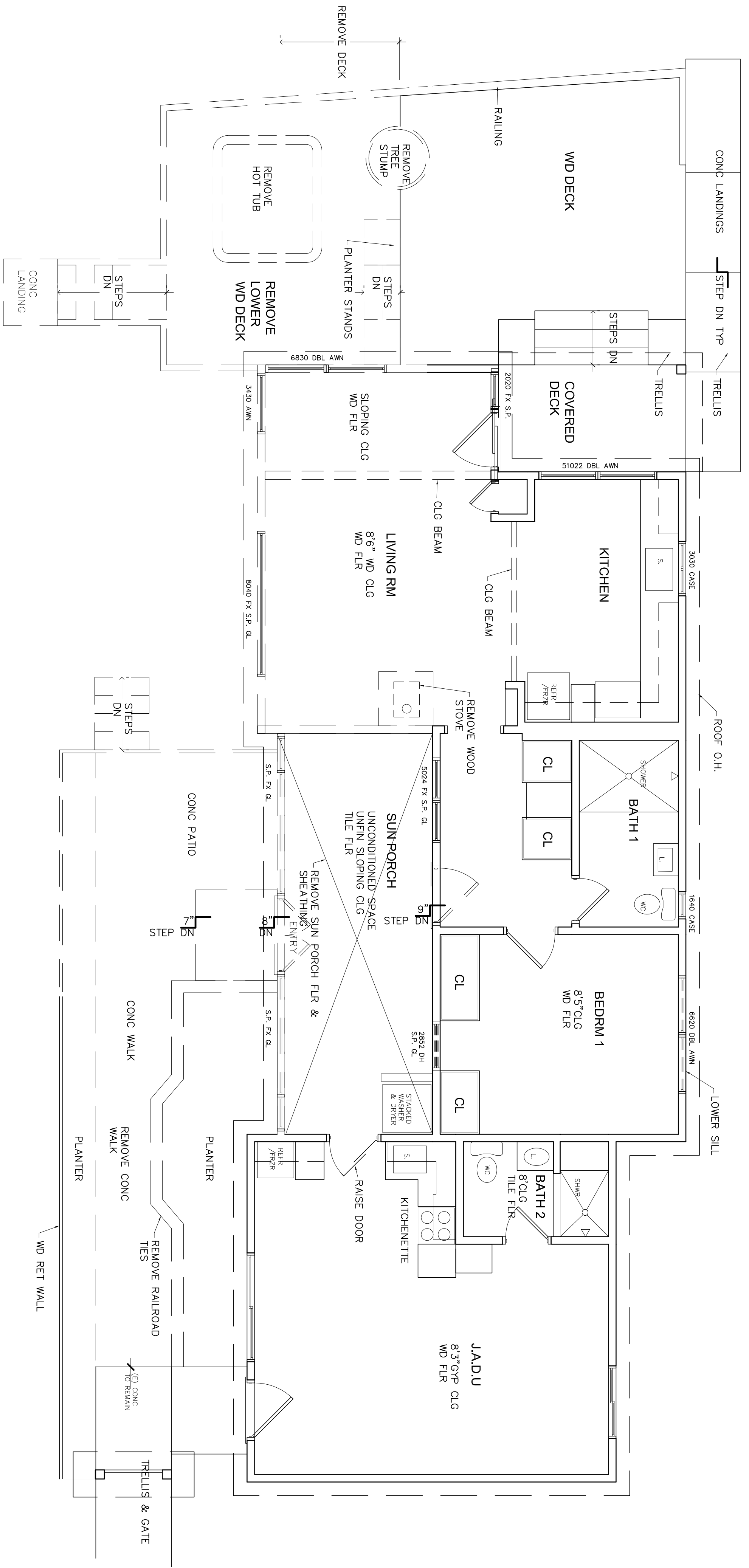
**A1.0**

Date: 7-28-23  
 Scale: 1/8"=1'-0"  
 Drawn by: DSG  
 Job: 2121  
 Sheet:

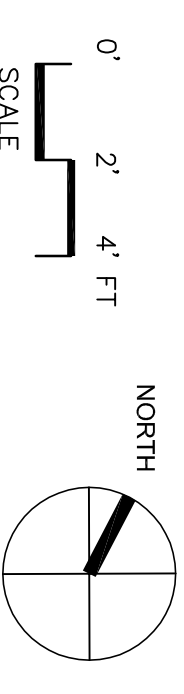




EXISTING ROOF PLAN



EXISTING FLOOR PLAN



EXISTING HOME 1,307 SF INCL UNCOND. SUN PORCH, 381 SF JADU.

Revision



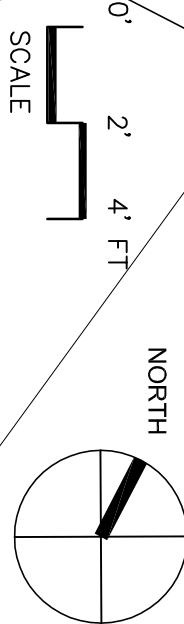
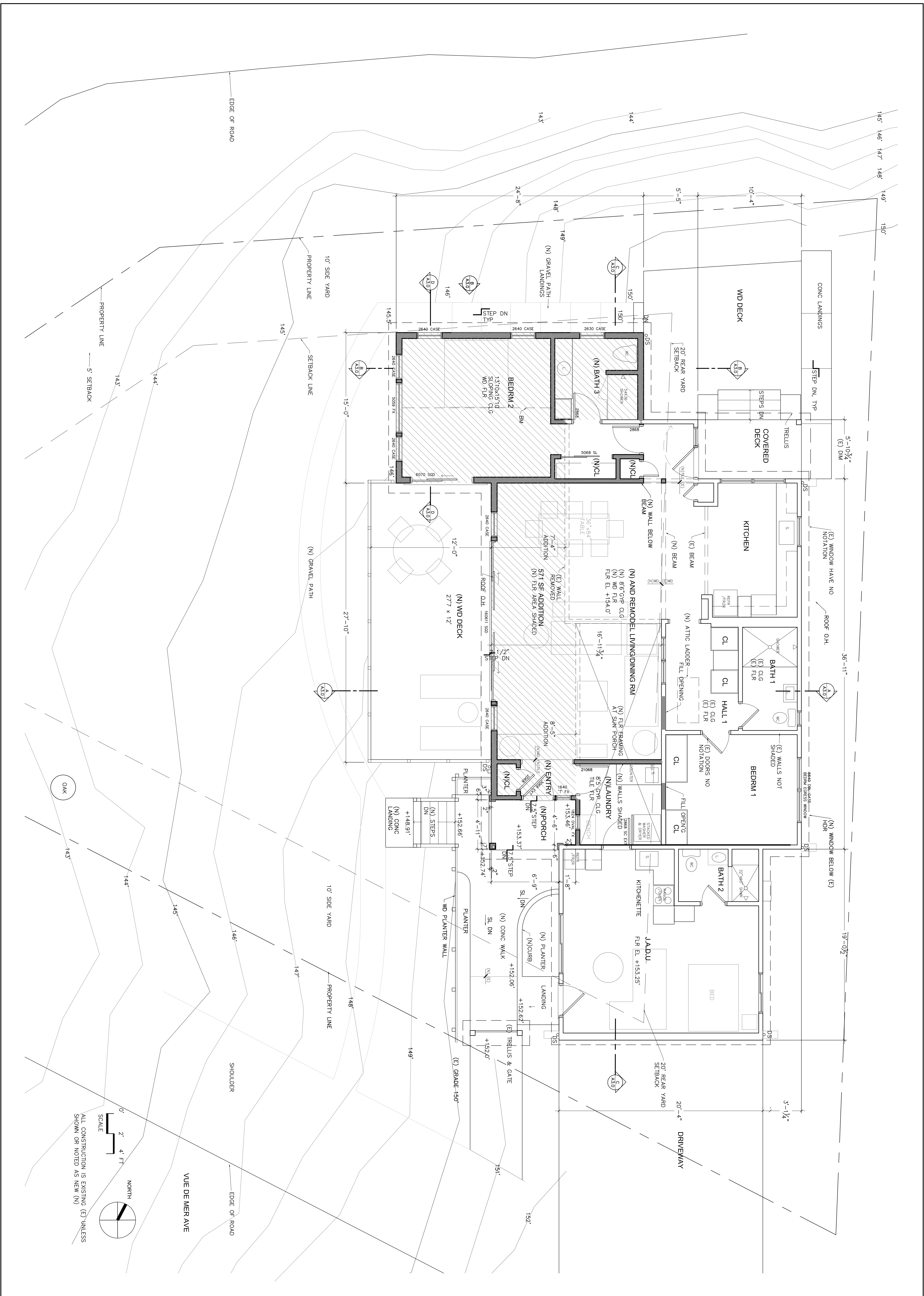
**GAWOSKI ARCHITECTS**  
 10 Nevada Street San Rafael, CA 94901  
 Douglas Gawoski 415 · 342 · 5351

**Dahmen-Hwang Residence**  
**Addition & Remodel**  
 601 Vue de Mer, Moss Beach, CA  
 APN 037155010

**EXISTING FLOOR & ROOF PLANS**

Date: 7-19-23  
 Scale: 1/4"=1'-0"  
 Drawn by: DSG  
 Job: 2121

Sheet: **A2.0**



ALL CONSTRUCTION IS EXISTING (E) UNLESS SHOWN OR NOTED AS NEW (N)

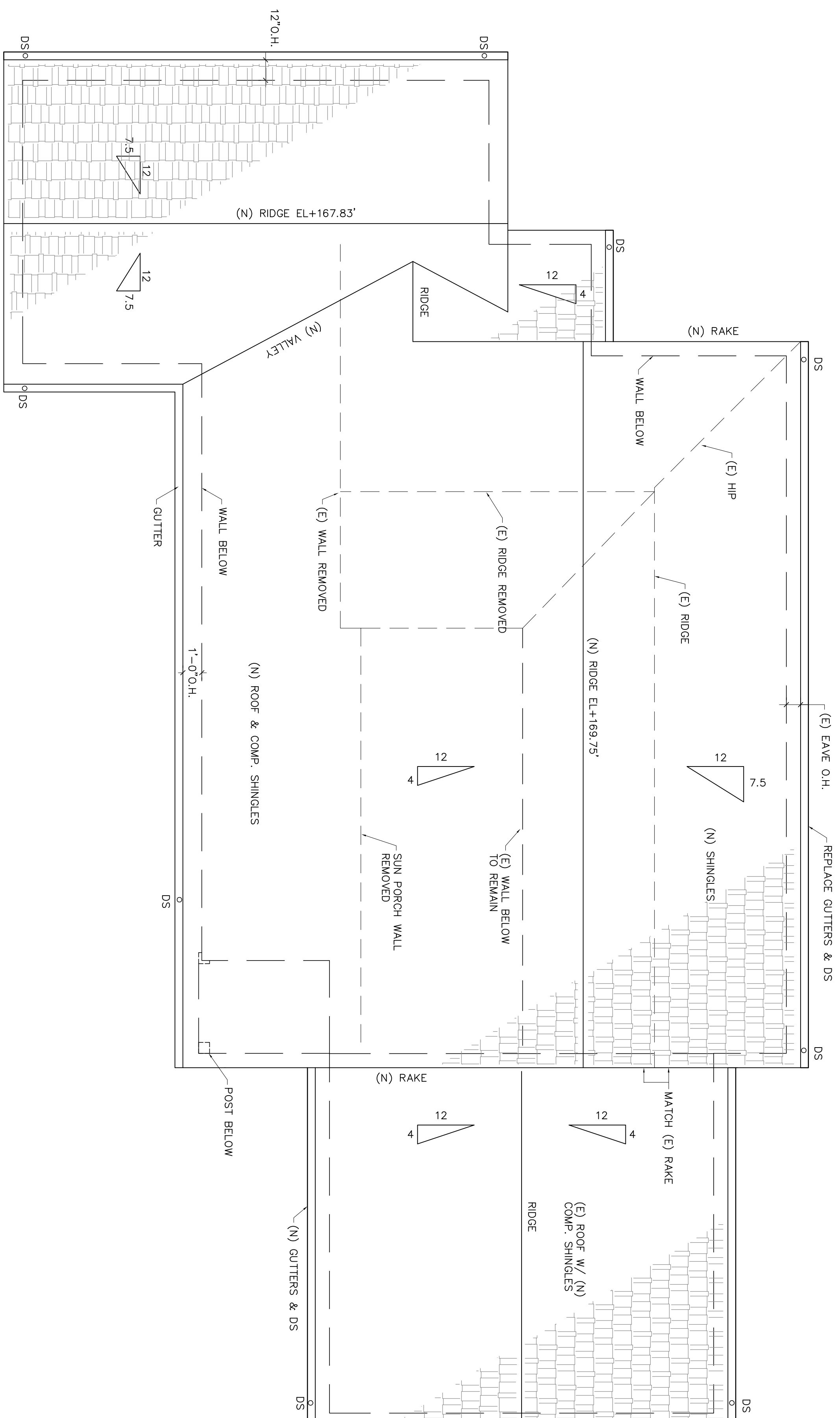
# NEW FLOOR PLAN

**Dahmen-Hwang Residence**  
**Addition & Remodel**  
 601 Vue de Mer, Moss Beach, CA  
 APN 037155010

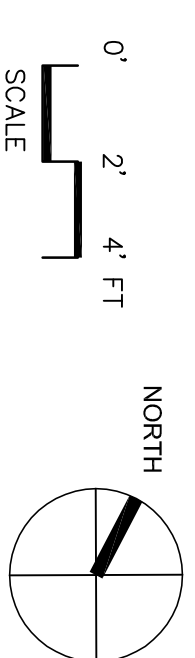
**GAWOSKI ARCHITECTS**  
 10 Nevada Street Douglas Gawoski  
 San Rafael, CA 94901 415 · 342 · 5351

Date: 7-19-23  
 Scale: 1/4"=1'-0"  
 Drawn by: DSG  
 Job: 2121  
 Sheet: A2.1

Revision



**NEW ROOF PLAN**



**NEW ROOF PLAN**

**Dahmen-Hwang Residence**  
**Addition & Remodel**  
**601 Vue de Mer, Moss Beach, CA**  
**APN 037155010**



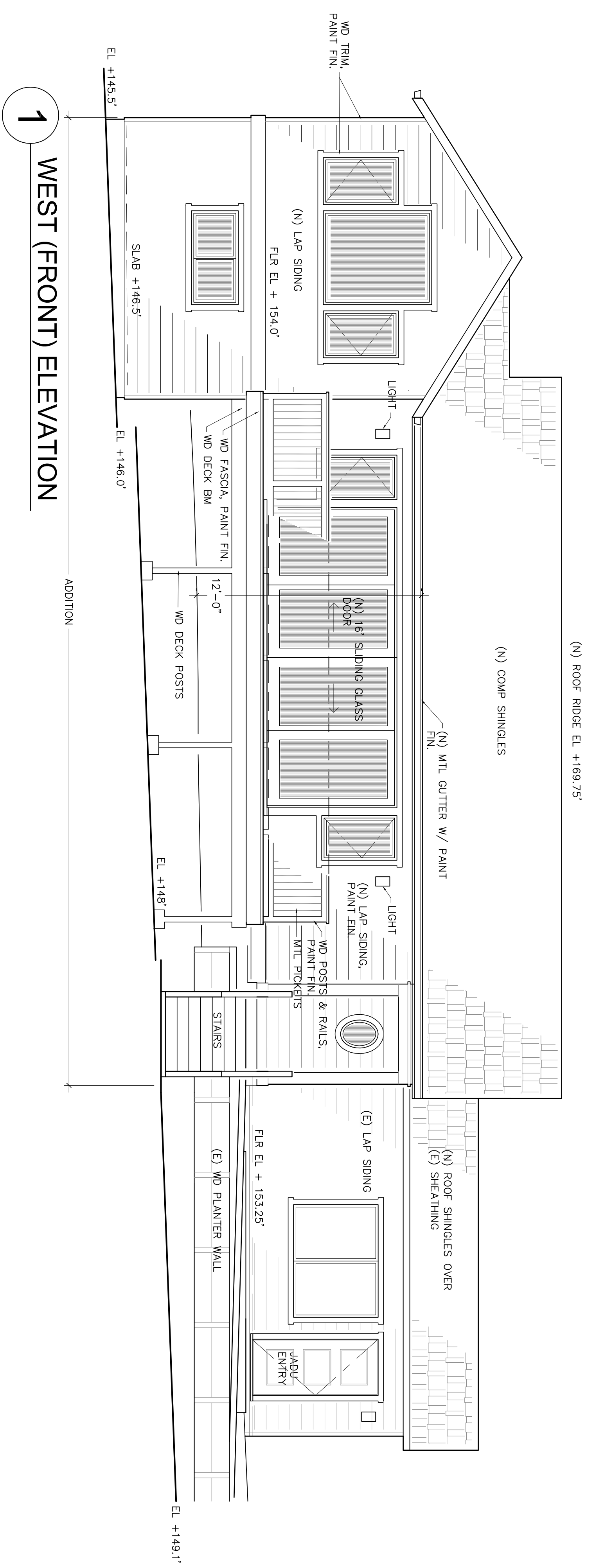
**GAWOSKI ARCHITECTS**  
 10 Nevada Street Douglas Gawoski  
 San Rafael, CA 94901 415 · 342 · 5351

**A2.2**

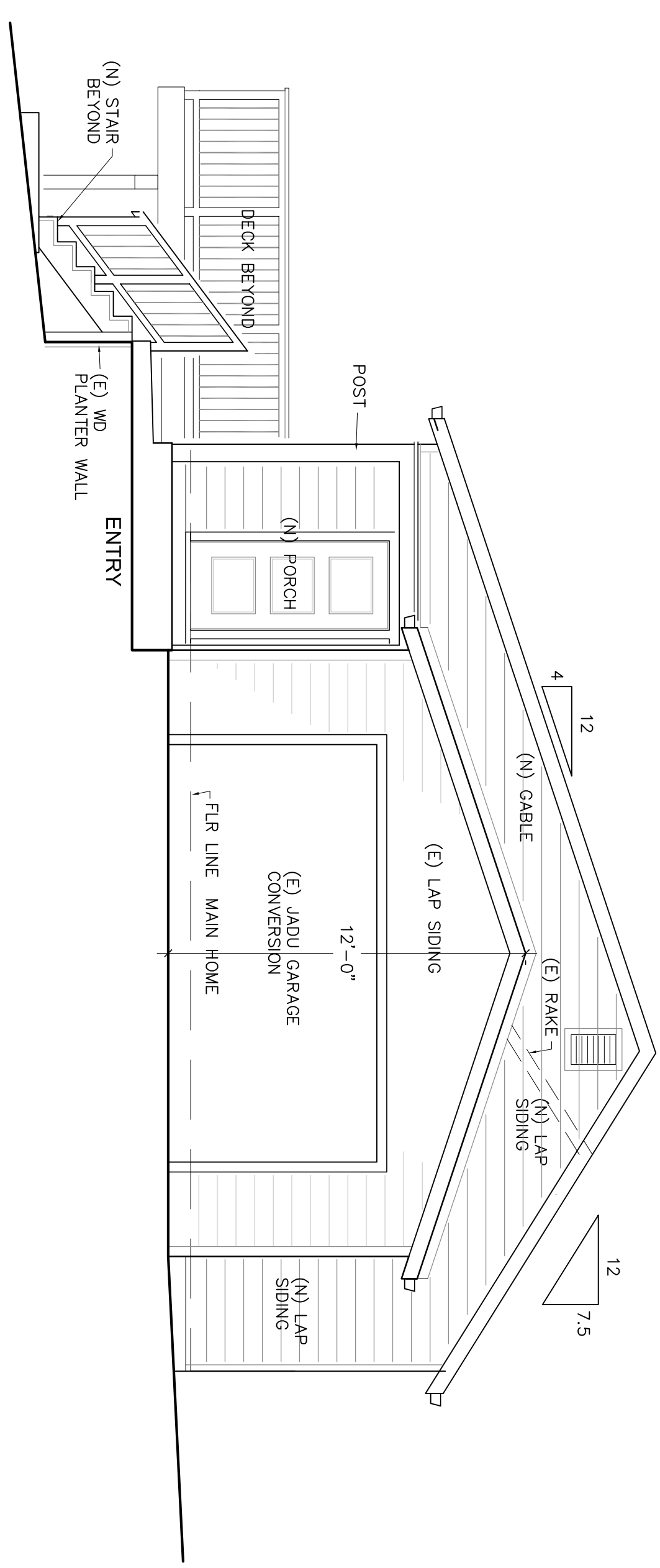
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 Sheet:

Revision

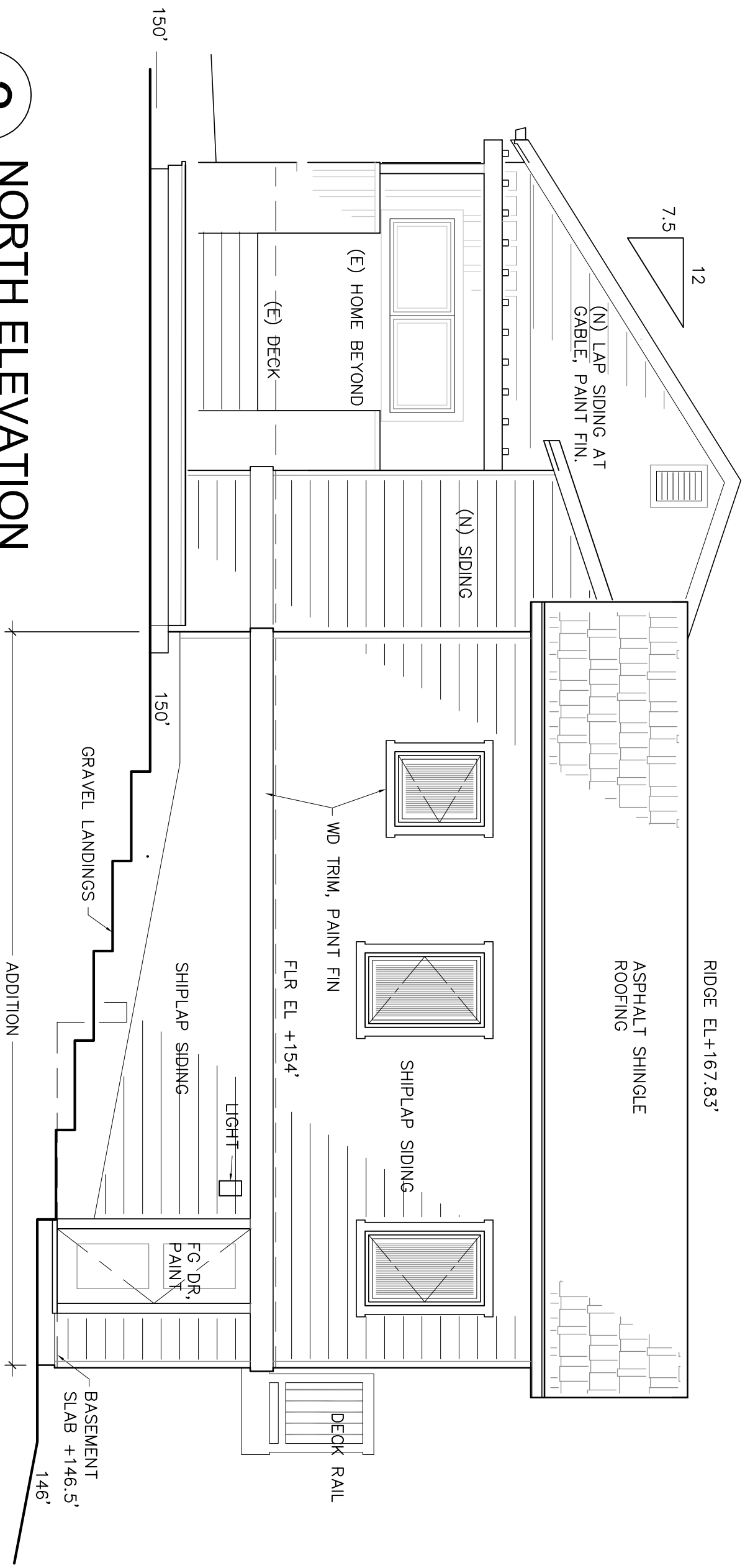




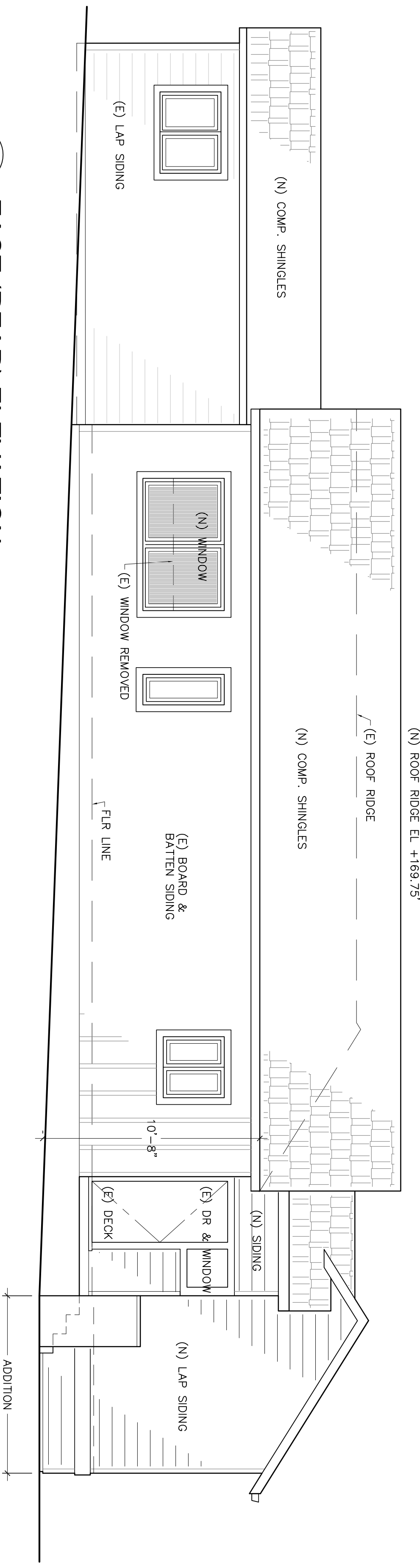
**1 WEST (FRONT) ELEVATION**



**2 SOUTH ELEVATION**

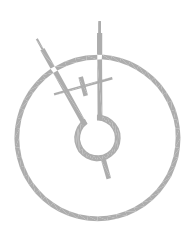


**3 NORTH ELEVATION**



**4 EAST (REAR) ELEVATION**

Revision



**GAWOSKI ARCHITECTS**  
 10 Nevada Street Douglas Gawoski  
 San Rafael, CA 94901 415 · 342 · 5351

**Dahmen-Hwang Residence**  
**Addition & Remodel**  
 601 Vue de Mer, Moss Beach, CA  
 APN 037155010

**ELEVATIONS**

Date: 7-19-23

Scale: 1/4"=1'-0"

Drawn by: DSG

Sheet: 2121

**A4.0**



LANCASTER

BLVD.

VUE DE MER

AVE

LOT 1

LOT 2

LOT 3

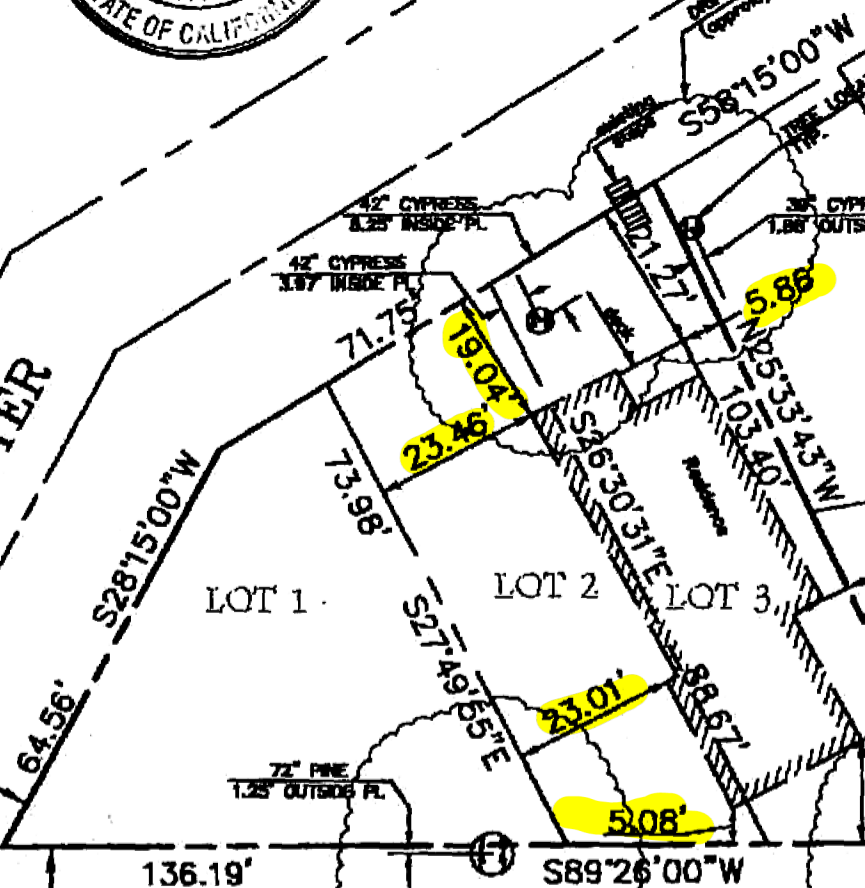
LOT 27

42" CYPRESS  
8.25" INSIDE PL.  
42" CYPRESS  
3.97" INSIDE PL.

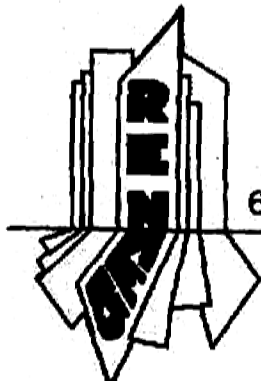
36" CYPRESS  
1.88" OUTSIDE PL.

72" PINE  
1.25" OUTSIDE PL.

36" PINE  
0.75" OUTSIDE PL.



SCALE: 1"=30'



# SURVEY PLAT

BUILDING SETBACKS

LANDS OF J. ASHBROOK & L. CLARK  
601 VUE DE MER AVE., MOSS BEACH, CA

## RENNER GROUP

226 LORTON AVE.  
BURLINGAME, CA. 94010

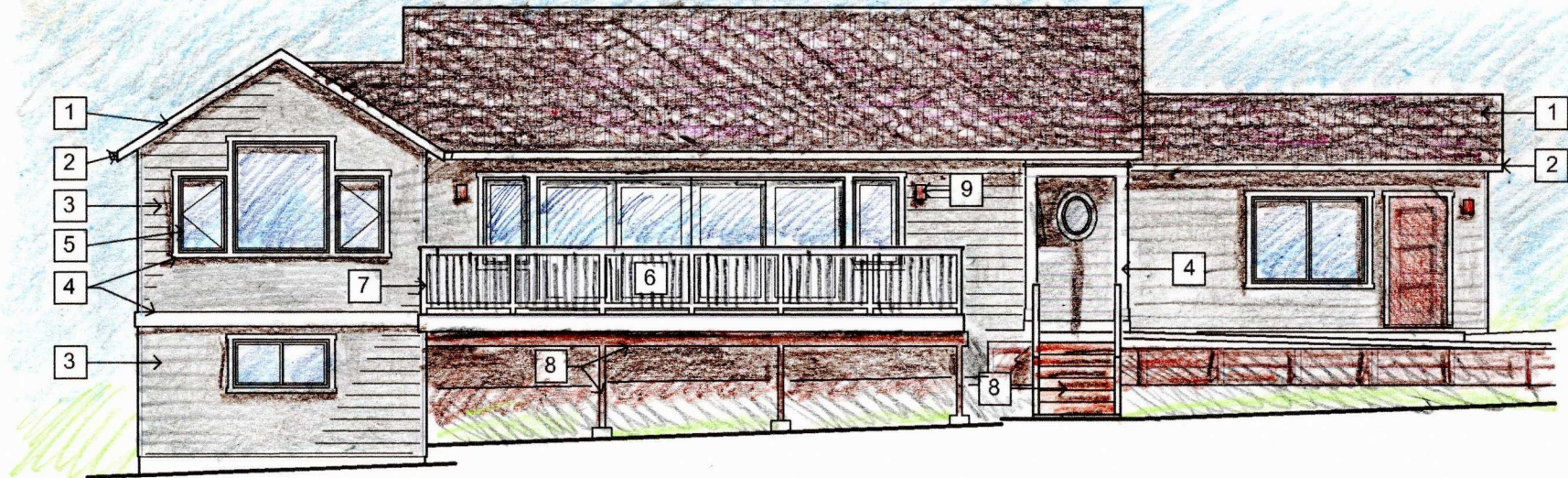
PH: (650)685-8131 FAX: (650)685-8313

CLIENT: ASHBROOK/CLARK JOB NO: 1244-01 SURVEY: RS DATE: 11/11/02

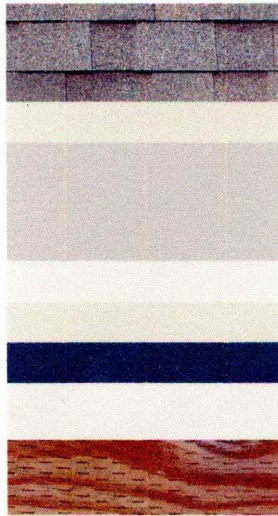


**County of San Mateo - Planning and Building Department**

# **ATTACHMENT D**



**KEY**



- 1 Composition shingle roofing - O-C driftwood color
- 2 Aluminum gutters - prefinished
- 3 Lap siding - paint finish BM-465 thunder
- 4 Wood trim - paint finish BM PM-19 white dove
- 5 Fiberglass window frames - prefinished white
- 6 Metal rail pickets - prefinished
- 7 Wood deck posts & rails - paint finish BM PM-19 white dove
- 8 Deck posts and beam, stairs - natural wood



KICHLER 9025 MORRIS

- 9 Exterior light



**COLOR AND MATERIALS**

Dahman -Hwang Residence  
601 Vue de Mer, Moss Beach

July 28, 2023





**County of San Mateo - Planning and Building Department**

# **ATTACHMENT E**

February 21, 2024

Doug Gawoski  
17 Circle Road  
San Rafael, CA 94901

Dear Doug:

SUBJECT: Coastside Design Review Recommendation  
601 Vue De Mer Avenue, Moss Beach  
APN: 037-155-010, County No. PLN2023-00051

At its meeting of January 11, 2024, the San Mateo County Coastside Design Review Committee (CDRC) considered your application for a design review permit (DR) to allow the construction of a single-story, 571 sq. ft. addition, an attached 331 sq. ft. deck, and an attached 41 sq. ft. entry porch to an existing single-story, 1,368 sq. ft. single-family residence on a 7,540 sq. ft. parcel. The project does not propose the removal of any trees and includes minor grading.

Additionally, the project includes a Non-Conforming Use Permit (NCUP), which is required because the project qualifies as a major/addition remodel and the existing residence has a legal non-conforming rear yard setback which violates the requirement by more than 50%. and the applicant has requested maintain the current setbacks. The project also proposes to allow one uncovered parking space where one covered space is required. As the NCUP requires consideration by the Planning Commission the CDRC only provided a recommendation on the project's compliance with the applicable Design Review requirements. A Planning Commission public hearing on the project will take place at a future date to be determined.

Based on the plans, application forms, and accompanying materials submitted, the CDRC **recommended approval** of your project based on and subject to the following findings and conditions of approval:

### **FINDINGS**

1. For the Environmental Review

The project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15301 Class 1, relating to additions to existing structures where the addition will not result in an increase of more



than 10,000 sq. ft. given that the project is an area where services and facilities are available to allow for this development permissible in the General Plan, and the project site is not located in an environmentally sensitive area.

The Coastside Design Review Committee found that:

2. For the Design Review

The project has been reviewed and found to be in compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast, pursuant to Section 6565.20 of the San Mateo County Zoning Regulations, specifically as elaborated as follows:

- a. Section 6565.20 (C) SITE PLANNING AND STRUCTURE PLACEMENT; 1. Integrate Structures with the Natural Setting: The placement of the addition on the street facing side of the house and on a downslope demonstrates the design's sensitivity to and consideration for the natural surroundings.
- b. Section 6565.20 (C) SITE PLANNING AND STRUCTURE PLACEMENT; 2. Complement Other Structures in the Neighborhood: The proposed deck faces the intersection of Lancaster Boulevard and Vue De Mer Avenue, and the proposed addition is located at the opposite side of the neighboring property to the east. As a result, the placement of the addition would harmonize with other structures in the neighborhood.
- c. Section 6565.20 (D) ELEMENTS OF DESIGN; 1b. Building Mass, Shape and Scale Neighborhood Scale: The proposed addition respects the scale of the neighborhood in terms of building dimensions, shapes, and façade articulations. In addition, the architectural details appear to be proportional and complementary to other homes in the neighborhood.
- d. Section 6565.20 (D) ELEMENTS OF DESIGN Architectural Styles and Features; 2a. The architectural design and style complement the predominant style of nearby homes, the coastal semi-rural and diverse character of the area, and the natural setting.
- e. Section 6565.20 (D) ELEMENTS OF DESIGN; 4.a.(3). Exterior Materials and Colors: The color palette achieves a warm, muted palette that blends in with the natural environment. Exterior materials and colors are complementary to the neighborhood and architecture of the house.

**RECOMMENDED CONDITIONS OF APPROVAL****Current Planning Section**

1. The project shall be constructed in compliance with the plans reviewed and approved by the Coastside Design Review Committee on January 11, 2024. Any changes or revisions to the approved plans shall be submitted to the Director of Planning and Building for review and approval prior to implementation. Minor adjustments to the design of the project may be approved by the Director of Planning and Building if they are consistent with the intent of and are in substantial conformance with this approval. Alternatively, the Director of Planning and Building may refer consideration of the revisions to the Design Review Officer and/or the Coastside Design Review Committee, with applicable fees to be paid.
2. The subject Design Review Permit shall be valid for five (5) years from the date of final approval, in which time a building permit shall be issued, and a completed inspection (to the satisfaction of the Building Inspector) shall have occurred within 180 days of issuance of the building permit. The expiration date of the permits may be extended by one 1-year increment with submittal of an application for permit extension and payment of applicable extension fees 60 days prior to the expiration date.
3. The applicant shall include a copy of the final approval letter on the top page of the building plans to provide the Planning approval date and required conditions of approval on the on-site plans.
4. The applicant shall indicate the following on plans submitted for a building permit, as stipulated by the Coastside Design Review Committee:
  - a. Section 6565.20 (D) ELEMENTS OF DESIGN; 4a(3). Exterior Materials and Colors: Black metal railings and natural redwood deck surfaces shall be used to achieve a warm, muted color palette.
  - b. Section 6565.20 (F) LANDSCAPING, PAVED AREAS, FENCES, LIGHTING AND NOISE; 4b. Lighting: Dark sky compliant exterior lighting fixtures shall be used so that light and glare can be directed away from neighbors and confined to the site.
5. The Coastside Design Review Committee also made the following suggestion for the applicant to consider regarding potential modification to improve the project:
  - a. Modify the existing roof design to match the existing roof slope and/or change the gable roof slope to match the 4:12 ratio of larger roof.

6. The property owner shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program “General Construction and Site Supervision Guidelines,” including, but not limited to, the following:
  - a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
  - b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
  - c. Performing clearing and earth-moving activities only during dry weather.
  - d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
  - e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
  - f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
  - g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
  - h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
  - i. Limiting and timing applications of pesticides and fertilizers to prevent polluted runoff.
  - j. Limiting construction access routes and stabilization of designated access points.
  - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
  - l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.

- m. Removing spoils promptly, and avoiding stockpiling of fill materials, when rain is forecast. If rain threatens, stockpiled soils and other materials shall be covered with a tarp or other waterproof material.
  - n. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
  - o. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
7. At the building permit stage, the applicant shall include an erosion and sediment control plan in the plan set which complies with the County's Erosion Control Guidelines. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.
8. No site disturbance shall occur, including any vegetation removal or land disturbance, until a building permit has been issued.
9. To reduce the impact of construction activities on neighboring properties, comply with the following:
  - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
  - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
  - c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the right-of-way on Lancaster Boulevard and Vue de Mer Avenue. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on Lancaster Boulevard and Vue de Mer Avenue. There shall be no storage of construction vehicles in the public right-of-way.
10. Color and materials verification shall occur in the field after the applicant has applied the approved materials and colors but before a final inspection has been scheduled.

11. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 5:00 p.m. Saturdays. Said activities are prohibited on Sundays, Thanksgiving and Christmas (San Mateo County Ordinance Code Section 4.88.360).

#### Building Inspection Section

12. A building permit is required for this project.

#### Department of Public Works

13. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. Applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
14. Prior to the issuance of the building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No.3277

#### Geotechnical Section

15. The applicant shall comply with all Geotechnical Section requirements at the building permit stage of the project.

#### Drainage Section

16. At the time of building permit submittal, a final grading and drainage plan consistent with the requirements of the County Drainage Manual and a final C.3 and C.6 Development Review Checklist shall be required.

#### Montara Water and Sanitary District (MWSD)

17. Submit Existing Service Application and pay for the initial application fees based on the remodeling type determined by Montara Water and Sanitary District.

18. Applicant shall follow the procedures specified in the Existing Service Application Packet. Video CCTV lower lateral and submit to MWSD (sanitary district) for review. Any defects or pipe that is not to current District code shall be replaced. Current code construction details and additional backflow protection requirements shall apply. Second lateral for new addition may be required.
19. Water meter addition may be required. The condition of the existing water meter(s), BFP and water lateral connection shall be inspected by MWSD to determine if they are in good working condition; MWSD may require repair or replacement of the existing water meter(s), BFP and water lateral connection.
20. If connection to the District's fire protection system is required: Certified Fire Protection Contractor must certify adequate fire flow calculations. Connection fee for fire protection system is required. Connection charge must be paid prior to issuance of Private Fire Protection permit.
21. Applicant shall apply directly to the MWSD for permits and not their contractor.

Coastside Fire Protection District (District)

22. At the building permit stage, add the following note to plans: Smoke Alarms which are hard wired: As per the California Building Code, and State Fire Marshal regulations, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hard wired, interconnected, and have battery backup. These detectors are required to be placed in each new and reconditioned sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final. Date of installation must be added to the exterior of the smoke alarm and will be checked at final.
23. At the building permit stage, add the following note to plans: Escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet, 5.0 sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor. (CFC 2022 section 1030.2).
24. At the building permit stage, add the following note to plans: Residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. The letters/numerals for permanent address signs shall be 4 inches in height with a minimum 1/2-inch stroke. Residential address numbers shall be at least six feet above the finished



surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire Protection District. This remote signage shall consist of a 6 inch by 18-inch green reflective metal sign with 3-inch reflective Numbers/ Letters similar to Hy-Ko 911 or equivalent. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE).

25. As per Coastside Fire Protection District Ordinance 2022-01, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly in SRA High shall have a minimum fire rating of Class "A" as defined in the current edition of the California Building Code.
26. At the building permit stage, add the following note to plans: Vegetation Management (SRA) - The 2022 California Fire Code Chapter 49 and Public Resources Code 4291.A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor an authorization for the removal of living trees. Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity. Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.
27. Fire Access Roads – The applicant must have a maintained asphalt surface road for ingress and egress of fire apparatus. The San Mateo County Department of Public Works, the Coastside Fire Protection District Ordinance 2022-01, and the California Fire Code shall set road standards. As per the 2022 CFC, dead-end roads exceeding 150 feet shall be provided with a turnaround in accordance with Coastside Fire Protection District specifications. As per the 2022 CFC, Section Appendix D, road width shall not be less than 20 feet. Fire access roads shall be installed and made serviceable prior to combustibles being placed on the project site and maintained during construction. Approved signs and painted curbs or lines shall be provided and maintained to identify fire access roads and state the prohibition of their obstruction. If the road width does not allow parking on the street (20-foot road) and on-street parking is desired, an additional improved area shall be developed for that use.

28. As per 2022 CFC, Appendix B and C, a fire district approved fire hydrant (Clow 960) must be located within 500 feet of the proposed single-family dwelling unit measured by way of drivable access. As per 2022 CFC, Appendix B the hydrant must produce a minimum fire flow of 500 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details.
29. If Automatic Fire Sprinklers are required:
- a. (Fire Sprinkler plans will require a separate permit). As per San Mateo County Building Standards and Coastside Fire Protection District Ordinance Number 2022-01, the applicant is required to install an automatic fire sprinkler system throughout the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. Sprinkler coverage shall be provided throughout the residence to include all bathrooms, garages, and any area used for storage. The only exception is small linen closets less than 24 square feet with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Department. A building permit will not be issued until plans are received, reviewed and approved. Upon submission of plans, the County or City will forward a complete set to the Coastside Fire Protection District for review.
  - b. Installation of underground sprinkler pipe shall be flushed and visually inspected by Fire Protection District prior to hook-up to riser. Any soldered fittings must be pressure tested with the trench open. Please email the [Coastside Fire Protection District](mailto:cfpdfiremarshal@fire.ca.gov) to schedule an inspection. [cfpdfiremarshal@fire.ca.gov](mailto:cfpdfiremarshal@fire.ca.gov) Fees shall be paid prior to plan review.
  - c. Exterior bell and interior horn/strobe: are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe and flow switch, along with the garage door opener are to be wired into a separate circuit breaker at the main electrical panel and labeled.
30. Solar Photovoltaic Systems: These systems shall meet the requirements of the 2022 CFC Section 1204.2.1 and require a separate permit.

Please note that the decision of the Coastside Design Review Committee is a recommendation regarding the project's compliance with design review standards, not the final decision on this project. The Planning Commission will render a decision on the Design Review Permit application and the associated Non-Conforming Use Permit at a future hearing. For more information, please contact the project planner, Samuel Becker, 650/ 382-4493, or by email at [sbecker@smcgov.org](mailto:sbecker@smcgov.org) .

Doug Gawoski

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February 21, 2024

To provide feedback, please visit the Department's Customer Survey at the following link:  
<https://www.smcgov.org/planning/webforms/san-mateo-county-planning-and-building-engagement-survey>

Sincerely,

*Glen Jia*

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Glen Jia, Coastside Design Review Officer

cc: John Dahmen, Property Owner  
Mark Stegmaier, Community Representative  
Rebecca Katkin, Coastside Design Review Architect

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