

607 HANDLEY TRAIL

EMERALD HILLS, CA 94062

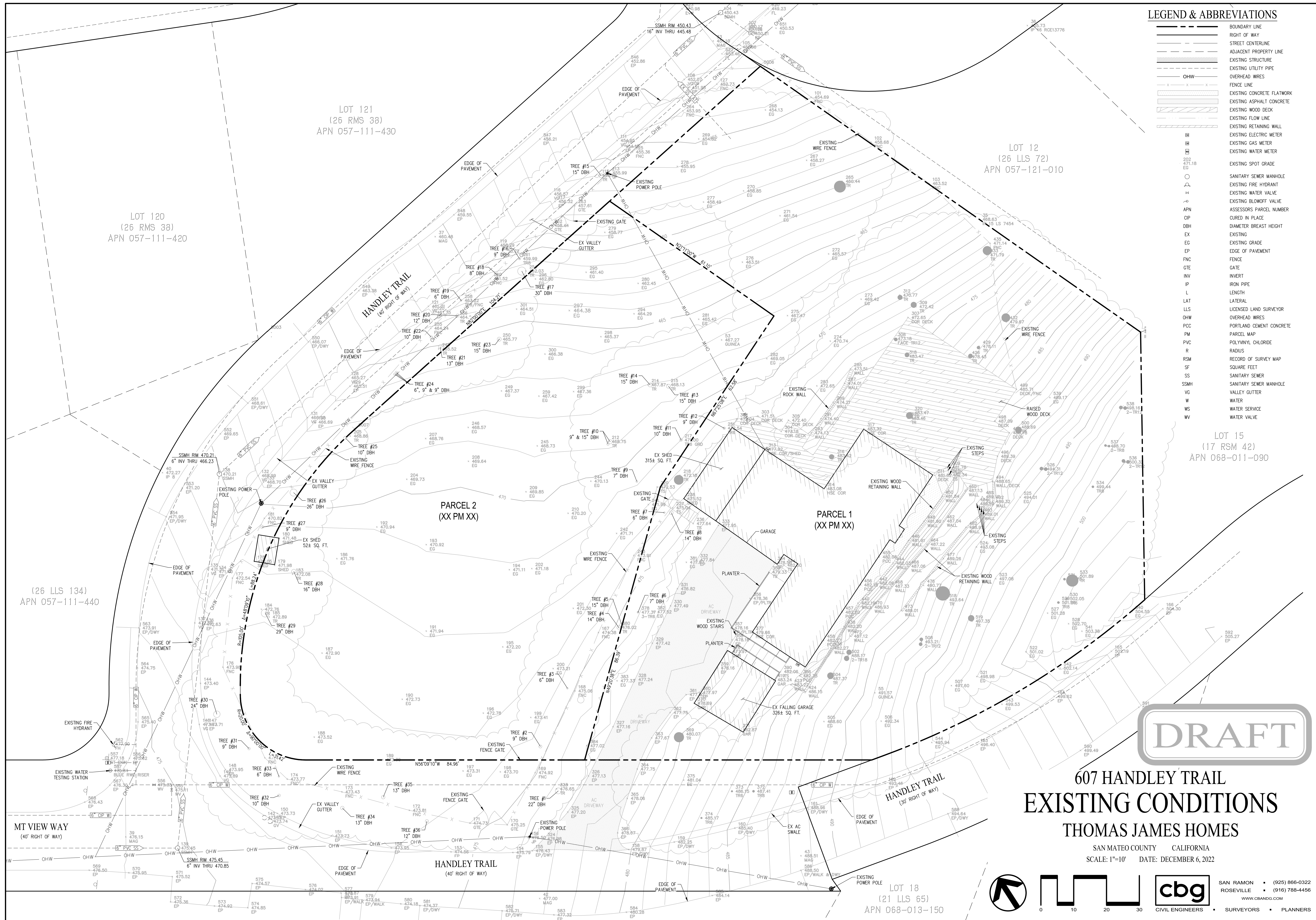
July 17th, 2023
NEW SINGLE FAMILY HOUSE



PROJECT INFORMATION	ZONING INFORMATION	DIRECTORY																																	
<p>PROJECT DESCRIPTION : ONE NEW SINGLE FAMILY DETACHED RESIDENCE</p> <p>PROPOSED HOUSE AREA : 2,858 S.F.</p> <p># OF BEDROOM & BATH : 3 BEDROOMS / 3.5 BATHS / OFFICE + ADU</p> <p>GARAGE : 2 CAR GARAGE</p> <table border="1"> <thead> <tr> <th colspan="2">FLOOR AREA TABLE</th> </tr> </thead> <tbody> <tr> <td>1ST FLOOR</td> <td>2858 SQ. FT.</td> </tr> <tr> <td>ADU</td> <td>580 SQ. FT.</td> </tr> <tr> <td>TOTAL LIVING</td> <td>3438 SQ. FT.</td> </tr> <tr> <td>2 - CAR GARAGE</td> <td>419 SQ. FT.</td> </tr> <tr> <td>OUTDOOR LIVING</td> <td>172 SQ. FT.</td> </tr> <tr> <td>PORCH</td> <td>113 SQ. FT.</td> </tr> <tr> <td>FAR (4,812 SQ.FT. Max)</td> <td>3,562 SQ. FT.</td> </tr> <tr> <td>LOT COVERAGE (25% Max)</td> <td>22%</td> </tr> </tbody> </table>	FLOOR AREA TABLE		1ST FLOOR	2858 SQ. FT.	ADU	580 SQ. FT.	TOTAL LIVING	3438 SQ. FT.	2 - CAR GARAGE	419 SQ. FT.	OUTDOOR LIVING	172 SQ. FT.	PORCH	113 SQ. FT.	FAR (4,812 SQ.FT. Max)	3,562 SQ. FT.	LOT COVERAGE (25% Max)	22%	<p>(PER SAN MATEO COUNTY MUNICIPAL CODE)</p> <p>ZONE : RH/ DR WUI ZONE</p> <p>FLOOD ZONE : NO FLOOD ZONE</p> <p>LOT SIZE : 16,041 S.F.</p> <p>LOT DIMENSIONS : REFER TO TOPO (C-1)</p> <p>FLOOR AREA RATIO : 4,812 S.F. (MAX ALLOWABLE) 3,562 S.F. (PROPOSED)</p> <p>LOT COVERAGE : 22 % (25% MAX ALLOWABLE)</p> <table border="1"> <thead> <tr> <th>MINIMUM SETBACK</th> <th>REQUIRED</th> <th>PROPOSED</th> </tr> </thead> <tbody> <tr> <td>FRONT:</td> <td>20'</td> <td>28'-7"</td> </tr> <tr> <td>SIDE INTERIORS:</td> <td>7'-6"</td> <td>7'-7"</td> </tr> <tr> <td>CORNER :</td> <td>12'-6"</td> <td>12'-8.5"</td> </tr> <tr> <td>REAR INTERIOR:</td> <td>20'</td> <td>63'-11"</td> </tr> </tbody> </table> <p>MAXIMUM HEIGHT LIMIT : 28'</p> <p>PROPOSED HEIGHT : 20'-9 1/2"</p> <p>MIN. PARKING : (2) 9'X18' CLR. COVERED SPACES (2) 8'X18' CLR. GUEST SPACES</p> <p>PROPOSED PARKING : (2) AT GARAGE (2) AT DRIVEWAY</p> <p>ADU MIN. PARKING : (1) NEW COVERED OR UNCOVERED SPACE</p>	MINIMUM SETBACK	REQUIRED	PROPOSED	FRONT:	20'	28'-7"	SIDE INTERIORS:	7'-6"	7'-7"	CORNER :	12'-6"	12'-8.5"	REAR INTERIOR:	20'	63'-11"	<p>DEVELOPER: THOMAS JAMES HOMES 275 SHORELINE DRIVE, SUITE 400 REDWOOD CITY, CA 94065 CONTACT: ANDY COST PHONE: (650) 272-3357 EMAIL: ACOST@TJH.COM</p> <p>ARCHITECTS: BASSENIAN LAGONI ARCHITECTS 2031 ORCHARD DRIVE NEWPORT BEACH, CA 92660 CONTACT: DAVE POCKETT PHONE: (949) 553-9100 EMAIL: DPOCKETT@BASSENIANLAGONI.COM</p> <p>CIVIL ENGINEER: CBG 2633 CAMINO RAMON, #350 SAN RAMON, CA 94583 PHONE: (925)866-0322</p> <p>LANDSCAPE ARCHITECT STUDIO 1515 1426 FOURTH ST. NAPA, CA 94559 PHONE: (707)252-6115</p>
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SHEET INDEX	VICINITY MAP																																		
<ul style="list-style-type: none"> A0.0 COVER SHEET C-1 EXISTING CONDITION TOPOGRAPHIC SURVEY C-2 SIGHT DISTANCE ANALYSIS A1.0 PROPOSED SITE PLAN A2.0 PROPOSED FLOOR PLAN - FIRST FLOOR A3.0 PROPOSED EXTERIOR ELEVATIONS & ROOF PLAN A3.1 PROPOSED EXTERIOR ELEVATIONS & ROOF PLAN A3.2 PROPOSED BUILDING SECTIONS A3.3 PROPOSED BUILDING SECTIONS A4.0 COLOR AND MATERIALS A5.0 FIRE DEPARTMENT NOTES GP-1 GRADING AND DRAINAGE PLAN GP-2 GRADING AND DRAINAGE PLAN GP-3 GRADING AND DRAINAGE PLAN ECP-1 EROSION CONTROL PLAN ECP-2 EROSION CONTROL DETAILS ECP-3 EROSION CONTROL AND CONSTRUCTION BMPS L - 1.0 LAYOUT + MATERIALS PLAN (LANDSCAPE) L - 2.0 CONSTRUCTION DETAILS L - 2.1 CONSTRUCTION DETAILS L - 3.0 IRRIGATION PLAN L - 4.0 IRRIGATION DETAILS L - 4.1 IRRIGATION DETAILS L - 5.0 PLANTING PLAN L - 6.0 PLANTING DETAILS L - 6.1 PLANTING DETAILS L - 7.0 TREE PROTECTION PLAN 																																			

LEGEND & ABBREVIATIONS

- BOUNDARY LINE
- RIGHT OF WAY
- STREET CENTERLINE
- ADJACENT PROPERTY LINE
- ADJACENT STRUCTURE
- EXISTING UTILITY PIPE
- OVERHEAD WIRES
- OHW
- FENCE LINE
- EXISTING CONCRETE FLATWORK
- EXISTING ASPHALT CONCRETE
- EXISTING WOOD DECK
- EXISTING FLOW LINE
- EXISTING RETAINING WALL
- EXISTING ELECTRIC METER
- EXISTING GAS METER
- EXISTING WATER METER
- EXISTING SPOT GRADE
- SANITARY SEWER MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING BLOWOFF VALVE
- APN
- CIP
- DBH
- EX
- EG
- EP
- FNC
- GTE
- INV
- IP
- L
- LAT
- LLS
- OHW
- PCC
- PM
- PVC
- R
- SM
- SF
- SS
- SSMH
- VG
- W
- WS
- WV



DRAFT

607 HANDLEY TRAIL
 EXISTING CONDITIONS
 THOMAS JAMES HOMES

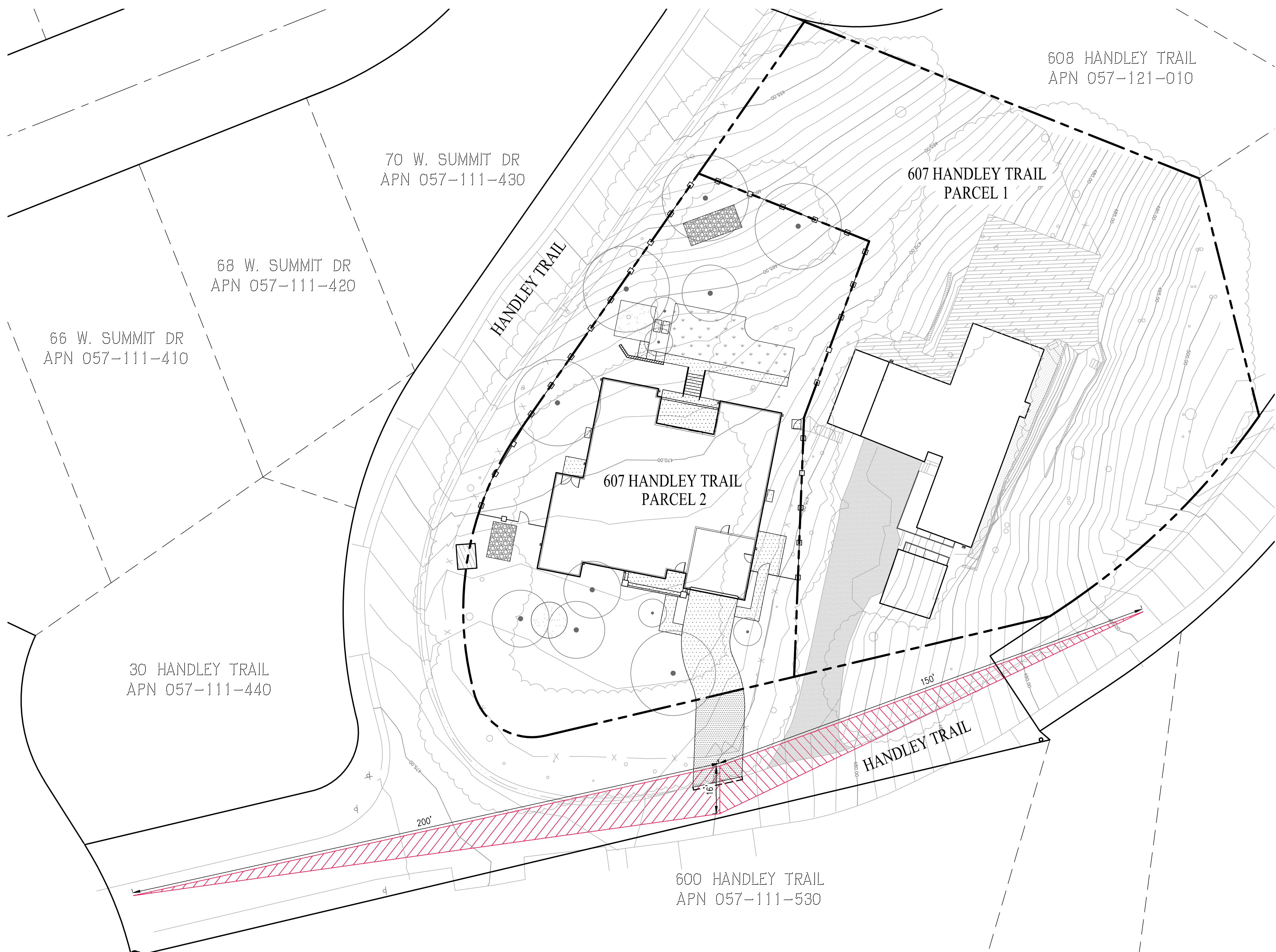
SAN MATEO COUNTY CALIFORNIA
 SCALE: 1"=10' DATE: DECEMBER 6, 2022

cbg CIVIL ENGINEERS





SAN RAMON • (925) 866-0322
 ROSEVILLE • (916) 788-4456
 WWW.CBANDG.COM

SURVEYORS • PLANNERS

FILED 008 SAN MATEO COUNTY 607 HANDLEY TRAIL (CROSSING) 12/06/2022



LEGEND

-  PROPERTY BOUNDARY
-  RIGHT OF WAY
-  ADJOINER PROPERTY
-  SIGHT DISTANCE AREA PER CALTRANS HIGHWAY DESIGN MANUAL TABLE 201.1

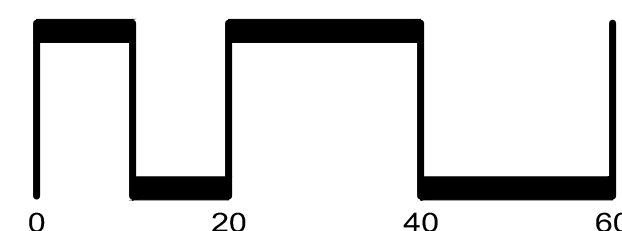
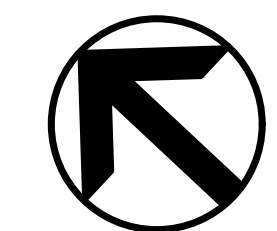
SIGHT DISTANCE STANDARDS

DESIGN SPEED (MPH)	STOPPING (FT)	PASSING (FT)
10	50	---
15	100	---
20	125	800
25	150	950
30	200	1100
35	250	1,300
40	300	1,500
45	360	1,650

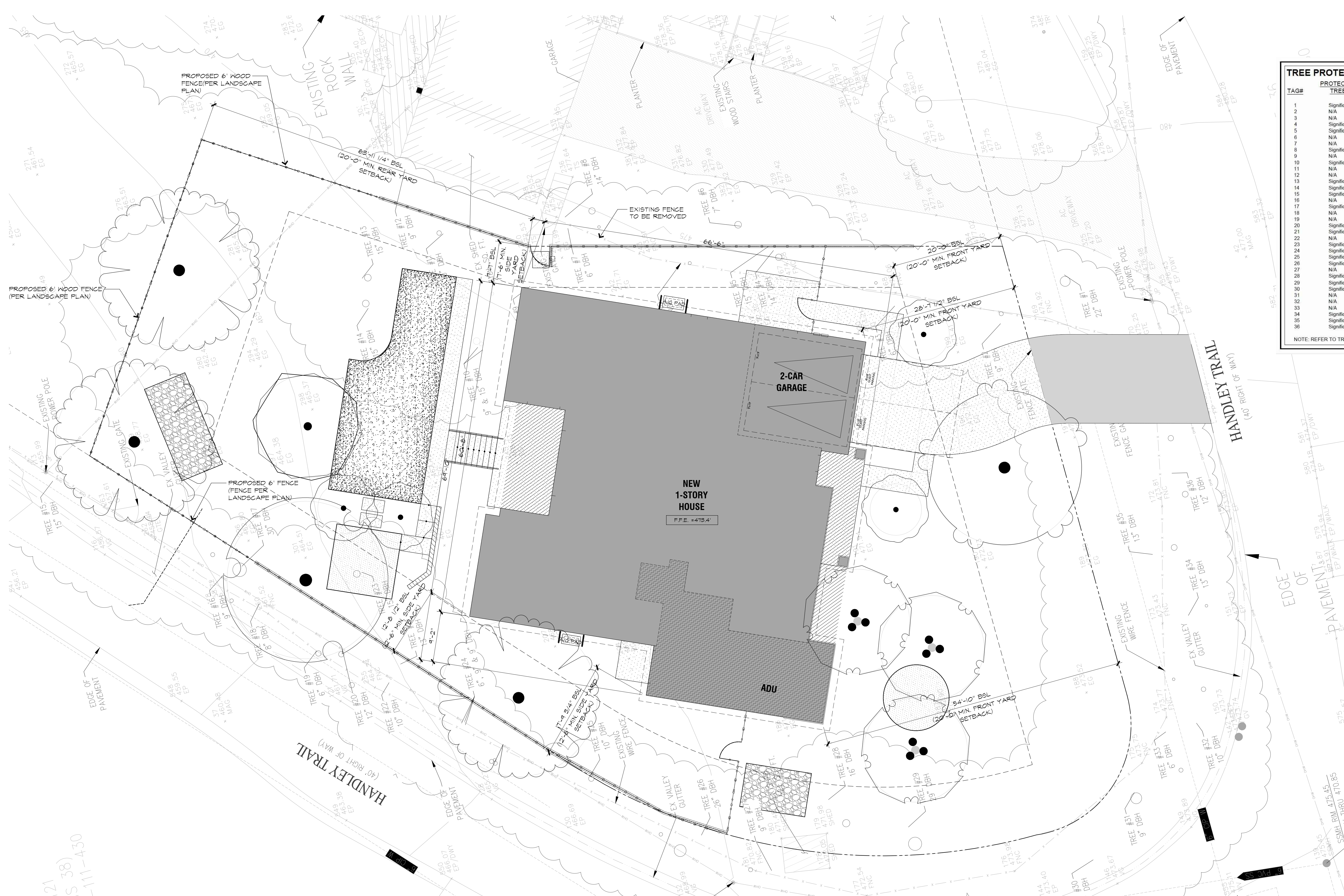
- NOTES:
- THE SIGHT DISTANCES STANDARDS ARE DERIVED FROM THE VALUES IN TABLE 201.1 OF THE CALTRANS HIGHWAY DESIGN MANUAL.
 - HANDLEY TRAIL DOES NOT HAVE A POSTED SPEED LIMIT. PER CALIFORNIA VEHICLE CODE SECTION 22352, THE PRIMA FACIE SPEED LIMIT OF A RESIDENTIAL AREA WITHOUT OTHER POSTED SPEED LIMITS IS 25 MPH.

607 HANDLEY TRAIL SIGHT DISTANCE ANALYSIS THOMAS JAMES HOMES

SAN MATEO COUNTY CALIFORNIA
SCALE: 1" = 20" DATE: JULY 12, 2023



SAN RAMON (925) 866-0322
ROSEVILLE (916) 375-1877
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CIVIL ENGINEERS SURVEYORS PLANNERS



TREE PROTECTION CHART					
TAG#	PROTECTED TREE	DBH	SCIENTIFIC NAME	COMMON NAME	STATUS
1	Significant	22"	Quercus agrifolia	Coastal live oak	TO REMAIN
2	N/A	9"	Quercus agrifolia	Coastal live oak	TO REMAIN
3	N/A	6"	Quercus agrifolia	Coastal live oak	TO REMAIN
4	Significant	14"	Quercus agrifolia	Coastal live oak	TO REMAIN
5	Significant	15"	Quercus agrifolia	Coastal live oak	REMOVE
6	N/A	7"	Quercus agrifolia	Coastal live oak	TO REMAIN
7	N/A	6"	Prunus sp.	Cherry	TO REMAIN
8	Significant	14"	Prunus sp.	Cherry	TO REMAIN
9	N/A	7"	Quercus agrifolia	Coastal live oak	REMOVE
10	Significant	(9)(15)	Quercus agrifolia	Coastal live oak	REMOVE
11	N/A	10"	Quercus agrifolia	Coastal live oak	TO REMAIN
12	N/A	9"	Quercus agrifolia	Coastal live oak	TO REMAIN
13	Significant	30"	Pinus radiata	Monterey pine	REMOVE
14	Significant	15"	Quercus agrifolia	Coastal live oak	TO REMAIN
15	Significant	15"	Quercus agrifolia	Coastal live oak	TO REMAIN
16	N/A	9"	Quercus agrifolia	Coastal live oak	TO REMAIN
17	Significant	30"	Pinus radiata	Monterey pine	REMOVE
18	N/A	8"	Quercus agrifolia	Coastal live oak	REMOVE
19	N/A	6"	Quercus agrifolia	Coastal live oak	REMOVE
20	Significant	12"	Quercus agrifolia	Coastal live oak	TO REMAIN
21	Significant	13"	Quercus agrifolia	Coastal live oak	TO REMAIN
22	N/A	10"	Quercus agrifolia	Coastal live oak	REMOVE
23	Significant	15"	Prunus sp.	Cherry	REMOVE
24	Significant	(9)(9)(6)	Quercus agrifolia	Coastal live oak	TO REMAIN
25	Significant	12"	Quercus agrifolia	Coastal live oak	TO REMAIN
26	Significant	26"	Pinus radiata	Monterey pine	REMOVE
27	N/A	9"	Quercus agrifolia	Coastal live oak	TO REMAIN
28	Significant	16"	Quercus agrifolia	Coastal live oak	TO REMAIN
29	Significant	29"	Quercus agrifolia	Coastal live oak	TO REMAIN
30	Significant	24"	Pinus radiata	Monterey pine	REMOVE
31	N/A	9"	Quercus agrifolia	Coastal live oak	TO REMAIN
32	N/A	10"	Quercus agrifolia	Coastal live oak	TO REMAIN
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NOTE: REFER TO TREE PROTECTION PLAN FOR ADDITIONAL INFORMATION.

LOT COVERAGE	
1ST FLOOR	2,858 SQ. FT.
GARAGE	419 SQ. FT.
PORCH	113 SQ. FT.
OUTDOOR LIVING	172 SQ. FT.
TOTAL	3,562 SQ. FT.
PROPOSED LOT COVERAGE %	22%
MAX LOT COVERAGE	4,812 SQ. FT.
PARCEL AREA	16,041 SQ. FT.

FLOOR AREA TABLE	
1ST FLOOR	2858 SQ. FT.
ADU	580 SQ. FT.
TOTAL LIVING	3438 SQ. FT.
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NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

1 121
RMS 38)
57-111-430

Bassenian | Lagoni
ARCHITECTURE • PLANNING • INTERIORS

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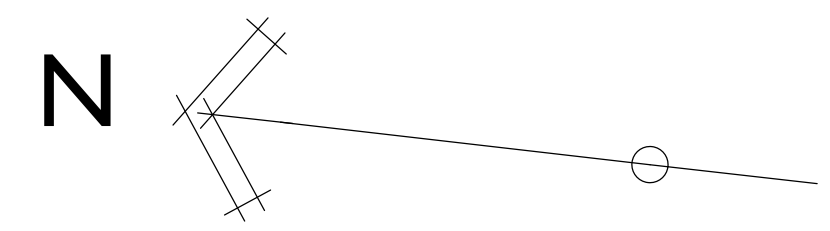
2031 Orchard Drive, Suite 100
Newport Beach, CA USA 92660
tel. +1 949 553 9100
fax +1 949 553 0548

PROPOSED SITE PLAN

607 HANDLEY TRAIL

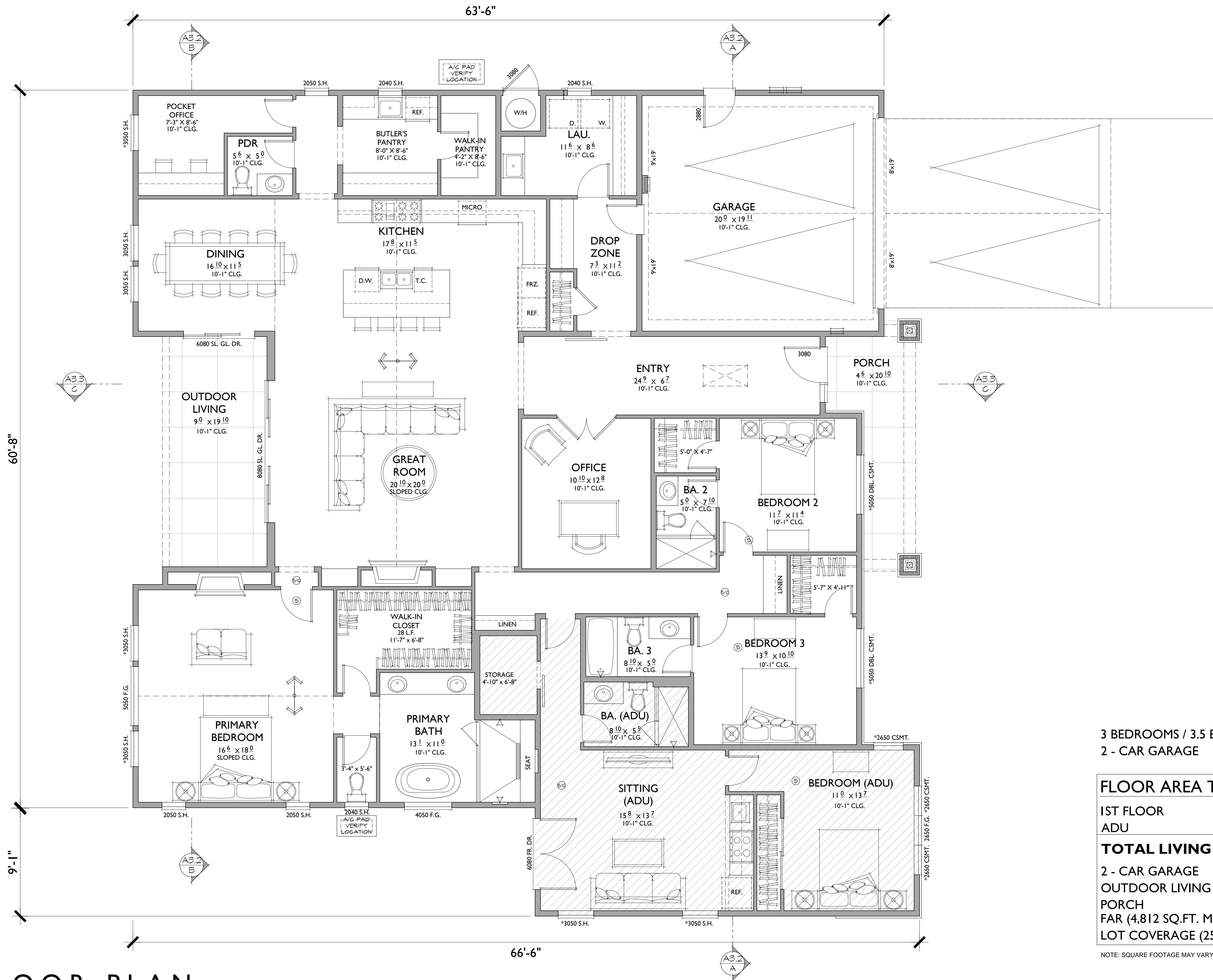
Emerald Hills, California

0 4 8 16
SCALE: 1/8" = 1'-0"



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07.17.23



LEGEND:

- ⊙ SMOKE ALARM
- ⊙ SMOKE/ CARBON MONOXIDE ALARM

HOUSE WILL BE EQUIPPED WITH AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION R313 SHALL COMPLY WITH TABLE R302.1(2).

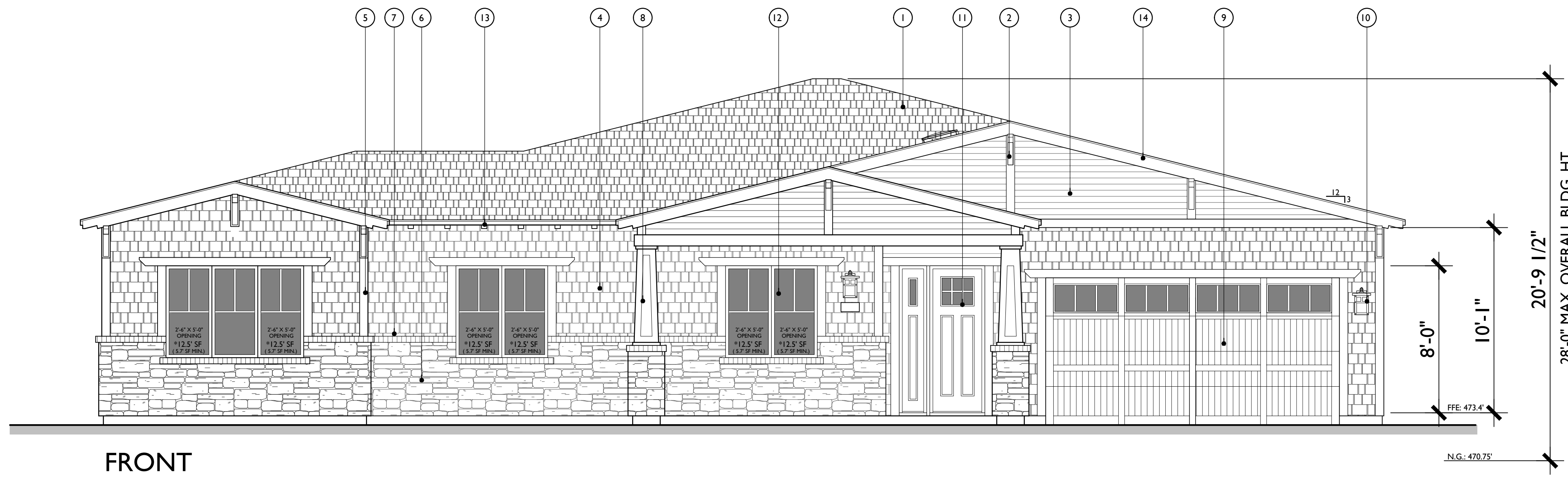
REQUIRED FIRE FLOW: 500 GPM

HOME LOCATED IN THE SRA HIGH FIRE SEVERITY ZONE.

3 BEDROOMS / 3.5 BATHS / OFFICE / ADU
2 - CAR GARAGE

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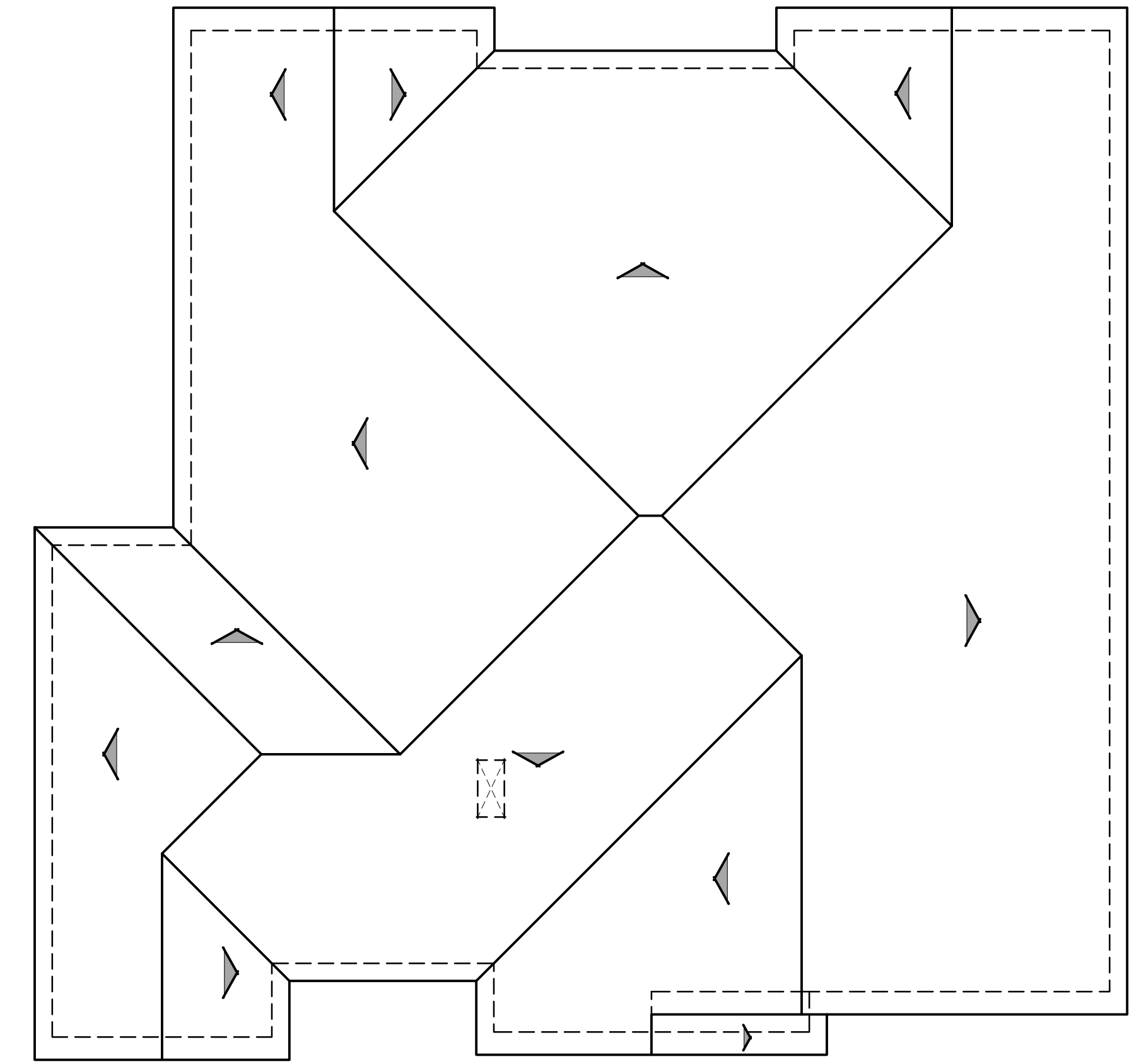
FRONT



REAR

MATERIALS LEGEND:

1. COMPOSITION SHINGLE ROOF
2. 4 x 6 WOOD CORBEL W/4X KNEE BRACE
3. CEMENTITIOUS 4" SIDING
4. CEMENTITIOUS SHINGLE SIDING
5. CEMENTITIOUS TRIM
6. STONE VENEER
7. BRICK TRIM
8. DECORATIVE COLUMN- W/CEMENTITIOUS TRIM AND PANELS, STONE BASE AND BRICK CAPS AT PEDESTAL.
9. SECTIONAL GARAGE DOOR W/ WINDOWS
10. COACH LIGHT
11. FIBERGLASS ENTRY DOOR
12. FIBERGLASS WINDOW
13. 4X EXPOSED WOOD TAILS W/ FIRE RATED STARTER BOARDS AT OVERHANG.
14. 4X BARGE BOARD W/FIRE-RATED STARTER BOARD AT OVERHANG.



ROOF PLAN

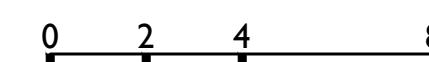
PITCH: 3:12
 RAKE: 18"
 EAVE: 14"
 ROOF MATERIAL: COMPOSITION SHINGLE - CLASS 'A' FIRE RATING

ELEVATIONS

Front & Rear Elevations + Roof Plan

607 HANDLEY TRAIL

Emerald Hills, California

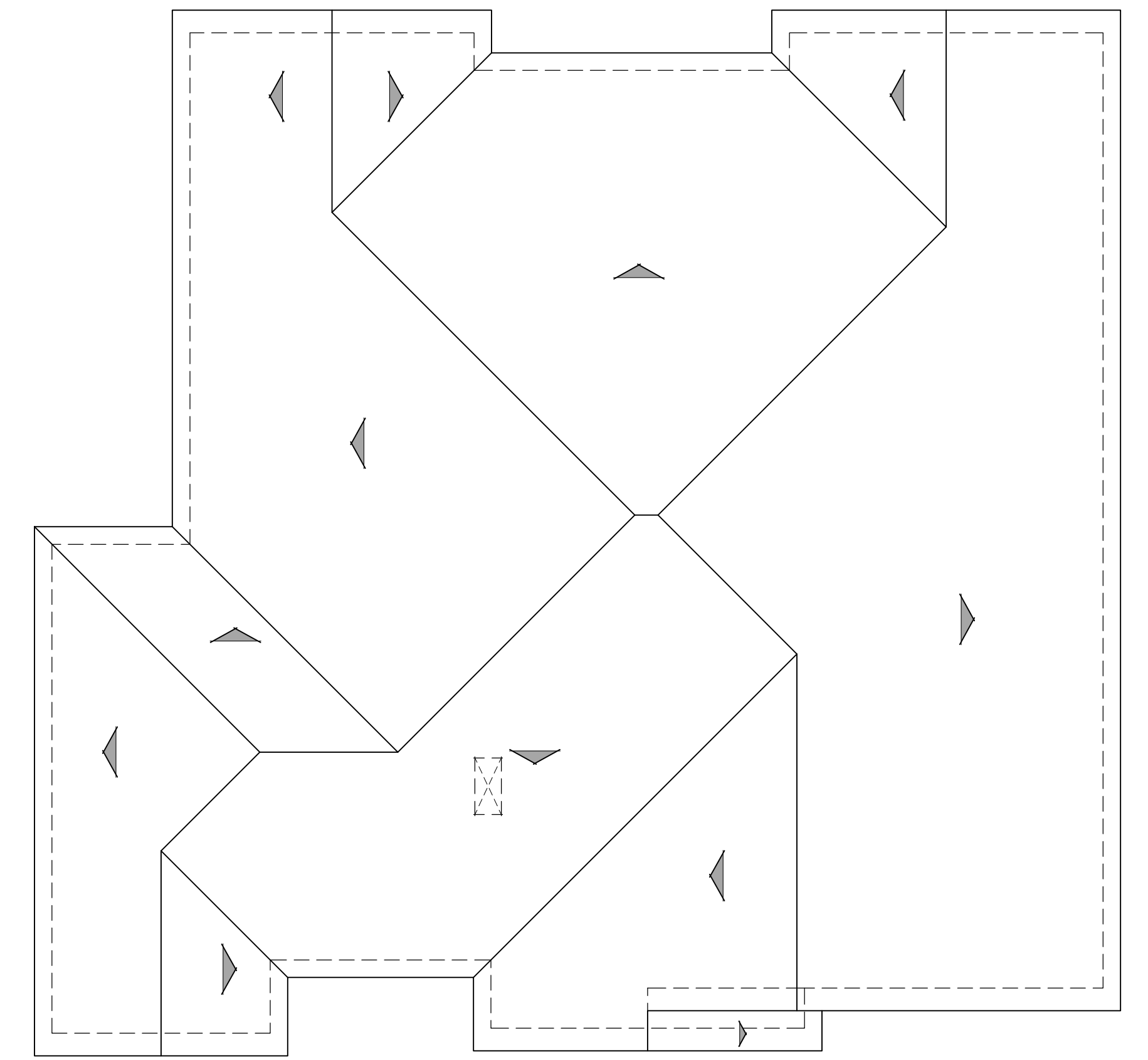
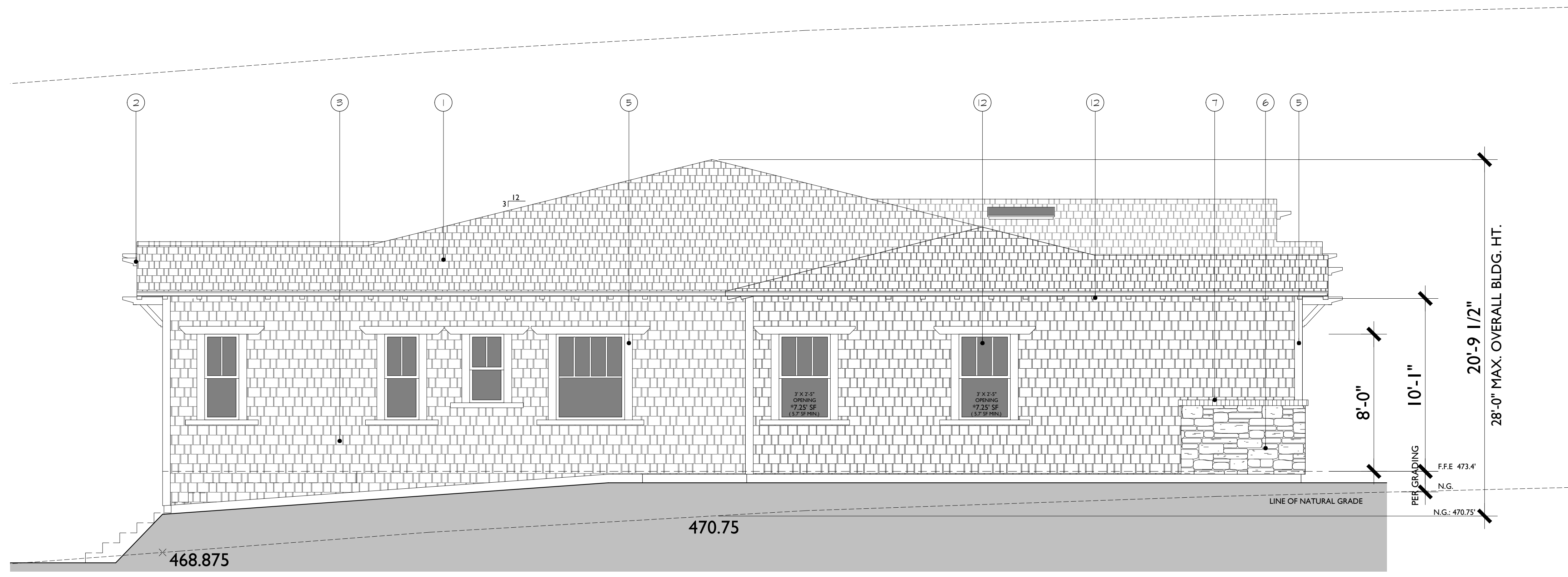


918.22388

SCALE: 1/4" = 1'-0"

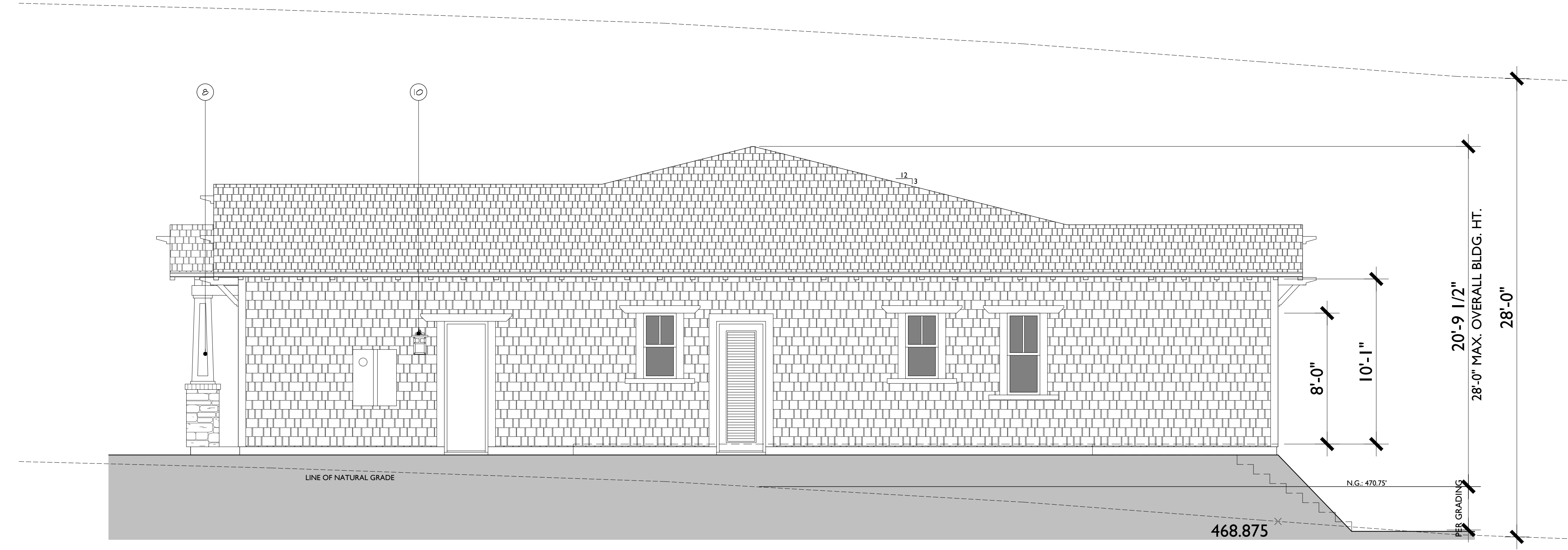
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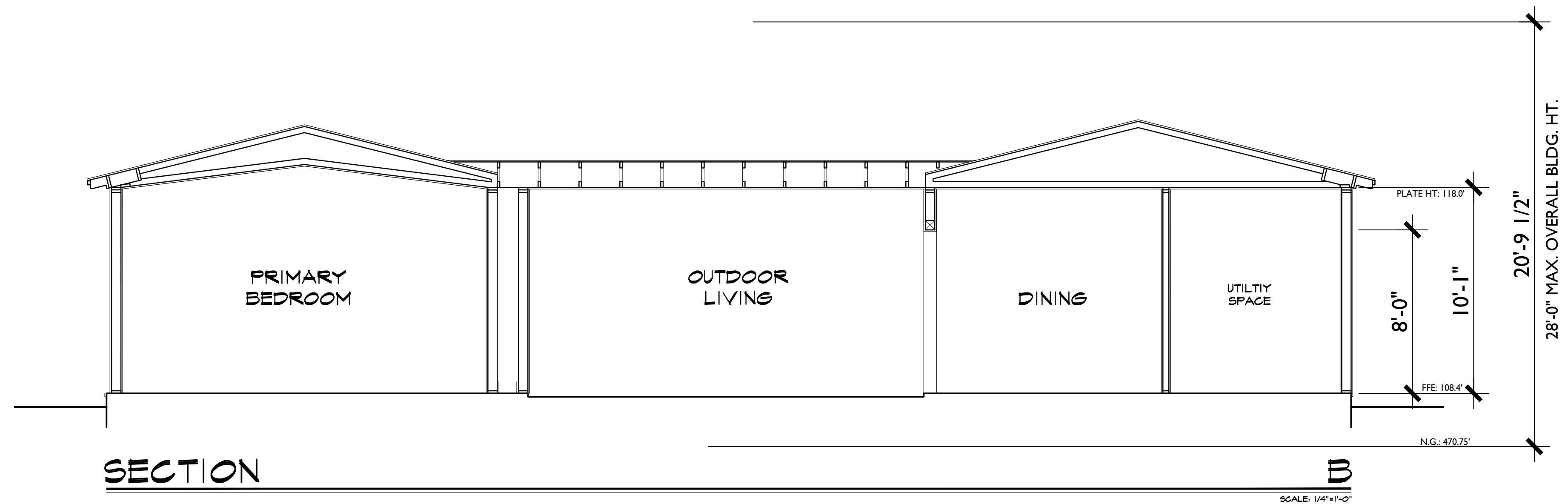
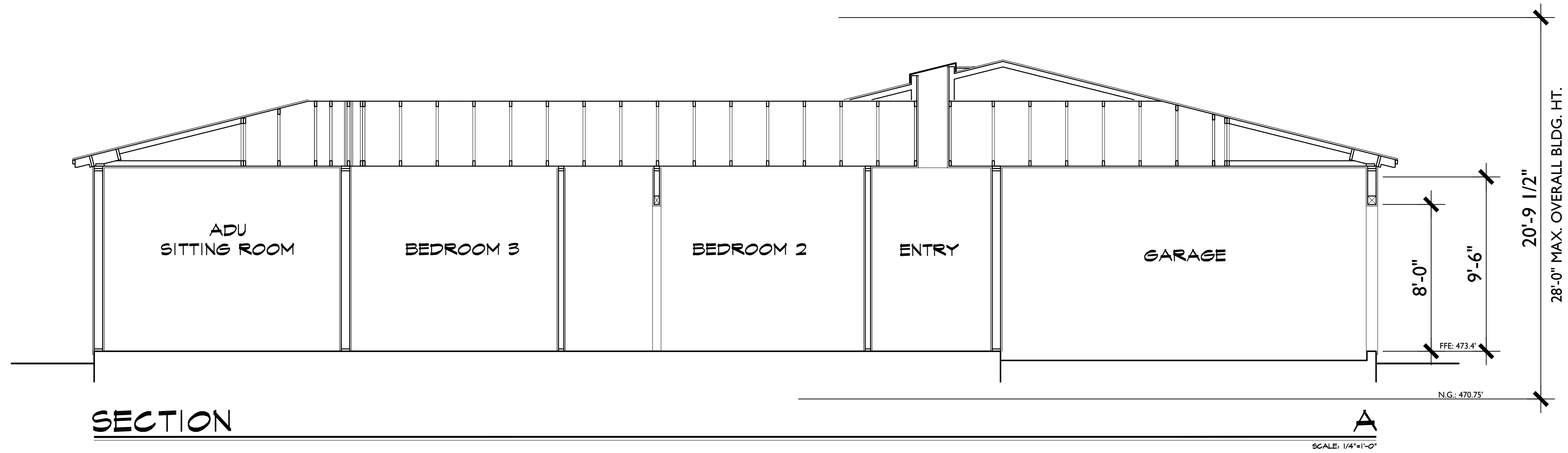


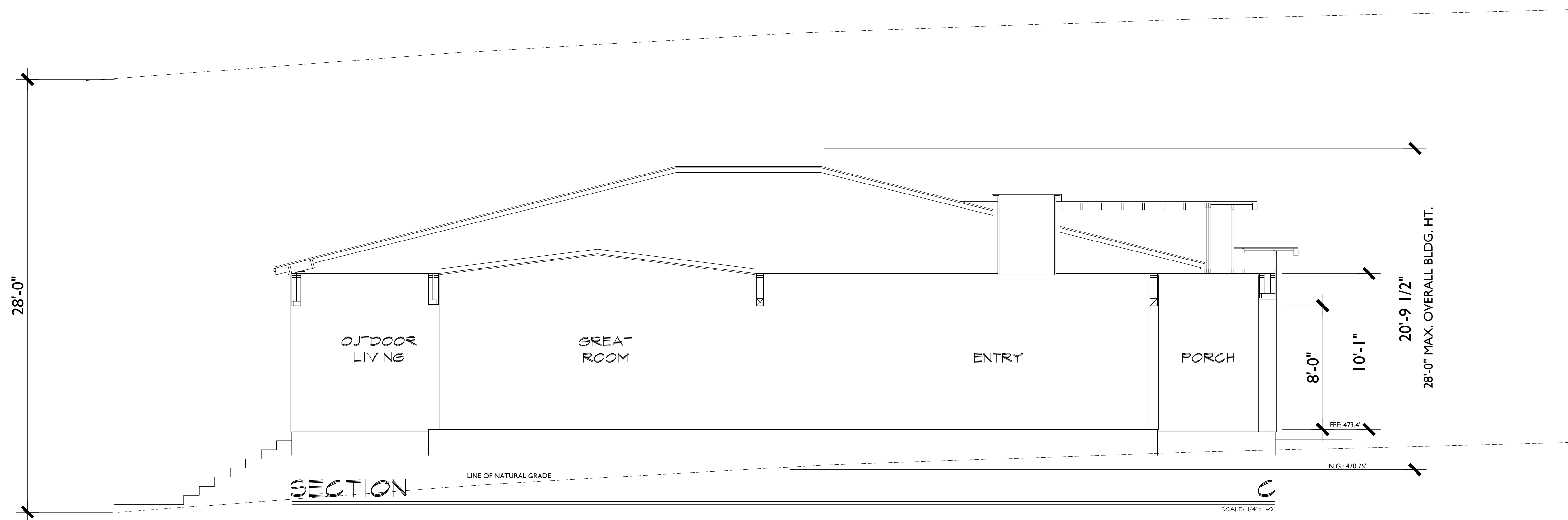
ROOF PLAN

PITCH: 3:12
 RAKE: 18"
 EAVE: 14"
 ROOF MATERIAL: COMPOSITION SHINGLE - CLASS 'A' FIRE RATING



RIGHT

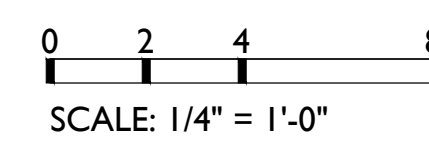




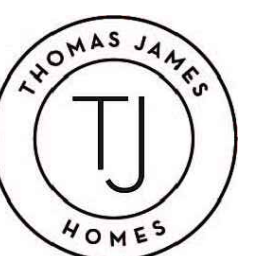
BUILDING SECTIONS

607 HANDLEY TRAIL

Emerald Hills, California



918.22388



Fire Department Access

- CFC 2022 Section 505.1 [Amended]** - New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least six feet above the finished surface. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the San Mateo County Fire Department. This remote signage shall consist of a 6-inch by 18-inch green reflective metal sign with 4-inch reflective numbers and letters similar to Hy-Ko 911 or equivalent.

Temporary address numbers shall be posted prior to combustible materials being placed on site.
- CFC 2022 Section 503.1.1 [Amended]** - Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet (45 720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.
Exceptions: The fire code official is authorized to increase the dimension of 150 feet (45 720 mm) where any of the following conditions occur:
 - The building is equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3.
 - Fire apparatus access roads cannot be installed because of location on property, topography, waterways, nonnegotiable grades or other similar conditions, and an approved alternative means of fire protection is provided.
 - There are not more than two Group R-3 or Group U occupancies.
 - Where approved by the fire code official, fire apparatus access roads shall be permitted to be exempted or modified for solar photovoltaic power generation facilities and unmanned cellular sites.

- CFC 2022 Section 503.2.3** - Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities.
- CFC 2022 Section 503.2.5** - Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) in length shall be provided with an approved area for turning around fire apparatus. Turn-around areas for fire apparatus within San Mateo County Fire jurisdiction must comply with CFC 2022 Appendix D.
- CFC 2022 Section 503.3 [Amended]** - Curbs along fire access lanes shall be painted traffic red. Such curbs shall have the words "FIRE LANE" stenciled every 75 feet on both the face and top edge of the curbs. The stenciled letters shall be a minimum of three inches in height and have a minimum stroke of one-half inch. The lettering shall be white in color. Fire access lanes not having curbs shall either be provided with a twelve-inch-wide painted red stripe along the edge or provided with signs, as directed by the Fire Code Official, along the fire access lane at a maximum spacing of seventy-five feet. Fire lanes utilizing the painted stripe shall have stenciled on the red stripe the words "FIRE LANE" each seventy-five feet. The stenciled letters shall be a minimum of three inches in height and have a minimum stroke of one-half inch. The lettering shall be white in color.
- CFC 2022 Section 503.2.7** - The grade of the fire apparatus access road shall be within the limits established by the fire code official based on the fire department's apparatus. Grading must comply with San Mateo County Fire Standard Detail CFS-004.
- CFC 2022 Section 503.2.6 [Amended]** - Where a bridge or an elevated surface is part of a fire apparatus access road, the bridge shall be constructed and maintained in accordance with AASHTO HS-20 (25 ton). Bridges and elevated surfaces shall be designed for a live load sufficient to carry the imposed loads of fire apparatus. Vehicle load limits, certified by an engineer, shall be posted at both entrances to bridges. Where elevated surfaces designed for emergency vehicle use are adjacent to surfaces which are not designed for such use, approved barriers, approved signs or both shall be installed and maintained. The Fire Marshal may allow the width to be reduced for a bridge providing access to R-3 and/or U occupancies and lands used primarily for agricultural purposes or recreation.
- CFC 2022 Section 506.1.3 [Added]** - When required by the San Mateo County Fire Department, a Knox Box of the size and type designated shall be mounted on the building near the main entrance and shall be located a minimum of 60 inches and not higher than 72 inches above the finished floor, in a location approved by the fire code official. Additional Knox Boxes may be required at rear entrances to buildings. Knox padlocks or Knox Gate Switches may be required at any access as specified by the fire code official.
- SMCFD Standard CFS-004** - Gates shall be a minimum of 2-foot wider than the roadway they serve. Overhead gate structures shall have a minimum of 15½-feet of vertical clearance. Locked gates shall be provided with a Knox Box or Knox Padlock for fire department access. Electric gates shall be provided with a Knox Gate Switch and automatically open during power failures, unless equipped with manual override capability that is approved by San Mateo County Fire Department. Gates providing Fire access to a driveway or other roadway shall be located at least 35-feet from the primary road or street, and shall open to allow a vehicle to stop without obstructing traffic on the adjoining roadway.

Smoke Alarms and Egress

- CFC 2022 Section 907.2.11** - Listed single- and multiple-station smoke alarms complying with UL 217 shall be installed in accordance with Sections 907.2.11.1 through 907.2.11.7 and NFPA 72.
Exception: For Group R occupancies. A fire alarm system with smoke detectors located in accordance with this section may be installed in lieu of smoke alarms. Upon actuation of the detector, only those notification appliances in the dwelling unit or guest room where the detector is actuated shall activate.
- CFC 2022 Section 907.2.11.2** - Single or multiple-station smoke alarms shall be installed and maintained in Groups R-2, R-2.1, R-2.2, R-3, R-3.1 and R-4 regardless of occupant load at all of the following locations:
 - On the ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms.
 - In each room used for sleeping purposes.
 - In each story within a dwelling unit, including basements but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
 - In a Group R-3.1 occupancies, in addition to the above, smoke alarms shall be provided throughout the habitable areas of the dwelling unit except kitchens.
- CFC 2022 Section 907.2.11.5** - Where more than one smoke alarm is required to be installed within an individual dwelling unit or sleeping unit in Group R occupancies, the smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. Physical interconnection of smoke alarms shall not be required where listed wireless alarms are installed and all alarms sound upon activation of one alarm. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed.
- CFC 2022 Section 907.2.11.6** - In new construction, and in newly classified Group R-3.1 occupancies, required smoke alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery backup. Smoke alarms with integral strobes that are not equipped with battery back-up shall be connected to an emergency electrical system in accordance with Section 1203. Smoke alarms shall emit a signal when the batteries are low. Wiring shall be permanent and without a disconnecting switch other than as required for overcurrent protection.
Exception: Smoke alarms are not required to be equipped with battery backup where they are connected to an emergency electrical system that complies with Section 603.
- CFC 2022 Section 1031.3.1** - Emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.53 m²).
Exception: The minimum net clear opening for grade-floor emergency escape and rescue openings shall be 5 square feet (0.46 m²).
- CFC 2022 Section 1031.3.2** - The minimum net clear opening height dimension shall be 24 inches (610 mm). The minimum net clear opening width dimension shall be 20 inches (508 mm). The net clear opening dimensions shall be the result of normal operation of the opening.
- CFC 2022 Section 1031.3.3** - Emergency escape and rescue openings shall have the bottom of the clear opening not greater than 44 inches (1118 mm) measured from the floor.
- CFC 2022 Section 1031.4** - Where a door is provided as the required emergency escape and rescue opening, it shall be a swinging door or a sliding door.
- CRC 2022 Section R311.2** - Not less than one egress door shall be provided for each dwelling unit. The egress door shall be side-hinged, and shall provide a clear width of not less than 32 inches (813 mm) where measured between the face of the door and the stop, with the door open 90 degrees (1.57 rad). The clear height of the door opening shall be not less than 78 inches (1981 mm) in height measured from the top of the threshold to the bottom of the stop. Other doors shall not be required to comply with these minimum dimensions. Egress doors shall be readily openable from inside the dwelling without the use of a key or special knowledge or effort.

Wildland-Urban Interface

This property is located in the SRA High Fire Severity Zone.

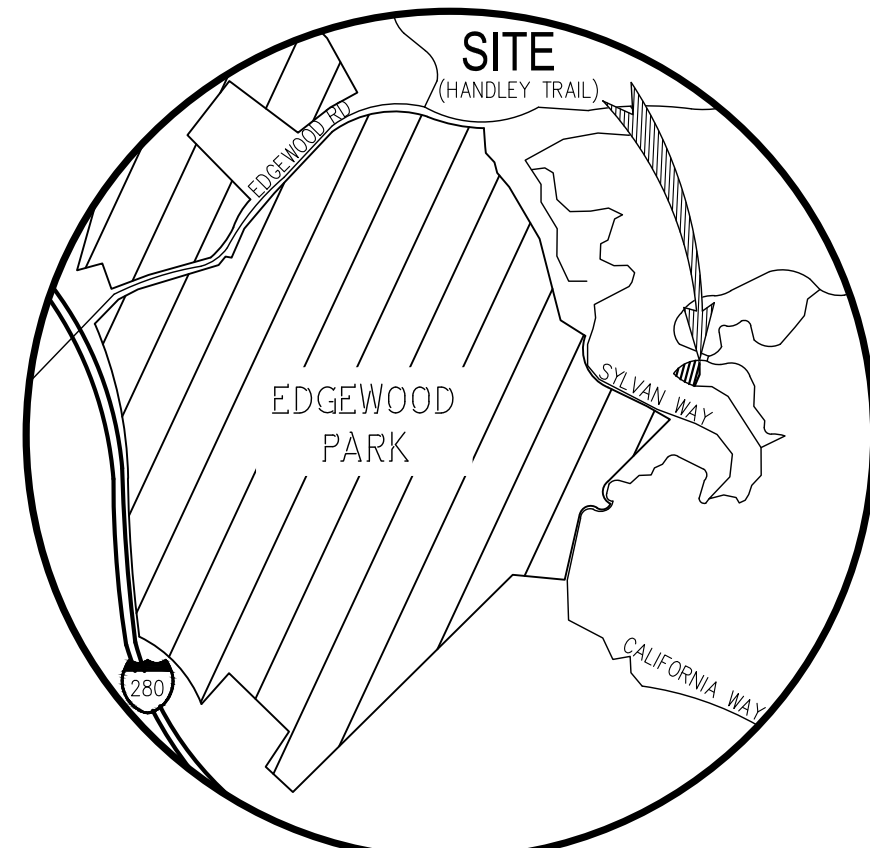
- CBC 2022 Section 705A.1** - Roofs shall comply with the requirements of Chapter 7A and Chapter 15. Roofs shall have a roofing assembly installed in accordance with its listing and the manufacturer's installation instructions. Roof assemblies in the Fire Hazard Severity Zones shall be Class A rating when tested in accordance with ASTM E108 or UL790.
- CBC 2022 Section 1505.1.2** - The entire roof covering of every existing structure where more than 50 percent of the total roof area is replaced within any one-year period, the entire roof covering of every new structure, and any roof covering applied in the alteration, repair or replacement of the roof of every existing structure, shall be a fire-retardant roof covering that is at least Class C.
- CFC 2022 Section 304.1.2** - Weeds, grass, vines or other growth that is capable of being ignited and endangering property, shall be cut down and removed by the owner or occupant of the premises. Vegetation clearance requirements in wildland-urban interface areas shall be in accordance with Chapter 49.
- CFC 2022 Section 4907.1** - Hazardous vegetation and fuels shall be managed to reduce the severity of potential exterior wildfire exposure to buildings and to reduce the risk of fire spreading to buildings as required by applicable laws and regulations.
 - Defensible space will be managed around all buildings and structures in State Responsibility Areas (SRA) as required in Public Resources Code 4291.
- CFC 2022 Section 4907.2** - Buildings and structures located in the following areas shall maintain the required hazardous vegetation and fuel management:
 - All unincorporated lands designated by the State Board of Forestry and Fire Protection as a State Responsibility Area (SRA).
 - Land designated as a Very High Fire Hazard Severity Zone by the Director.
 - Land designated in ordinance by local agencies as a Very High Fire Hazard Severity Zone pursuant to Government Code Section 51179.
- CRC 2022 Section R302.1** - Construction, projections, openings and penetrations of exterior walls of dwellings and accessory buildings shall comply with Table R302.1(1); or dwellings and accessory buildings equipped throughout with an automatic sprinkler system installed in accordance with Section R313 shall comply with Table R302.1(2).
Exceptions:
 - Walls, projections, openings or penetrations in walls perpendicular to the line used to determine the fire separation distance.
 - Walls of individual dwelling units and their accessory structures located on the same lot.

- Detached tool sheds and storage sheds, playhouses and similar structures exempted from permits are not required to provide wall protection based on location on the lot. Projections beyond the exterior wall shall not extend over the lot line.
- Detached garages accessory to a dwelling located within 2 feet (610 mm) of a lot line are permitted to have roof eave projections not exceeding 4 inches (102 mm).
- Foundation vents installed in compliance with this code are permitted.

Water Tanks or Sources

- CFC 2022 Section 507.1** - An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises on which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction.
 - CFC 2022 Section 507.2.1** - Private fire service mains and appurtenances shall be installed in accordance with NFPA 24 as amended in Chapter 80.
 - CFC 2022 Section 507.2.2** - Water tanks for private fire protection shall be installed in accordance with NFPA 22.

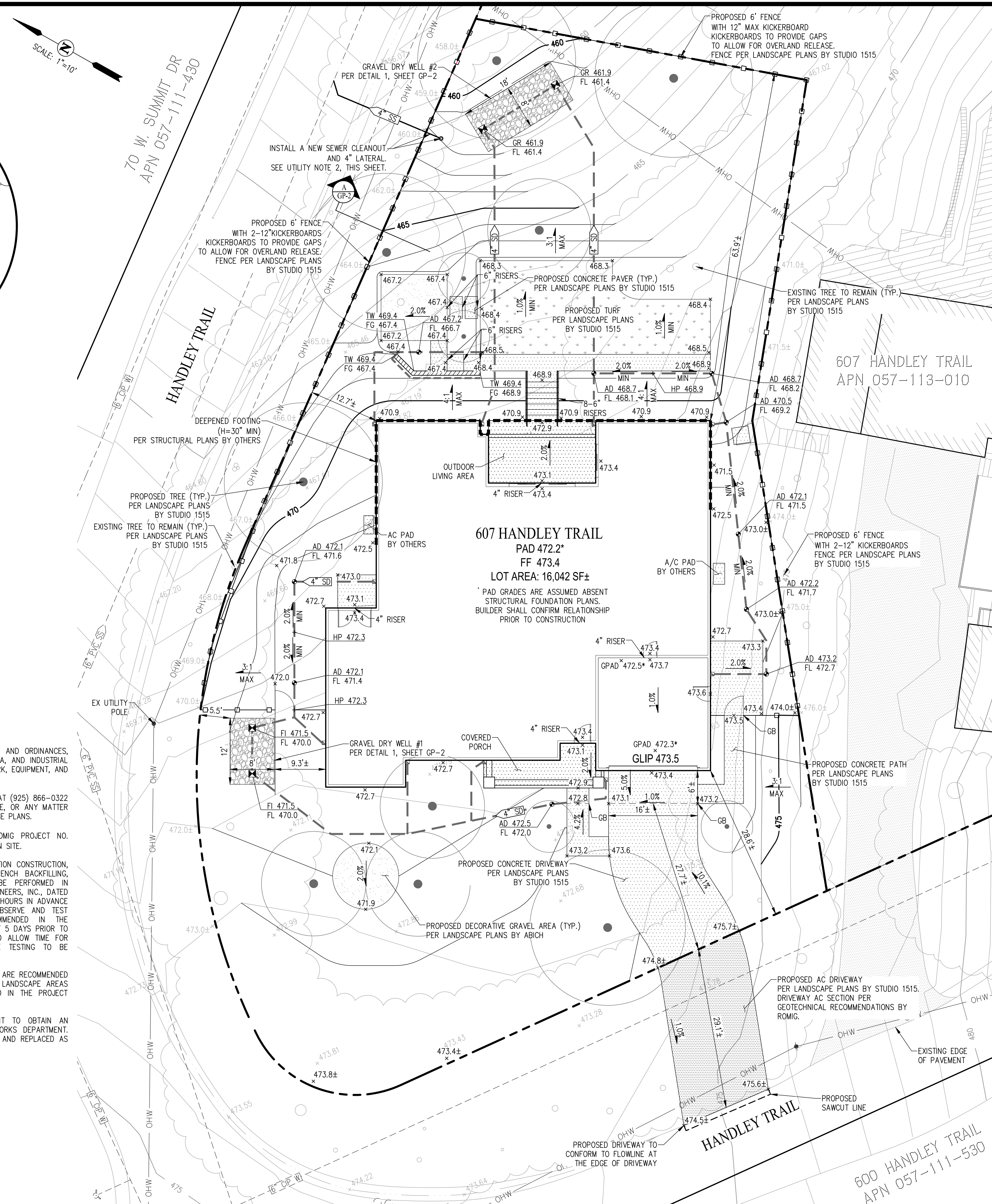
Required Fire Flow: **500 GPM**
 - CFC 2022 Section B105.3** - For buildings equipped with an approved automatic sprinkler system, the water supply shall be capable of providing the greater of:
 - The automatic sprinkler system demand, including hose stream allowance.
 - The required fire flow.
 - CFC 2022 Section C102.1** - The number of fire hydrants available to a building shall be not less than the minimum specified in Table C102.1.
 - SMCFD Standard CFS-002** - Water Storage for One- and Two-Family Dwellings up to 3,600 ft² shall be 7,500 gallons reserved for Fire, in addition to any domestic use. If larger than 3600 ft² single family dwelling, use NFPA 1142.
 - SMCFD Standard CFS-002** - Fire flow requirements for multiple structures shall be calculated based on the structure requiring the largest Fire Flow per NFPA 1142.
 - SMCFD Standard CFS-002** - Water tanks shall be interconnected by using a minimum 4-inch pipe diameter. Interconnection piping and valves must be protected, or of a material not damaged by UV exposure. The cross connection shall also have an appropriately sized control valve located at each tank.
 - NFPA 22 Section 4.2.1.2** - Where the water supply from a public service main is not adequate in quality, quantity, or pressure, an alternative water source shall be provided.
 - NFPA 22 Section 4.2.1.4** - The water supply shall be capable of filling the minimum required fire protection volume within the tank in a maximum of 8 hours.
 - NFPA 22 Section 4.15.2** - A vent pipe shall have a cross-sectional area equal to a minimum of one-half the area of the discharge pipe(s) or fill pipe, whichever is the larger.
 - NFPA 24 Section 4.2.1** - Installation work shall be done by fully experienced and responsible contractors. Contractors shall be appropriately licensed in the State of California to install private fire service mains and their appurtenances.
 - NFPA 24 Section 10.9.1** - Backfill shall be well tamped in layers or puddle under and around pipes to prevent settlement or lateral movement. Backfill shall consist of clean fill sand or pea gravel to a minimum 6 inches below and to a minimum of 12 inches above the pipe and shall contain no ashes, cinders, refuse, organic matter or other corrosive materials. Other backfill materials and methods are permitted where designed by a registered professional engineer and approved by the enforcing agency.
 - SMCFD Standard CFS-002** - Water tanks located closer than 30 feet of structures or flammable vegetation shall be constructed of non-combustible materials.
- ## Fire Hydrants
- CFC 2022 Section 507.5.1** - Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.
Exception: For Group R-3 and Group U occupancies, equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3, the distance requirement shall be not more than 600 feet (183 m).
 - SMCFD Standard CFS-002** - Hydrants shall be located no closer than 50 feet to any building, no further away than 150 feet of the protected structure, and be located on the fire department access side of the building.
 - SMCFD Standard CFS-002** - Hydrants shall be placed in a concrete pad 4 inches deep, and 2 ft. by 2 ft. minimum at base.
 - SMCFD Standard CFS-002** - Hydrants shall be positioned so the center of the discharge is 30 inches to 36 inches above grade and be within 5 feet of the fire department access roadway.
 - SMCFD Standard CFC 2022 Section 507.5.5** - A 3-foot (914 mm) clear space shall be maintained around the circumference of fire hydrants, except as otherwise required or approved.
 - SMCFD Standard CFC 2022 Section 507.5.6** - Where fire hydrants are subject to impact by a motor vehicle, guard posts or other approved means shall comply with Section 312.
 - SMCFD Standard CFS-002** - Hydrant supply pipe shall be listed and approved for fire protection service for underground pipe, such as AWWA C900. Pipe shall be buried a minimum of 30 inch below grade (36 inch if the pipe passes under a road or is subject to heavy loads).
 - SMCFD Standard CFS-002** - Concrete thrust blocks shall be sized in accordance with national standards and shall be provided at all changes in pipe direction.
 - SMCFD Standard CFS-002** - The hydrant riser and elbow shall be steel. All above ground piping used for fire hydrant water supply shall be metallic.



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

- SITE ADDRESS: 607 HANDLEY TRAIL, EMERALD HILLS, CA 94062
- DEVELOPER: THOMAS JAMES HOMES, 275 SHORELINE DRIVE, SUITE 400, REDWOOD CITY, CA 94065, (650) 434-7966, KEN KING
- CIVIL ENGINEER: CARLSON, BARBEE & GIBSON, INC., 2633 CAMINO RAMON, SUITE 350, SAN RAMON, CA 94583, (925) 866-0322, JUSTIN R. DEKNOBLOUGH, R.C.E. 79604
- SOILS ENGINEER: ROMIG ENGINEERS, 1390 EL CAMINO REAL, 2ND FLOOR, SAN CARLOS, CA 94070, (650) 591-5224, JONATHAN J. FONE, R.C.E. 80875
- ARCHITECT: BASSENIAN LAGONI, 2031 ORCHARD DR, SUITE 100, NEWPORT BEACH, CA 92660, (949) 533-9100, SOPHIA BRAVERMAN
- LANDSCAPE ARCHITECT: STUDIO 1515, 1426 FOURTH ST, NAPA, CA 94559, (707) 252-6115, SUSAN HEIKEN
- CONTRACTOR SHALL COMPLY WITH ALL STATE, COUNTY AND CITY LAWS AND ORDINANCES, AND REGULATIONS OF THE DEPARTMENT OF INDUSTRIAL RELATIONS, OSHA, AND INDUSTRIAL ACCIDENT COMMISSION RELATING TO THE SAFETY AND CHARACTER OF WORK, EQUIPMENT, AND LABOR PERSONNEL.
- THE CONTRACTOR SHALL CONTACT CARLSON, BARBEE & GIBSON, INC. AT (925) 866-0322 IF DISCREPANCIES EXIST ON THESE PLANS OR IF THE WORK TO BE DONE, OR ANY MATTER RELATED THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS.
- THE GEOTECHNICAL REPORT, NAMED GEOTECHNICAL INVESTIGATION (ROMIG PROJECT NO. 5366-103) JANUARY 13, 2023 SHALL BE RETAINED ON THE CONSTRUCTION SITE.
- EARTHWORK, REWORKING OF EXISTING SURFACE FILL, SLAB AND FOUNDATION CONSTRUCTION, SLAB SUBGRADE AND NON-EXPANSIVE FILL PREPARATION, UTILITY TRENCH BACKFILLING, PAVEMENT CONSTRUCTION, SITE DRAINAGE AND GRADING SHOULD BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY ROMIG ENGINEERS, INC., DATED JANUARY 13, 2023. ROMIG ENGINEERS SHOULD BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY EARTHWORK OR FOUNDATION CONSTRUCTION AND SHOULD OBSERVE AND TEST DURING EARTHWORK AND FOUNDATION CONSTRUCTION AS RECOMMENDED IN THE GEOTECHNICAL REPORT. ROMIG ENGINEERS SHOULD BE NOTIFIED AT LEAST 5 DAYS PRIOR TO EARTHWORK, TRENCH BACKFILL AND SUBGRADE PREPARATION WORK TO ALLOW TIME FOR SAMPLING OF ON-SITE SOIL AND LABORATORY COMPACTION CURVE TESTING TO BE PERFORMED PRIOR TO ON-SITE COMPACTION DENSITY TESTING.
- ON-SITE SLOPES, AWAY FROM THE STRUCTURE, OF AT LEAST 2 PERCENT ARE RECOMMENDED FOR FLATWORK AND PAVEMENT AREAS WITH 5 PERCENT PREFERRED IN LANDSCAPE AREAS WITHIN 8 FEET OF THE STRUCTURES, WHERE POSSIBLE, AS DESCRIBED IN THE PROJECT GEOTECHNICAL INVESTIGATION REPORT.
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES THE APPLICANT TO OBTAIN AN ENCROACHMENT PERMIT WITH THE COUNTY OF SAN MATEO PUBLIC WORKS DEPARTMENT. ADDITIONAL SEGMENTS OF SIDEWALK MAY BE REQUIRED TO BE REMOVED AND REPLACED AS DIRECTED BY THE PUBLIC WORKS INSPECTOR.



LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE (PROJECT)
---	---	PROPERTY LINE (ADJOINER)
---	---	CENTER LINE
---	---	STRUCTURE
---	---	4" AREA DRAIN PIPE
---	---	SANITARY SEWER PIPE OR LATERAL
---	---	WATER PIPE
---	---	FENCE
---	---	LOW FENCE
---	---	SAWCUT LINE
---	---	SPOT ELEVATION
---	---	DOWNSPOUT (PER ARCHITECTURE)
---	---	AREA DRAIN
---	---	FIELD INLET GRATE
---	---	SANITARY SEWER CLEANOUT
---	---	SANITARY SEWER MANHOLE
---	---	TREE (SEE LANDSCAPE PLANS)
---	---	ASPHALT CONCRETE
---	---	STRUCTURAL PAVEMENT
---	---	CONCRETE PAVEMENT
---	---	TURF
---	---	DECORATIVE GRAVEL

ABBREVIATIONS

AB	AGGREGATE BASE	L	LENGTH
A/C	AIR CONDITIONER	LAT	LATERAL
AC	ASPHALT CONCRETE	LS	LANDSCAPE
AD	AREA DRAIN	MAX	MAXIMUM
APN	ACCESSORS PARCEL NUMBER	MIN	MINIMUM
DW	DRIVEWAY	S	SLOPE
EX	EXISTING	SD	SUBDRAIN
FF	FINISHED FLOOR	SS	SANITARY SEWER
FL	FLOW LINE	SSCO	SANITARY SEWER CLEANOUT
GLIP	GARAGE LIP	SSMH	SANITARY SEWER MANHOLE
GB	GRADE BREAK	SW	SIDEWALK
GPAD	GARAGE PAD	TYP.	TYPICAL
GR	GRATE	W	WATER
HP	HIGH POINT	WM	WATER METER
INV	INVERT	WS	WATER SERVICE

UTILITY NOTES

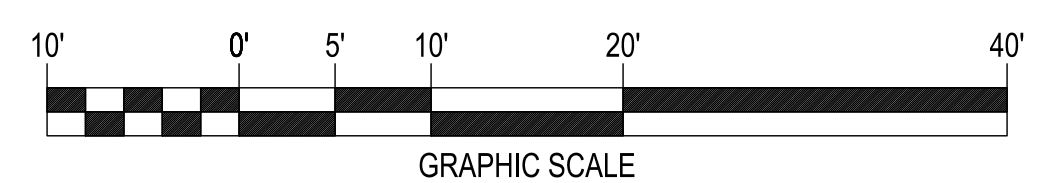
- INSTALL A NEW WATER METER AND SERVICE PER REDWOOD CITY ENGINEERING STANDARDS VOL. 3 PART VII. IF THE WATER METER IS PLACED IN ANY CONCRETE OR AC AREA, THE METER BOX AND LID SHALL BE TRAFFIC RATED. LAYOUT OF THE WATER SERVICE FROM THE BACK OF METER TO THE HOUSE IS SHOWN FOR REFERENCE ONLY AND SHALL BE CONSTRUCTED PER MEP PLANS BY OTHERS.
- INSTALL A NEW PROPERTY LINE CLEANOUT PER EMERALD LAKE HEIGHTS SEWER MAINTENANCE DISTRICT STANDARD DRAWING 3. INSTALL A NEW 4" PVC SANITARY SEWER LATERAL PER EMERALD LAKE HEIGHTS SEWER MAINTENANCE DISTRICT STANDARD DRAWING 5. IF THE NEW SANITARY SEWER CLEANOUT IS LOCATED IN ANY CONCRETE OR AC AREA, THE LID AND BOX SHALL BE TRAFFIC-RATED. CONTRACTOR SHALL VERIFY DEPTHS AND MATERIAL PRIOR TO CONSTRUCTION AND NOTE ANY DISCREPANCIES. THE ALIGNMENT OF THE SANITARY SEWER LATERAL FROM THE CLEANOUT TO THE HOUSE IS SHOWN FOR REFERENCE ONLY AND SHALL BE CONSTRUCTED PER APPROVED PLUMBING PLANS BY OTHERS.
- THE LOCATION OF THE EXISTING GAS MAIN IS UNKNOWN AND SHALL BE VERIFIED PRIOR TO ANY WORK AFFECTING SAID LINE. THIS PLAN DOES NOT COVER ABANDONMENT OF THE EXISTING GAS LATERAL.
- NEW DRY UTILITY SERVICE CONNECTIONS TO FOLLOW PLAN BY DRY UTILITY CONSULTANT.
- THE LOCATIONS OF THE UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND FOR REFERENCE ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO ANY WORK AFFECTING EXISTING UTILITY LINES TO DETERMINE IF CONFLICTS EXIST.

ROUGH EARTHWORK QUANTITIES

IMPROVEMENT AREA	CUT	FILL
BUILDING PAD	75 CY±	300 CY±
DRIVEWAY	0 CY±	75 CY±
LANDSCAPING	100 CY±	260 CY±
TOTAL	175 CY±	571 CY±

NOTES:

- IT IS ASSUMED THE TOTAL SITE AREA WILL BE DISTURBED DURING DEMOLITION, GRADING AND CONSTRUCTION.



PRELIMINARY PLANS
NOT FOR CONSTRUCTION

DATE: APR 2023
DRAWN BY: SLC
PROJECT ENGR: REN
PROJ. MGR: JRD

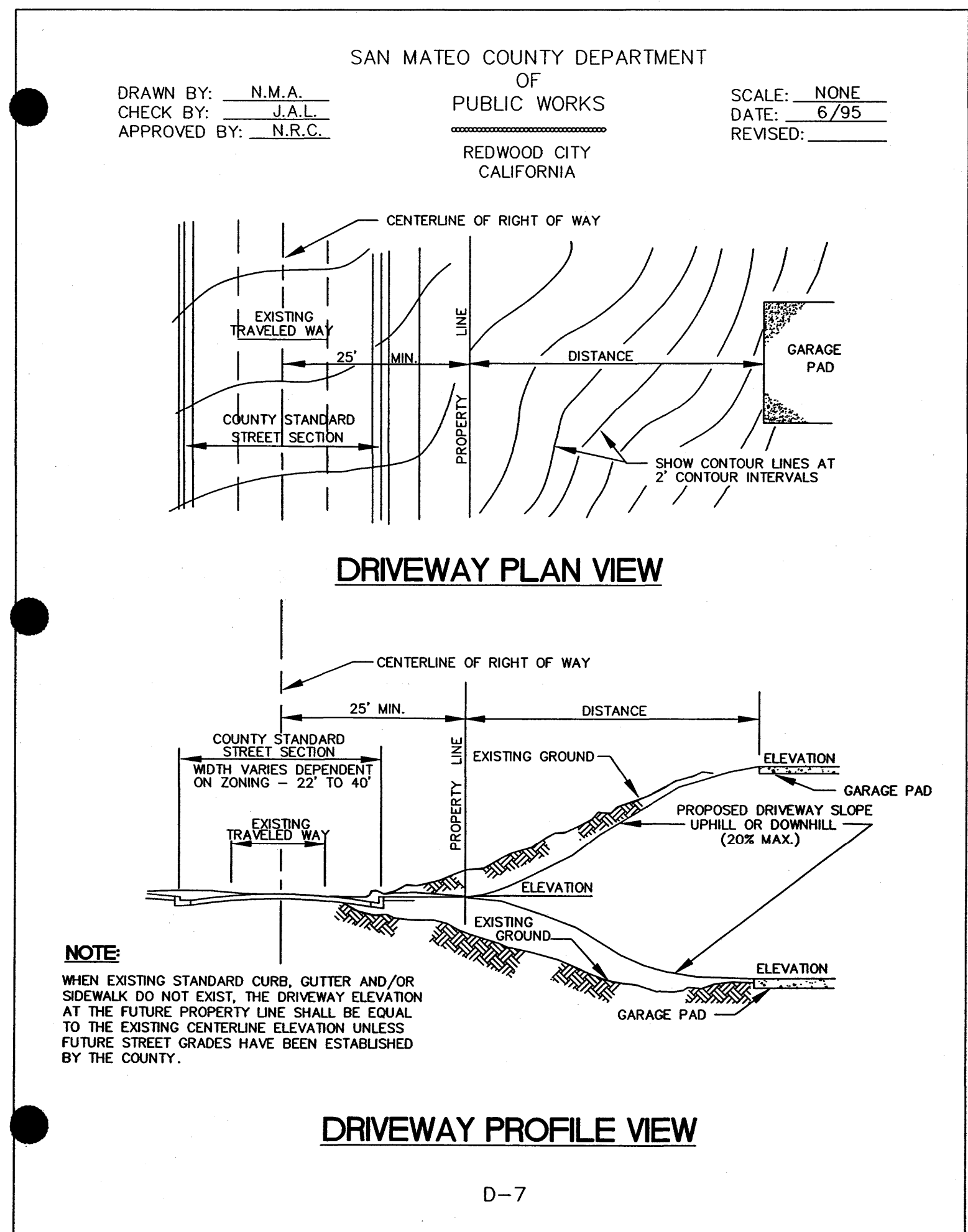
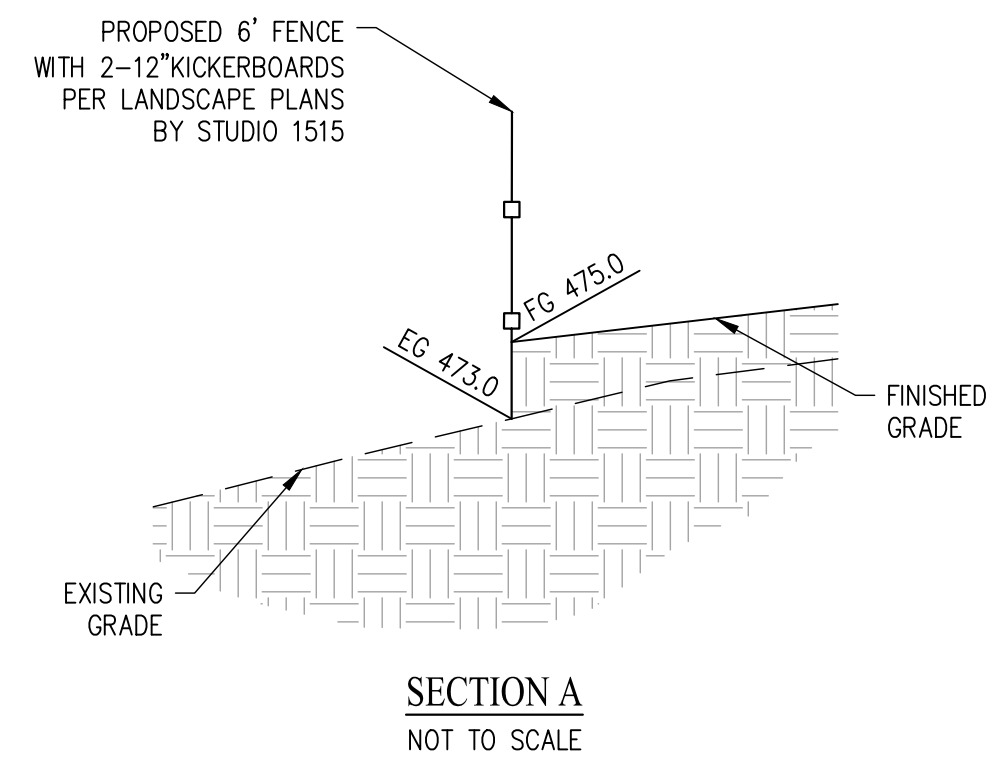
REG. PROFESSIONAL ENGINEER
JUSTIN R. DEKNOBLOUGH
79604
CIVIL
STATE OF CALIFORNIA

THOMAS JAMES HOMES
ROSEVILLE
WWW.CBANDG.COM
PLANNERS
SURVEYORS
CIVIL ENGINEERS

cbg
CALIFORNIA

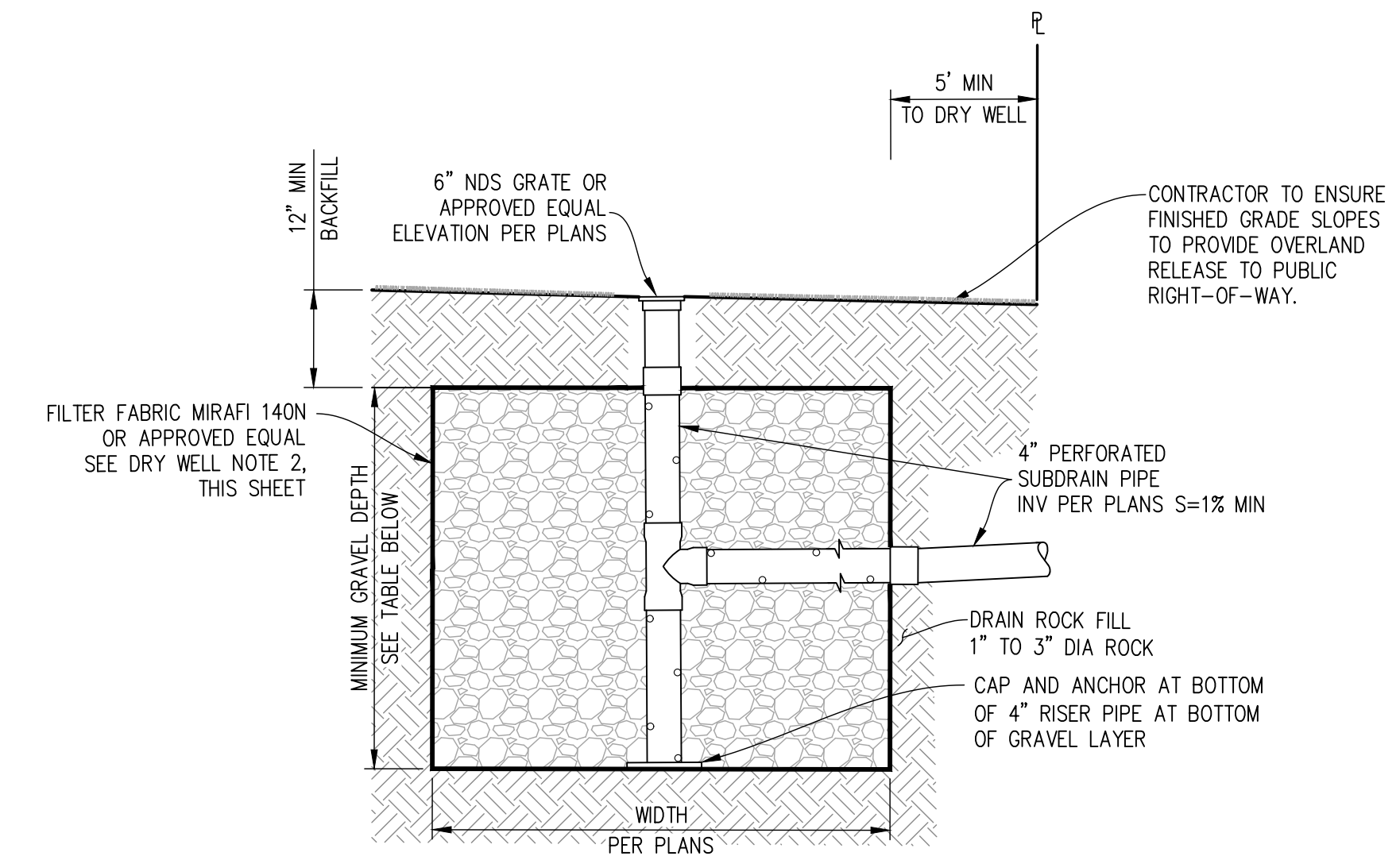
607 HANDLEY TRAIL
GRADING AND DRAINAGE PLAN
NOTES, LEGEND, ABBREVIATIONS, AND SITE PLAN
THOMAS JAMES HOMES
SAN MATEO COUNTY

SHEET NUMBER
GP-1
OF 3
JOB NUMBER
3085-00



COUNTY GENERAL NOTES

- ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITY CROSSINGS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO START OF ANY CONSTRUCTION AFFECTING SAID LINES. CONTACT USA AT 811 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION.
- ALL APPLICABLE WORK AND MATERIALS SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE SAN MATEO COUNTY STANDARDS.
- THE CONTRACTOR SHALL RESTORE ALL DAMAGED, REMOVED OR OTHERWISE DISTURBED WALLS, FENCES, SERVICES, UTILITIES, IMPROVEMENTS OR FEATURES OF WHATEVER NATURE, DUE TO CONTRACTOR'S WORK.
- THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE INSTALLATION OF FACILITIES BY PG&E, PACIFIC BELL, AND CABLE TV INSTALLATION. VALVE BOXES AND MANHOLES, AND STRUCTURES TO BE SET TO GRADE IN CONCRETE AFTER PAVING.
- ALL STREET MONUMENTS AND OTHER PERMANENT MONUMENTS DISTURBED DURING THE PROCESS OF CONSTRUCTION SHALL BE REPLACED BEFORE ACCEPTANCE OF THE IMPROVEMENTS BY THE COUNTY ENGINEER.
- FOR LANE CLOSURES, THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN AND OBTAIN APPROVAL OF THE CITY ENGINEER BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE FLAGMEN, CONES OR BARRICADES, AS NECESSARY TO CONTROL TRAFFIC AND PREVENT HAZARDOUS CONDITIONS PER THE CALIFORNIA STANDARD PLANS, SPECIFICATIONS, AND MANUAL ON TRAFFIC CONTROL DEVICES, LATEST EDITION.
- NO TRENCHES OR HOLES SHALL BE LEFT OPEN OVERNIGHT; USE STEEL PLATING OR HOT-MIX ASPHALT AS REQUIRED TO PROTECT OPEN TRENCHES OVERNIGHT.
- THE CONTRACTOR SHALL CONTROL DUST AT ALL TIMES AND SWEET STREETS AS OFTEN AS NECESSARY DURING CONSTRUCTION AS REQUIRED BY THE COUNTY ENGINEER.
- ALL REVISIONS TO THIS PLAN MUST BE REVIEWED AND APPROVED BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON REVISED PLANS STAMPED AND SIGNED BY CITY COUNTY ENGINEER PRIOR TO THE INSTALLATION OF THE IMPROVEMENTS.
- ALL CONSTRUCTION STAKING FOR CURB, GUTTER, SIDEWALK, SANITARY SEWERS, STORM DRAINS, WATER LINES, FIRE HYDRANTS, ELECTROLIERS, ETC., SHALL BE DONE BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR.
- THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD. THE GEOTECHNICAL ENGINEER OF RECORD SHALL FOLLOW CBC2019 FOR ALL CONSTRUCTION OBSERVATION REQUIREMENTS.

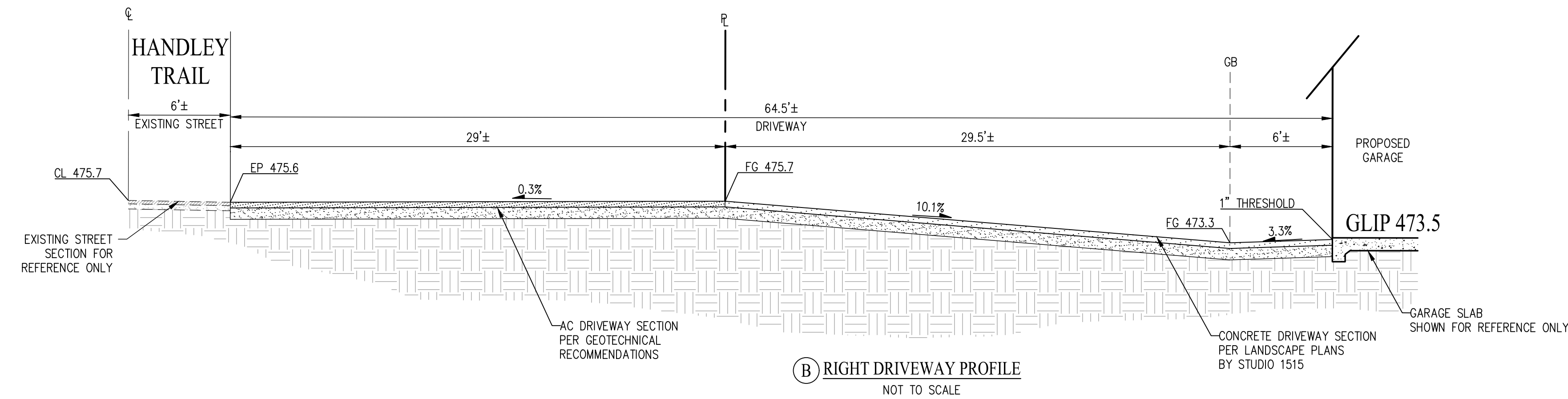
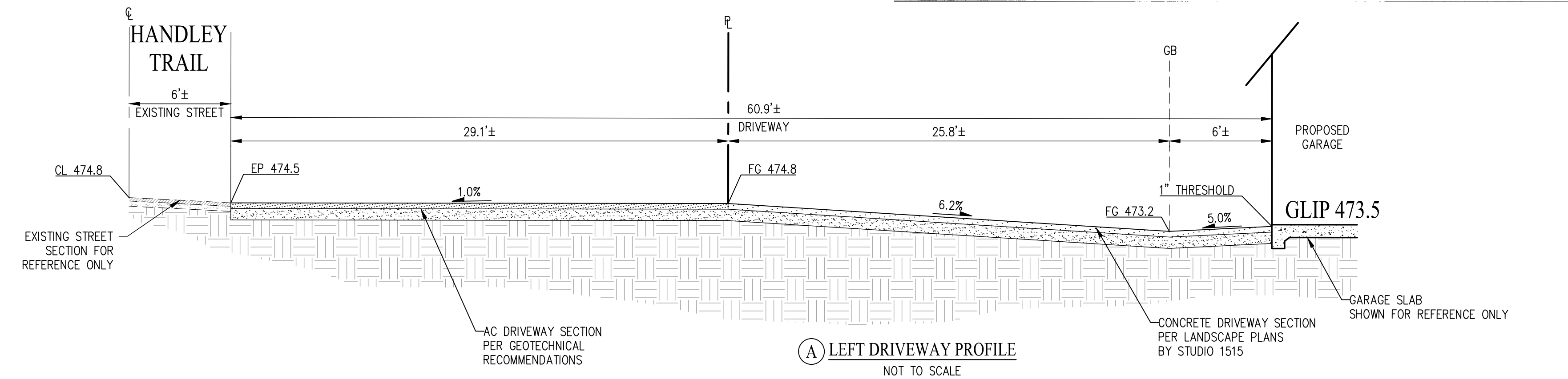


1 DRY WELL DETAIL
NOT TO SCALE

DRY WELL SUMMARY		
DRY WELL	AREA (SF)	MIN. DEPTH (FT)
1	96	4.0
2	144	3.0

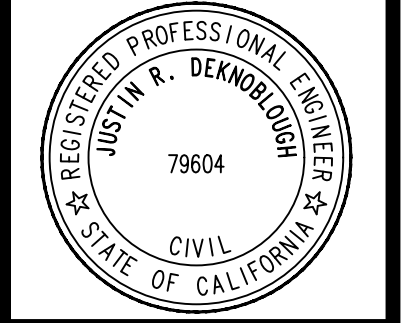
NOTES:

- THE SOIL UNDER THE DRY WELL SHALL BE OVER-EXCAVATED TO AT LEAST ONE FOOT IN DEPTH. THE SOIL SHALL BE RE PLACED UNIFORMLY WITHOUT COMPACTION, OR AMENDED WITH 15-30% OF COARSE SAND AND REPLACED WITHOUT COMPACTION.
- IF A DRY WELL IS INSTALLED WITHIN 10' OF A DRIVEWAY OR CONCRETE WALKWAY, ONLY THE SIDEWALLS OF THE DRY WELLS SHOULD BE WRAPPED WITH AN IMPERMEABLE LINER PER GEOTECHNICAL RECOMMENDATIONS. ADDITIONAL GEOTECHNICAL RECOMMENDATIONS REGARDING DRIVEWAY CONSTRUCTION MAY BE WARRANTED. THE BOTTOM OF THE DRY WELL SHOULD NOT BE WRAPPED WITH AN IMPERMEABLE LINER.
- DRY WELL TO BE CONSTRUCTED PER COUNTY OF SAN MATEO DRAINAGE MANUAL SECTION 4.0.
- DRY WELLS SHALL BE SETBACK A MINIMUM 5' FROM PROPERTY LINES.

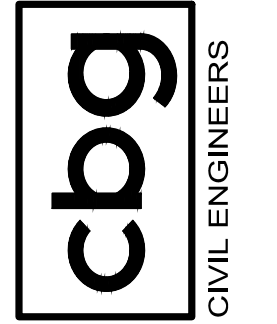


PRELIMINARY PLANS
NOT FOR CONSTRUCTION

DATE: APR 2023
 DRAWN BY: SLC
 PROJECT ENGR: REN
 PROJ. MGR: JRD



SAN RAMON (925) 866-0322
 ROSEVILLE (916) 375-1877
 WWW.CBANDG.COM
 CIVIL ENGINEERS SURVEYORS PLANNERS



THOMAS JAMES HOMES
 807 HANDLEY TRAIL
GRADING AND DRAINAGE PLAN
 NOTES AND DETAILS
 SAN MATEO COUNTY
 CALIFORNIA

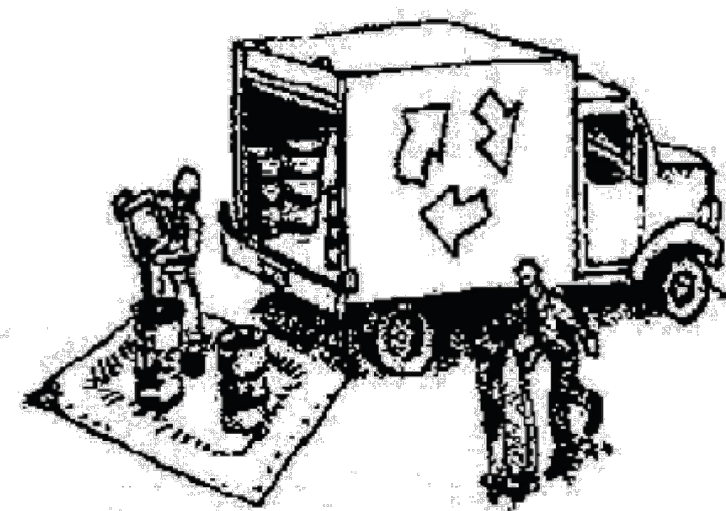
SHEET NUMBER
GP-2
 OF 3
 JOB NUMBER
 3085-00



Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



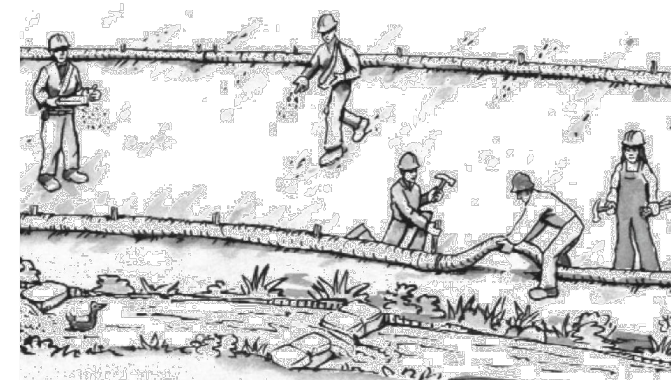
Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving

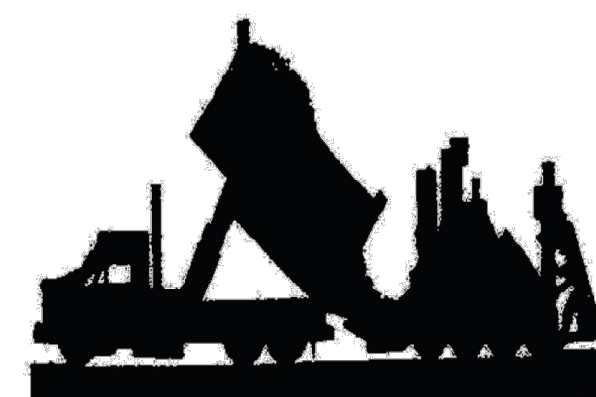


- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work

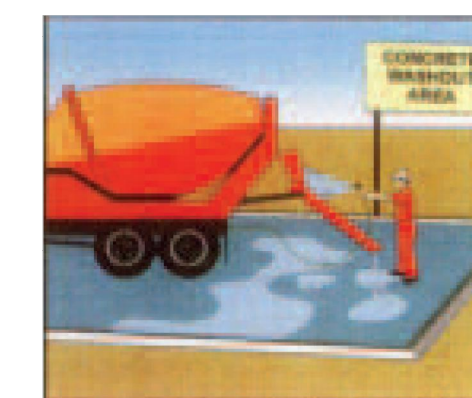


- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

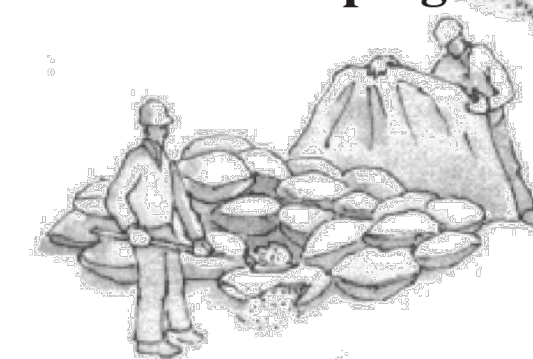
- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



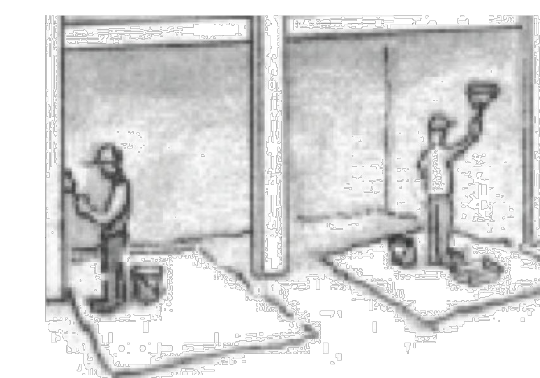
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

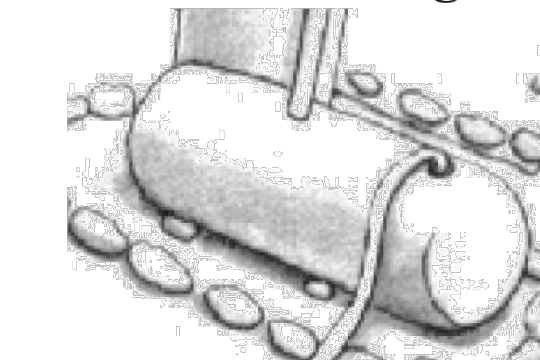
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering

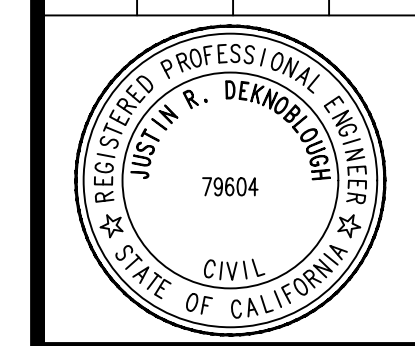


- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

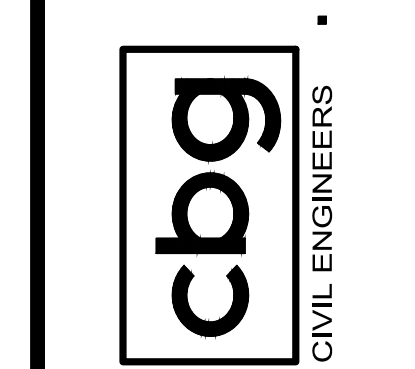
Storm drain polluters may be liable for fines of up to \$10,000 per day!

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

DATE: APR 2023
DRAWN BY: SLC
PROJ. ENGR: REN
PROJ. MGR: JRD



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ROSEVILLE • (916) 375-1877
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THOMAS JAMES HOMES
807 HANDLEY TRAIL
CALIFORNIA

GRADING AND DRAINAGE PLAN
CONSTRUCTION BMPs

SHEET NUMBER
GP-3
OF 3
JOB NUMBER
3085-00

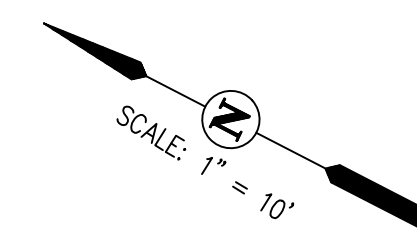


GENERAL NOTES:

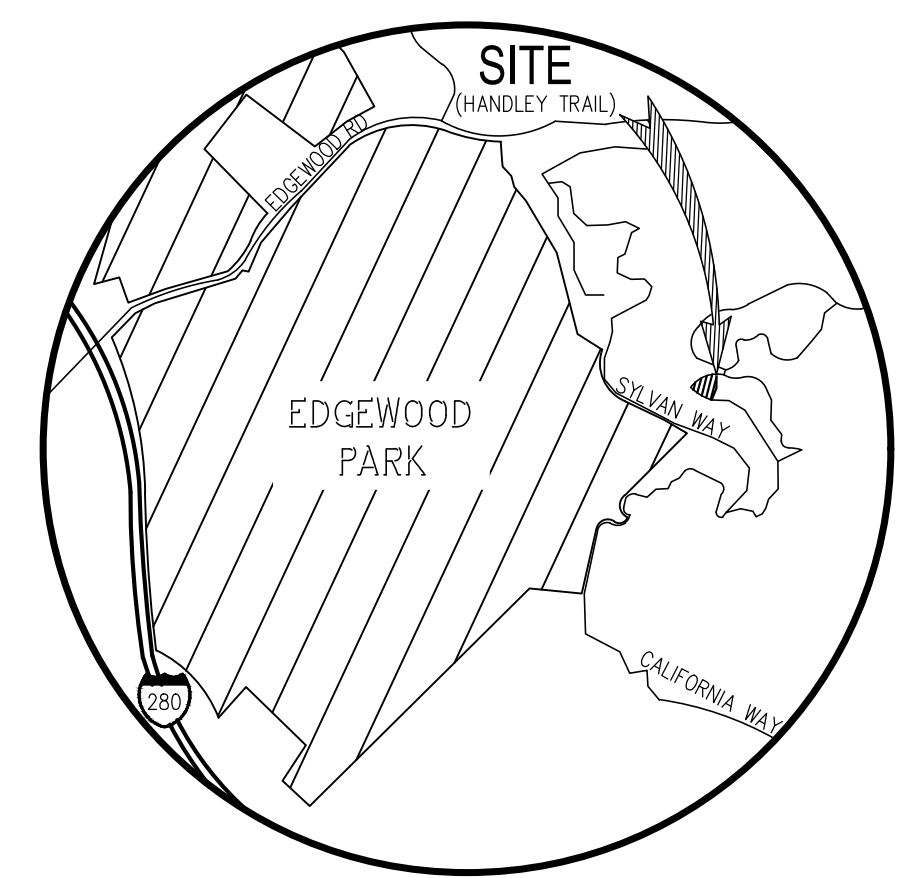
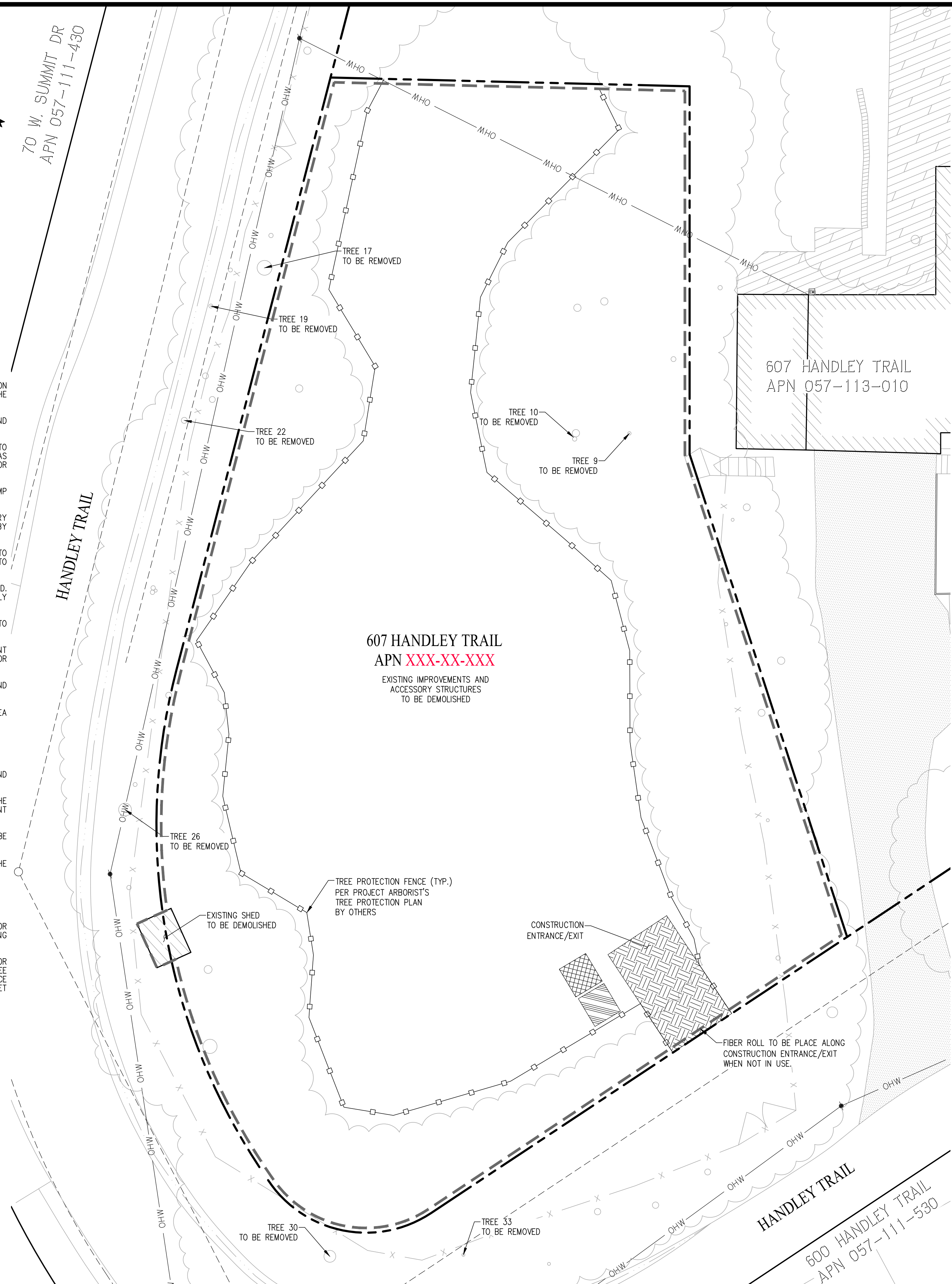
1. SITE ADDRESS: 607 HANDLEY TRAIL
EMERALD HILLS, CA 94062
2. DEVELOPER: THOMAS JAMES HOMES
275 SHORELINE DRIVE SUITE 400
REDWOOD CITY, CA 94065
(650) 434-7966
KEN KING
3. CIVIL ENGINEER: CARLSON, BARBEE & GIBSON, INC.
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CA 94583
(925) 866-0322
JUSTIN R. DEKNOBLOUGH, R.C.E. 79604

BEST MANAGEMENT PRACTICE NOTES:

1. IT SHALL BE THE OWNER'S DUTY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO ENSURE THE ENTIRE SITE IS IN COMPLIANCE WITH LOCAL ORDINANCES PROTECTION THE CASQA CONSTRUCTION BMP GUIDANCE HANDBOOK.
2. THIS PLAN IS INTENDED TO BE UTILIZED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE UTILIZED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
3. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN AS NECESSARY IN THE FIELD. DOCUMENT AND REPORT ANY FIELD CHANGES AND NOTIFY THE CITY OR COUNTY REPRESENTATIVE OF THE FIELD CHANGES.
4. ALL MAINTENANCE AND OPERATION REQUIREMENTS SHALL FOLLOW THE CASQA CONSTRUCTION BMP GUIDANCE HANDBOOK.
5. THE CONTRACTOR OR OWNER SHALL EFFECT AND MAINTAIN PRECAUTIONARY MEASURES NECESSARY TO PROTECT ADJACENT WATERCOURSES AND PUBLIC OR PRIVATE PROPERTY FROM DAMAGE BY EROSION, FLOODING AND DEPOSITION OF MUD OR DEBRIS ORIGINATING FROM THE SITE.
6. PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.
7. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL DENUDED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
8. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
9. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
10. USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) AS NECESSARY.
11. AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
12. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
13. LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
14. AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
15. TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
16. THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE, ETC., SHALL NOT BE ENLARGED OR "RUN OVER."
17. CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON."
18. DUST CONTROL IS REQUIRED YEAR-ROUND.
19. EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
20. USE OF PLASTIC SHEETING BETWEEN OCTOBER 1 AND APRIL 30 IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
21. TREE PROTECTION SHALL BE IN PLACE BEFORE ANY DEMOLITION, GRADING, EXCAVATING OR GRUBBING IS STARTED. TREE PROTECTION FENCING IS PLACED AROUND TREES TO CREATE A TREE PROTECTION ZONE. TREE PROTECTION SHOWN IS FOR REFERENCE ONLY AND SHALL BE PLACE ACCORDING TO TREE PROTECTION PLAN BY ROACH AND CAMPBELL AND RECOMMENDATIONS SET FORTH IN THE PROJECT'S ARBORIST REPORT.



70 W. SUMMIT DR
APN 057-111-430



VICINITY MAP
NOT TO SCALE

LEGEND

- PROJECT BOUNDARY
- ADJOINER PROPERTY LINE
- EXISTING FENCE
- TREE PROTECTION FENCE
- TEMPORARY TREE PROTECTION FENCING DURING DEMOLITION
- FIBER ROLL - (SE-5)
- TEMPORARY INLET PROTECTION (SE-10)
- STABILIZED CONSTRUCTION ENTRANCE/EXIT - (TC-1)
- DIRECTION OF FLOW

PROJECT SUPERINTENDENT TO MARK KNOWN LOCATIONS*

- MATERIALS AND EQUIPMENT STORAGE AREA (WM-1 - WM-3**)
- SANITARY FACILITY (WM-9**)

NOTE:

- * THE MATERIALS AND EQUIPMENT STORAGE AREA, SANITARY FACILITY, AND CONCRETE/WASTE WASHOUT ARE ASSUMED LOCATIONS AND ARE SUBJECT TO CHANGE AT THE PROJECT SUPERINTENDENT'S DISCRETION OR DUE TO FIELD CONDITIONS.
- ** DENOTES SECTION RELATED TO BMP IN THE CASQA BMP HANDBOOK.

CURRENT CASQA STORMWATER BMP CONSTRUCTION HANDBOOK DETAILS

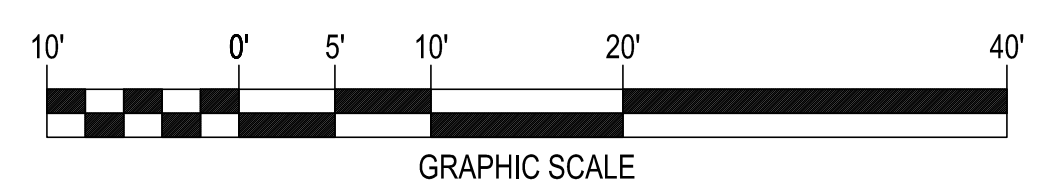
- EC-1 SCHEDULING
- NS-1 WATER CONSERVATION PRACTICES
- NS-8 VEHICLE & EQUIPMENT CLEANING
- NS-9 VEHICLE & EQUIPMENT FUELING
- NS-10 VEHICLE & EQUIPMENT MAINTENANCE
- NS-12 CONCRETE CURING
- NS-13 CONCRETE FINISHING
- SE-1 SILT FENCE
- SE-5 FIBER ROLLS
- SE-10 STORM DRAIN INLET PROTECTION
- TC-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT
- WE-1 WIND EROSION CONTROL
- WM-1 MATERIAL DELIVERY & STORAGE
- WM-2 MATERIAL USE
- WM-3 STOCKPILE MANAGEMENT
- WM-8 CONCRETE WASTE MANAGEMENT
- WM-9 SANITARY/SEPTIC WASTE MANAGEMENT

NOTE:

NOT ALL DETAILS LISTED MAY BE APPLICABLE FOR THIS SITE.

SHEET INDEX

- ECP-1 EROSION CONTROL PLAN
- ECP-2 EROSION CONTROL DETAILS
- ECP-3 EROSION CONTROL & CONSTRUCTION BMP

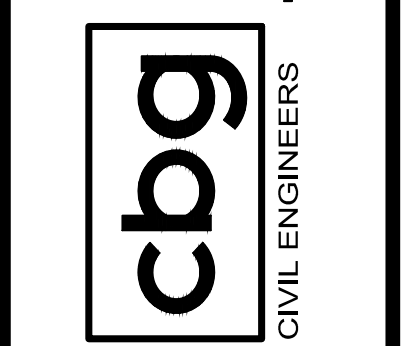


NO.	BY	DATE	REVISIONS

DATE: MAR 2023
DRAWN BY: SLC
PROJECT ENGR: REN
PROJ. MGR: JRD



SAN RAMON (925) 866-0322
SACRAMENTO (916) 375-1877
WWW.CBANDG.COM
CIVIL ENGINEERS SURVEYORS PLANNERS

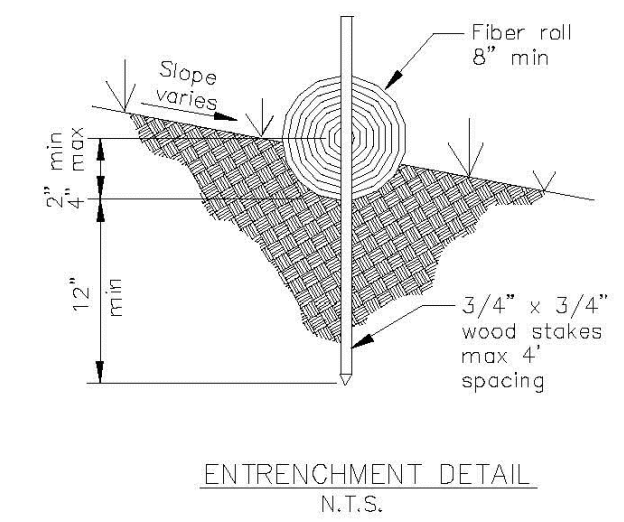
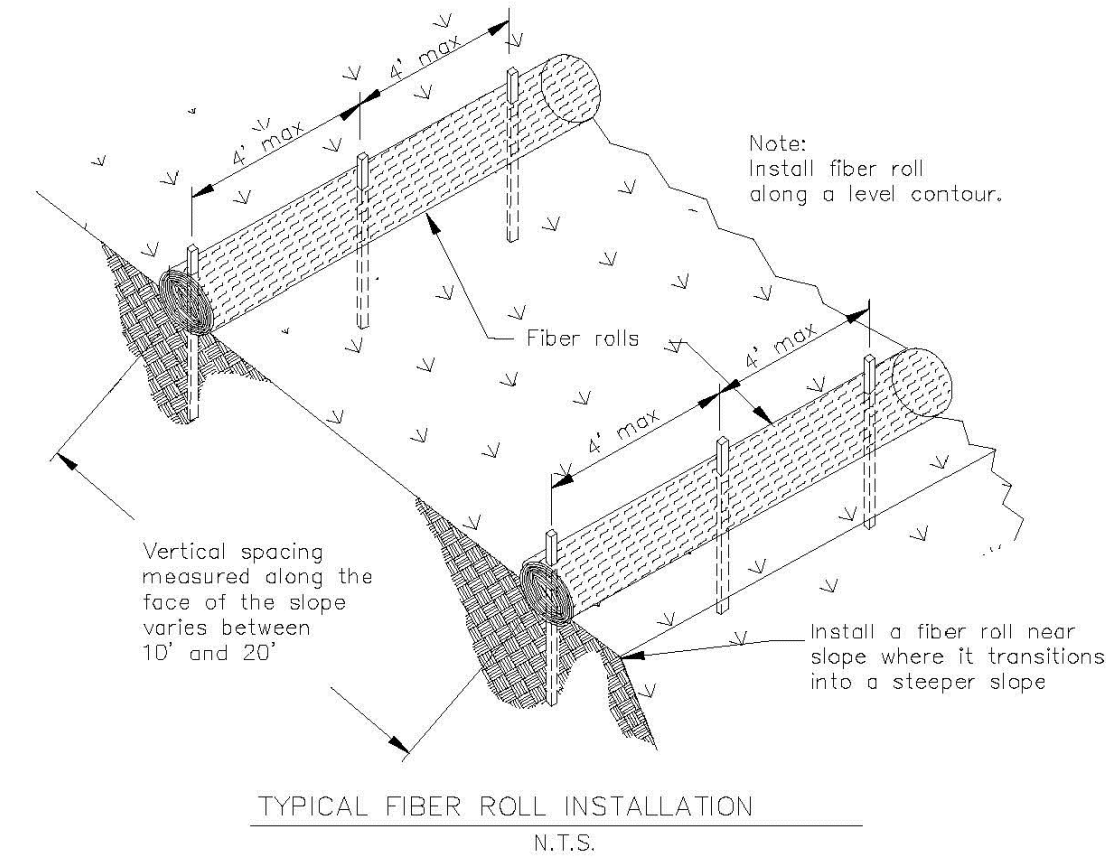


607 HANDLEY TRAIL
THOMAS JAMES HOMES
CALIFORNIA

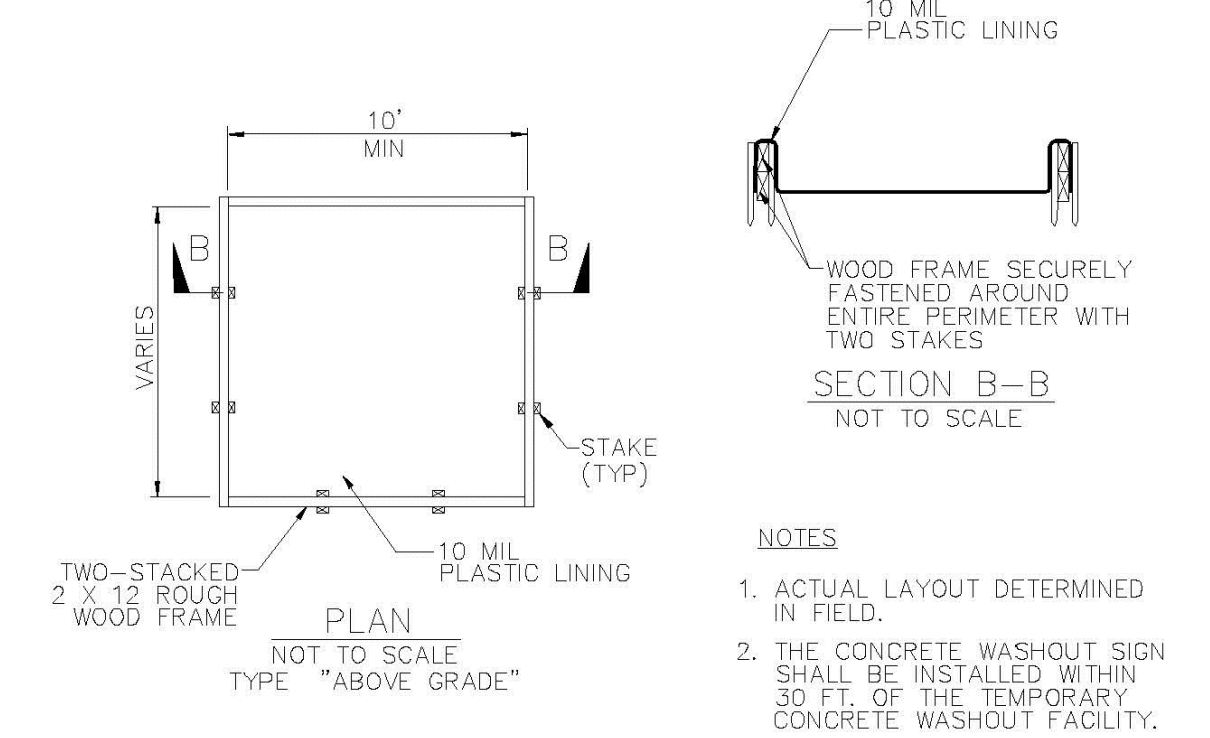
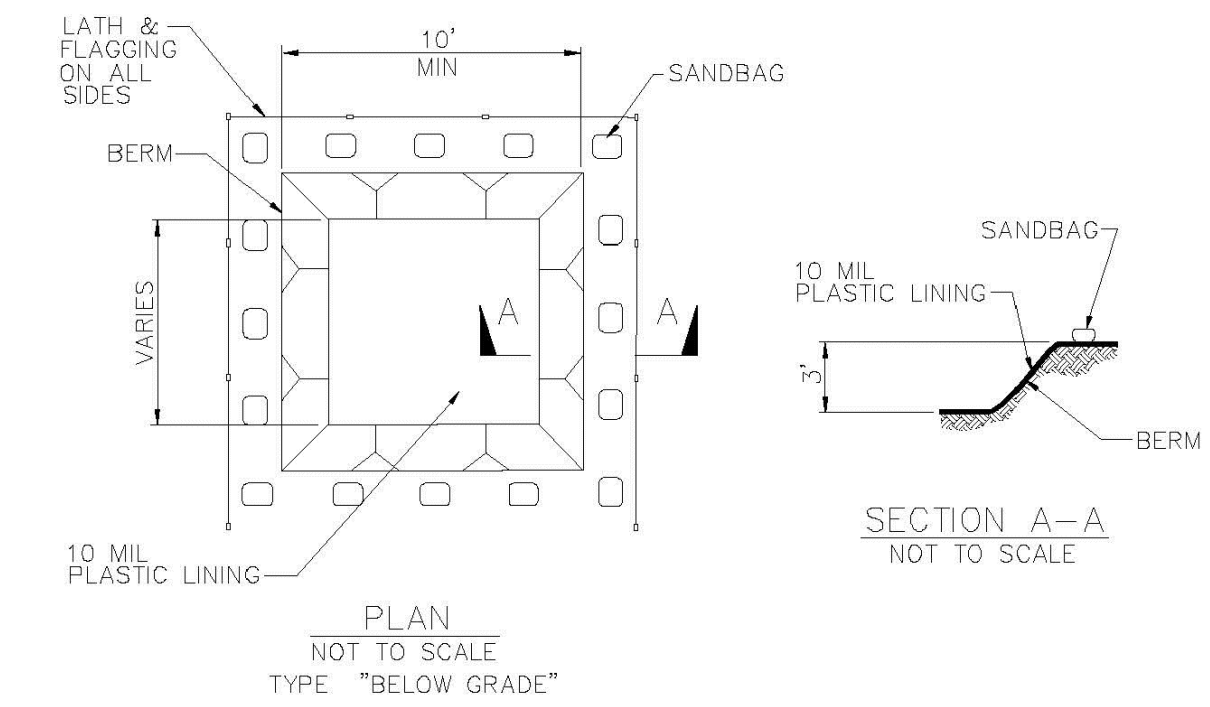
EROSION CONTROL PLAN

SHEET NUMBER
ECP-1
OF 3
JOB NUMBER
3085-000

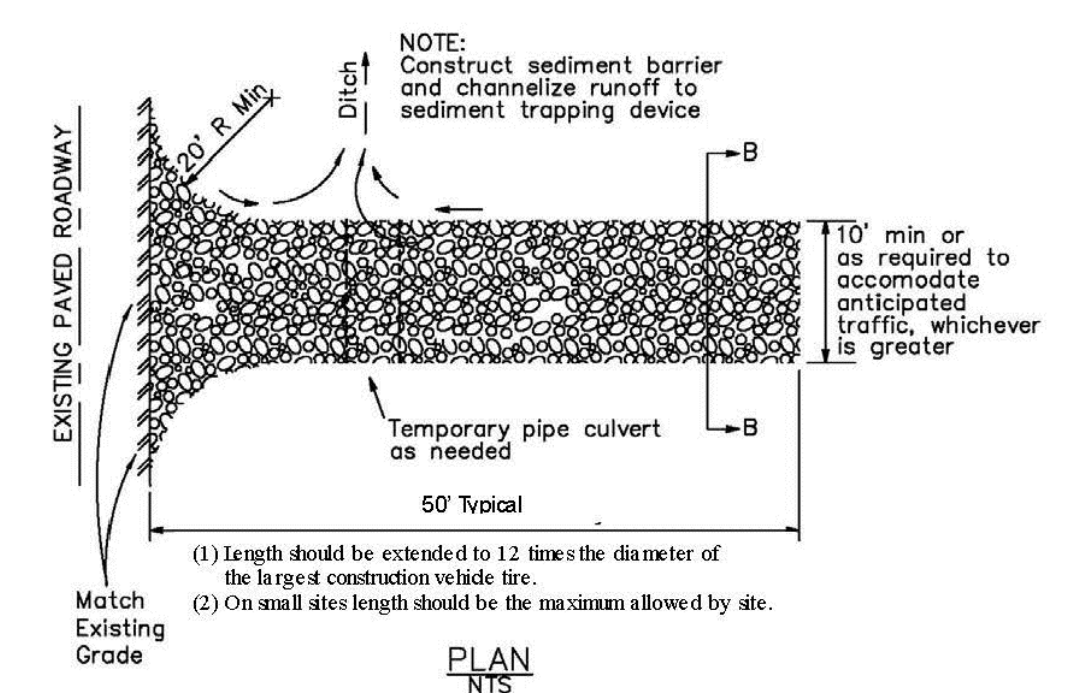
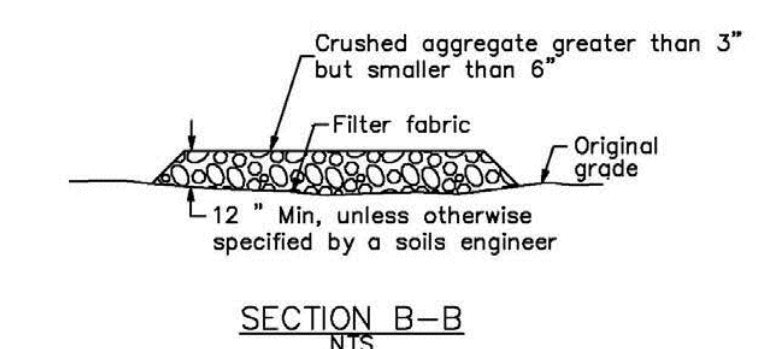
Fiber Rolls SE-5



Concrete Waste Management WM-8



Stabilized Construction Entrance/Exit TC-1



NO.	BY	DATE	REVISIONS

DATE: MAR 2023
DRAWN BY: SLC
PROJ. ENGR: REN
PROJ. MGR: JRD

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THOMAS JAMES HOMES
807 HANDLEY TRAIL
CALIFORNIA

EROSION CONTROL DETAILS

SAN MATEO COUNTY

SHEET NUMBER
ECP-2
OF 3

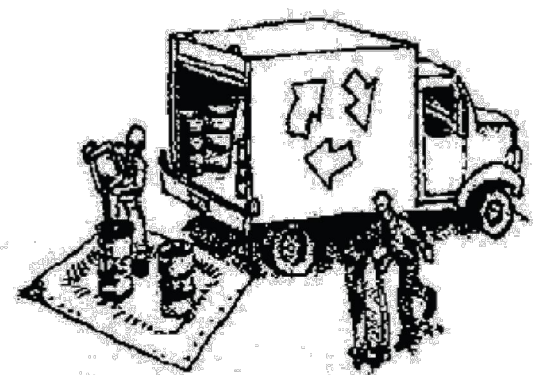
JOB NUMBER
3085-000



Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Bern and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



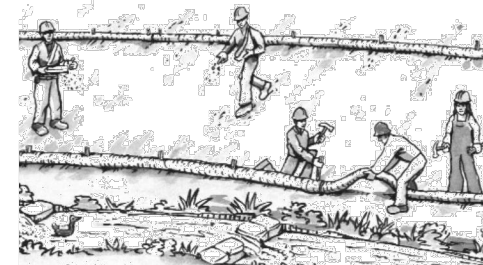
Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving

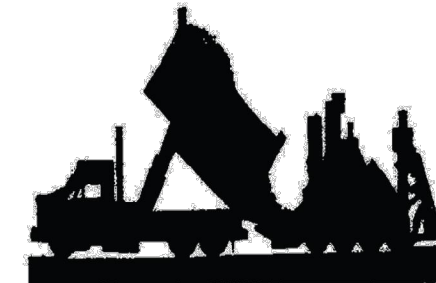


- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells.
 - Buried barrels, debris, or trash.

Paving/Asphalt Work

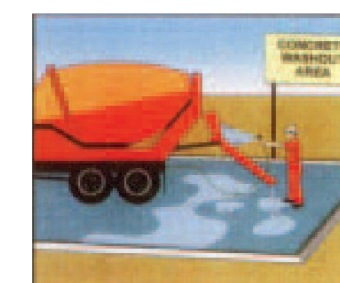


- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!)
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



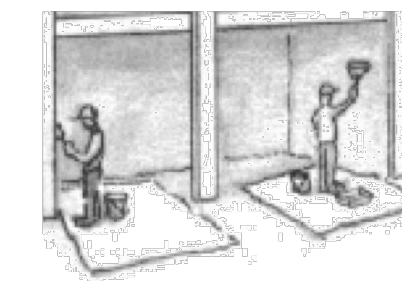
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

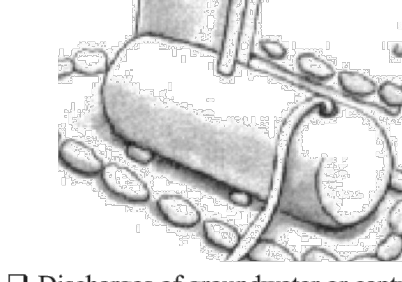
Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

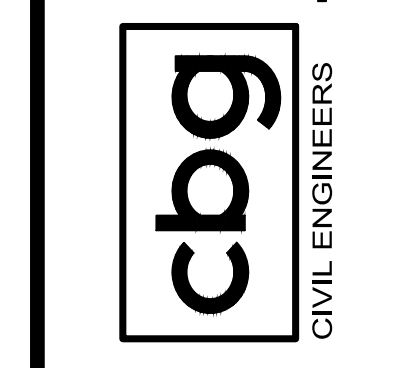
Storm drain polluters may be liable for fines of up to \$10,000 per day!

NO.	BY	DATE	REVISIONS

DATE: MAR 2023
 DRAWN BY: SLC
 PROJ. ENGR: REN
 PROJ. MGR: JRD



SAN RAMON • (925) 866-0322
 SACRAMENTO • (916) 375-1877
 WWW.CBANDG.COM
 CIVIL ENGINEERS • SURVEYORS • PLANNERS

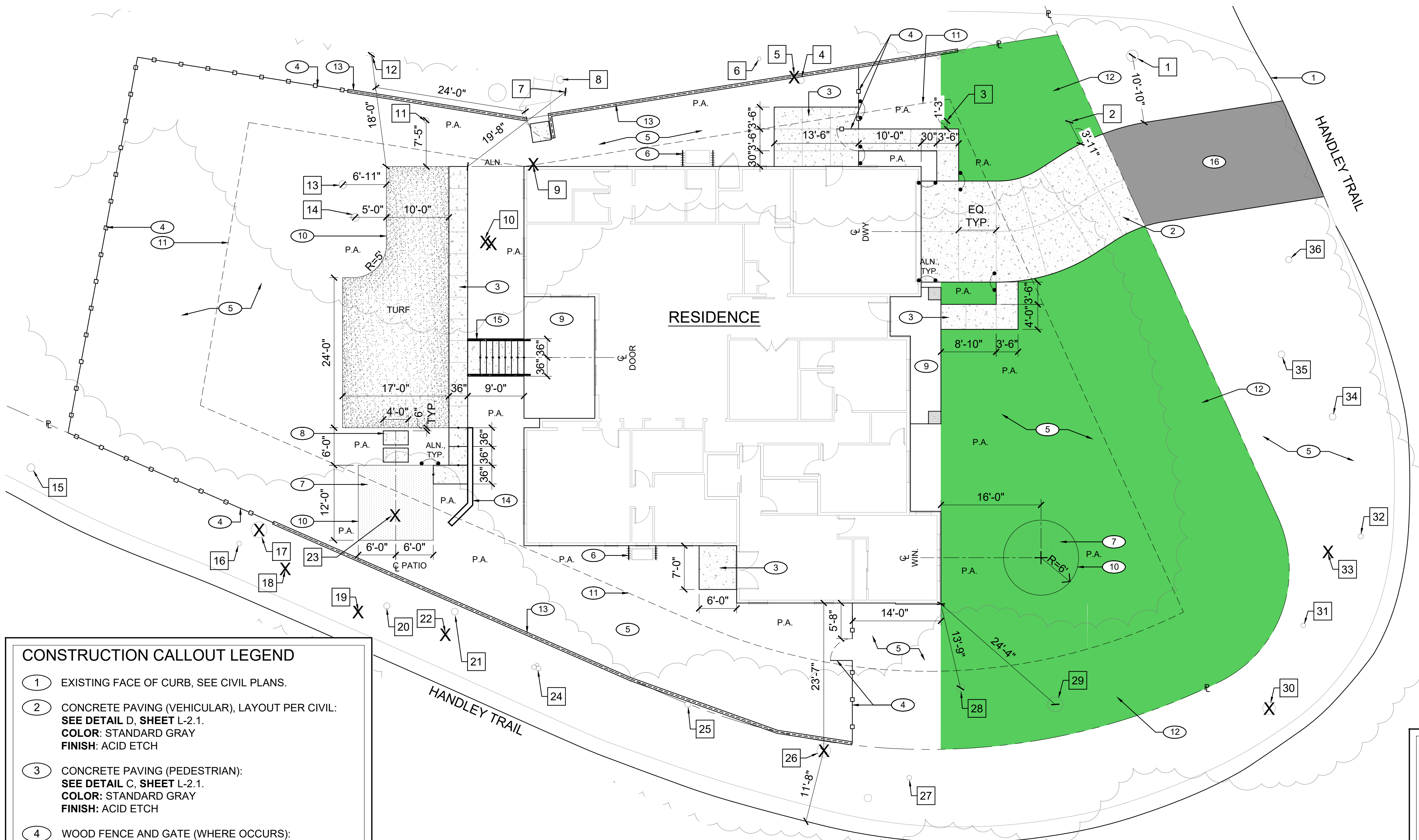


THOMAS JAMES HOMES
 607 HANDLEY TRAIL
 CALIFORNIA
EROSION CONTROL & CONSTRUCTION BMPs
 SAN MATEO COUNTY

SHEET NUMBER
ECP-3
 OF 3
 JOB NUMBER
 3085-000

CONSTRUCTION NOTES

- LOCAL CODES AND ORDINANCES: WORK SHALL CONFORM TO ALL LOCAL CODES, ORDINANCES, AND REQUIREMENTS, INCLUDING FEDERAL ACCESSIBILITY GUIDELINES. NOTHING IN THE CONTRACT DOCUMENTS SHALL BE CONSTRUED AS AN EXEMPTION TO APPLICABLE CODES OR OTHER JURISDICTIONAL REQUIREMENTS.
- UTILITIES: CONTACT COMMON GROUND ALLIANCE (C.G.A.) AT 811, AT LEAST TWO WORKING DAYS IN ADVANCE OF WORK (PER CA GOV. CODE 4216). THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, WHETHER SHOWN OR NOT, AND SHALL PAY FOR ANY REPAIRS REQUIRED DO TO THE CONTRACTOR'S OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.
- DISCREPANCIES: NOTIFY DISTRICT'S REPRESENTATIVE OF ANY VARIATIONS BETWEEN THE CONTRACT DOCUMENTS AND FIELD CONDITIONS. DO NOT PROCEED WHERE DIFFERENCES EXIST THAT WOULD AFFECT THE WORK. ALL ADJUSTMENTS DO TO FIELD CONDITIONS MUST BE APPROVED BY THE DISTRICT'S REPRESENTATIVE PRIOR TO CONTINUING.
- LAYOUT NOTES: THE WRITTEN DIMENSION SUPERCEDES SCALED OR GRAPHIC DENOTATION. DIMENSIONS ARE BETWEEN PARALLEL OR PERPENDICULAR POINTS UNLESS NOTED OTHERWISE. DIMENSIONS ARE TO CENTERLINE OR FACE OF MASONRY, CONCRETE OR FRAMING SUBSTRATE FINISH SURFACES, UNLESS NOTED OTHERWISE.
- COORDINATION: CONTRACTOR SHALL COORDINATE WORK BETWEEN TRADES. ALL REQUIRED SLEEVING SHALL BE COORDINATED WITH SITE WORK, INCLUDING OTHER UNDERGROUND UTILITIES, CURBS, AND CONCRETE.
- VERTICAL WORK: ALL VERTICAL CONSTRUCTION SHALL BE INSTALLED TRUE AND PLUMB. ALL UNIT COURSING AND TOP OF WALLS, FENCES, ETC. SHALL BE LEVEL UNLESS NOTED OTHERWISE. ALL CURVES SHALL BE CONTINUOUS AND EVEN, WITH NO BREAKS OR ANGLES AT POINTS OF TANGENCY OR FORMWORK JOINTING.
- LEAD TIME: SPECIFIED MATERIALS MAY REQUIRE A SIGNIFICANT LEAD TIME. CONTRACTOR IS SOLELY RESPONSIBLE TO LEAD TIMES AND TO PROVIDE SUBMITTALS, AND ORDER MATERIAL, AND ENSURE DELIVERY TO THE JOB SITE TO ALLOW TIMELY PROGRESSION OF WORK.
- EXISTING WORK: WHERE NEW CONSTRUCTION ABUTS EXISTING WORK, ALL EXISTING WORK SHALL BE PROTECTED. CONTRACTOR SHALL REPLACE ANY DAMAGED EXISTING WORK AT NO ADDITIONAL EXPENSE TO THE OWNER. ALL NEW WORK WILL CONFORM TO EXISTING WORK, INCLUDING FLATWORK JOINTS, ELEVATIONS, COLOR, AND FINISH.
- FENCING: FENCE LOCATIONS SHOWN ARE DIAGRAMMATIC FINAL LOCATIONS ARE TO BE COORDINATED IN THE FIELD BY THE LANDSCAPE CONTRACTOR.



CONSTRUCTION CALLOUT LEGEND

- EXISTING FACE OF CURB, SEE CIVIL PLANS.
- CONCRETE PAVING (VEHICULAR), LAYOUT PER CIVIL: SEE DETAIL D, SHEET L-2.1. COLOR: STANDARD GRAY FINISH: ACID ETCH
- CONCRETE PAVING (PEDESTRIAN): SEE DETAIL C, SHEET L-2.1. COLOR: STANDARD GRAY FINISH: ACID ETCH
- WOOD FENCE AND GATE (WHERE OCCURS): SEE DETAIL A, SHEET L-2.0.
- 3" MIN. BARK MULCH IN LANDSCAPE AREA, TYP. COLOR: NATURAL BROWN
- A/C UNIT SCREEN: LANDSCAPE CONTRACTOR, SEE MEP DRAWINGS FOR CONDENSATE DISCHARGE METHOD. ADD DRYWELL PER MEP PLANS IF REQUIRED. CONFIRM DRYWELL LOCATION WITH TJH PRIOR TO INSTALLATION. SEE DETAIL B, SHEET L-2.0.
- DECOMPOSED GRANITE PAVING: SEE DETAIL E, SHEET L-2.1. COLOR: GOLD OR LIGHT TAN.
- CONCRETE PAVER WITH PLANTED JOINTS: SEE DETAIL B, SHEET L-2.1. COLOR: GRAY FINISH: ACID ETCH
- COVERED CONCRETE PATIO PER ARCHITECT.
- STEEL HEADER: SEE DETAIL F, SHEET L-2.1.
- BUILDING SETBACK LINE.
- FRONT YARD SETBACK FOR CALCULATIONS.
- WOOD FENCE RETAINING GRADE: SEE DETAIL A, SHEET L-2.1.
- RETAINING WALL: SEE ENGINEER'S PLANS.
- CONCRETE STAIR/ HANDRAIL: SEE DETAIL C, SHEET L-2.0.
- ASPHALT DRIVEWAY IN R.O.W. SEE CIVIL ENGINEERS PLANS

TREE PROTECTION CHART

TAG#	PROTECTED TREE	DBH	SCIENTIFIC NAME	COMMON NAME	STATUS
1	Significant	22"	Quercus agrifolia	Coastal live oak	TO REMAIN
2	N/A	9"	Quercus agrifolia	Coastal live oak	TO REMAIN
3	N/A	6"	Quercus agrifolia	Coastal live oak	TO REMAIN
4	Significant	14"	Quercus agrifolia	Coastal live oak	TO REMAIN
5	Significant	15"	Quercus agrifolia	Coastal live oak	REMOVE
6	N/A	7"	Quercus agrifolia	Coastal live oak	TO REMAIN
7	N/A	6"	Prunus sp.	Cherry	TO REMAIN
8	Significant	14"	Prunus sp.	Cherry	TO REMAIN
9	N/A	7"	Quercus agrifolia	Coastal live oak	REMOVE
10	Significant	(9)(15)	Quercus agrifolia	Coastal live oak	REMOVE
11	N/A	10"	Quercus agrifolia	Coastal live oak	TO REMAIN
12	N/A	9"	Quercus agrifolia	Coastal live oak	TO REMAIN
13	Significant	15"	Quercus agrifolia	Coastal live oak	TO REMAIN
14	Significant	15"	Quercus agrifolia	Coastal live oak	TO REMAIN
15	Significant	15"	Quercus agrifolia	Coastal live oak	TO REMAIN
16	N/A	9"	Quercus agrifolia	Coastal live oak	TO REMAIN
17	Significant	30"	Pinus radiata	Monterey pine	REMOVE
18	N/A	8"	Quercus agrifolia	Coastal live oak	REMOVE
19	N/A	6"	Quercus agrifolia	Coastal live oak	REMOVE
20	Significant	12"	Quercus agrifolia	Coastal live oak	TO REMAIN
21	Significant	13"	Quercus agrifolia	Coastal live oak	TO REMAIN
22	N/A	10"	Quercus agrifolia	Coastal live oak	REMOVE
23	Significant	15"	Prunus sp.	Cherry	REMOVE
24	Significant	(9)(9)(6)	Quercus agrifolia	Coastal live oak	TO REMAIN
25	Significant	12"	Quercus agrifolia	Coastal live oak	TO REMAIN
26	Significant	26"	Pinus radiata	Monterey pine	REMOVE
27	N/A	9"	Quercus agrifolia	Coastal live oak	TO REMAIN
28	Significant	16"	Quercus agrifolia	Coastal live oak	TO REMAIN
29	Significant	29"	Quercus agrifolia	Coastal live oak	TO REMAIN
30	Significant	24"	Pinus radiata	Monterey pine	REMOVE
31	N/A	9"	Quercus agrifolia	Coastal live oak	TO REMAIN
32	N/A	10"	Quercus agrifolia	Coastal live oak	TO REMAIN
33	N/A	6"	Quercus agrifolia	Coastal live oak	REMOVE
34	Significant	13"	Quercus agrifolia	Coastal live oak	TO REMAIN
35	Significant	13"	Quercus agrifolia	Coastal live oak	TO REMAIN
36	Significant	12"	Quercus agrifolia	Coastal live oak	TO REMAIN

NOTE: REFER TO TREE PROTECTION PLAN FOR ADDITIONAL INFORMATION.

FRONTYARD

FRONTYARD TOTAL S.F.	4,494	
PROPOSED PERMEABLE AREA	3,905	86.9%
PROPOSED DRIVEWAY	504	11.2%
PROPOSED CONCRETE WALK	85	1.9%

SITE CALCULATIONS (PRESCRIPTIVE APPROACH)

607 Handley Trail	S.F.	% OF LOT AREA
EXISTING (TOTAL LOT S.F.)	16,041	
TOTAL PERMEABLE AREA	10,813	67.5%
PROPOSED SHRUB & GC AREA (% OF LANDSCAPE AREA)	2,676	24.7%
PROPOSED TURF AREA (% OF LANDSCAPE AREA)	592	5.5%
CONCRETE PAVERS WITH PLANTED JOINTS	30	.3%
PROPOSED DECOMPOSED GRANITE PAVING	144	1.3%
TOTAL IMPERMEABLE AREA	5,228	32.5%
CONCRETE DRIVEWAY	555	10.6%
COVERED CONCRETE PATIO (REAR)	220	4.2%
COVERED CONCRETE PORCH (FRONT)	124	2.3%
CONCRETE WALK	463	8.5%
RESIDENCE / GARAGE FOOTPRINT	3,866	73.9%

NOTE: WATER SUPPLY IS DOMESTIC

LAYOUT LEGEND

- C CENTERLINE
- ALN. ALIGN
- P PROPERTY LINE
- P.A. PLANTING AREA
- TURF SOD (LAWN)
- R RADIUS
- SQ. SQUARE
- TYP. TYPICAL

FENCE LEGEND

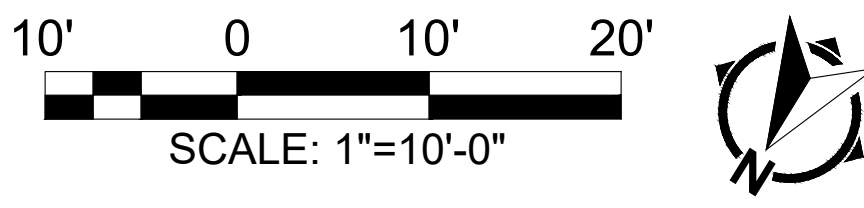
- PROPERTY LINE FENCE ±168 L.F. (CONTRACTOR TO VERIFY)
- PROPERTY LINE FENCE/ GATE W/ 1' RETAINING. ±198 L.F. (CONTRACTOR TO VERIFY)
- AC UNIT SCREEN FENCE SIMILAR TO PROPERTY FENCE ± 9.0 L.F. (CONTRACTOR TO VERIFY)
- STEEL HEADER, TYP. REFER TO PLAN FOR EXACT LOCATIONS AND CONDITIONS.

SYMBOL KEY

- 8 CONSTRUCTION CALLOUT, SEE CONSTRUCTION CALLOUT LEGEND
- 5 (E) TREE NUMBER, SEE ARBORIST REPORT

REFER TO SHEETS L-2.0, 2.1 FOR CONSTRUCTION DETAILS.

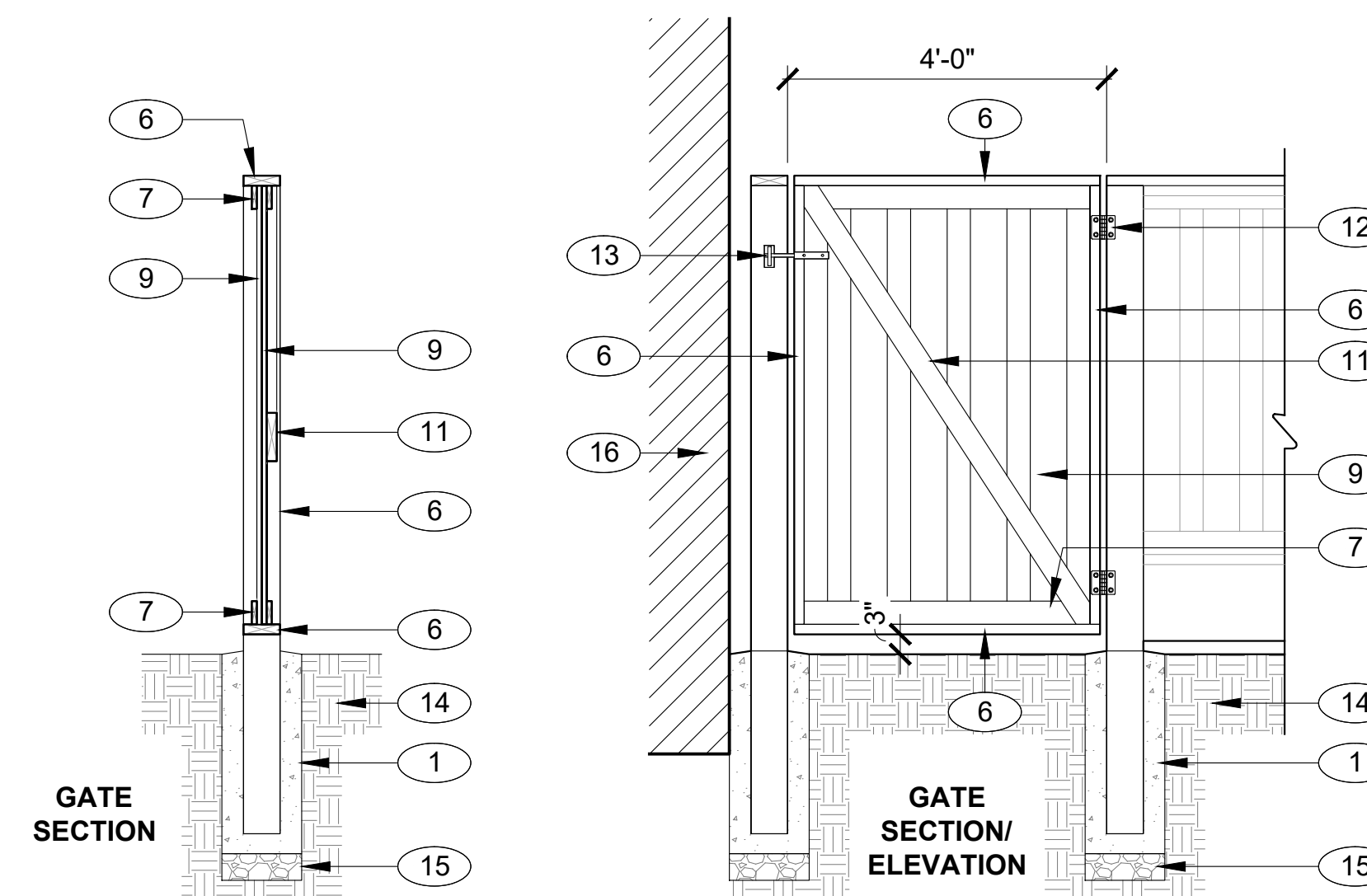
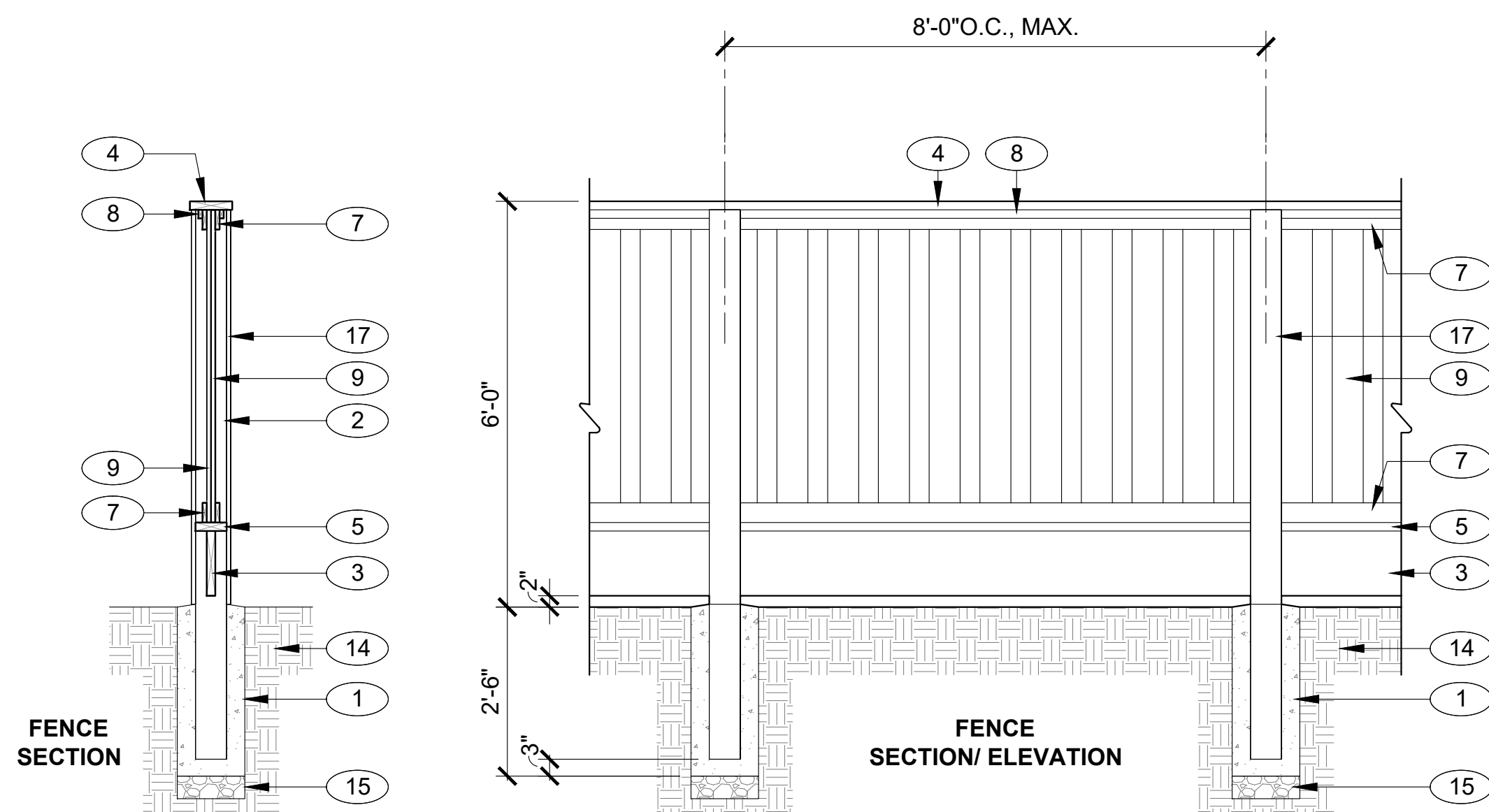
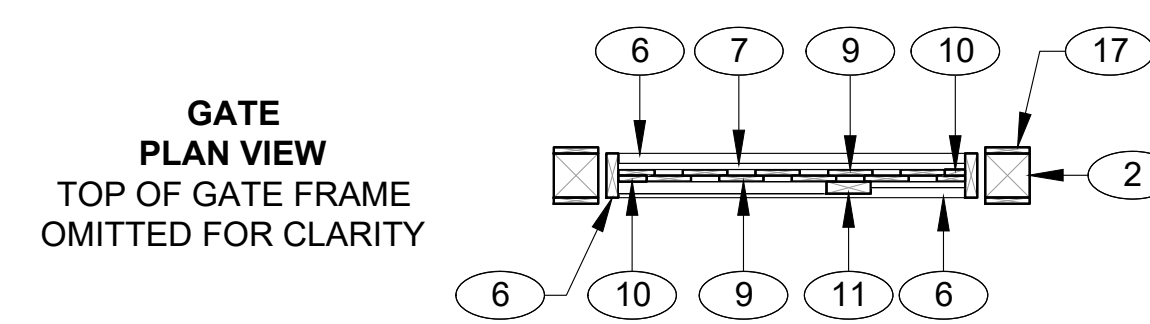
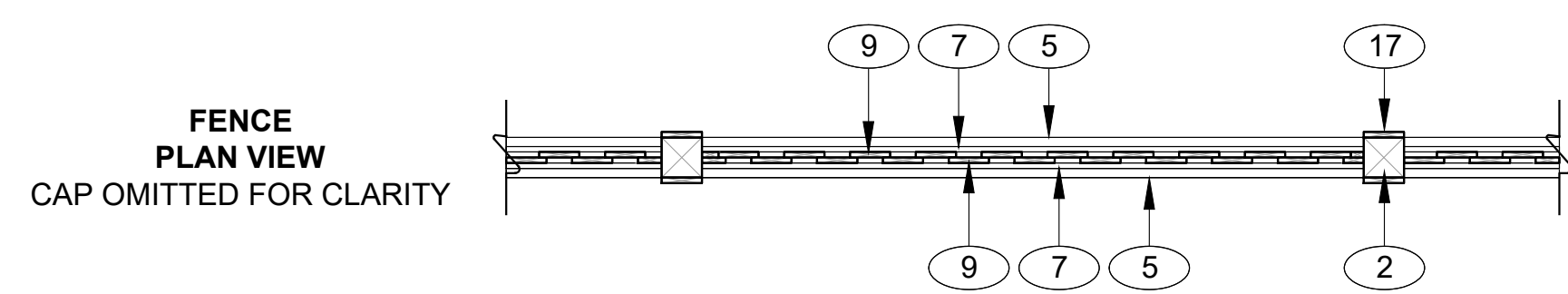
MWEO STATEMENT OF COMPLIANCE
"I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPING ORDINANCE AND APPLIED SUCH CRITERIA FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN."
SUSAN HEIKEN, PLA CA LICENSE # 6292
STUDIO 1515



NOTES:

- ALL WOOD SHALL BE COMMON REDWOOD UNLESS OTHERWISE NOTED.
- ALL FASTENERS AND GATE HARDWARE SHALL BE GALVANIZED.
- SECURE LEDGER TO BUILDING FRAMING WITH 1/4"x4" LAG SCREWS AND WASHERS, COUNTERSUNK. APPLY SILICONE CAULKING PRIOR TO INSERTING LAG SCREW.
- STEP FENCE AT POSTS. FOR GRADES 1:6 (17%) OR GREATER, SLOPE PANELS WITH GRADE.
- STAIN TJH PROPERTY SIDE OF FENCE WITH SEMI-TRANSPARENT EXTERIOR STAIN, COLOR PER BUILDER. SEE REPRESENTATIVE STAIN COLORS

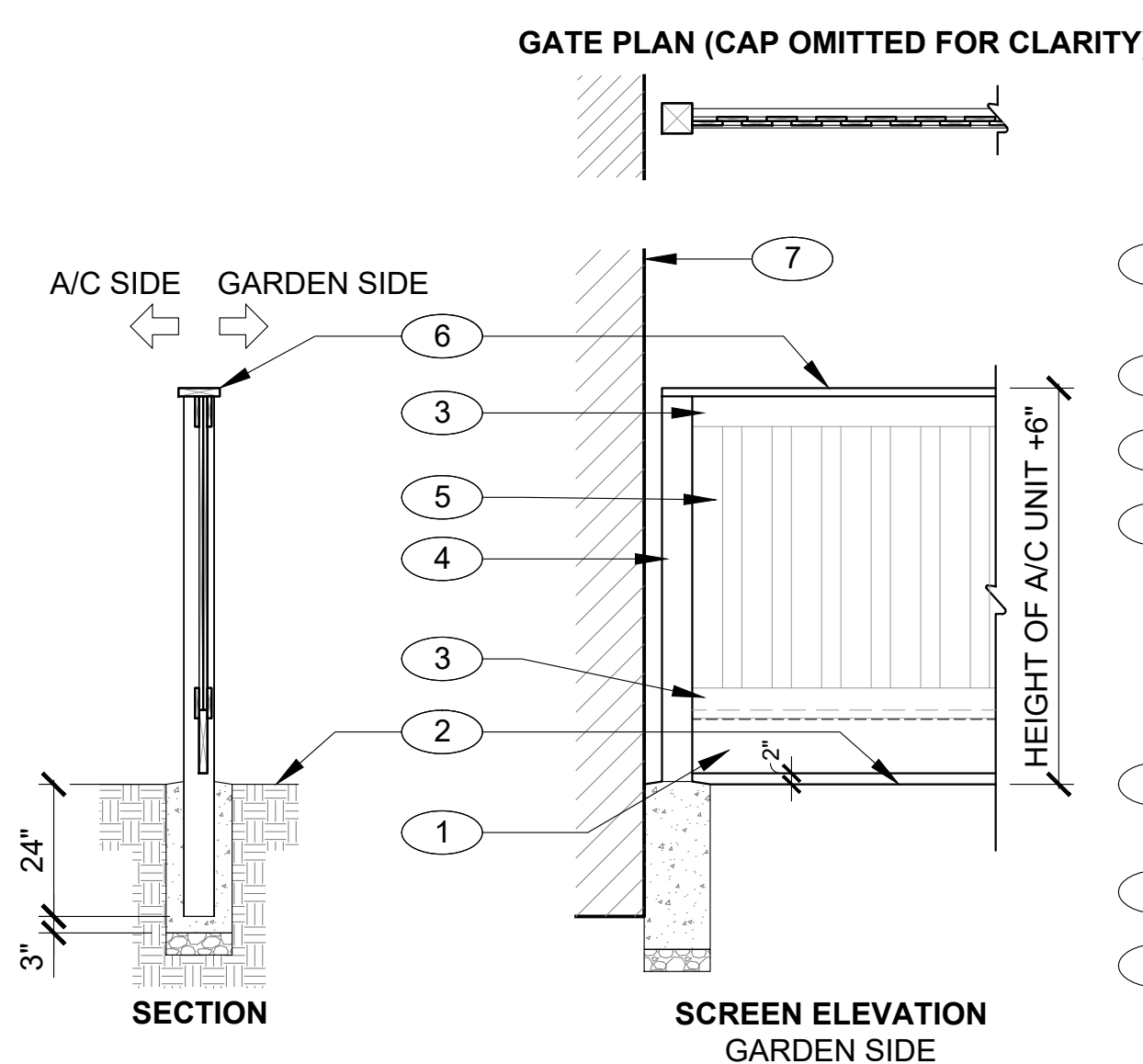
REPRESENTATIVE STAIN COLORS:



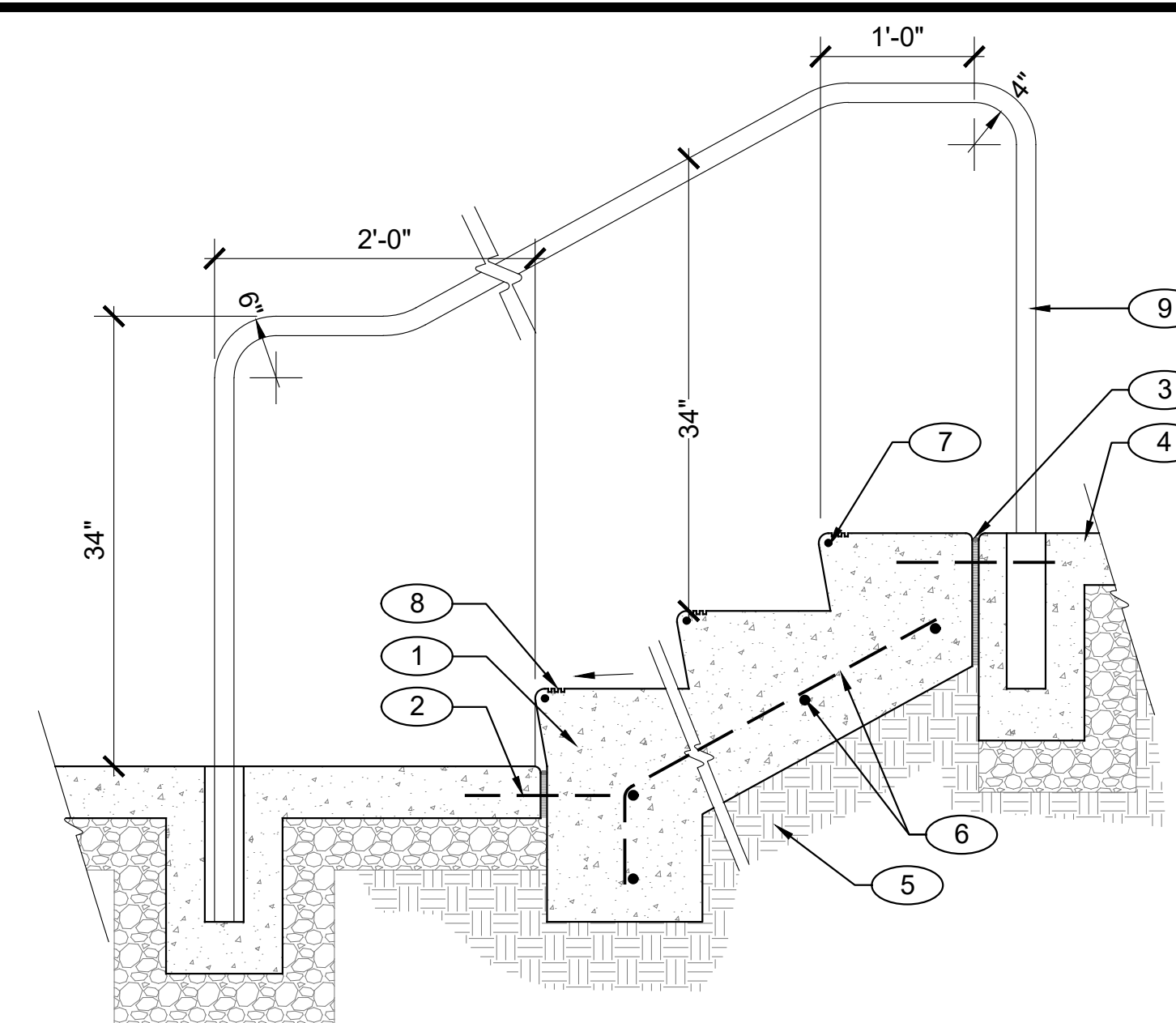
- CONCRETE FOOTING, SLOPE TOP TO DRAIN AWAY FROM POST.
- 6x6 POST, ACQ TREATED.
- 2x12 KICKER, ACQ TREATED.
- 2x8 CAP.
- 2x6 BOTTOM RAIL.
- 2x6 GATE FRAME.
- 1x4 FRAME.
- 1x2 FRAME.
- 1x6 BOARD, OVERLAP 1" AS SHOWN.
- PROVIDE FULL BLOCKING AT EACH SIDE OF GATE.
- 2x4 DIAGONAL BRACE, BACKYARD SIDE OF GATE.
- HEAVY DUTY GATE HINGE.
- SELF-CLOSING GATE LATCH, 5'-0" ABOVE GRADE. PROVIDE 2x BLOCKING FOR LATCH TO REST UPON.
- NATIVE GRADE.
- CLASS II AGGREGATE BASE, 4" THICK.
- ADJACENT BUILDING WALL.
- 1x6 FASCIA BOARD.

A WOOD FENCE AND GATE

SCALE: 1/2"=1'-0"



- 10"x10" GUSSET PANELS, EXTERIOR RATED PLYWOOD (OPP. SIDE).
- FINISH GRADE.
- 1x4 TRIM.
- ADJACENT POST OR LEDGER AT ADJACENT WALL (SECURE LEDGER TO BUILDING FRAMING WITH 1/4"x4" LAG SCREWS AND WASHER, COUNTERSUNK, APPLY SILICONE CAULKING PRIOR TO INSERTING LAG SCREW).
- 1x6 FENCE BOARD, OVERLAP 1" AS SHOWN.
- 2x8 CAP TO MATCH FENCE.
- ADJACENT BUILDING.
- CONCRETE STEPS.
- 12" #4 DOWEL @ 12" O.C. MAX WITH ONE END GREASED OR SLEEVED. HOLD 6" FROM EACH SIDE OF STEP. PROVIDE AT ADJACENT LANDSCAPE PAVING, NOT AT ARCHITECTURAL PORCH SLAB.
- 3/8" WIDE EXPANSION JOINT AT TOP AND BOTTOM OF STEPS. SEE DETAIL: A. SEE SHEET: L-X.0 FOR SPECIFICATION.
- ADJACENT CONCRETE PAVING. SEE DETAIL: X. SEE SHEET: L-X.0 FOR SPECIFICATION.
- SUBGRADE MOISTURE CONDITIONED AND COMPACTED TO 95% RELATIVE COMPACTION UNLESS OTHERWISE SPECIFIED BY GEOTECH.
- REBAR PER GEOTECH RECOMMENDATIONS.
- #3 NOSING BAR CONTINUOUS.
- 2" WIDE X 1/4" DEEP GROOVED TACTILE WARNING STRIP. OFFSET 2" FROM FACE OF RISER. PAIN WARNING STRIP WITH SHERWIN WILLIAMS #6104 'KAFFEE'.
- 1-1/2" O.D. STEEL HANDRAIL AND POSTS WHERE THERE ARE (3) STEPS OR MORE.



B A/C SCREEN

SCALE: 3/8"=1'-0"

C CONCRETE STEPS W/ HANDRAIL

SCALE: 1"=1'-0"

BY	APPRO
REVISIONS	
DATE	
NO	

STUDIO 1515
LANDSCAPE ARCHITECTURE
1426 FOURTH STREET NAPA, CA 94559
(707) 252-8115

607 HANDLEY TRAIL
CONSTRUCTION DETAILS
EMERALD HILLS, CALIFORNIA



DATE	JULY 10, 2023
DRAWN	MN
DESIGNED	RB
CHECKED	SH
JOB NO.	8190014.0
SHEET NO.	L-2.0

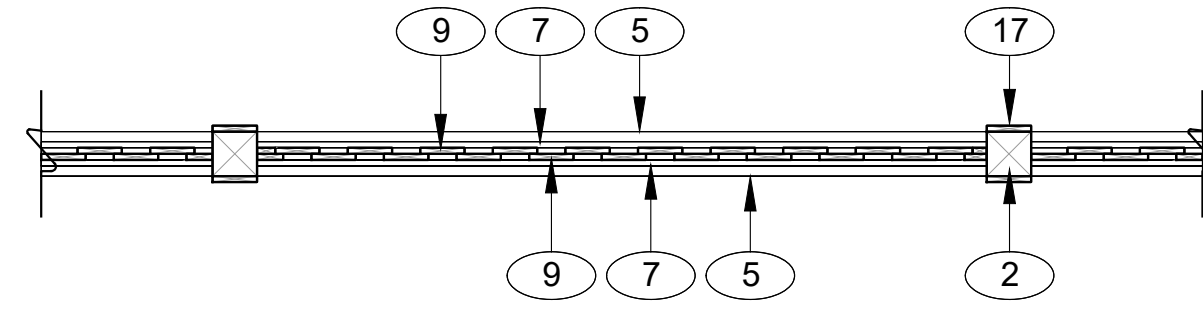
NOTES:

1. ALL WOOD SHALL BE COMMON REDWOOD UNLESS OTHERWISE NOTED.
2. ALL FASTENERS AND GATE HARDWARE SHALL BE GALVANIZED.
3. SECURE LEDGER TO BUILDING FRAMING WITH 1/4"x4" LAG SCREWS AND WASHERS, COUNTERSUNK. APPLY SILICONE CAULKING PRIOR TO INSERTING LAG SCREW.
4. STEP FENCE AT POSTS. FOR GRADES 1:6 (17%) OR GREATER, SLOPE PANELS WITH GRADE.
5. STAIN TJH PROPERTY SIDE OF FENCE WITH SEMI-TRANSPARENT EXTERIOR STAIN, COLOR PER BUILDER. SEE REPRESENTATIVE STAIN COLORS

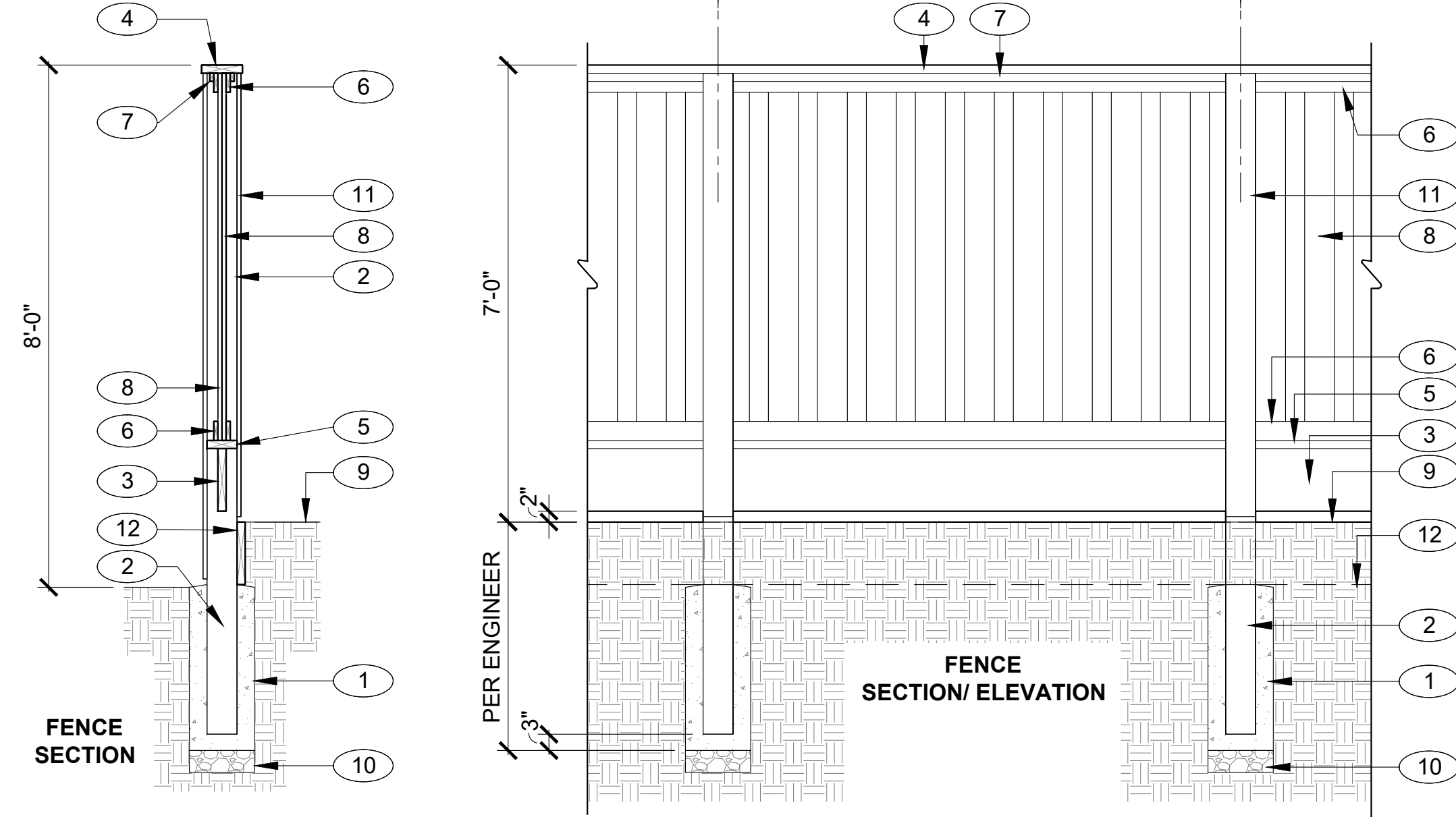
REPRESENTATIVE STAIN COLORS:



FENCE PLAN VIEW
CAP OMITTED FOR CLARITY

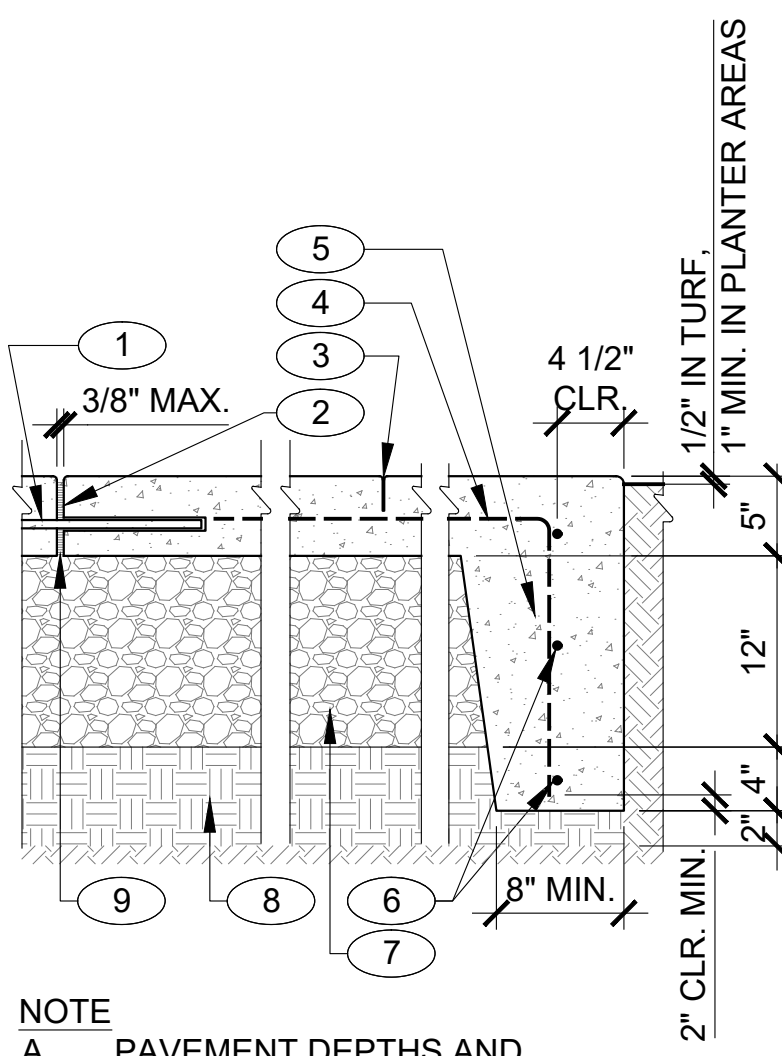


NOTE:
THIS FENCE OCCURS WHERE INDICATED ON SHEET L-1.0. AT THE WEST PROPERTY LINE THE FENCE SHALL BE 8'-0" FACING HANDLEY TRAIL AND 7'-0" RESIDENCE SIDE. AT THE EAST PROPERTY LINE THE FENCE SHALL BE 8'-0" FACING THE RESIDENCE AND 7'-0" FACING THE NEIGHBOR.



- 1 CONCRETE FOOTING, SLOPE TOP TO DRAIN AWAY FROM POST. FOOTING DIMENSIONS PER STRUCTURAL ENGINEER.
- 2 6x6 POST, ACQ TREATED.
- 3 2x12 KICKER, ACQ TREATED.
- 4 2x8 CAP.
- 5 2x6 BOTTOM RAIL.
- 6 1x4 FRAME.
- 7 1x2 FRAME.
- 8 1x6 BOARD, OVERLAP 1" AS SHOWN.
- 9 NATIVE GRADE.
- 10 CLASS II AGGREGATE BASE, 4" THICK.
- 11 1x6 FASCIA BOARD.
- 12 2x12 RETAINING BOARD, ACQ TREATED.

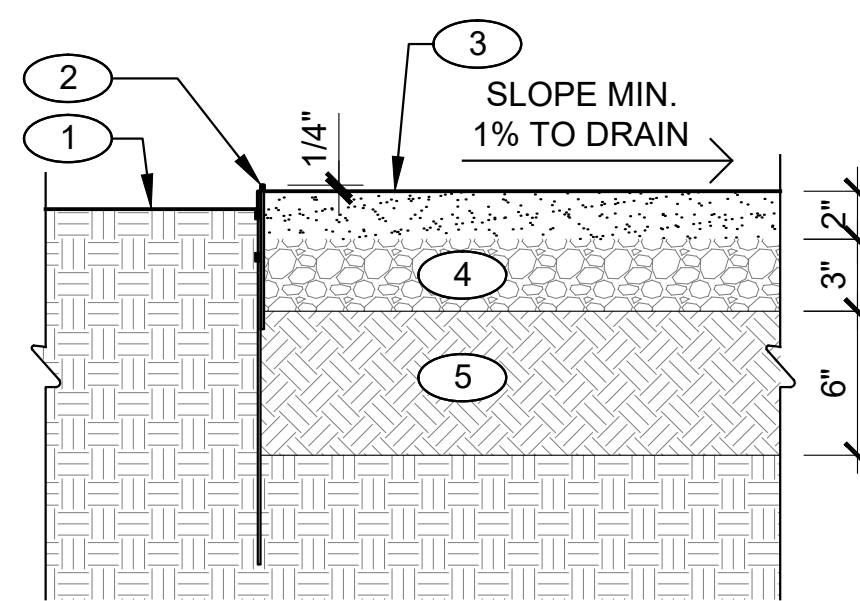
A WOOD FENCE RETAINING SOIL
SCALE: 1/2"=1'-0"



- 1 18"x#4 SMOOTH DOWEL, SLEEVED OR GREASED ONE SIDE.
- 2 EXPANSION JOINT WITH 3/16" RADIUS EDGES. LOCATE PER PLAN, OR AS REQUIRED TO NOT EXCEED 60' O.C.
- 3 TOOLED CONTROL JOINT WITH 3/16" RADIUS EDGES. MIN. 1/3 DEPTH OF SLAB. LOCATE PER PLAN, OR AS REQUIRED: SPACING SHALL NOT EXCEED 24 TIMES SLAB DEPTH.
- 4 #3 BARS AT 18" O.C.E.W., SUPPORT EVENLY TO REST IN CENTER OF SLAB.
- 5 THICKENED EDGE PER GEOTECHNICAL REPORT.
- 6 CONT. (3) #4 BARS.
- 7 CLASS II AGGREGATE BASE, COMPACTED TO 95% RELATIVE DENSITY.
- 8 SUBGRADE, SCARIFY TOP 6", MOISTURE CONDITION TO AT LEAST 3% ABOVE LABORATORY OPTIMUM VALUE AND COMPACT TO 87-92% RELATIVE DENSITY.
- 9 BITUMINOUS PRE-FORMED EXPANSION JOINT FILLER.

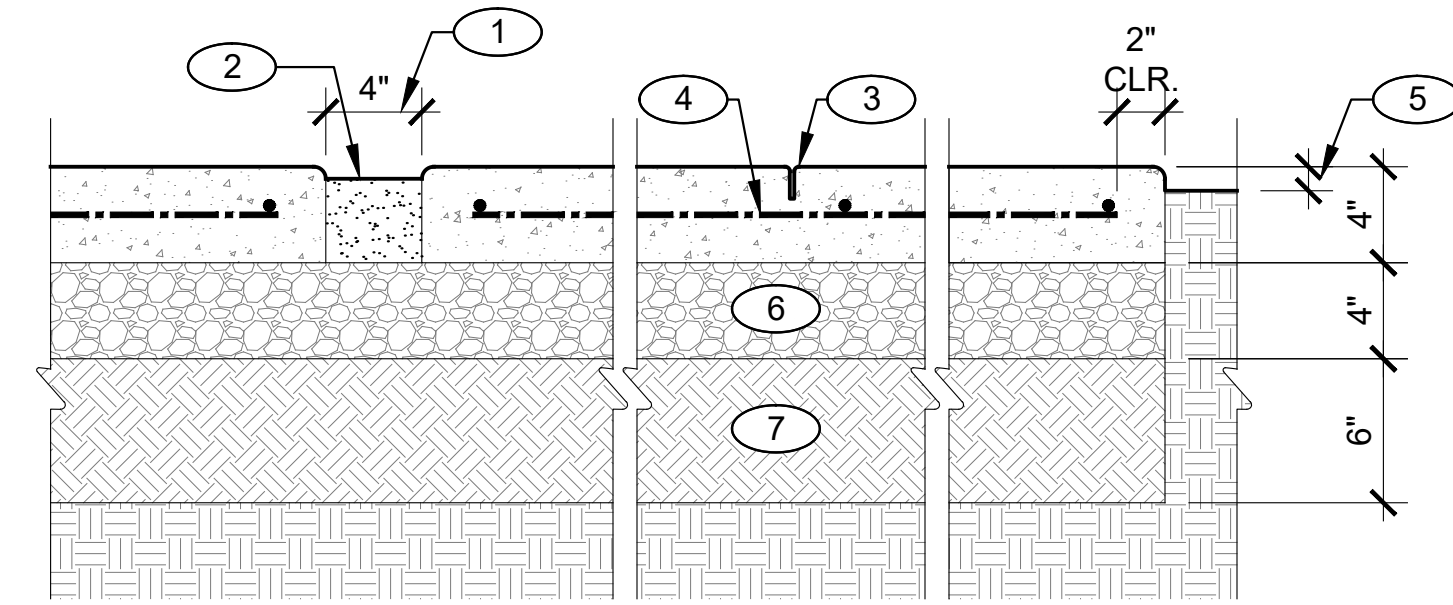
NOTE:
A. PAVEMENT DEPTHS AND REQUIREMENTS HEREIN ARE SUPERCEDED BY THE PROJECT GEOTECHNICAL REPORT AND RECOMMENDATIONS.

D CONCRETE PAVING (VEHICULAR)
SCALE: 1"=1'-0"



- NOTES:**
- PAVEMENT DEPTHS AND REQUIREMENTS HEREIN SUPERCEDED BY THE PROJECT GEOTECHNICAL REPORT AND RECOMMENDATIONS, IF EXISTING.
 - DECOMPOSED GRANITE FINES SHALL BE 1/4" MINUS, GOLD OR LIGHT TAN COLOR. SUBMIT SAMPLE PRIOR TO ORDERING. APPROVED RESOURCES:
C.L. SMITH TRUCKING, WOODLAND
CASCADE ROCK, SACRAMENTO (TAN/RUST COLOR)
HASTIES CAPITAL SAND AND GRAVEL, SACRAMENTO (GOLD AND TAN, "PREMIUM")
 - STABILIZER SHALL BE A PSYLIUM BASED PRODUCT PRE-MIXED WITH DECOMPOSED GRANITE FINES PER MANUFACTURER'S RECOMMENDATIONS. APPROVED PRODUCTS:
1. STABILIZER BY STABILIZER SOLUTIONS, 800.336.2468
2. NATRACIL BY GAIL MATERIALS, 951.667.6106
3. ORGANIC-LOCK BY ENVIROBOND, 866.636.8476

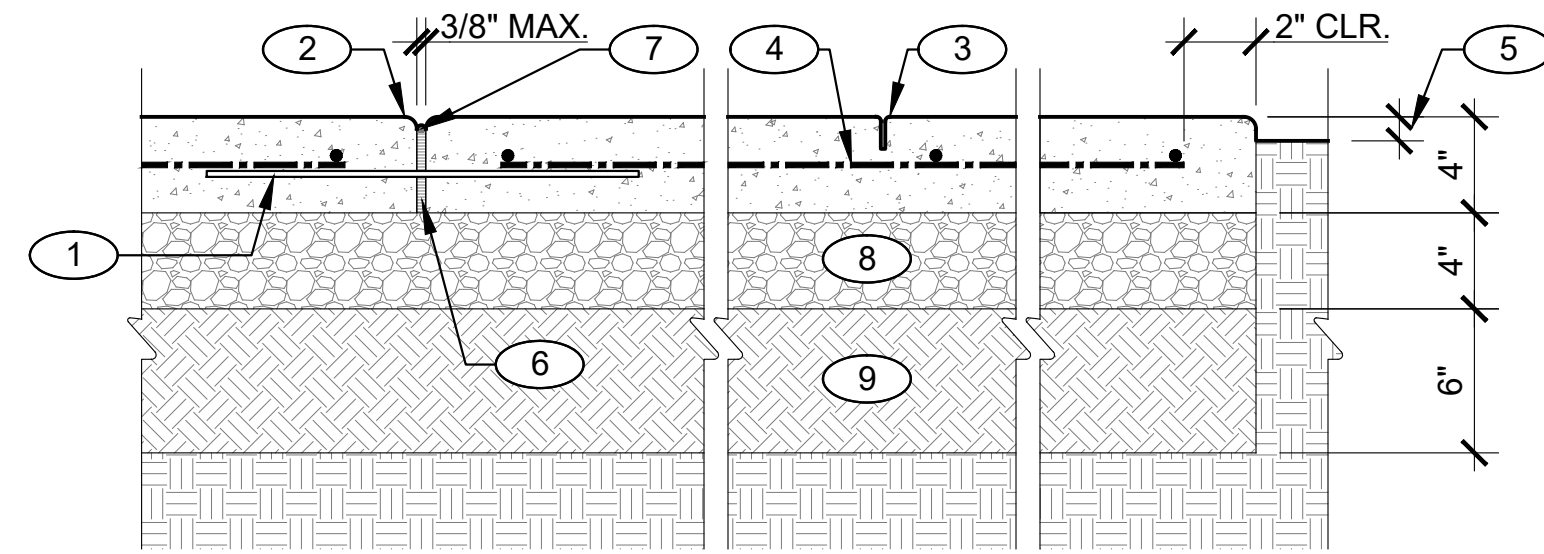
E DECOMPOSED GRANITE (PEDESTRIAN)
SCALE: 1-1/2"=1'-0"



- 1 GAP SIZE AND SPACING PER PLAN.
- 2 DECOMPOSED GRANITE OR OTHER PERMEABLE MATERIAL, REFER TO PLAN.
- 3 TOOLED CONTROL JOINT WITH 3/16" RADIUS EDGES. MIN. 1/3 DEPTH OF SLAB. LOCATE PER PLAN, OR AS REQUIRED SO THAT SPACING DOES NOT TO EXCEED 24 TIMES THE SLAB THICKNESS.
- 4 #3 BARS AT 18" O.C. E.W., SUPPORT EVENLY TO REST IN CENTER OF SLAB.
- 5 1/2" IN TURF, 1" MIN. IN PLANTER AREAS.
- 6 CLASS II AGGREGATE BASE, COMPACTED TO 95% RELATIVE DENSITY.
- 7 SUBGRADE, SCARIFY TOP 6", MOISTURE CONDITION AND COMPACT TO 90% RELATIVE DENSITY.

NOTE:
A. PAVEMENT DEPTHS AND REQUIREMENTS HEREIN ARE SUPERCEDED BY THE PROJECT GEOTECHNICAL REPORT AND RECOMMENDATIONS, IF EXISTING.

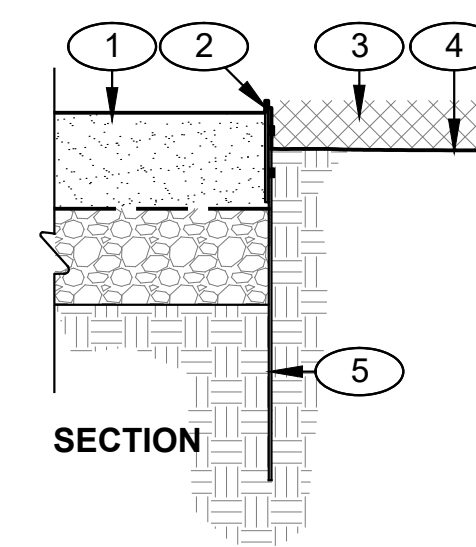
B CONCRETE PAVERS
SCALE: 1-1/2"=1'-0"



- 1 18"x#4 SMOOTH DOWEL, SLEEVED OR GREASED ONE SIDE.
- 2 EXPANSION JOINT WITH 3/16" RADIUS EDGES. LOCATE PER PLAN, OR AS REQUIRED TO NOT EXCEED 60' O.C.
- 3 TOOLED CONTROL JOINT WITH 3/16" RADIUS EDGES. MIN. 1/3 DEPTH OF SLAB. LOCATE PER PLAN, OR AS REQUIRED SO THAT SPACING DOES NOT TO EXCEED 24 TIMES THE SLAB THICKNESS.
- 4 #3 BARS AT 18" O.C. E.W., SUPPORT EVENLY TO REST IN CENTER OF SLAB.
- 5 1/2" IN TURF, 1" MIN. IN PLANTER AREAS.
- 6 BITUMINOUS PRE-FORMED EXPANSION JOINT FILLER.
- 7 ELACTOMERIC SEALANT AND BACKER ROD. COLOR TO MATCH CONCRETE. SELECT MANUFACTURER'S FULL COLOR RANGE.
- 8 CLASS II AGGREGATE BASE, COMPACTED TO 95% RELATIVE DENSITY.
- 9 SUBGRADE, SCARIFY TOP 6", MOISTURE CONDITION AND COMPACT TO 90% RELATIVE DENSITY.

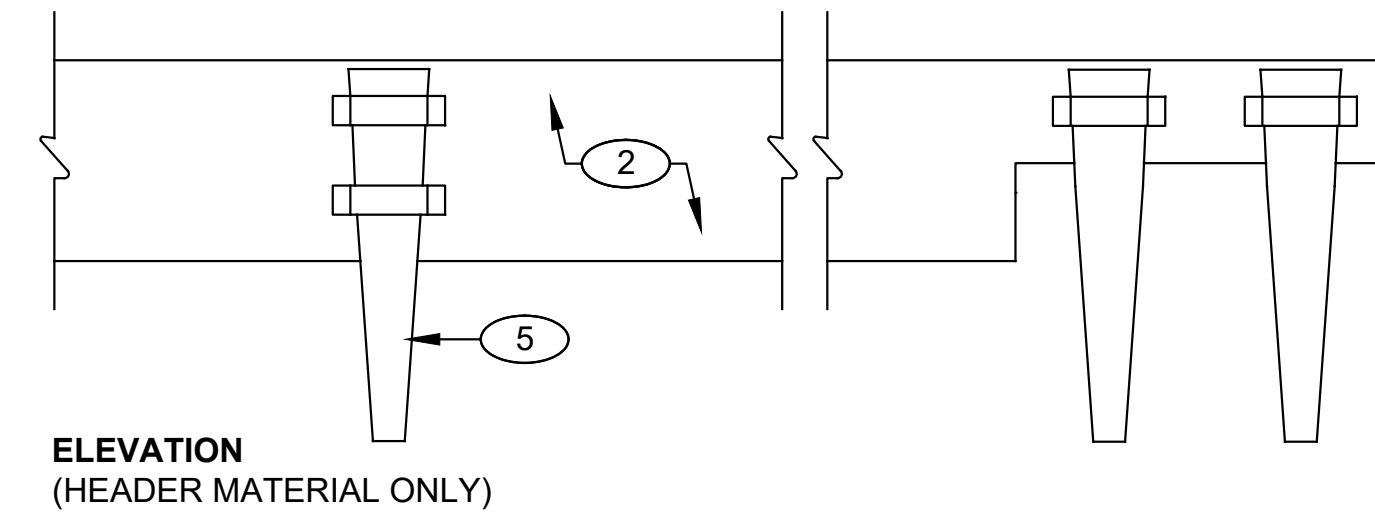
NOTE:
A. PAVEMENT DEPTHS AND REQUIREMENTS HEREIN ARE SUPERCEDED BY THE PROJECT GEOTECHNICAL REPORT AND RECOMMENDATIONS, IF EXISTING.

C CONCRETE PAVING (PEDESTRIAN)
SCALE: 1-1/2"=1'-0"



- 1 ADJACENT SURFACING OR TURF.
- 2 STEEL EDGING, 3/16" THICK, MIN. 4" DEEP.
- 3 MULCH.
- 4 FINISH GRADE AT PLANTER AREA.
- 5 STEEL STAKE PER MANUFACTURER, 5'-0" O.C., MAX.

NOTES:
A. BLACK ENAMEL PAINTED FINISH, TYP., U.N.O.



ELEVATION
(HEADER MATERIAL ONLY)

F STEEL HEADER
SCALE: 1-1/2"=1'-0"

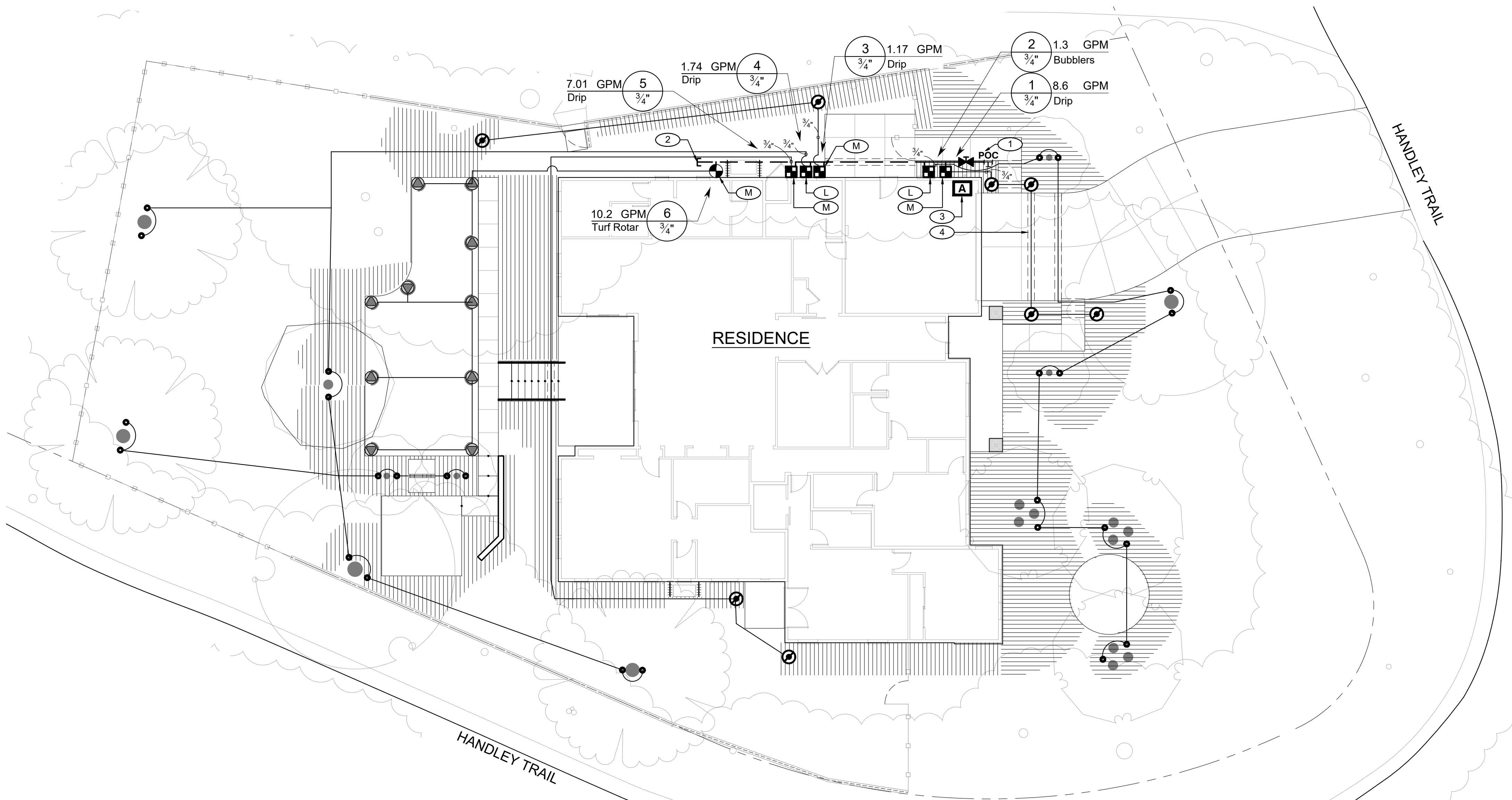
BY	APPRO
REVISIONS	
DATE	
NO.	



DATE	JULY 10, 2023
DRAWN	MIN
DESIGNED	RB
CHECKED	SH
JOB NO.	8190014.0
SHEET NO.	L-2.1

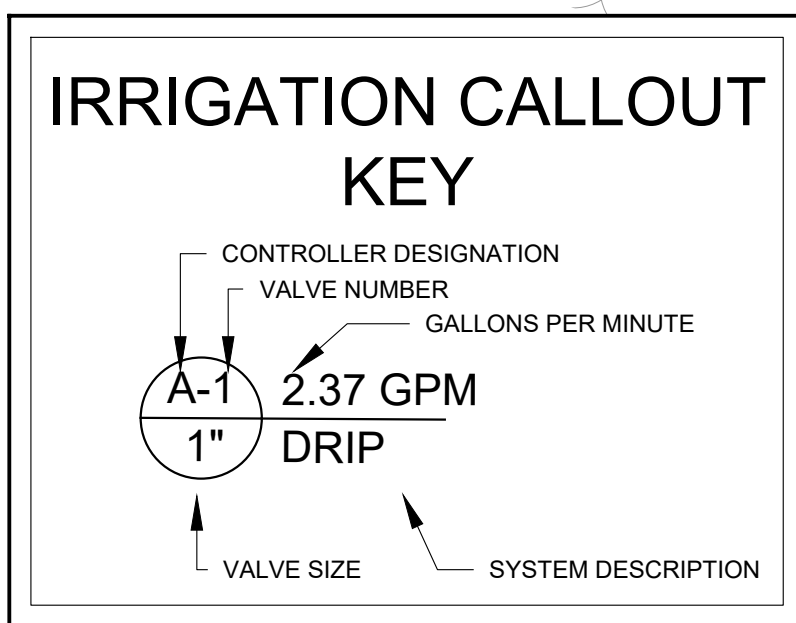
GENERAL IRRIGATION NOTES

- SITE ACCEPTANCE:** THE CONTRACTOR SHALL OBSERVE THE SITE AND VERIFY THAT ROUGH GRADING AND ALL OTHER WORK HAS BEEN COMPLETED TO THE CONTRACTOR'S SATISFACTION. ANY PREVIOUS WORK THAT IS NOT COMPLETE SHALL BE BROUGHT TO THE OWNER'S OR LANDSCAPE ARCHITECT'S ATTENTION IN WRITING. BEGINNING WORK CONSTITUTES ACCEPTANCE OF THE SITE.
- UNDERGROUND UTILITIES:** THE CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK. CALL C.G.A. (811) TO LOCATE EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ANY DAMAGED UTILITIES, TO THE SATISFACTORY OF OWNER AND GOVERNING AGENCY AT NO COST TO THE OWNER OR INCREASE IN BID AMOUNT.
- QUANTITIES:** (IF SHOWN) FOR CONTRACTOR'S CONVENIENCE ONLY, AND SHALL NOT RELIEVE THE CONTRACTOR OF THE OBLIGATION TO INSTALL A COMPLETE AND FUNCTIONAL IRRIGATION SYSTEM, WITH EVEN AND HEAD-TO-HEAD COVERAGE OF ALL IRRIGATED AREAS, UNLESS SPECIFICALLY NOTED OTHERWISE. AREAS SHOWN ARE REPRESENTATIVE OF FINAL LOTS. CONTRACTOR SHALL VERIFY ALL LOT SIZES PRIOR TO SUBMITTING A BID.
- DIAGRAMMATIC PLANS:** THESE PLANS ARE DIAGRAMMATIC IN NATURE, AND ARE NOT INTENDED TO SHOW EVERY FITTING OR EXACT PIPING LAYOUT. IN MANY CASES, THE MAINLINE AND LATERALS ARE SHOWN IN WALKWAYS OR PAVED AREAS. IRRIGATION EQUIPMENT AND PIPING SHALL BE INSTALLED IN PLANTED AREAS ONLY, UNLESS SPECIFICALLY NOTED OTHERWISE. MAINLINE SHALL BE INSTALLED AS CLOSELY AS POSSIBLE TO BACK OF WALK OR CURB, BUT IN NO CASE GREATER THAN 18" AWAY.
- FIELD CONDITIONS:** THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FIELD CONDITIONS. DO NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN WHEN EXISTING WORK, OBSTRUCTIONS, SITE CONDITIONS, GRADE DIFFERENCES, OR OTHER ASPECTS ARE APPARENT IN THE FIELD THAT EFFECT INSTALLATION OF THE IRRIGATION SYSTEM. IN THE EVENT THAT DISCREPANCIES ARE FOUND, INFORM THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT IN WRITING. IF WRITTEN NOTICE IS NOT RECEIVED, THE CONTRACTOR ASSUMES ALL LIABILITY FOR THE IRRIGATION SYSTEM, INCLUDING ANY RE-DESIGN OR RE-WORK THAT MAY BE REQUIRED.
- FIELD ADJUSTMENTS:** ARE REQUIRED TO OBTAIN OPTIMUM EFFICIENCY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ADJUSTMENTS AS REQUIRED TO MINIMIZE OR ELIMINATE OVERSPRAY AND RUNOFF, AND TO MAXIMIZE DISTRIBUTION UNIFORMITY. ADJUSTMENTS INCLUDE BUT ARE NOT LIMITED TO: NOZZLE SELECTION, INSTALLATION OF IN-LINE OR IN-HEAD CHECK VALVES TO ELIMINATE LOW-HEAD DRAINAGE AND PONDING, AND ADJUSTMENT OF HEAD SPACING OR HEAD LAYOUT TO ACCOMMODATE IN-FIELD OBSTRUCTIONS OR CONDITIONS.
- POINT OF CONNECTION:** LOCATE AND COORDINATE IN FIELD. 1" TEE FROM INDIVIDUAL LOT DOMESTIC LINE. THE CONTRACTOR SHALL VERIFY A MINIMUM OF 35 PSI (STATIC) AND A MINIMUM FLOW OF 14 GPM IS AVAILABLE AT THE POINT OF CONNECTION. IN THE EVENT THIS PRESSURE IS NOT AVAILABLE, IMMEDIATELY INFORM THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT IN WRITING. IF WRITTEN NOTICE IS NOT RECEIVED, THE CONTRACTOR ASSUMES ALL LIABILITY FOR THE IRRIGATION DESIGN, INCLUDING ANY RE-DESIGN OR RE-WORK THAT MEY BE REQUIRED.
- NEW MATERIALS:** ALL EQUIPMENT AND PIPING SHALL BE NEW, CONFORM TO ALL MANUFACTURER'S HANDLING AND INSTALLATION REQUIREMENTS.
- PIPE SIZING:** PIPE SIZES SHOWN ON PLAN INCLUDE THE LARGEST PIPE DIAMETER IN EACH ZONE, AND THEN PIPE DIAMETER AT REDUCTIONS ONLY. IF NO PIPE IS SHOWN, PIPE SHALL BE THE SAME DIAMETER OF THE NEXT UPSTREAM SIZE LABELED. IN NO CASE SHALL THE VELOCITY OF WATER THROUGH IRRIGATION LATERALS EXCEED 5 FPS UNLESS SPECIFICALLY NOTED OTHERWISE.
- IRRIGATION SCHEDULE:** IS PROVIDED AS A GUIDELINE ONLY. THE CONTRACTOR SHALL OBSERVE EXISTING AND INSTALLED CONDITIONS, AND SHALL ADJUST THE CONTROLLER SCHEDULE ACCORDING TO ACTUAL FIELD CONDITIONS, USING THE PROVIDED SCHEDULE AS A BASELINE. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL PLANTED AREAS RECEIVE ADEQUATE MOISTURE, WITHOUT OVER WATERING. THIS INCLUDES MANUAL WATERING AS REQUIRED.
- CONTROL WIRING (SINGLE FAMILY RESIDENTIAL ONLY):** CONTROL WIRING SHALL BE MINIMUM 18 AWG FOR MULTI-STRAND JACKETED DIRECT BURIAL WIRE. COMMON WIRE INSULATION SHALL BE WHITE. BUNDLED WIRE SHALL BE SIZED TO INCLUDE TWO SPARE CONDUCTORS.
- WARRANTY:** ALL WORK SHALL BE WARRANTED FROM ONE YEAR OF THE DATE OF SUBSTANTIAL COMPLETION. PRIOR TO ACCEPTANCE, PROVIDE A GUARANTEE STATING THE PROJECT NAME, PROJECT LOCATION, DATE OF SUBSTANTIAL COMPLETION, INSTALLING CONTRACTOR'S NAME, CONTACT INFORMATION (PHONE, ADDRESS, EMAIL) AND LICENSE NUMBER ON COMPANY LETTERHEAD.
- THREADED CONNECTION:** ALL PLASTIC THREADED CONNECTIONS EXCEPT MARLEX SHALL RECEIVE THREE WRAPS "EXTRA HEAVY" OE "FULL DENSITY" TEFLON OR PTFE TAPE PRIOR TO ASSEMBLY. PLASTIC MALE THREADS SHALL NOT BE USED AND WILL BE REJECTED, EXCEPT WHEN MAKING CONNECTION TO METAL. ALL THREADED CONNECTIONS TO METAL PIPE SHALL USE PLASTIC MALE THREADS TO FEMALE METAL THREADS.
- SLEEVES:** ALL PIPING UNDER PAVED AREAS TO BE RUN IN PVC SCH. 40 SLEEVES AT LEAST TWICE THE DIAMETER OF THE PIPE BEING SLEEVED. ALL CONTROL WIRING UNDER PAVED AREAS TO BE RUN IN A SEPARATE SLEEVE, SIZED TO FACILITATE PULLING WIRE BUNDLE. SLEEVE TO EXTEND A MINIMUM OF 18" BEYOND PAVEMENT.
- JURISDICTIONAL REQUIREMENTS AND STATEMENTS:**
 - A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
 - PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
 - MANUAL SHUT-OFF VALVES SHALL BE REQUIRED, AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE ATER SUPPLY, TO MINIMIZE WATER LOSS IN CASE OF AN EMERGENCY OR ROUTINE REPAIR.
 - CHECK VALVE OR ANT-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.
 - A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
 - AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.
 - AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT. CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	HUNTER MP1000 PROS-04-PRS30-CV TURF ROTATOR, 4IN. POP-UP WITH CHECK VALVE, PRESSURE REGULATED TO 30 PSI, MP ROTATOR NOZZLE ON PRS30 BODY, M=MAROON ADJ ARC 90 TO 210, L=LIGHT BLUE 210 TO 270 ARC, O=OLIVE 360 ARC. APPLICATION RATE: 0.47/HOUR	10
	IRRITROL 2507DK-MF ELECTRIC DRIP ZONE VALVE KIT: 3/4" 2507 VALVE, FILTER, MEDIUM FLOW REGULATOR AND FITTINGS.	5
	PIPE TRANSITION POINT ABOVE GRADE	8
	PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER TO ABOVE GRADE INSTALLATION.	
	TORO DB-PC PRESSURE COMPENSATING DRIP BUBBLER EASILY THREADS ON A 1/2IN. THREADED RISER. FLOW RATE: 4.0 GPH, 9.0 GPH, 15.0 GPH, 30.0 GPH. APPLICATION RATE: 3.67/HOUR	26
	AREA TO RECEIVE DRILINE TORO RGP-418 SUB-SURFACE PRESSURE COMPENSATING LANDSCAPE DRILINE WITH ROOTGUARD TECHNOLOGY. 1.00 GPH EMITTERS AT 18" O.C. DRILINE LATERALS SPACED AT 18" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. APPLICATION RATE: 0.71/HOUR	1,785 L.F.
	IRRITROL 2711APR ELECTRIC REMOTE CONTROL VALVE, 3/4", FLOW CONTROL, 1 STAINLESS SCREW BONNET, AND BALL VALVE ON INCOMING FLOW RISER.	1
	MANUAL BALL SHUT OFF VALVE LOCATE BETWEEN POC AND FIRST RCV	1
	POINT OF CONNECTION 3/4"	1
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21	825.1 L.F.
	IRRIGATION MAINLINE: PVC SCHEDULE 40	49.4 L.F.
	PIPE SLEEVE: PVC SCHEDULE 40 2X THE DIAMETER OF PIPE	65.7 L.F.



- IRRIGATION KEYNOTES**
- LOCATE POINT-OF-CONNECTION IN FIELD.
 - STUB MAINLINE.
 - LOCATE CONTROLLER AS DIRECTED BY BUILDER, CONTROLLER SHOWN AT APPROXIMATE LOCATION ONLY. COORDINATE WITH BUILDER WITH ALL REQUIRED PENETRATIONS AND 120V POWER.
 - COORDINATE WITH OTHER TRADES FOR ALL SLEEVING, ETC. IRRIGATION CONTROL WIRING SHALL BE SLEEVED (SEPARATELY FROM IRRIGATION PIPING) WHEN UNDER PAVING.

REFER TO SHEET L-4.0, L-4.1 FOR IRRIGATION DETAILS.

MVELO STATEMENT OF COMPLIANCE
I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPING ORDINANCE AND APPLIED SUCH CRITERIA FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.
Susan Heiken
SUSAN HEIKEN, P.L.A. CA LICENSE # 6292
STUDIO 1515

Recommended Irrigation Schedule
607 Handley Trail
Reference data
Nearest data location: Redwood City
Project: 8190014.0

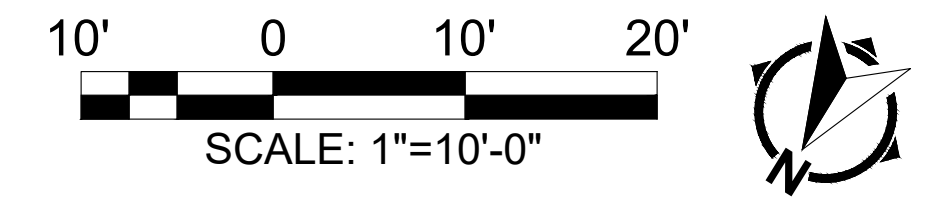
Reference Eto (in./mo.)	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Historical average precipitation	1.50	1.80	2.90	3.80	5.20	5.30	6.20	5.60	4.60	3.10	1.70	1.00
Effective precip (hist. ave. - 0.2" + 75%)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Base required irrigation (in./mo.)	1.50	1.80	2.90	3.80	5.20	5.30	6.20	5.60	4.60	3.10	1.70	1.00

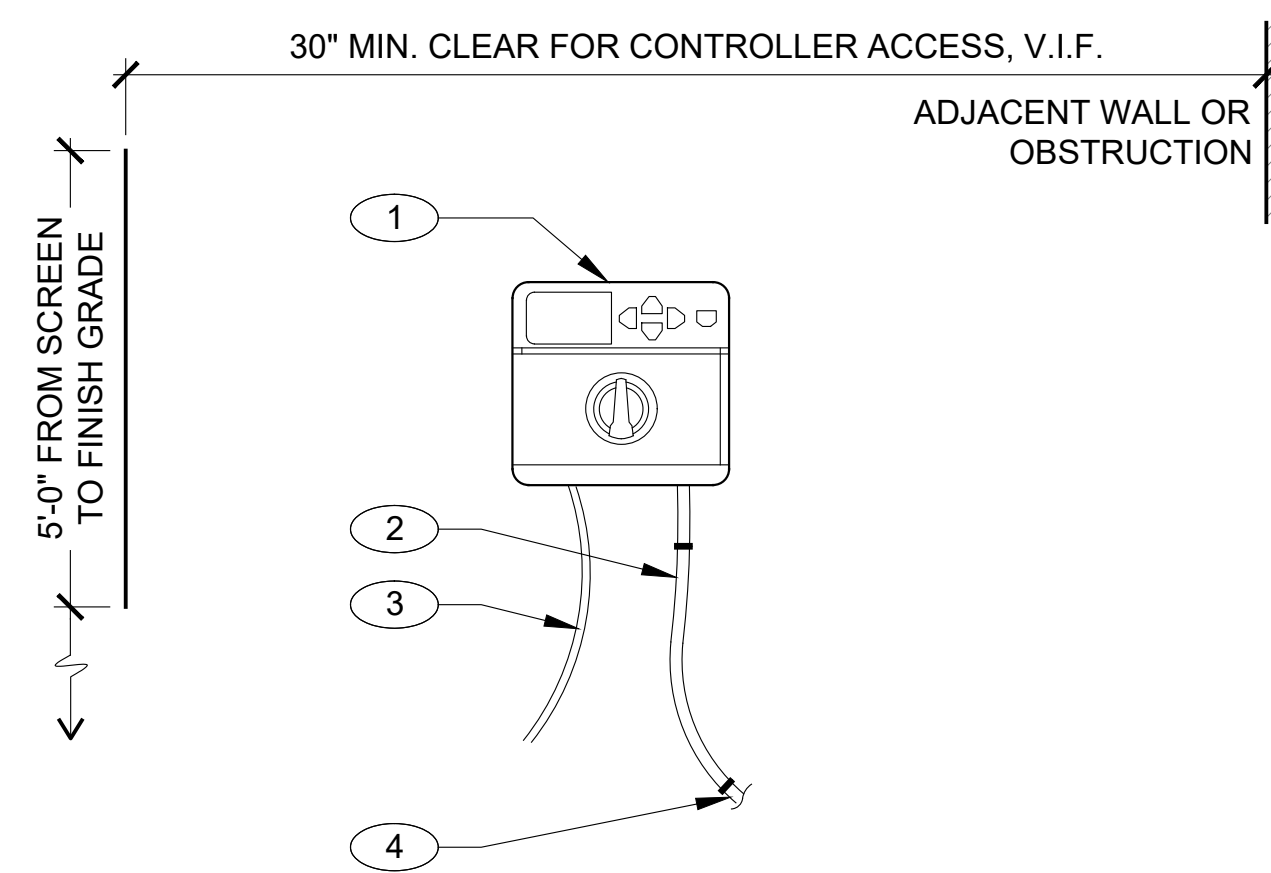
Hydrozone Information Table

Hydrozone data summary	Kc	Kd	Kmc	Kl	Irr. Type	KL	PR	Soil Type	BIR	AW	RZ	PAW	MAD	AD	Model Ord. Area Calculations
A1 Frontyard Drip, Shrubs & G/C (Mod)	0.35	1.0	1.0	0.35	DripLine	0.35	0.62	Clay loam	0.2	0.18	18	3.24	50%	1.62	HA (sqft) 1,150 % of landscape area 35.2%
A2 Backyard Drip, Shrubs & G/C (Mod)	0.20	1.0	1.0	0.20	DripLine	0.20	0.62	Clay loam	0.2	0.18	18	3.24	50%	1.62	1,526 46.7%
A3 MSMTRN, Turf	0.8	1.0	1.0	0.80	MultiStirn	0.80	0.42	Clay loam	0.2	0.18	18	3.24	50%	1.62	592 18.1%
Total:															3,268 100.0%

Controller Schedule by Zone

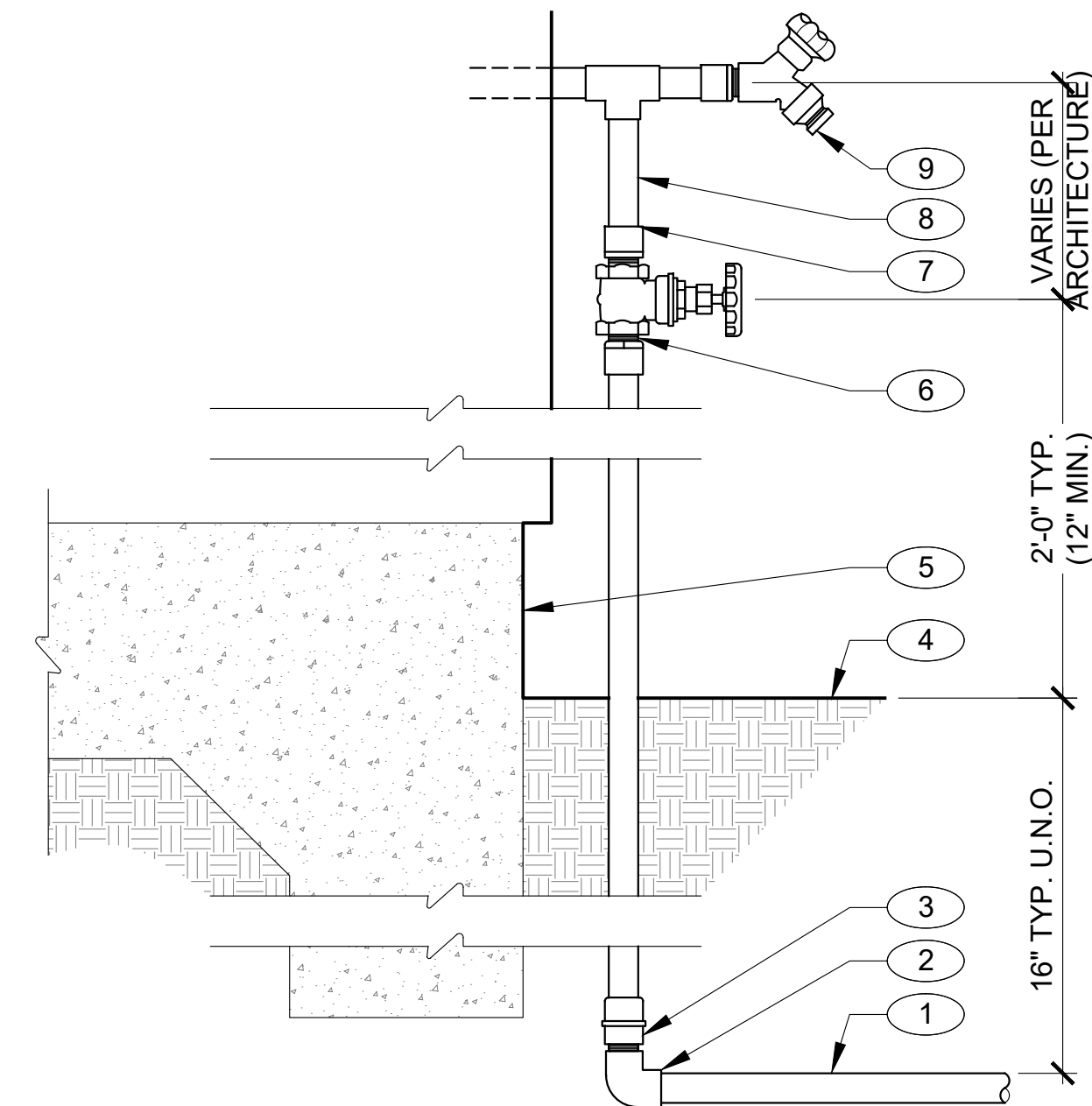
Zone Description	Temp?	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
A1 Frontyard Drip, Shrubs & G/C (Low)	N	1	1	1	1	1	1	1	1	1	1	1	1
Max. Minutes / Cycle	19	14	14	14	14	14	14	14	14	14	14	14	9
Min. / Cycle		1	1	1	1	1	1	1	1	1	1	1	1
A2 Backyard Drip, Shrubs & G/C (Low)	N	1	1	1	1	1	1	1	1	1	1	1	1
Max. Minutes / Cycle	19	8	8	8	8	8	8	8	8	8	8	8	5
Min. / Cycle		1	1	1	1	1	1	1	1	1	1	1	1
A3 MSMTRN, Turf		1	1	1	1	1	1	1	1	1	1	1	2
Max. Minutes / Cycle		23	23	23	23	23	23	23	23	23	23	23	19
Min. / Cycle		1	1	1	1	1	1	1	1	1	1	1	1





- 1 CONTROLLER PER IRRIGATION LEGEND. ANCHOR TO WALL PER MANUFACTURER.
- 2 IRRIGATION CONTROL WAIRE: SEE IRRIGATION NOTES. SECURE TO WALL AT 4' MAX. INTERVALS.
- 3 LOW VOLTAGE LEADS FROM PLUG-IN TRANSFORMER (OUTLET BY OTHERS) WITHIN 6' OF CONTROLLER.
- 4 IRRIGATION CONTROL WIRE TO WALL CONDUIT (BY OTHERS).

NOTES:
 A. VERIFY CONTROLLER LOCATION PRIOR TO CONSTRUCTION. CONTRACTOR SHALL COORDINATE POWER AND ROUTING OF IRRIGATION CONTROL VALVES WITH SUPERINTENDENT AND LOCAL INSPECTOR.
 B. ALL WIRING AND ATTACHMENT PER NEC AND APPLICABLE LOCAL REQUIREMENTS.
 C. TYPE OR NEATLY HAND-WRITE CONTROLLER STATION ASSIGNMENTS AND SCHEDULE ON MANUFACTURER-PROVIDED INFORMATION CARD OR SEPARATE SHEET ATTACHED TO CONTROLLER MANUAL. LEAVE ALL PRODUCT LITERATURE WITH CONTROLLER OR AS DIRECTED BY BUILDER.

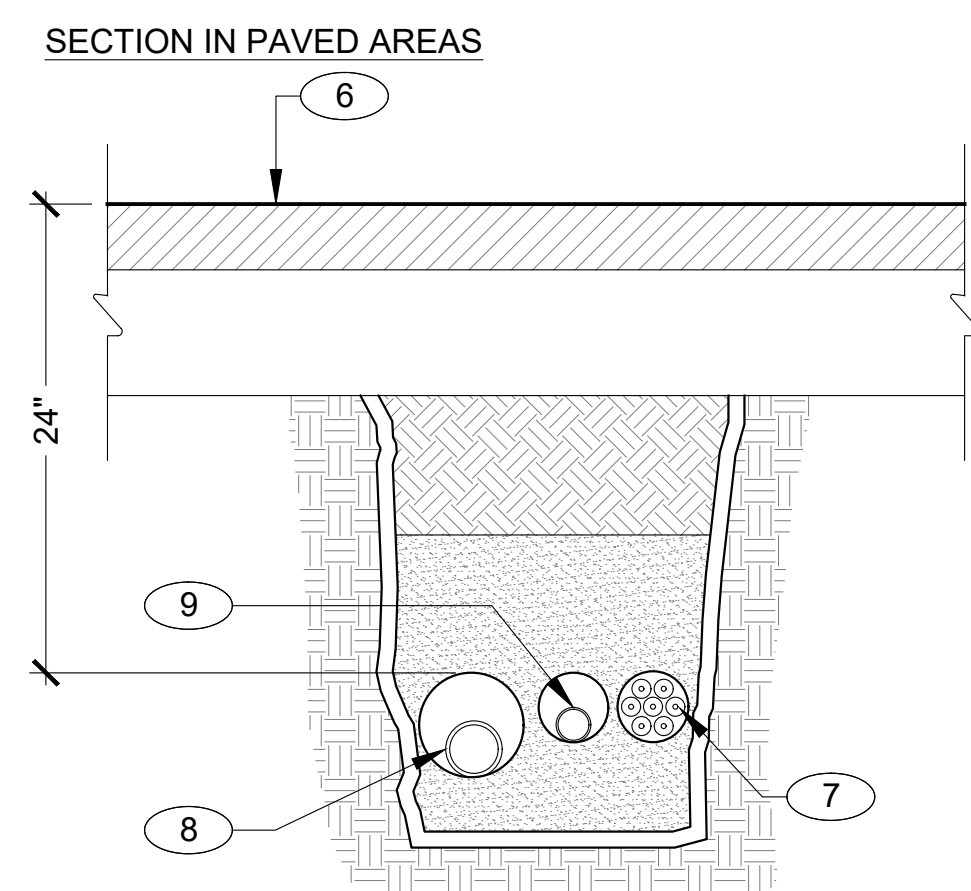
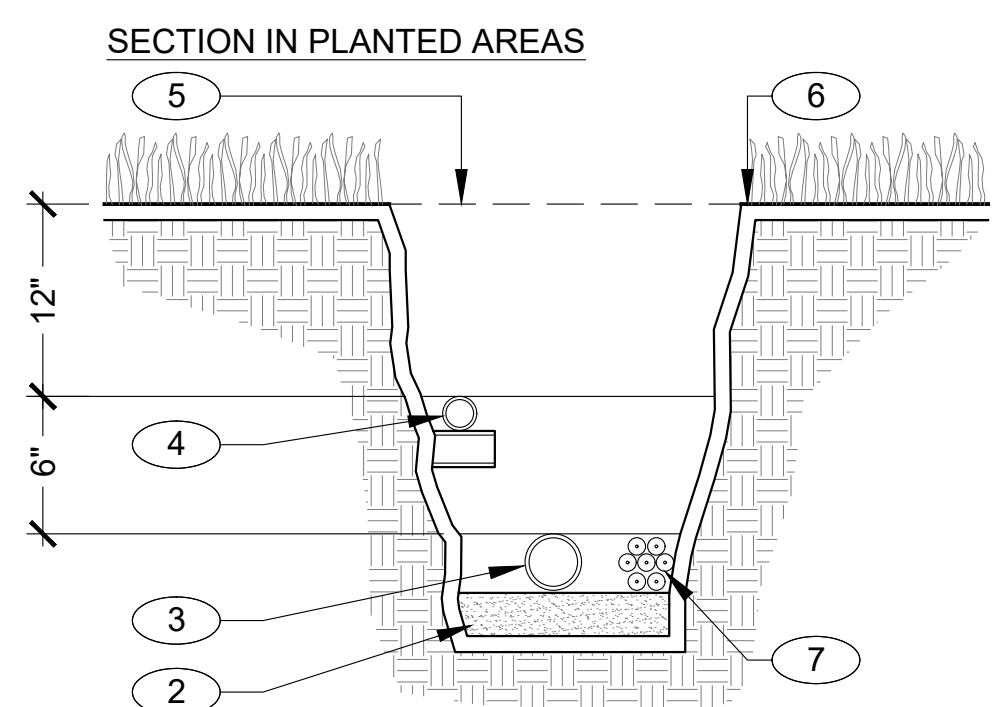


- 1 IRRIGATION MAINLINE (MIN. 1"Ø).
- 2 PVC STREET ELBOW, SCH. 40.
- 3 COPPER FPT ADAPTOR.
- 4 FINISH GRADE.
- 5 ADJACENT BUILDING.
- 6 SHUT-OFF VALVE, BRASS 150PSI WOG. SEE IRRIGATION LEGEND.
- 7 COPPER MPT ADAPTOR (TYP.)
- 8 INSTALL COPPER TEE AND LINE.
- 9 HOSE BIB (BY BUILDER).

NOTES:
 A. WRAP AND/OR PAINT EXPOSED LINES AS DIRECTED BY BUILDER.

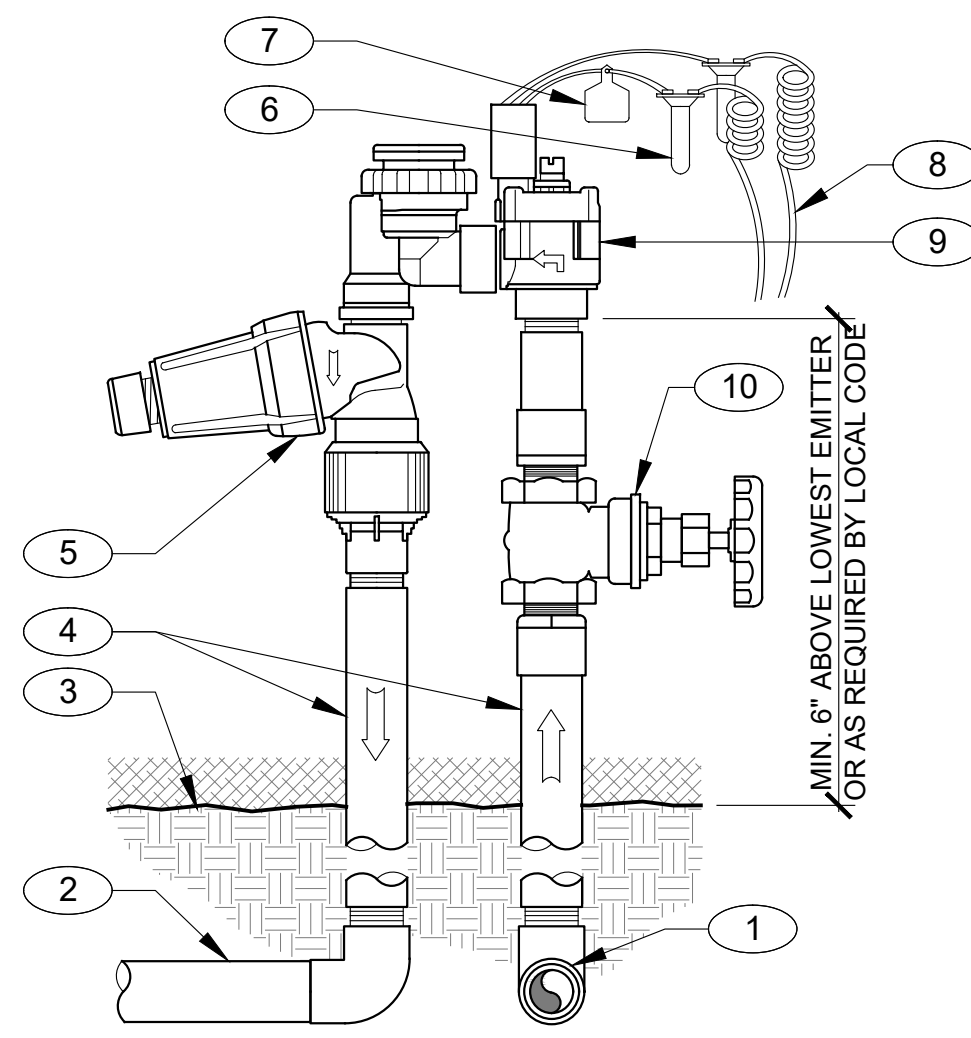
A IRRIGATION CONTROLLER: INTERIOR WALL MOUNT
 SCALE: NOT TO SCALE

B SHUTOFF VALVE (RESIDENTIAL)
 SCALE: NOT TO SCALE



- 1 TAPE AND BUNDLE CONTROL WIRING AT 10' MAX. INTERVALS AND AT JOINTS.
- 2 2" DEPTH CLEAN BACKFILL ON AN EVEN, ROCK AND CLOD FREE SURFACE.
- 3 MAINLINE.
- 4 LATERAL.
- 5 WIDTH AS REQUIRED.
- 6 FINISH GRADE.
- 7 CONTROL WIRING.
- 8 MAINLINE IN SLEEVE.
- 9 LATERAL IN SLEEVE.

NOTES:
 1. INSTALL 24-VOLT CONTROL WIRING ADJACENT TO PRESSURE MAINLINE, MAX. 3-INCHES ABOVE AND TO THE SIDE OF MAINLINE.
 2. PROVIDE EXPANSION LOOP IN WIRE BUNDLES AT ALL CHANGES IN DIRECTION (45°, 90°, CORNERS, ETC.). PVC PIPE SHALL NOT BE BENT INSIDE TRENCH TO A POINT WHERE THERE IS STRESS ON GLUED FITTINGS. NO STACKING OF PIPES ALLOWED, OR MORE THAN THREE PIPES IN CONJOINED TRENCHES.
 3. COMPACT TRENCHES TO BE 85% IN PLANTED AREAS, 95% IN PAVED AREAS. SETTLEMENT SHALL BE EVIDENCE OF INSUFFICIENT COMPACTION AND SHALL BE REPAIRED AT NO ADDITIONAL COST TO OWNER.
 4. EXTEND SLEEVING MIN. 12" BEYOND PAVING.
 5. ONE LINE/ PIPE PER SLEEVE, SEP. SLEEVE FOR WIRING.
 6. INSTALL (1) EXTRA SLEEVE AT EACH SLEEVED LOCATION, SAME DIAMETER AS LARGEST SLEEVE.



- 1 IRRIGATION MAINLINE FROM MANIFOLD.
- 2 IRRIGATION LATERAL.
- 3 FINISH GRADE.
- 4 SCH. 80.
- 5 FOR DRIP ZONES: INSTALL WYE FILTER. FOR INLET PRESSURES OVER 40PSI, USE PRESSURE-REDUCING FILTER OR SEPARATE PRESSURE REDUCER.
- 6 WATER-PROOF WIRE CONNECTOR.
- 7 VALVE TAG INDICATING STATION NUMBER.
- 8 CONTROL WIRING, SECURE TO RISER WITH MIN. (2) NYLON UV-RESISTANT ZIP-TIES.
- 9 ANTI-SIPHON VALVE PER IRRIGATION LEGEND.
- 10 SHUT-OFF VALVE, BRASS 150PSI WOG. SEE IRRIGATION LEGEND.

NOTES:
 A. LOCATE VALVES IN PLANTING AREAS, ADJACENT WALLS OR VERTICAL WORK. ALIGN ALL VALVES, LEAVING ROOM FOR SERVICE INCLUDING FILTER REMOVAL.
 B. ALL THREADED CONNECTIONS SHALL RECEIVE 3 WRAPS TEFLON TAPE. ALL THREADED RISERS AND NIPPLES SHALL BE SCHEDULE 80.
 C. MINIMUM MAINLINE AND RISER SIZE SHALL BE 1" DIA.
 D. INSTALL VALVES ON MANIFOLD, MIN. 8" SEPARATION. ALL VALVES SHALL BE ON TEES, WITH THE MAINLINE EXTENDED MIN. 12" FROM THE LAST VALVE AND CAPPED FOR FUTURE EXPANSION.

C IRRIGATION TRENCHING
 SCALE: NOT TO SCALE

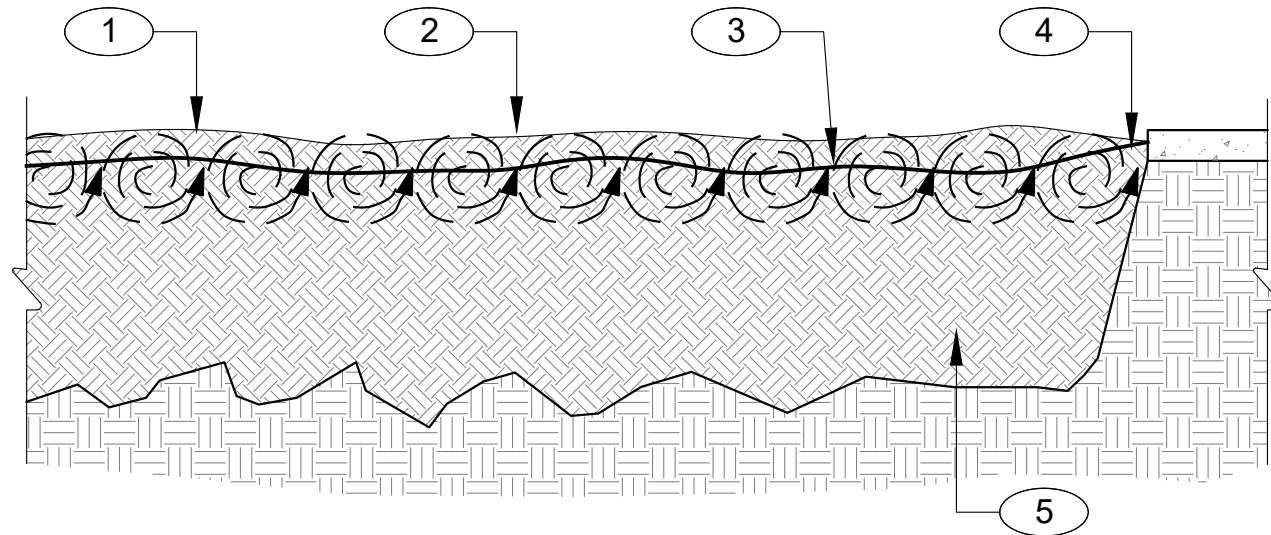
D REMOTE CONTROL VALVE: RESIDENTIAL
 SCALE: NOT TO SCALE

NO.	DATE	BY	APPRO.

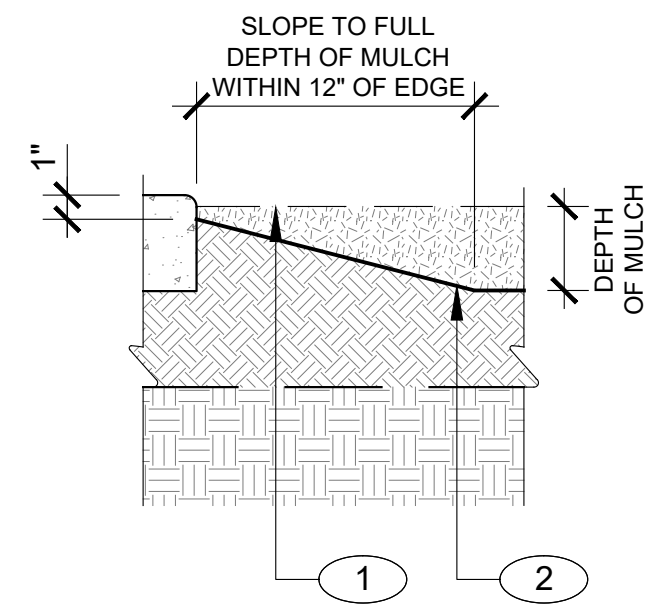


DATE	JULY 10, 2023
DRAWN	MN
DESIGNED	RB
CHECKED	SH
JOB NO.	8190014.0
SHEET NO.	L-4.0

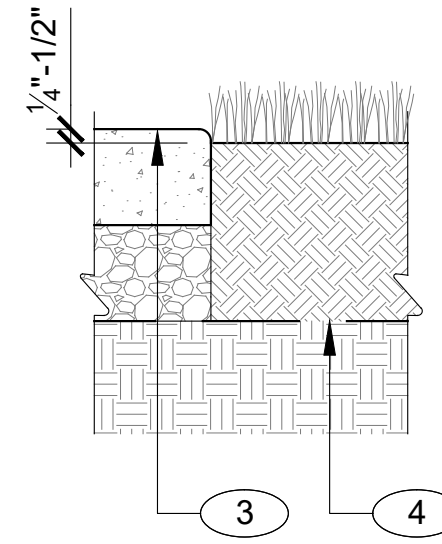
- 1 APPLY COMPOST AND REQUIRED AMENDMENTS PER SOILS REPORT PRIOR TO TILLING.
- 2 TILL TOP 8" (MIN.) IN ALL PLANTING AREAS.
- 3 PROPOSED FINISH GRADE AFTER SETTLING.
- 4 SEE EDGE CONDITION DETAIL FOR FINAL FINISH GRADE AT ADJACENT SURFACES.
- 5 COMPACTION SHALL NOT EXCEED 85% R.D. IN PLANTING AREAS. REPORT COMPACTION IN EXCESS OF 85% TO THE OWNER/ BUILDER PRIOR TO PROCEEDING WITH THE WORK.



PLANTED AREAS



SODDED OR SEEDED AREAS



- 1 TOP OF MULCH.
- 2 FINISH GRADE BEFORE MULCH.
- 3 ADJACENT HARDSCAPE, HEADER, OR OTHER OBJECT.
- 4 AMENDED AND PREPARED SOIL.

NOTES:

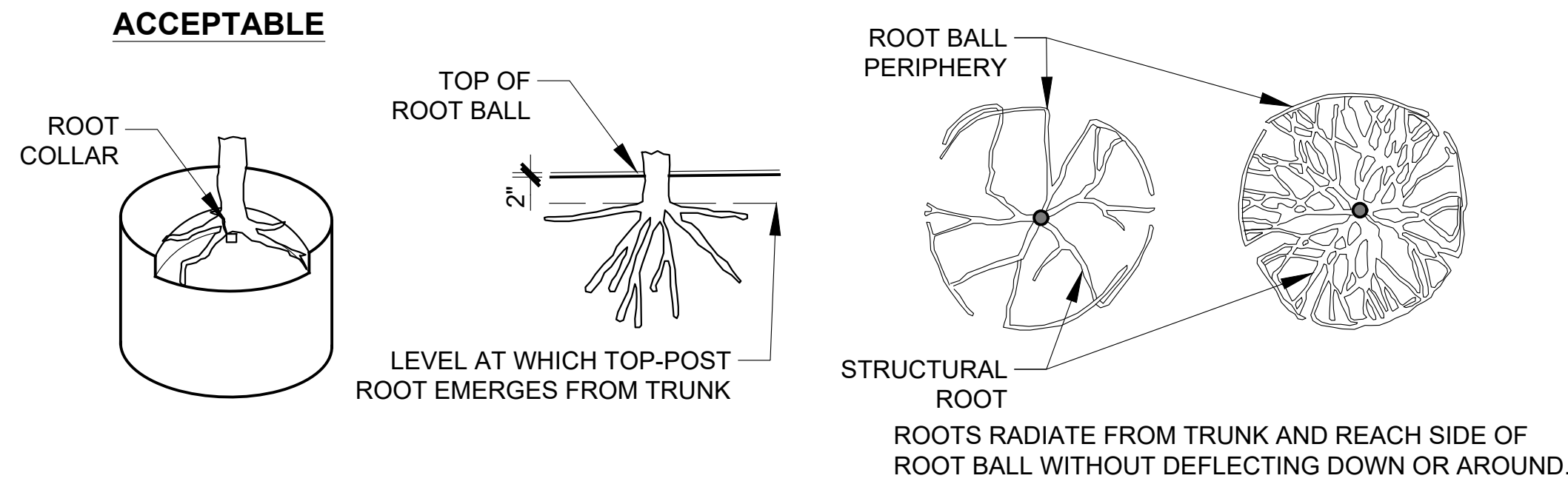
- A. PROVIDE POSITIVE DRAINAGE TO OUTLET IN ALL PLANTED AREAS. DO NOT ALLOW SURFACE DRAINAGE ONTO WALKWAYS, DRIVEWAYS, OR OTHER HARDSCAPE, OR SURFACE DRAINAGE TOWARD OR AGAINST STRUCTURES.

A PLANTING AREA SOIL PREPERATION
SCALE: NOT TO SCALE

B PLANTED AREA EDGE CONDITION AT HARDSCAPE
SCALE: NOT TO SCALE

SOIL FERTILITY ANALYSIS: NOTE: CONTRACTOR SHALL OBTAIN A SOILS TEST AFTER ROUGH GRADING IS COMPLETE, SEE PLANTING NOTE #11

CERTIFICATE OF COMPLETION: NOTE: SEE PLANTING NOTE #12

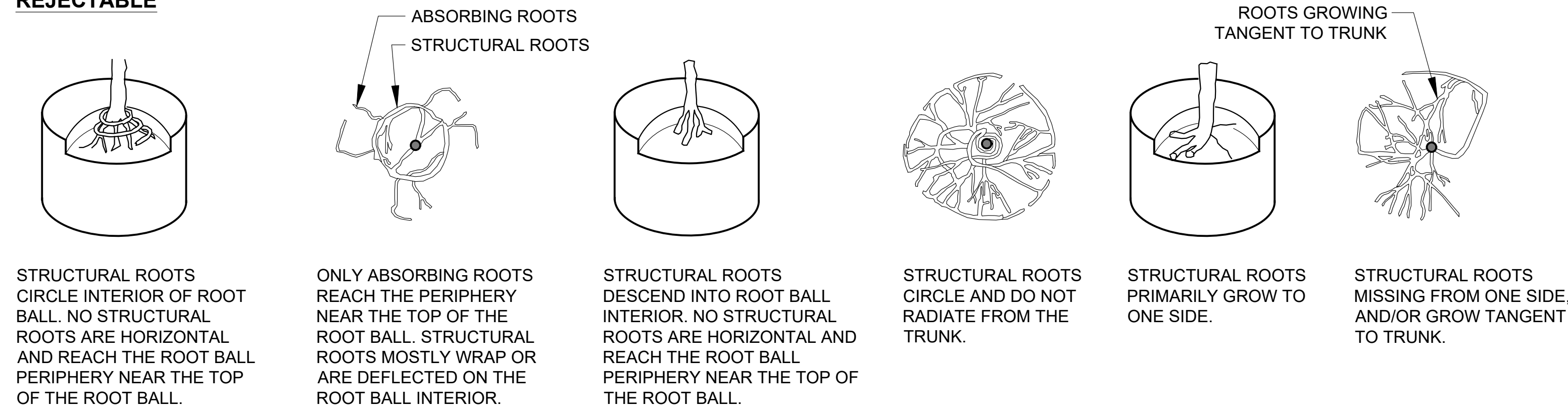


NOTES:

- A. OBSERVATIONS OF ROOTS SHALL OCCUR PRIOR TO ACCEPTANCE ROOTS AND SUBSTRATE MAT BE REMOVED DURING THE OBSERVATION PROCESS; SUBSTRATE/SOIL SHALL BE REPLACED AFTER OBSERVATION HAS BEEN COMPLETED.
- B. SMALL ROOTS (1/4" OR LESS) THAT GROW AROUND, UP, OR DOWN THE ROOT BALL PERIPHERY ARE CONSIDERED A NORMAL CONDITION IN CONTAINER PRODUCTION AND ARE ACCEPTABLE HOWEVER THEY SHOULD BE ELEIMNATED AT THE TIME OF PLANTING ROOTS ON THE PERIPHERY MAY BE REMOVED AT THE TIME OF PLANTING.
- C. SEE SPECIFICATIONS FOR OBSERVATION PROCESS AND REQUIREMENTS.

THE POINT WHERE TOP-MOST ROOT(S) EMERGES FROM THE TRUNK (ROOT COLLAR) SHOULD BE WITHIN THE TOP 2" OF SUBSTRATE THE ROOT COLLAR AND THE ROOT BALL INTERIOR SHOULD BE FREE OF DEFECTS INCLUDING CIRCLING, KINKED, ASCENDING, AND STEM GIRDLING ROOTS, STRUCTURAL ROOTS SHALL REACH THE PERIPHERY NEAR THE TOP OF THE ROOT BALL.

REJECTABLE



STRUCTURAL ROOTS CIRCLE INTERIOR OF ROOT BALL. NO STRUCTURAL ROOTS ARE HORIZONTAL AND REACH THE ROOT BALL PERIPHERY NEAR THE TOP OF THE ROOT BALL.

ONLY ABSORBING ROOTS REACH THE PERIPHERY NEAR THE TOP OF THE ROOT BALL. STRUCTURAL ROOTS MOSTLY WRAP OR ARE DEFLECTED ON THE ROOT BALL INTERIOR.

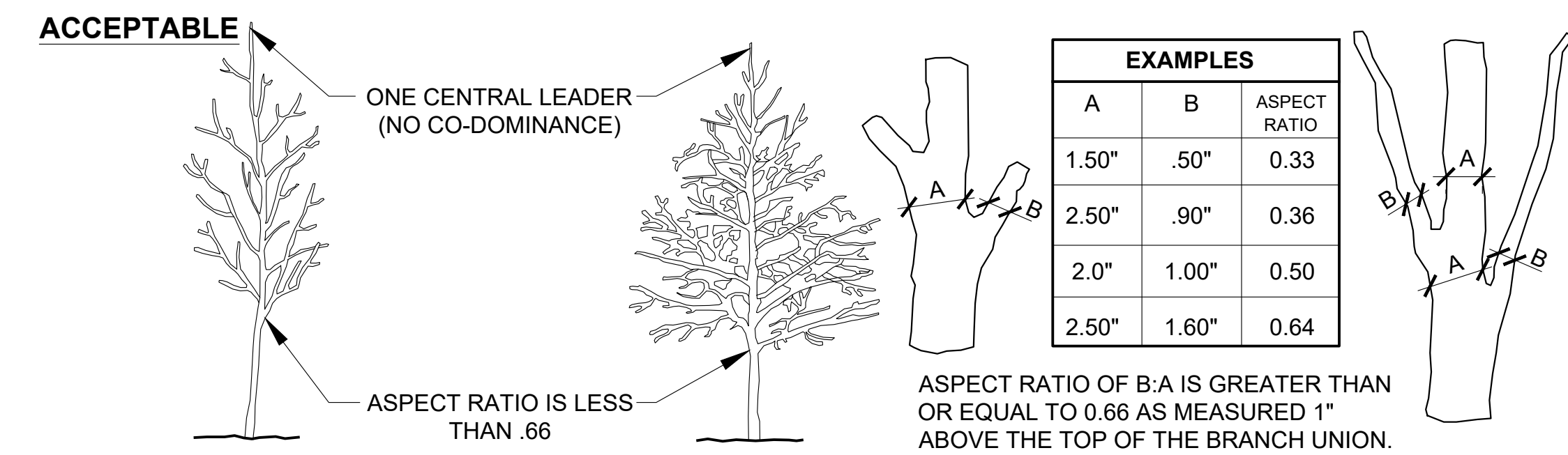
STRUCTURAL ROOTS DESCEND INTO ROOT BALL INTERIOR. NO STRUCTURAL ROOTS ARE HORIZONTAL AND REACH THE ROOT BALL PERIPHERY NEAR THE TOP OF THE ROOT BALL.

STRUCTURAL ROOTS CIRCLE AND DO NOT RADIATE FROM THE TRUNK.

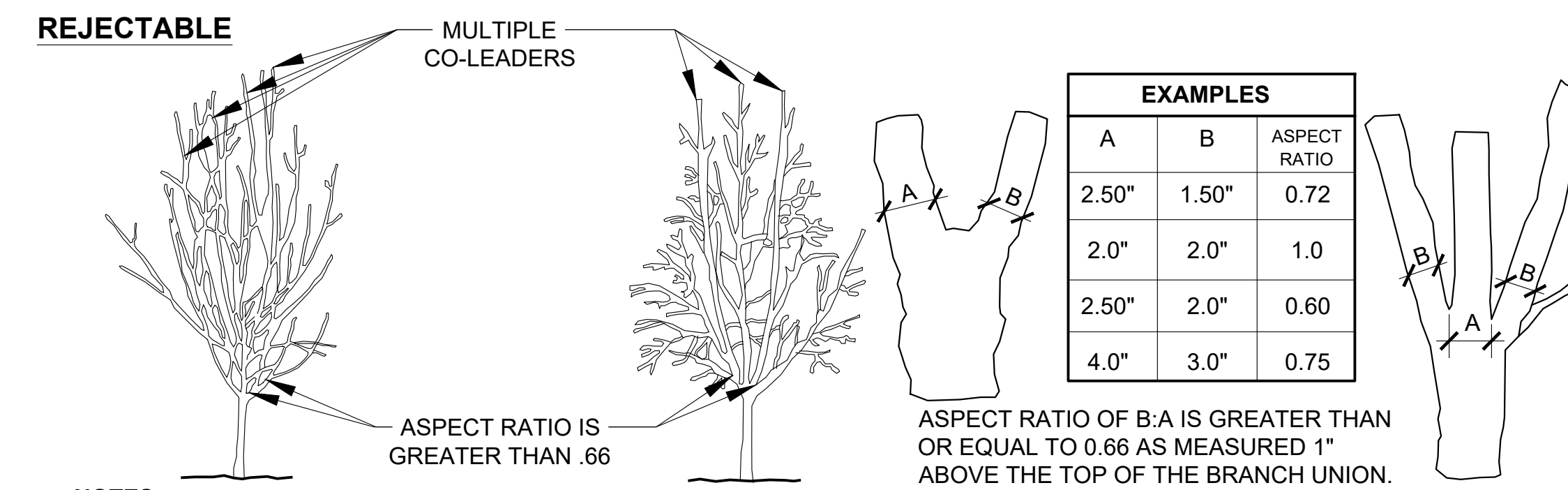
STRUCTURAL ROOTS PRIMARILY GROW TO ONE SIDE.

STRUCTURAL ROOTS MISSING FROM ONE SIDE, AND/OR GROW TANGENT TO TRUNK.

C ROOT STRUCTURE: CONTAINERIZED PLANTS
SCALE: NOT TO SCALE



EXAMPLES		
A	B	ASPECT RATIO
1.50"	.50"	0.33
2.50"	.90"	0.36
2.0"	1.00"	0.50
2.50"	1.60"	0.64



EXAMPLES		
A	B	ASPECT RATIO
2.50"	1.50"	0.72
2.0"	2.0"	1.0
2.50"	2.0"	0.60
4.0"	3.0"	0.75

NOTES:

- A. ASPECT RATIO SHALL BE LESS THAN 0.66 ON ALL BRANCH UNIONS. ASPECT RATIO IS THE DIAMETER OF BRANCH (B) DIVIDED BY THE DIAMETER OF THE TRUNK (A) AS MEASURED 1" ABOVE THE TOP OF THE BRANCH UNION.
- B. ANY TREE NOT MEETING THESE REQUIREMENTS MAY BE REJECTED, EXCEPTING THOSE NOTED AS "MULTI-TRUNKED".

D TREE BRANCHING STRUCTURE
SCALE: NOT TO SCALE

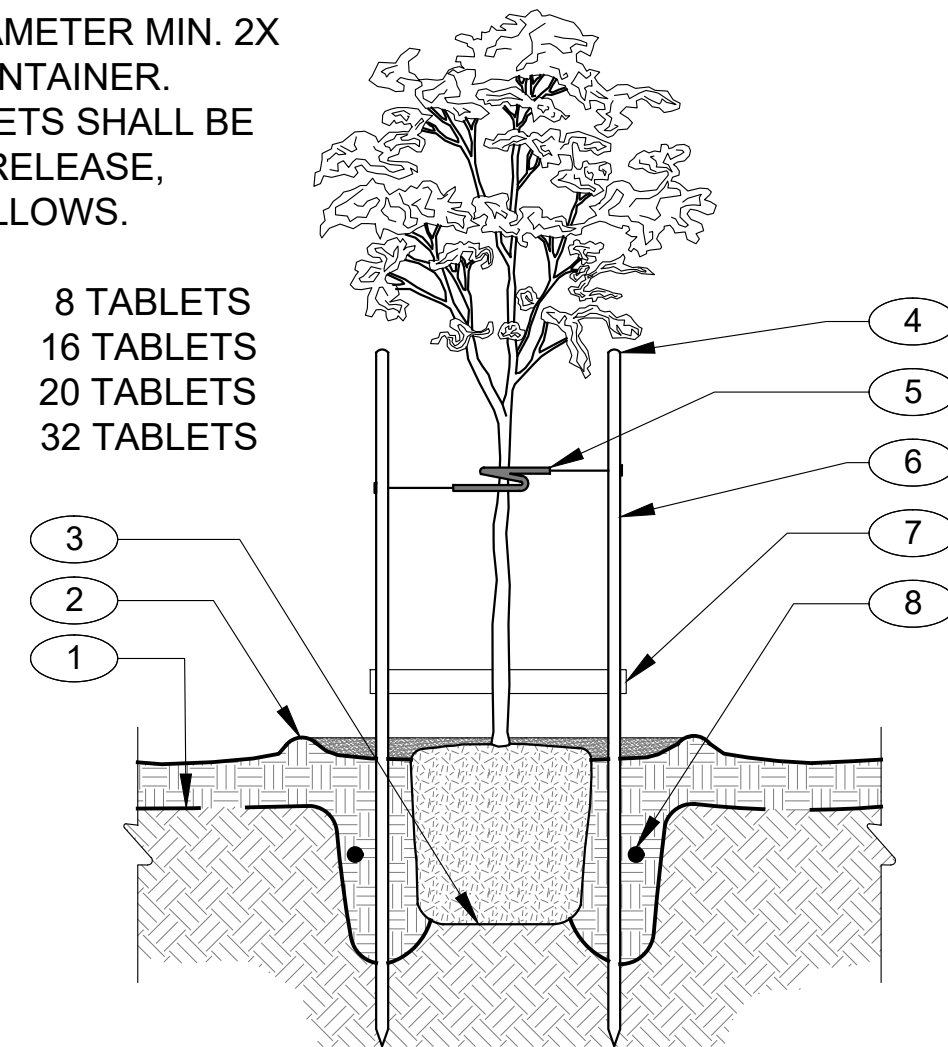
BY	APPO
REVISIONS	
DATE	
NO.	

DATE	JULY 10, 2023
DRAWN	MN
DESIGNED	RB
CHECKED	SH
JOB NO.	8190014.0
SHEET NO.	L-6.0

NOTES:

- A. MULCH MIN. 3" DEPTH, KEEP 6" FROM TRUNK.
- B. PLANTING PIT DIAMETER MIN. 2X DIAMETER OF CONTAINER.
- C. FERTILIZER TABLETS SHALL BE 21 GRAM, SLOW RELEASE, QUANTITY AS FOLLOWS.

15 GALLON:	8 TABLETS
24" BOX:	16 TABLETS
36" BOX:	20 TABLETS
48" BOX:	32 TABLETS



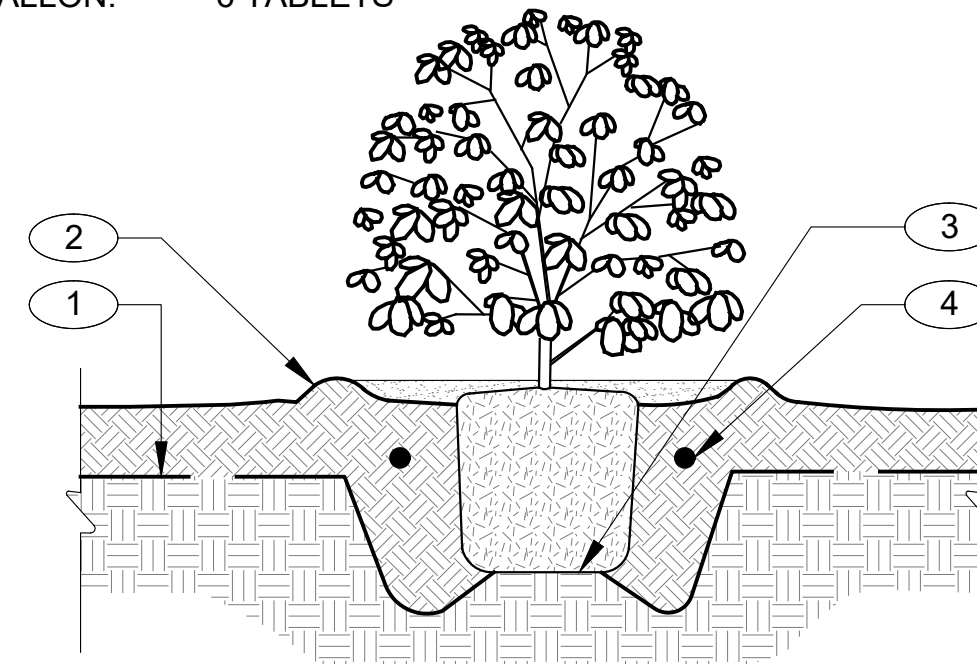
SECTION

- 1 AMENDED SOIL IN PLANTING PIT AND SURROUNDING PLANTER AREAS.
- 2 SOIL BERM, 4-6" HIGH x 6-10' WIDE, OUTSIDE PLANTING PIT (OMIT IN SODDED AREAS).
- 3 ROOTBALL, REST ON PLINTH OF UNDISTURBED SUBGRADE OR COMPACTED SOIL.
- 4 CUT STAKES TO KEEP CLEAR OF LOWEST BRANCHES.
- 5 VIT PRODUCTS 'LR' TREE TIE OR APPROVED EQUAL. INSTALL SLACK TO ALLOW FLEXIBILITY.
- 6 2" DIA. x 10' LODGEPOLE STAKES. KEEP CLEAR OF ROOT BALL.
- 7 1 X 4 REDWOOD BRACE. CLEAR OF TRUNK. MIN. 1' FROM FINISH GRADE.
- 8 FERTILIZER TABLETS, MIN. 4" FROM ROOTBALL, 6" DEEP, EVENLY DISTURBED.

NOTES:

- A. MULCH MIN. 3" DEPTH, KEEP 6" FROM TRUNK.
- B. PLANTING PIT DIAMETER MIN. 2X DIAMETER OF CONTAINER.
- C. FERTILIZER TABLETS SHALL BE 21 GRAM, SLOW-RELEASE, QUANTITY AS FOLLOWS.

1 GALLON:	1 TABLETS
2 GALLON:	2 TABLETS
5 GALLON:	3 TABLETS
15 GALLON:	6 TABLETS

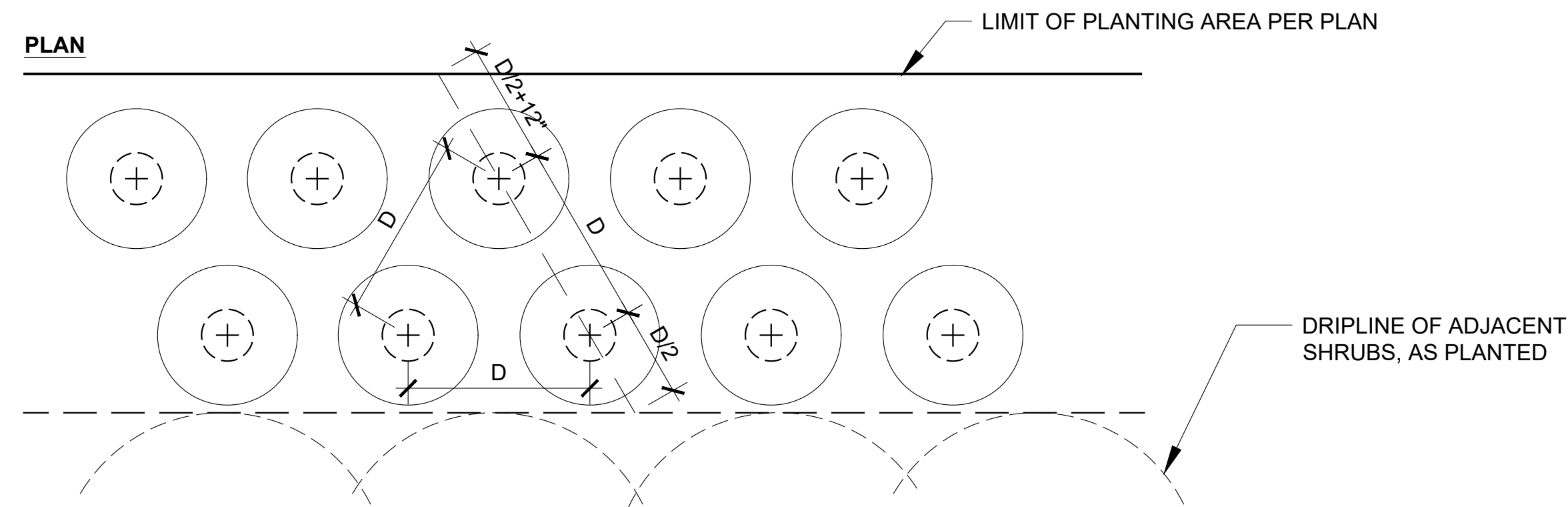


- 1 AMENDED SOIL IN PLANTING PIT AND SURROUNDING PLANTER AREAS.
- 2 SOIL BERM, 3-4" HIGH x 6-8' WIDE, OUTSIDE PLANTING PIT.
- 3 ROOTBALL, REST ON PLINTH OF UNDISTURBED SUBGRADE OR COMPACTED SOIL.
- 4 FERTILIZER TABLETS, MIN. 4" FROM ROOTBALL, 6" DEEP, EVENLY DISTURBED.

A TREE PLANTING: STANDARD UP TO 36" BOX
SCALE: NOT TO SCALE

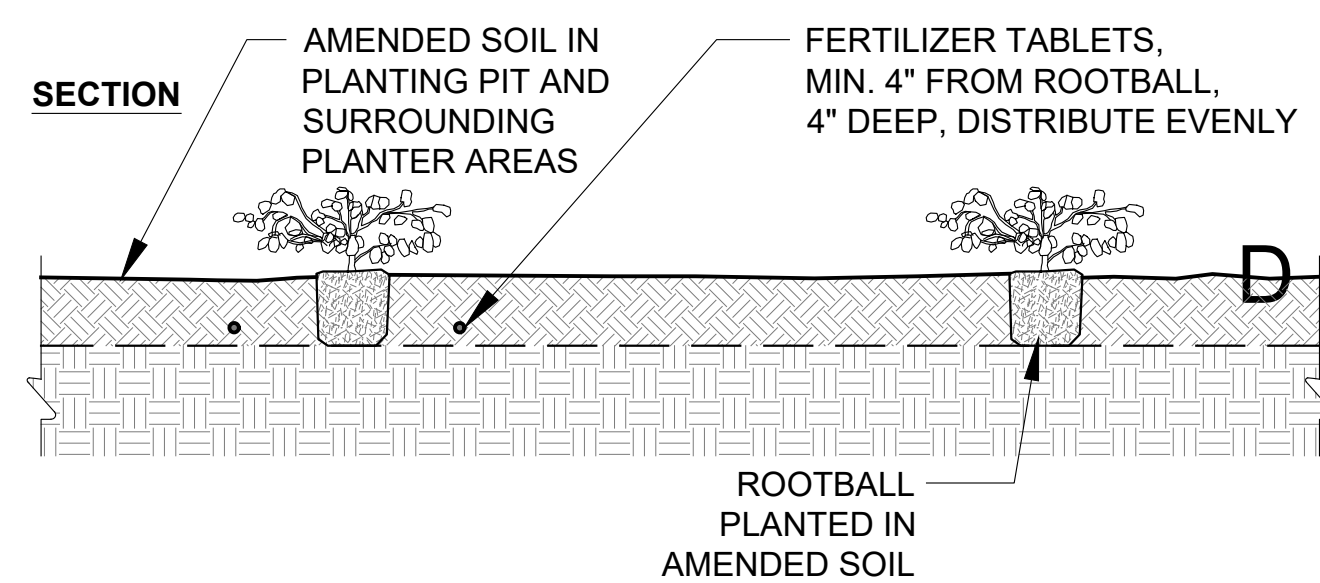
B SHRUB PLANTING
SCALE: NOT TO SCALE

PLAN



NOTES:

- A. "D" IS ON-CENTER SPACING PER PLANTING LEGEND.
- B. GROUNDCOVER SHALL BE EQUILATERALLY SPACED UNLESS NOTED OTHERWISE.
- C. MULCH MIN. 3" DEPTH, KEEP 3" FROM TRUNK.
- D. FERTILIZER TABLETS SHALL BE 21 GRAM, SLOW-RELEASE, QUANTITY:
1 GALLON: 1 TABLET
2 GALLON: 2 TABLETS



C GROUNDCOVER PLANTING
SCALE: NOT TO SCALE

SOIL FERTILITY ANALYSIS: NOTE: CONTRACTOR SHALL OBTAIN A SOILS TEST AFTER ROUGH GRADING IS COMPLETE, SEE PLANTING NOTE #11

CERTIFICATE OF COMPLETION: NOTE: SEE PLANTING NOTE #12

NO.	DATE	REVISIONS	BY / APPR.



DATE	JULY 10, 2023
DRAWN	MN
DESIGNED	RB
CHECKED	SH
JOB NO.	8190014.0
SHEET NO.	L-6.1

NO.	DATE	REVISIONS	BY / APPR.

TREE PROTECTION CHART

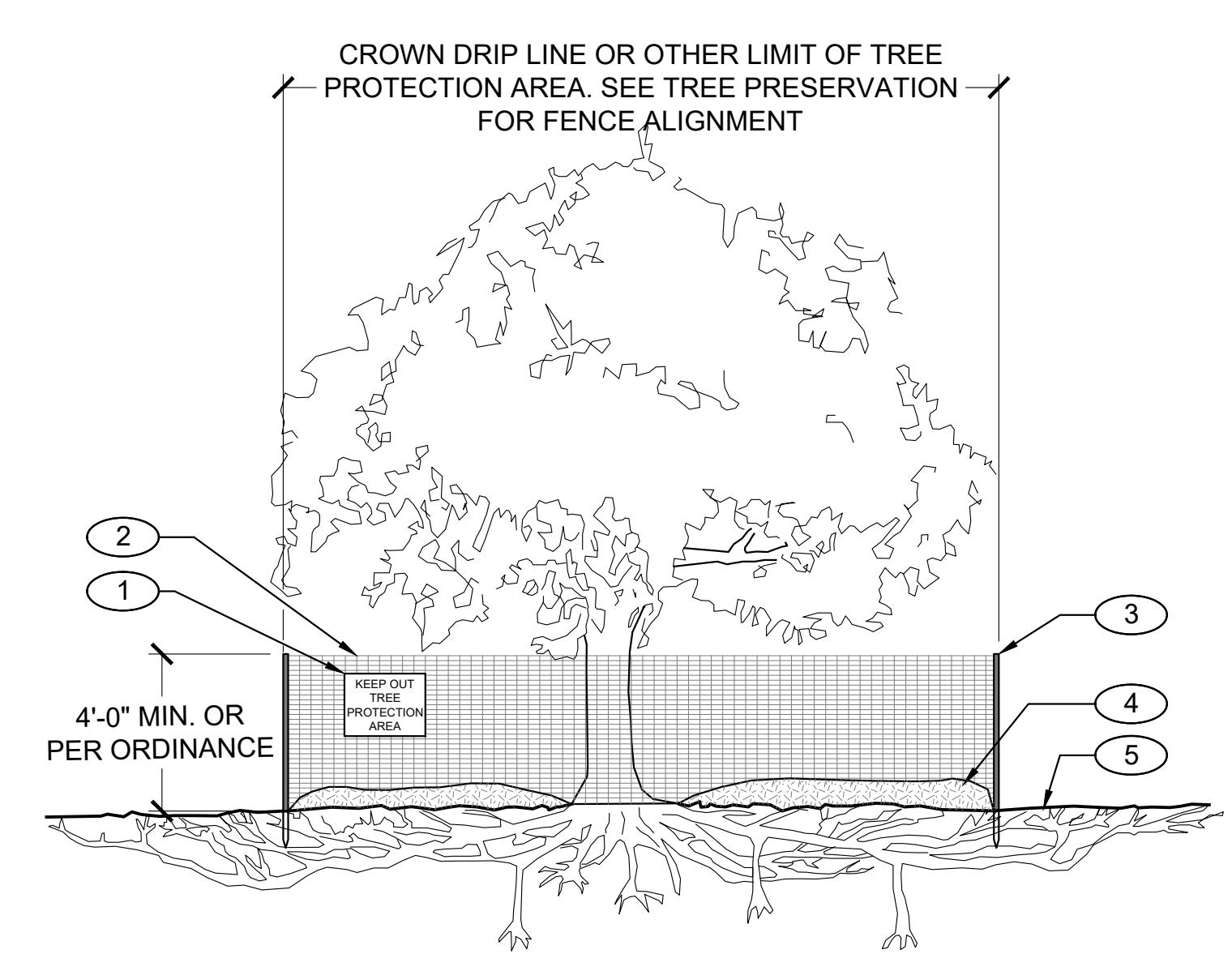
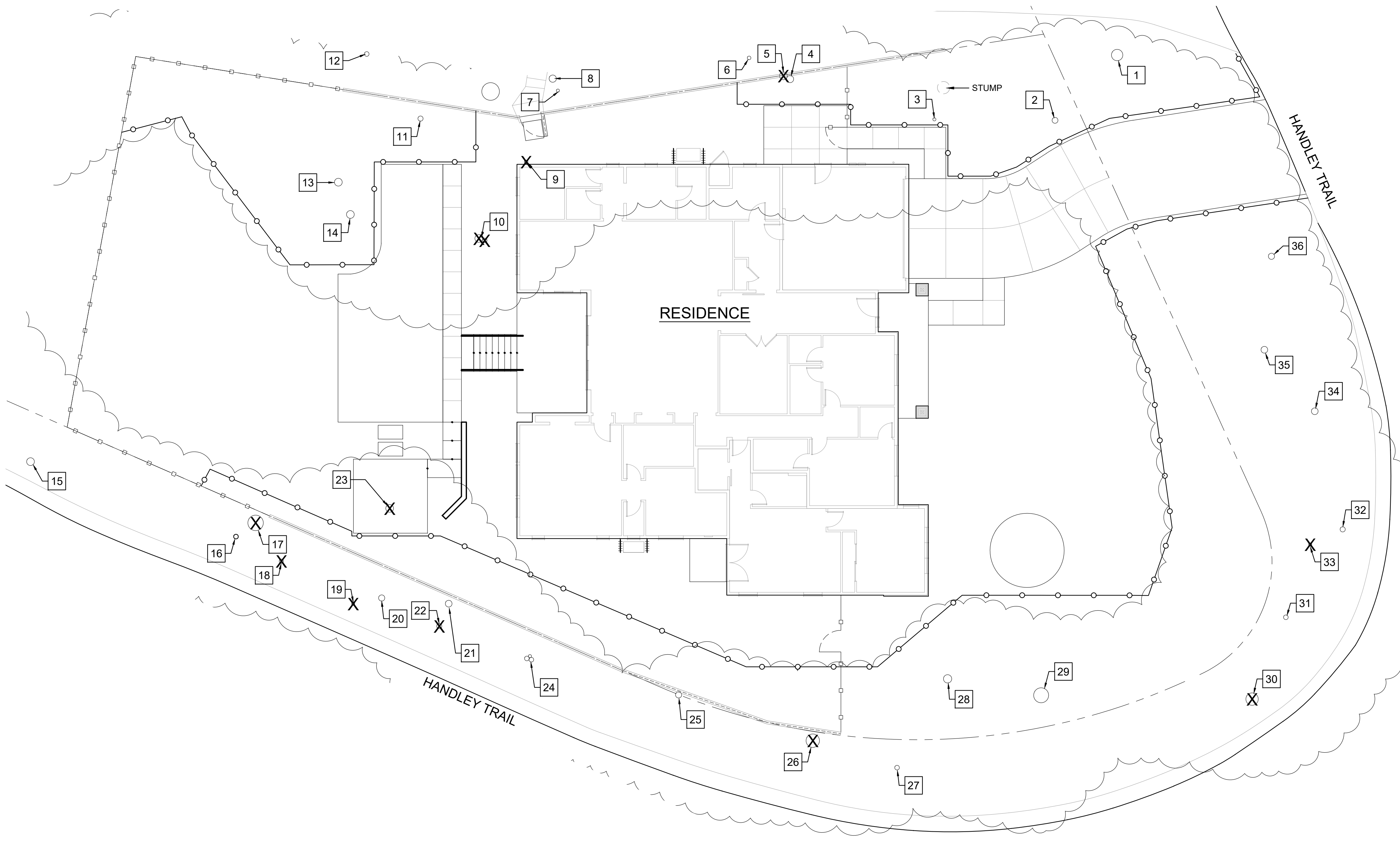
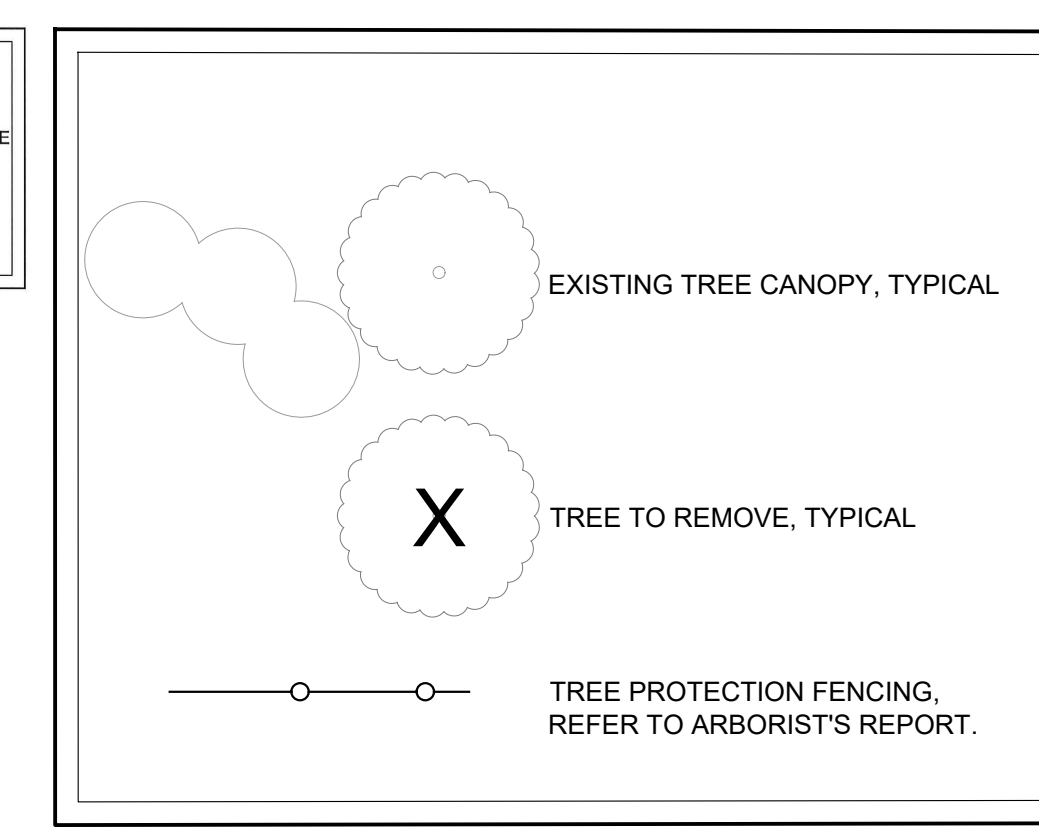
TAG#	PROTECTED TREE	DBH	SCIENTIFIC NAME	COMMON NAME	STATUS
1	Significant	22"	Quercus agrifolia	Coastal live oak	TO REMAIN
2	N/A	9"	Quercus agrifolia	Coastal live oak	TO REMAIN
3	N/A	6"	Quercus agrifolia	Coastal live oak	TO REMAIN
4	Significant	14"	Quercus agrifolia	Coastal live oak	TO REMAIN
5	Significant	15"	Quercus agrifolia	Coastal live oak	REMOVE
6	N/A	7"	Quercus agrifolia	Coastal live oak	TO REMAIN
7	N/A	6"	Prunus sp.	Cherry	TO REMAIN
8	Significant	14"	Prunus sp.	Cherry	TO REMAIN
9	N/A	7"	Quercus agrifolia	Coastal live oak	REMOVE
10	Significant	(9)(15)	Quercus agrifolia	Coastal live oak	REMOVE
11	N/A	10"	Quercus agrifolia	Coastal live oak	TO REMAIN
12	N/A	9"	Quercus agrifolia	Coastal live oak	TO REMAIN
13	Significant	15"	Quercus agrifolia	Coastal live oak	TO REMAIN
14	Significant	15"	Quercus agrifolia	Coastal live oak	TO REMAIN
15	Significant	15"	Quercus agrifolia	Coastal live oak	TO REMAIN
16	N/A	9"	Quercus agrifolia	Coastal live oak	TO REMAIN
17	Significant	30"	Pinus radiata	Monterey pine	REMOVE
18	N/A	8"	Quercus agrifolia	Coastal live oak	REMOVE
19	N/A	6"	Quercus agrifolia	Coastal live oak	REMOVE
20	Significant	12"	Quercus agrifolia	Coastal live oak	TO REMAIN
21	Significant	13"	Quercus agrifolia	Coastal live oak	TO REMAIN
22	N/A	10"	Quercus agrifolia	Coastal live oak	REMOVE
23	Significant	15"	Prunus sp.	Cherry	REMOVE
24	Significant	(9)(9)(6)	Quercus agrifolia	Coastal live oak	TO REMAIN
25	Significant	12"	Quercus agrifolia	Coastal live oak	TO REMAIN
26	Significant	26"	Pinus radiata	Monterey pine	REMOVE
27	N/A	9"	Quercus agrifolia	Coastal live oak	TO REMAIN
28	Significant	16"	Quercus agrifolia	Coastal live oak	TO REMAIN
29	Significant	29"	Quercus agrifolia	Coastal live oak	TO REMAIN
30	Significant	24"	Pinus radiata	Monterey pine	REMOVE
31	N/A	9"	Quercus agrifolia	Coastal live oak	TO REMAIN
32	N/A	10"	Quercus agrifolia	Coastal live oak	TO REMAIN
33	N/A	6"	Quercus agrifolia	Coastal live oak	REMOVE
34	Significant	13"	Quercus agrifolia	Coastal live oak	TO REMAIN
35	Significant	13"	Quercus agrifolia	Coastal live oak	TO REMAIN
36	Significant	12"	Quercus agrifolia	Coastal live oak	TO REMAIN

NOTES:

- REFER TO THE ARBORIST REPORT "TREE INVENTORY, CONSTRUCTION IMPACT ASSESSMENT AND TREE PROTECTION PLAN" 607 HANDLEY TR., EMERALD HILLS, CALIFORNIA. PREPARED BY HEARTWOOD CONSULTING ARBORISTS, DATED DECEMBER 04, 2022 FOR FULL DETAILS.
- TREES AND SHRUBS ARE NOT IDENTIFIED WITHIN THE REPORT, BUT AS PART OF THE TOPOGRAPHICAL SURVEY, ARE INCLUDED FOR REFERENCE ONLY.
- PROTECT ALL EXISTING ITEMS NOTED TO REMAIN OR OTHERWISE UN-LABELED.
- EXISTING TREES TO REMAIN UNLESS NOTE OTHERWISE. DO NOT STOCKPILE, DRIVE OVER, OR OTHERWISE DISTURB SOIL UNDER DRIPLINES OF EXISTING TREES, EXCEPT AS REQUIRED FOR PLANTING OPERATIONS.
- USE HAND TOOLS ONLY FOR SOIL CULTIVATION UNDER DRIPLINES OF EXISTING TREES TO REMAIN.
- TREES NOTED TO BE REMOVED SHALL BE COMPLETELY REMOVED, INCLUDING STUMP AND ROOT MASS. REFER TO ARBORIST REPORT FOR INSTRUCTIONS ON REMOVING TREE STUMPS WITHIN PROTECTED TREE ROOT ZONES.
- NO ROOTS OVER 2" IN DIAMETER SHALL BE CUT EXCEPT UNDER THE DIRECTION OF AN ARBORIST. ALL CUT ROOTS SHALL BE COVERED WITH BURLAP OR STRAW AND SHALL REMAIN MOIST UNTIL RE-BURIED IN SOIL.
- CALL COMMON GROUND ALLIANCE (811) AT LEAST TWO WORKING DAYS PRIOR TO BEGINNING WORK. CONTRACTOR IS RESPONSIBLE TO PROTECT FOR ALL EXISTING UTILITIES, SEE GENERAL NOTES, SHEET L-1.1, FOR MORE INFORMATION.

NOTE: CONTRACTOR REFER TO ARBORIST FINAL REPORT FOR TREE PROTECTION FENCE LOCATIONS.

MWELQ STATEMENT OF COMPLIANCE
"I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPING ORDINANCE AND APPLIED SUCH CRITERIA FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN."
Susan Heiken, FLA. LICENSE # 6282
STUDIO 1515



A TREE PROTECTION FENCING
SCALE: NOT TO SCALE

- 8.5"x11" SIGN LAMINATED IN PLASTIC, SPACED EVERY 50' ALONG THE FENCE.
- TREE PROTECTION FENCE: HIGH DENSITY POLYETHYLENE FENCING WITH 3.5"x1.5" OPENINGS, COLOR: ORANGE, STEEL POSTS INSTALLED AT 8'-0" O.C.
- 2"x6" STEEL POSTS OR APPROVED EQUAL.
- 3" LAYER OF CHIP MULCH OVER THE PROTECTED ROOT ZONES.
- MAINTAIN EXISTING GRADE WITH THE TREE PROTECTION FENCE UNLESS OTHERWISE INDICATED ON THE PLANS.

- NOTES:**
- SEE ARBORIST REPORT FOR ADDITIONAL PROTECTION REQUIREMENTS. COMPLY WITH ALL TREE-PROTECTION REQUIREMENTS PER JURISDICTION.
 - IRRIGATED AS NEEDED TO MAINTAIN HEALTH OF TREE.
 - KEEP EXPOSED ROOTS MOIST.
 - NO PRUNING SHALL BE PERFORMED EXCEPT UNDER THE DIRECTION OF APPROVED ARBORIST.
 - NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.

