

GENERAL CONDITIONS

01. RENOVATION OF SINGLE FAMILY RESIDENCE WITHIN EXISTING EXTERIOR WALLS. VOLUNTARY REDUCTION OF LOT COVERAGE AND FLOOR AREA & REMOVAL OF ILLEGAL DEVELOPMENT. NEW BASEMENT, REBUILD ROOF, WIDEN GARAGE DOOR, AND RAISE GARAGE ELEVATION TO REDUCE DRIVEWAY SLOPE.

02. GENERAL CONDITIONS: PERFORM ALL WORK REQ'D BY THE CONTRACT DOCUMENTS FOR THE ALTERATION, RENOVATION, REPAIR & REHABILITATION OF THE DESIGNATED PREMISES, INCLUDING ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, SCAFFOLDING & OTHER FACILITIES & SERVICES NECESSARY FOR THE PROPER & COMPLETE EXECUTION OF THE WORK. THESE GENERAL CONDITIONS SHALL APPLY TO ALL WORK INDICATED IN THIS DRAWING SET & SHALL EXTEND TO ANY CHANGES OR ADDITIONAL SCOPE DEVELOPED DURING THE COURSE OF THE PROJECT.

03. EXCLUSIONS: CONTRACTOR SHALL MAKE KNOWN TO ARCHITECT & OWNER ANY LIMITATIONS, EXCLUSIONS OR MODIFICATIONS TO THE PROJECT EXPLICITLY IN THE PROJECT ESTIMATE. UNLESS SPECIFICALLY EXCLUDED, THEY WILL BE PRESUMED TO BE INCLUDED IN THE PRICING OF THE PROJECT.

04. COMPLEMENTARY DOCUMENTS: THE ARCHITECT'S DRAWINGS, SPECIFICATIONS & CONSTRUCTION NOTES ARE COMPLEMENTARY, & WHAT IS CALLED FOR BY ONE SHALL BE BINDING AS IF CALLED FOR BY ALL.

05. INCONSISTENCIES: WHERE DIFFERENCES BETWEEN DRAWINGS, NOTES & SPECIFICATIONS OCCUR, THE DECISION OF THE ARCHITECT SHALL GOVERN AS TO WHICH TAKES PRECEDENCE. THE ARCHITECT SHALL PROMPTLY RESOLVE ANY SUCH DISCREPANCIES BROUGHT FORWARD BY THE CONTRACTOR.

06. MISSING INFORMATION: THE CONTRACTOR SHALL STUDY THE DRAWINGS, NOTES, SPECIFICATIONS & OTHER INSTRUCTIONS, & NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES OR MISSING INFORMATION REQ'D FOR FABRICATION OR INSTALLATION OF THE WORK. THE CONTRACTOR SHALL REQUEST INSTRUCTIONS FROM THE ARCHITECT BEFORE PROCEEDING W/ THE WORK.

07. DOUBTFUL CONDITIONS / FIELD CONDITIONS: VERIFY ALL (E) CONDITIONS & DIMENSIONS AFFECTING THE WORK ON SITE. NOTIFY THE ARCHITECT OF ANY CONDITIONS THAT ARE FOUND CONTRARY TO THOSE SHOWN ON THE DRAWINGS, OR OF ANY DOUBTFUL CONDITIONS THAT MIGHT AFFECT QUALITY OR INTERFERE W/ THE PROPER COMPLETION OF WORK BEFORE COMMENCING WORK. COMMENCEMENT OF WORK INDICATES ACCEPTANCE OF (E) CONDITIONS.

08. PERMITS AND APPROVALS: OBTAIN ALL REQUIRED PERMITS & PAY FEES FOR PERMITS, LICENSES, INSPECTIONS, FILINGS & APPROVALS REQUIRED BY LOCAL LAWS, ORDINANCES & REGULATIONS NECESSARY FOR COMPLETION OF THE PROJECT. SCHEDULE REQUIRED INSPECTIONS IN A TIMELY MANNER SO AS NOT TO INTERRUPT PROGRESS OF THE WORK.

09. A VALID WORK PERMIT SHALL BE PROMINENTLY DISPLAYED AT THE JOB SITE FOR THE ENTIRE DURATION OF THE WORK.

10. COMPLIANCE WITH CODES: ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF SAN MATEO COUNTY PLANNING OFFICE, FIRE & EMERGENCY SERVICES & LOCAL UTILITY COMPANIES. WHERE REQUIREMENTS OF THESE CODES ARE CONTRADICTORY, THE MORE STRINGENT RULE SHALL APPLY.

11. MEANS AND METHODS: THE CONTRACTOR SHALL SUPERVISE THE WORK USING THE BEST SKILL & ATTENTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR, & SHALL HAVE CONTROL OVER, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES.

12. SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING & SUPERVISING SAFETY PRECAUTIONS IN CONNECTION W/ THE WORK. HE SHALL GIVE NOTICES & COMPLY W/ ALL APPLICABLE LAWS, ORDINANCES, REGULATIONS & ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE SAFETY OF PERSONS AND PROPERTY, & THEIR PROTECTION FROM DAMAGE, INJURY & LOSS. HE SHALL INSURE THAT THE JOB SITE IS MAINTAINED AT ALL TIMES SO AS TO PREVENT INJURY OR DAMAGE TO ALL PERSONS WORKING ON OR VISITING THE PREMISES, & TO THEIR PROPERTY.

13. HAZARDOUS MATERIALS: IN THE EVENT THE CONTRACTOR ENCOUNTERS ASBESTOS OR PRODUCTS CONTAINING ASBESTOS, REMOVE ALL PERSONS FROM THE PROPERTY IMMEDIATELY W/O DISTURBING THESE PRODUCTS & NOTIFY THE OWNER. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT ALL PARTIES FROM POTENTIAL HAZARDS PRODUCED BY REMOVAL OF OR DAMAGE TO LEAD-BASED PAINTS OR OTHER SIM. HAZARDOUS MATERIALS, ON OR ABOUT THE PROPERTY.

14. SCHEDULE: SUBMIT A CONSTRUCTION SCHEDULE TO ARCHITECT & OWNER PRIOR TO COMMENCING WORK. THE SCHEDULE SHALL INDICATE THE CHRONOLOGICAL PHASES OF WORK THROUGH PROJECT COMPLETION. THE SCHEDULE SHALL INDICATE ORDERING LEAD TIME, START & COMPLETION DATES FOR EACH TRADE. CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE APPROVED SCHEDULE.

15. SEQUENCE AND COORDINATION: THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES & SUBCONTRACTORS FOR ALL PORTIONS OF THE WORK UNDER THIS CONTRACT. THE CONTRACTOR SHALL ALSO COOPERATE IN SEQUENCING INSTALLATION OF ITEMS FURNISHED BY THE OWNER.

16. APPROVED MATERIALS: THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERM "OR EQUAL" IS USED THE ARCHITECT SHALL DETERMINE THE ACCEPTABILITY OF A SUBSTITUTION REQUESTED BY THE CONTRACTOR. ALL MATERIALS SHALL BE NEW, UNUSED & OF THE HIGHEST QUALITY IN EVERY RESPECT, U.O.N. IN THE DRAWINGS, MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MFR'S RECOMMENDATIONS & INSTRUCTIONS.

17. LICENSED TRADESPEOPLE: WORK, INCLUDING PLUMBING, ELECTRICAL & OTHER TRADES, SHALL BE PERFORMED BY CONTRACTORS LICENSED IN THEIR TRADE, WHO SHALL OBTAIN ALL REQUIRED PERMITS, INSPECTIONS & SIGN-OFFS. HVAC SYSTEMS INSTALLERS MUST BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS, BY A PROGRAM ACCEPTABLE TO THE DBI, PER CAL GREEN 702.1

18. CURRENT DRAWINGS / REVISIONS: MAINTAIN A COMPLETE, CURRENT SET OF CONTRACT DOCUMENTS ON SITE THROUGHOUT CONST. FOR THE USE OF ALL TRADES. UPON RECEIPT OF ISSUED REVISIONS TO THE CONST. DOCS. BY THE ARCHITECT, THE CONTRACTOR SHALL IMMEDIATELY REVISE THE FIELD SET OF CONST. DOCS. & NOTIFY ALL AFFECTED TRADES OF THE REVISIONS.

19. LAYOUT OF WORK: LAYOUT WORK FROM DIMENSIONS & ALIGNMENTS SHOWN ON DRAWINGS & BE RESPONSIBLE FOR ALL MEASUREMENTS IN CONNECTION THEREWITH. THE CONTRACTOR SHALL IMMEDIATELY REPORT ANY DISCREPANCIES BETWEEN DRAWINGS & FIELD CONDITIONS TO THE ARCHITECT. **DO NOT SCALE DRAWINGS.**

20. QUALITY ASSURANCES:
 A) ALL WORK SHALL BE PERFORMED & SUPERVISED BY WORKERS THOROUGHLY FAMILIAR W/ THE MATERIALS & METHODS SPECIFIED.
 B) WORK SHALL BE INSTALLED PLUMB & LEVEL. SHOULD EX'G ADJ WORK NOT BE PLUMB & LEVEL, NEW WORK SHALL BE INSTALLED AS NECESSARY TO MEET THE EX'G WORK, W/O APPEARING TO EMPHASIZE THE VARIANCE, SUBJECT TO THE APPROVAL OF THE ARCHITECT.

21. SECURING OF PREMISES: SECURE THE PREMISES & MATERIALS WITHIN THE CONSTRUCTION AREA FOR THE DURATION OF CONSTRUCTION UNTIL OWNER'S FINAL ACCEPTANCE. TAKE ALL NECESSARY PRECAUTIONS AT THE END OF EACH WORK DAY TO INSURE UNAUTHORIZED PERSONS CANNOT ENTER THE JOB SITE.

22. PROTECTION DURING CONSTRUCTION: PROVIDE & MAINTAIN ALL NECESSARY COVERINGS & PROTECTION TO PREVENT DAMAGE, DISCOLORATION OR SOILING OF (E) & NEW CONST., FINISHES & BUILDING ELEMENTS. MAINTAIN PROTECTION UNTIL OWNER'S FINAL ACCEPTANCE. DUCT OPENINGS AND OTHER AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING ALL PHASES OF CONSTRUCTION, WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF WATER, DUST, AND DEBRIS ENTERING THE SYSTEM. UPON OWNER'S ACCEPTANCE, REMOVE ALL PROTECTION AND CLEAN ALL EXPOSED SURFACES. PROTECT HVAC SYSTEMS & COMPONENTS PER W/ SMACNA IAQ GUIDELINES.

23. MEANS OF EGRESS: ALL EX'G MEANS OF EGRESS FOR WORKERS & VISITORS TO SITE SHALL BE MAINTAINED CLEAR & FREE OF OBSTRUCTIONS SUCH AS BUILDING MATERIALS, TOOLS, ETC.

24. DELIVERIES: CONTRACTOR SHALL MAKE ALL REQ'D ARRANGEMENTS FOR DELIVERY & TRANSFER OF EQUIPMENT AND MATERIALS TO THE JOB SITE.

25. CUTTING AND PATCHING: PERFORM ALL CUTTING AND PATCHING REQ'D BY THE INSTALLATION OF NEW FRAMING, PLUMBING FIXTURES & CONNECTIONS, WIRING, ELECTRICAL & TELEPHONE OUTLETS, SWITCHES, HEATING & VENTILATION ELEMENTS TO PROVIDE A FINISHED PRODUCT.
 A) MATERIALS USED IN CUTTING & PATCHING SHALL BE IDENTICAL TO ORIGINAL MATERIALS U.O.N. IF IDENTICAL MATERIALS ARE NOT AVAILABLE, PROVIDE FINISHED WORK HAVING EQ. OR BETTER PERFORMANCE CRITERIA.
 B) USE METHODS LEAST LIKELY TO DAMAGE (E) ELEMENTS OR ADJ. WORK.
 C) LOCATE UTILITIES PRIOR TO CUTTING. CAP, VALVE, SEAL & PLUG ABANDONED UTILITIES.
 D) PATCHING SHALL PROVIDE SOLID, TRUE & ALIGNED SUBSTRATES FOR THE INSTALLATION OF FINISHED MATERIALS.
 E) PATCHING SHALL SEAMLESSLY JOIN THE IMMEDIATE EX'G ADJ CONST. IN MATERIALS, FINISH, GLOSS & COLOR. JOINTS SHALL BE DURABLE & INVISIBLE. CREATE TRUE, EVEN PLANES W/ UNIFORM CONT. APPEARANCE.
 F) REPAINT ENTIRE ASSEMBLIES & SURFACES, NOT ONLY PATCHED AREAS.

26. REMOVALS: MAINTAIN A CLEAN & NEAT WORK SITE AT ALL TIMES. CLEAN-UP & REMOVE FROM THE PREMISES ALL WASTE MATERIALS, RUBBISH, WRAPPINGS, CONTAINERS & SALVAGES GENERATED BY CONST., DEMOLITION & THE DELIVERY & INSTALLATION OF WOODWORK, FURNITURE & APPLIANCES, WHETHER PROVIDED UNDER THIS CONTRACT OR NOT. **100% OF MIXED DEBRIS SHALL BE PROCESSED FOR RECYCLING.**

27. FINAL CLEANUP: ALL SPACES MUST BE LEFT VACUUM-CLEAN & ORDERLY, READY FOR OWNER OCCUPANCY. ALL SURFACES, INCLUDING COUNTERS, CABINET SHELVES & TOPS, MOLDINGS, DOOR & WINDOW HEADS, PLUMBING & LIGHTING FIXTURES, APPLIANCES, HVAC EQUIPMENT & FLOORS SHALL BE THOROUGHLY DUSTED W/ A FREQUENTLY RINSED DAMP CLOTH. AFTER DUSTING ALL SURFACES, FLOORS SHALL BE VACUUMED USING APPROPRIATE ATTACHMENTS. SCRAPE WINDOWS CLEAN W/ RAZOR & WASH.

28. PROJECT CLOSEOUT: UPON COMPLETION OF THE JOB THE CONTRACTOR SHALL SUBMIT ALL CERTIFICATES OF INSPECTION & A CERTIFICATE OF SUBSTANTIAL COMPLETION (AIA DOC. G-704) TO OWNER. UPON OWNER'S ACCEPTANCE, THE CONTRACTOR SHALL PERFORM A FINAL CLEANING.

29. PROJECT COMPLETION: THE PROJECT SHALL BE CONSIDERED COMPLETE WHEN THE WORK ON ARCHITECT'S PUNCH LIST HAS BEEN COMPLETED TO THE SATISFACTION OF THE ARCHITECT AND CLIENTS.

30. WARRANTY & GUARANTEE:
 A) THE CONTRACTOR GUARANTEES THAT WORK COMPLETED UNDER THIS CONTRACT IS FREE FROM FAULTY MATERIALS & WORKMANSHIP, INCL. IMPROPER INSTALLATION. THIS GUARANTEE SHALL COVER A MINIMUM PERIOD OF ONE YEAR FOLLOWING THE DATE OF ACCEPTANCE OF THE WORK BY OWNER & SHALL BIND THE CONTRACTOR TO REPAIR OR REPLACE, PROMPTLY & EFFICIENTLY, ANY & ALL WORK & MATERIAL FOUND TO BE DEFECTIVE DURING THIS PERIOD, INCLUDING OTHER WORK NOT PERFORMED UNDER THIS CONTRACT, THAT IS DAMAGED BY SUCH DEFICIENCY.
 B) NEITHER THE FINAL CERTIFICATE NOR THE FINAL PAYMENT, NOR ANY OTHER PROVISION IN THE CONTRACT, SHALL RELIEVE THE CONTRACTOR OF RESPONSIBILITY DESCRIBED IN THIS SECTION.
 C) THIS WARRANTY IS IN ADDITION TO MANUFACTURER'S STANDARD WARRANTIES ON SPECIFIC PRODUCTS, MATERIALS & ASSEMBLIES.
 D) IN THE EVENT ADDITIONAL PROFESSIONAL SERVICES ARE REQUIRED TO VERIFY & DIRECT REPAIRS OR REPLACEMENT OF WORK AS A DIRECT CONSEQUENCE OF THE FAILURE OF MATERIALS OR WORKMANSHIP GUARANTEED BY THE CONTRACTOR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PAYMENT OF FEES FOR SUCH PROFESSIONAL SERVICES & ANY OTHER FEES NECESSARY TO CORRECT THE WORK.

31. PER CALIFORNIA CIVIL CODE ARTICLE 1101.1 AND CALGREEN SECTION 301.1, FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO A SINGLE FAMILY RESIDENTIAL PROPERTY, EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET THE CURRENT FLOW RATES WILL NEED TO BE UPGRADED. WATER CLOSETS WITH A MAX. FLOW RATE OF 1.28 GPF. SHOWER HEADS WITH A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED WITH MAX. 1.8 GPM SHOWER HEAD. LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GREATER THAN 2.2 GPM WILL NEED TO BE REPLACED WITH A FAUCET WITH MAX. FLOW RATE 1.2 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS).

32. WHEN ALTERATIONS REPAIRS, OR ADDITIONS REQUIRING A PERMIT OCCUR, THE INDIVIDUAL DWELLING UNIT SHALL BE EQUIPPED WITH SMOKE ALARMS LOCATED AS REQUIRED FOR NEW DWELLING PER CRC R314.2.2.

APPLICABLE CODES

2019 CALIFORNIA BUILDING CODE
 2019 CALIFORNIA RESIDENTIAL CODE 2019 CALIFORNIA ELECTRICAL, MECHANICAL, PLUMBING AND FIRE CODES
 2019 CALIFORNIA ENERGY CODE – TITLE 24 NATIONAL ELECTRIC CODE
 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
 SAN MATEO COUNTY ZONING CODE
 COASTSIDE FIRE PROTECTION DISTRICT CODES AND STANDARDS
 COASTSIDE COUNTY WATER DISTRICT

ABBREVIATIONS

⊙	AT		
CL	CENTERLINE	INCL	INCLUDING
PL	PROPERTY LINE	JB	JUNCTION BOX
∅	DIAMETER OR ROUND		
# or LB	POUND OR NUMBER	LAV	LAVATORY
(E)	EXISTING	LT	LIGHT/LIGHTING
(N)	NEW		
X	TIMES OR BY (AS IN 2X4)	MAINT	MAINTENANCE
		MAT	MATERIAL
		MAX	MAXIMUM
ADJ	ADJACENT	MECH	MECHANICAL
AFF	ABOVE FINISHED FLOOR	MFR	MANUFACTURER
ALUM	ALUMINUM	MICRO	MICROWAVE
APPRD	APPROVED	MIN	MINIMUM
APPROX	APPROXIMATE	MISC	MISCELLANEOUS
ARCH	ARCHITECTURAL	MTD	MOUNTED
AVG	AVERAGE	MTL	METAL
		N	NORTH
BD	BOARD	NIC	NOT IN CONTRACT
BTWN	BETWEEN	NO OR #	NUMBER
BLKG	BUILDING BLOCKING	NOM	NOMINAL
BM	BEAM	NTS	NOT TO SCALE
BOS	BOTTOM OF STEEL		
BO	BOTTOM OF	O/	OVER
		OC	ON CENTER
CAB	CABINET	OD	OUTSIDE DIAMETER (DIM)
CEM	CEMENT	OPNG	OPENING
CH	CEILING HEIGHT	OPP	OPPOSITE
CLG	CEILING	OVHD	OVERHEAD
CLKG	CAULKING		
CLOS	CLOSET	PART	PARTITION
CLR	CLEAR	PLBG	PLUMBING
CLR OPG	CLEAR OPENING	PLAS	PLASTIC
COL	CASED OPENING	PLYWD	PLYWOOD
COL	COLUMN	PNTRY	PANTRY
CONC	CONCRETE	PT	POINT
CONSTR	CONSTRUCTION	PTD	PAINTED
CONT	CONTINUOUS		
CTR	CENTER	QUAL	QUALITY
		QTY	QUANTITY
DBL	DOUBLE	R	RISER
DEPT	DEPARTMENT	REF	REFRIGERATOR
DET	DETAIL	REQ'D	REQUIRED
DIA	DIAMETER	RM	ROOM
DIM	DIMENSION	RO	ROUGH OPENING
DISP	DISPOSAL		
DN	DOWN	S	SOUTH
DR	DOOR	SCHED	SCHEDULE
DW	DISHWASHER	SECT	SECTION
DWR	DRAWER	SHT	SHEET
DWG	DRAWING	SIM	SIMILAR
		SPEC	SPECIFICATION
EA	EACH	SQ	SQUARE
E	EAST	ST	STAINLESS STEEL
ELEV	ELEVATION	STL	STAINED
ELEC	ELECTRICAL	STL	STEEL
EQ	EQUAL	STOR	STORAGE
EQPT	EQUIPMENT	STRUCT	STRUCTURAL
EX'G	EXISTING	SUSP	SUSPENDED
EXT	EXTERIOR	SF	SQUARE FEET
		SYST	SYSTEM
FA	FIRE ALARM	S.S.D.	SEE STRUCTURALDRAWINGS
FIN	FINISH(ED)		
FIN FL	FINISHED FLOOR	TEL	TELEPHONE
FL	FLOOR	TEMP	TEMPERED
FLUOR	FLUORESCENT	THK	THICK(NESS)
FO	FACE OF	TR	TRASH
FOC	FACE OF CONCRETE	TV	TELEVISION
FOF	FACE OF FINISH	Typ	TYPICAL
FOS	FACE OF STUDS		
FR	FRAME	UNF	UNFINISHED
FRZ	FREEZER	UON	UNLESS OTHERWISE NOTED
FT	FOOT OR FEET	UL	UNDERWRITERS LABORATORY
FURR	FURRING	UTIL	UTILITY
		VERT	VERTICAL
GA	GAUGE	VIF	VERIFY IN FIELD
GALV	GALVANIZED		
GL	GLASS	W	WEST
GWB	GYPSPUM WALL BOARD	W/	WITH
HB	HOSE BIB		
HC	HANDICAPPED		
HWDR	HARDWARE		
HT	HEIGHT		
HTG	HEATING		

SYMBOLS & GRAPHIC CONVENTIONS

SECTION DETAIL		WOOD FRAMING	
PLAN DETAIL		WOOD BLOCKING	
INTERIOR ELEVATION KEY		PLYWOOD	
		BATT INSULATION	
		RIGID INSULATION	
ENLARGED DETAIL		GYPSPUM WALL BOARD	
ELEVATION / DATUM TAG		LINE ABOVE	
ROOM NUMBER		LINE BELOW	
SHEET NOTE		EXISTING CONSTRUCTION TO BE DEMOLISHED	
DOOR NUMBER		EXISTING CONSTRUCTION TO REMAIN	
WINDOW NUMBER		NEW CONSTRUCTION	

PROJECT DESCRIPTION

RENOVATION OF SINGLE FAMILY RESIDENCE WITHIN EXISTING EXTERIOR FOOTPRINT. VOLUNTARY REDUCTION OF LOT COVERAGE AND FLOOR AREA & REMOVAL OF ILLEGAL DEVELOPMENT. NEW BASEMENT, REBUILD ROOF, WIDEN GARAGE DOOR, AND RAISE GARAGE ELEVATION TO REDUCE DRIVEWAY SLOPE.

VICINITY MAP



PROJECT INFORMATION

APN:	047116020
ZONING:	R-1/S-17/DR/CD
PARCEL AREA:	5,168 SQ.FT [NO CHANGE]
FAR ALLOWED:	53% = 2,739 SQ.FT.
EXISTING FAR:	3,067 SQ.FT (328 SQ.FT. [E] NON-CONFORMING)
PROPOSED FAR:	2,779 SQ.FT (40 SQ.FT. EXISTING NON-CONFORMING)
LOT COVERAGE ALLOWED:	35% = 1,808 SQ.FT.
EXISTING LOT COVERAGE:	2,552 SQ.FT. (49%) (1642 HOUSE + 910 DECKS)
PROPOSED LOT COVERAGE:	2,152 SQ.FT. (42%) (1638 HOUSE + 514 DECKS) (340 SQ.FT. EXISTING NON-CONFORMING)
EXISTING BASEMENT:	200 SQ.FT. (IN FRONT SETBACK. TO BE REMOVED)
PROPOSED BASEMENT	647 SQ.FT. (50% FIRST FLOOR AREA)

SHEET INDEX

ARCHITECTURAL	
A0.0	COVER SHEET
A0.1	DEMONSTRATION OF SCALE
A0.2	EXTERIOR MATERIALS
AB1.0	EXISTING SITE PLAN
A1.0	PROPOSED SITE PLAN
AB2.0	EXISTING BASEMENT & CRAWL SPACE PLANS
AB2.1	EXISTING MAIN FLOOR & ROOF PLANS
A2.0	PROPOSED BASEMENT/CRAWLSPACE & LOWER LEVEL PLANS
A2.1	PROPOSED MAIN LEVEL & ROOF PLANS
AB3.0	EXISTING EXTERIOR ELEVATIONS
A3.0	PROPOSED EXTERIOR ELEVATIONS
AB4.0	EXISTING SECTION
A4.0	PROPOSED SECTIONS

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PROJECT:

NICOLA RESIDENCE

555 SAN JUAN AVENUE
 EL GRANADA, CA

ISSUE:

NO.	DESCRIPTION	DATE
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CDRC SET

SCALE: N/A

SHEET DATE: 08.03.2022

A0.0
 CODES, VICINITY MAP,
 PROJECT DESCRIPTION,
 SHEET INDEX



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LOT COVERAGE CALCULATIONS

	EXISTING	CHANGE	PROPOSED
LOT AREA (sf)	5168	-	no change
HOUSE & GARAGE (sf)	1642	-4	1638
DECKS > 18" ABOVE GRADE (sf)			
FRONT DECK	405	-311 (-81%)	94
REAR DECK	385	-	385
SIDE YARD	120	-85 (-71%)	35
TOTAL LOT COVERAGE (sf)	2552 (49%)		2152 (42%)

SITE PLAN LEGEND

- EXISTING TREE: SIZE AND SPECIES AS SHOWN. NO EXISTING TREES ARE PROPOSED FOR REMOVAL.
- HARDSCAPE (IMPERVIOUS): CONCRETE OR STONE/TILE SURFACE AS SELECTED, VARIES BY LOCATION.
- RETAINING WALL: CONCRETE RETAINING WALL W/ CEMENT PLASTER OR STONE FINISH TO MATCH HOUSE, AS SELECTED. WALL HEIGHT PER PLAN: 1'-6" MIN. - 5'-0" MAX. HEIGHT.
- GUARDRAIL (WHERE OCCURS): 3'-6" H. GLASS GUARDRAIL.
- PA / RPA NEW PLANTING AREA / RAISED PLANTING AREA

LANDSCAPE SITE PLAN NOTES

- SEE ARCHITECT'S DRAWINGS FOR FULL DESCRIPTIONS OF ALL WORK RELATING TO RESIDENCE AND REMODEL.
- SEE CIVIL DRAWINGS FOR ALL GRADING AND DRAINAGE WORK. SPOT GRADES AND CONTOURS SHOWN ON THE LANDSCAPE SITE PLAN ARE INTENDED TO BE SCHEMATIC ONLY.
- NO EXISTING TREES ARE PROPOSED FOR REMOVAL.
- SEE SHEETS L3 AND L4 FOR SCHEMATIC IRRIGATION AND PLANTING PLANS.
- ALL RETAINING WALLS AND ELEVATED PATIOS SHALL BE SCREENED WITH PLANTING WHEREVER POSSIBLE TO REDUCE THEIR APPARENT HEIGHT AND TO BLEND WITH THE SURROUNDINGS.
- ALL GUARDRAILS SHALL BE 3/4" TH. TEMPERED GLASS, AND SHALL BE INSTALLED IN ALL LOCATIONS W/ >30" DROP FROM THE ACCESSIBLE SURFACE TO THE NEXT. COMPATIBLE HANDRAILS SHALL BE INSTALLED WHERE REQUIRED.

IMPERVIOUS SURFACES

	HOUSE & GARAGE	HARDSCAPE / IMPERVIOUS SFCS.	LANDSCAPE / PERVIOUS	TOTAL
EXISTING (SF)	1640	1882	1646	5168
TO REMAIN (SF)	1640	770	1321	
TO BE MODIFIED (SF)	0	472	965	
PROPOSED TOTAL	1640	1242 (-640)	2286 (+640)	5168
% OF SITE	32%	24%	44%	100%

LANDSCAPE IMPROVEMENTS

NICOLA RESIDENCE

555 SAN JUAN AVENUE
EL GRANADA, CA

APN: 047-116-020

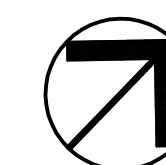
PRINT IN COLOR

Revisions:

Date: 3/24/2022 PLANNING REVIEW

Drawn by: TNC/YY

Scale: 1/8" = 1'-0"

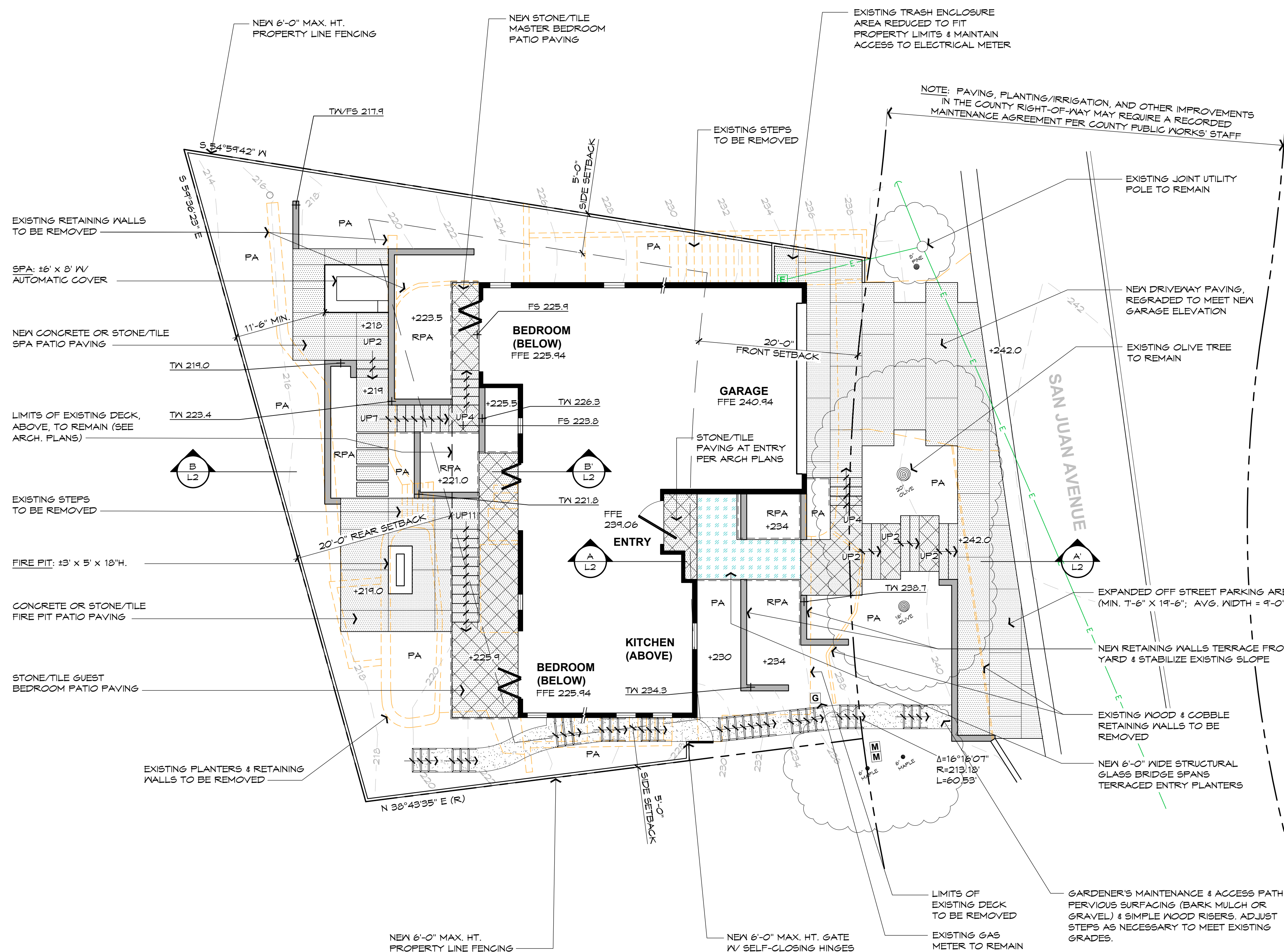


LANDSCAPE SITE PLAN

Sheet

L1

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LANDSCAPE IMPROVEMENTS

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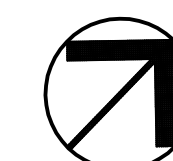
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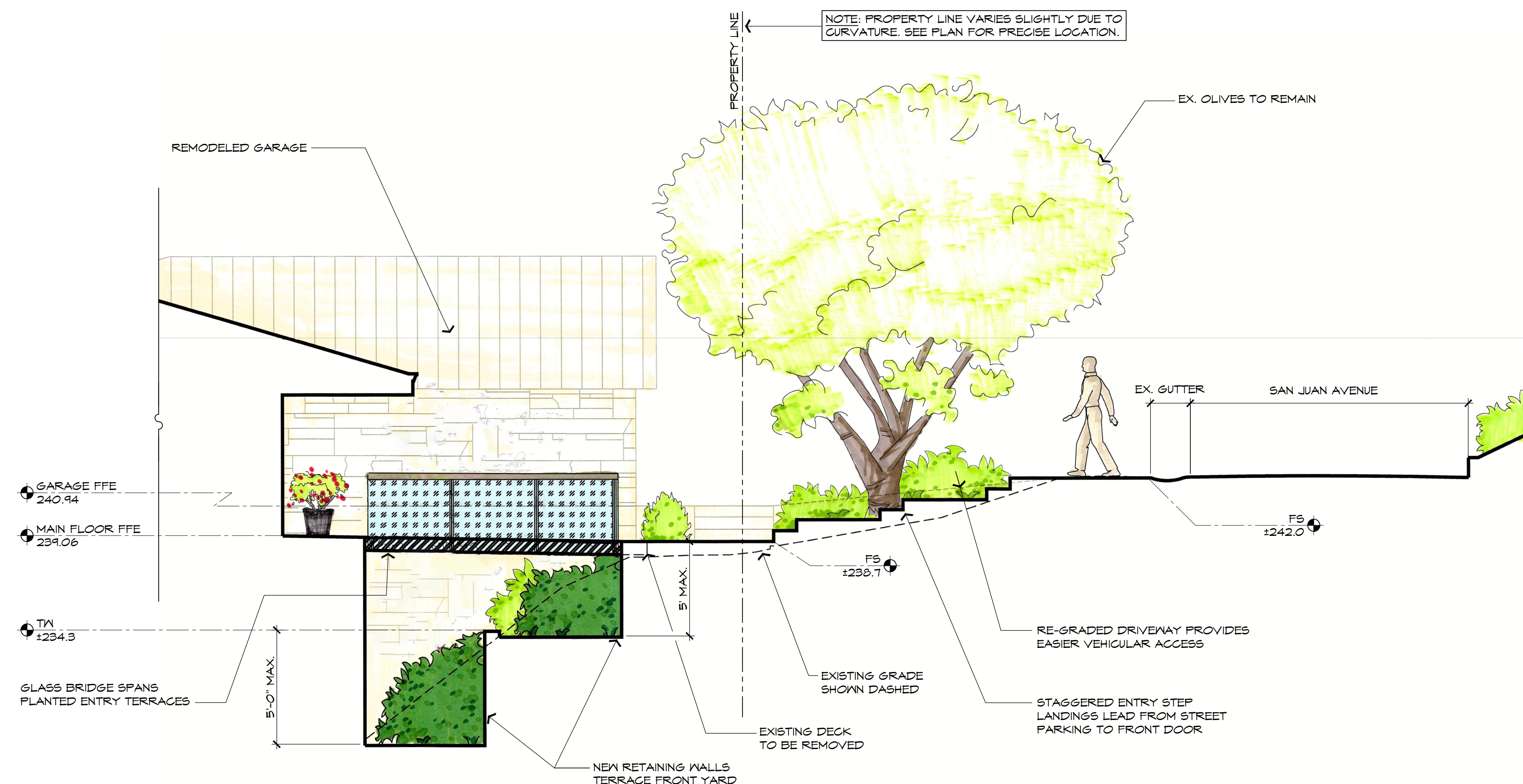
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SCHEMATIC DESIGN SECTIONS

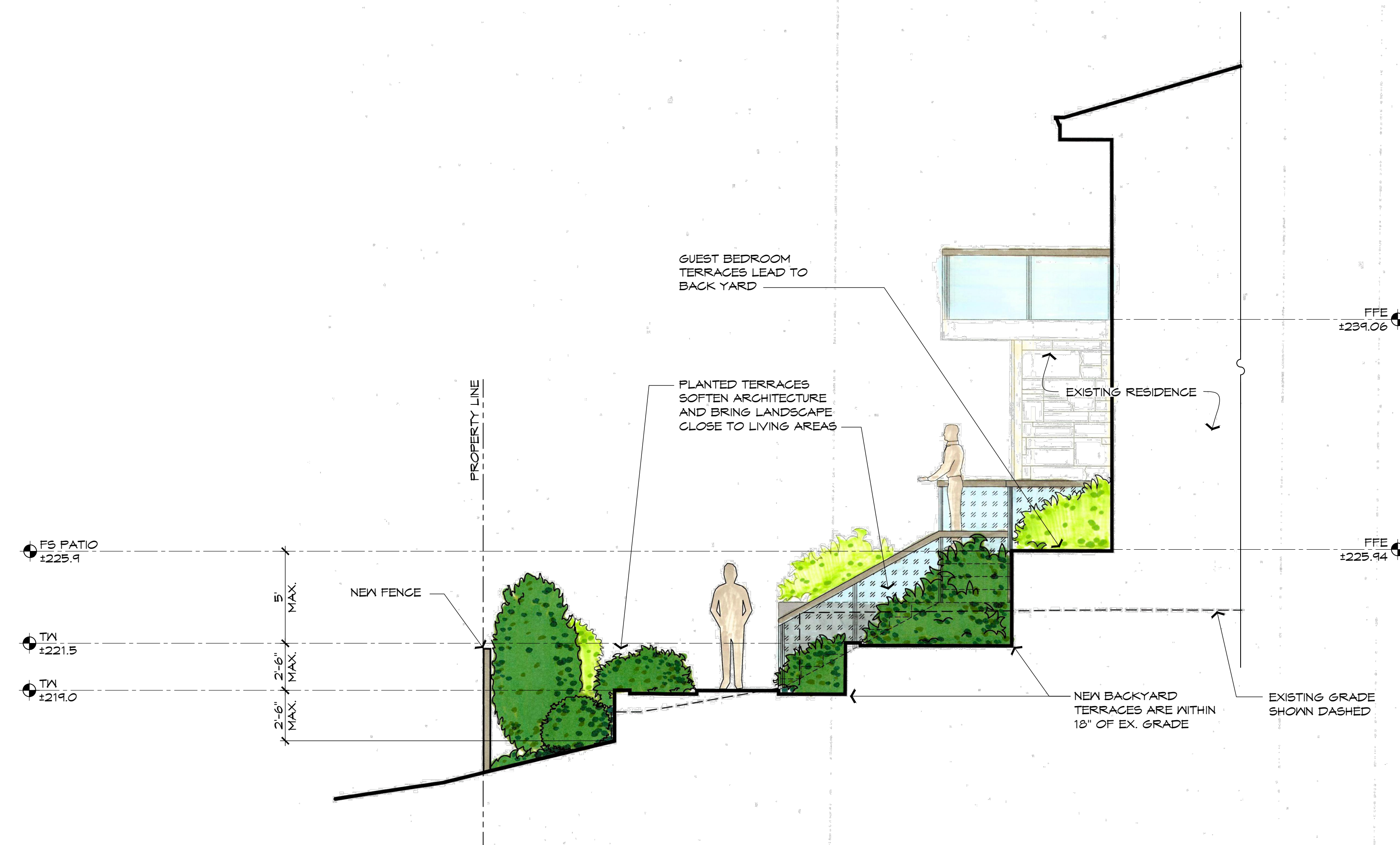
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L2



A SECTION / ELEVATION A-A: VIEW THROUGH ENTRY STEPS AND GLASS BRIDGE

SCALE: 1/4" = 1'-0"



B SECTION / ELEVATION B-B: VIEW THROUGH BACKYARD PATIO AND PLANTED TERRACES

SCALE: 1/4" = 1'-0"

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**LANDSCAPE
IMPROVEMENTS**

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555 SAN JUAN AVENUE
EL GRANADA, CA

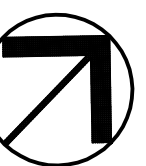
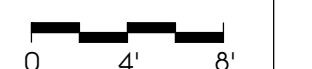
APN: 047-116-020

Revisions:

Date: 3/24/2022 **PLANNING
REVIEW**

Drawn by: TNC/YY

Scale: 1/8" = 1'-0"



**SCHEMATIC
IRRIGATION PLAN**

Sheet

L3

IRRIGATION LEGEND

- MAINLINE:** 1-1/4"Ø PVC SCH 40, 18" MINIMUM BURIAL.
 - LATERAL LINE:** PVC CLASS 200, 3/4"Ø TYP. 12" MINIMUM BURIAL, UNLESS OTHERWISE NOTED.
 - SLEEVING:** PVC SCH. 40, SIZE AS REQUIRED. 12" MINIMUM BURIAL (EXCEPT AS NOTED).
 - POINT OF CONNECTION:** LOCATE IN VALVE BOX W/ SHUT OFF VALVE.
 - EXISTING WATER METER TO REMAIN**
 - BACKFLOW PREVENTER:** FEBCO 825Y 1-1/4"Ø REDUCED PRESSURE BACKFLOW ASSEMBLY.
 - FILTER:** AMIAD 1"Ø COMPACT PLASTIC FILTER W/ 300 MESH STAINLESS STEEL SCREEN
 - IRRIGATION CONTROLLER:** TORO EVOLUTION SERIES 8 STATION CONTROLLER, EXTERIOR MOUNT ON GARAGE WALL 48" ABOVE GRADE; 120V OUTLET REQUIRED. PROVIDE EVO-WS WIRELESS RAIN SENSOR ON NEARBY ROOF EAVE. INSTALL TORO EVO-SC SMART CONNECT PLUG-IN RECEIVER IN ENCLOSURE.
 - BALL VALVE:** SCH. 80 PVC BALL VALVE AS MANUFACTURED BY KING BROTHERS INDUSTRIES (OR EQ.). SIZE PER LINE; LOCATE IN VALVE BOX.
 - SOLENOID VALVE:** IRRITROL SYSTEMS 100 SERIES VALVE, SIZE PER PLAN. INSTALL OMNIREG 'OMR-100' PRESSURE REGULATION MODULE; INITIAL PRESSURE SETTING PER PLAN. LOCATE IN VALVE BOX.
 - HOSE BIB:** CHAMPION 'HB-2' (OR EQ.), ON 18" GALVANIZED RISER. WRAP PIPE ONLY BELOW GRADE AND PAINT ABOVE-GRADE PORTION TO MATCH ADJACENT SURFACE. POUR 12"Øx6" THICK CONCRETE COLLAR 6" BELOW GRADE FOR SUPPORT.
 - DRIP IRRIGATION ZONE:** 3/4"Ø TRUNK LINE W/ EMITTERS PLUGGED DIRECTLY INTO 3/4"Ø TUBING. USE NO 1/4"Ø TUBING. TUBING SHALL BE STAKED @ 4'-0" O.C. MAX. TO GRADE & COVERED WITH BARK MULCH. DRIP EMITTERS SHALL BE TORO NGE 2 GPH PRESSURE COMPENSATING EMITTERS MODEL DPC08-DC-RED. 1 EMITTER PER 1 GAL PLANT, 2 EMITTERS PER 5 GAL PLANT, 3 EMITTERS PER 15 GAL PLANT & LARGER.
- STATION/VALVE NUMBER**

STATION TYPE → SD SHRUB DRIP

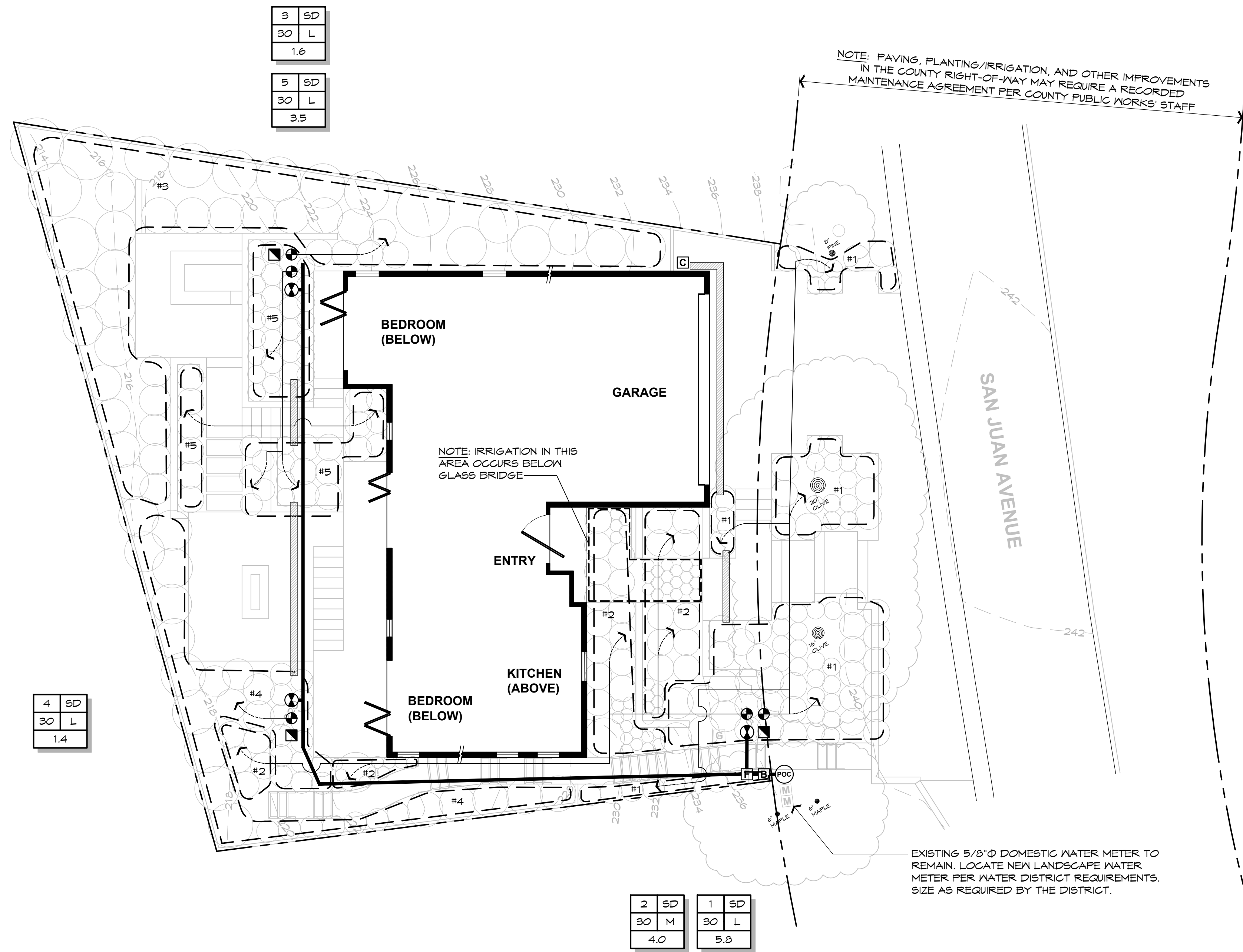
HYDROZONE → L LOW M MEDIUM

INITIAL PRESSURE SETTING

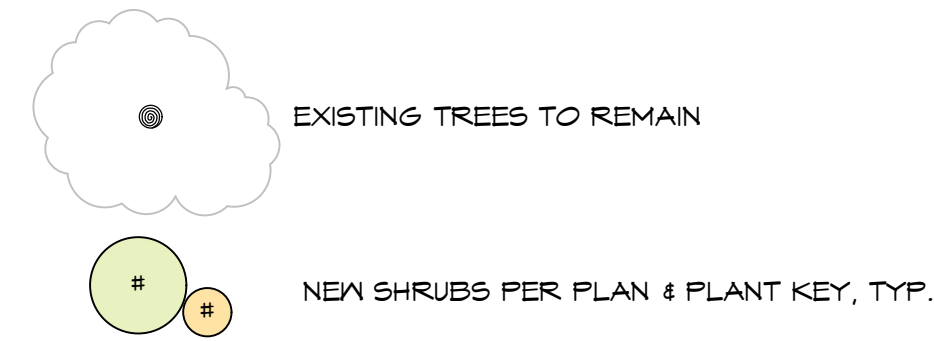
STATION GPM

IRRIGATION NOTES

- AUTOMATIC WEATHER-BASED OR SOIL-MOISTURE BASED IRRIGATION CONTROLLERS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM AS NOTED IN THE LEGEND ABOVE. IRRIGATION CONTROLLER PROGRAMMING DATA WILL NOT BE LOST DUE TO AN INTERRUPTION IN THE PRIMARY POWER SOURCE.
- PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
- MANUAL-SHUT-OFF VALVES SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.
- AREAS LESS THAN 10-FEET IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY.
- A PRIVATE LANDSCAPE SUBMETER SHALL BE INSTALLED ON NON-RESIDENTIAL LANDSCAPE AREAS OF 1000 SF OR MORE.
- AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
- UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQ. FT. OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
- THIS SYSTEM IS BASED ON AN ESTIMATED AVAILABLE 15 GPM @ 50 PSI. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- ALL WORK SHALL CONFORM TO LOCAL PLUMBING & ELECTRICAL CODES.
- CONTRACTOR SHALL LOCATE ALL LATERALS, MAINS & VALVES IN PLANTING AREAS WHENEVER POSSIBLE. WATER LINES SHOWN BENEATH WALKS AND DRIVES ARE FOR GRAPHIC CLARITY ONLY. PLACE NO ELLS OR TEES BENEATH PAVING. ALL PIPING BENEATH PAVING SHALL BE LOCATED WITHIN PVC SCH 40 SLEEVING.
- CONTRACTOR SHALL INSTALL FILTER AND THOROUGHLY FLUSH ALL DRIP IRRIGATION LINES PRIOR TO INSTALLATION OF DRIP EMITTERS.
- NO TRENCHES FOR ANY PURPOSE SHALL BE MACHINE DUG WITHIN DRIFTLINES OF EXISTING TREES. TRENCHES WITHIN DRIFTLINES OF EXISTING VEGETATION & TREES TO REMAIN SHALL BE HAND DUG. NO ROOTS GREATER THAN 1"Ø SHALL BE CUT. ALL ROOTS BETWEEN 1/2" & 1"Ø SHALL BE CLEANLY CUT AND DRESSED.
- SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- WATER PURVEYOR IS COASTSIDE COUNTY WATER DISTRICT.



PLANTING LEGEND



PLANT KEY

KEY	SCIENTIFIC NAME (Common Name)	MULCHS	SUNSET ZONE	SIZE	Qty.
#1	CLIVIA MINIATA (Natal Lily)	M	12-17, 19-24, H1, H2	16	36
#2	LAVANDULA X ALLARDII 'MEERLO' (Lavender)	L	8, 9, 12-24	16	37
#3	LOTUS BERTHELOTTII (Parrot's Beak)	L	9, 15-24	16	23
#4	YUCCA ALOIFOLIA 'MAGENTA MAGIC' (Yucca)	VL	7-24, H1, H2	56	17
#5	MAHONIA 'SOFT CARESS' (Mahonia)	M	6-9, 14-24	56	15
#6	NANDINA DOMESTICA 'GULF STREAM' (Heavenly Bamboo)	L	4-24, H1, H2	56	33
#7	WOODWARDIA FIMBRIATA (Giant Chain Fern)	M	2B-9, 14-24	16	14
#8	LOROPETALUM CHINENSE 'PURPLE DAYDREAM' (Chinese Fringe Flower)	L	6-9, 14-24	16	25
#9	ACACIA COGNATA 'COUSIN ITT' (Little River Wattle)	L	16-24	56	22
#10	ANIGOZANTHOS 'HARMONY' (Kangaroo Paw)	L	15-24	56	3
#11	CORDYLINA 'DESIGN-A-LINE' (Cordylina)	M	8-9, 14-24	16	3
#12	CEANOTHUS THYRIFLORUS 'COOL BLUE' (Ceanothus)	L	5-9, 14-24	56	16
#13	CEANOTHUS THYRIFLORUS 'SKYLARK' (California Lilac)	L	5-9, 14-24	56	5
#14	CEANOTHUS 'JULIA PHELPS' (Julia Phelps Mountain Lilac)	L	5-9, 14-24	156	2
#15	AGAVE 'BLUE FLAME' (Agave)	VL	9, 13-24, H1, H2	56	16
#16	FRANGULA CALIFORNICA 'MOUND SAN BRUNO' (California Coffeeberry)	L	4-9, 14-24	56	19
#17	DICKSONIA ANTARCTICA (Tasmanian Tree Fern)	M	8, 9, 14-17, 19-24, H1	156	2
#18	PHYLLOSTACHYS NIGRA (Black Bamboo)	L	8, 9, 14-17, 19-24, H1	256	6
#19	ROMNEYA COULTERI (Matilija Poppy)	VL	4-12, 14-24, H1	56	3
TOTAL PLANTS					297

AVERAGE PLANT FACTOR CALCULATIONS

	QTY	PLANT FACTOR	TOTAL
VERY LOW WATER-USE PLANTS	36	0.1	3.60
LOW WATER-USE PLANTS	191	0.2	38.20
MEDIUM WATER-USE PLANTS	70	0.5	35.00
TOTAL PLANT FACTOR			76.80
TOTAL PLANTS			297
AVERAGE PLANT FACTOR (TOTAL PLANT FACTOR / TOTAL PLANTS)			0.26

LANDSCAPE AREA

	EXISTING	PROPOSED
LANDSCAPE AREA	1646	2238
SPA	0	48
TOTAL	1646	2286

PLANTING NOTES

- A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
- COMPOST SHALL BE INCORPORATED AT A RATE OF AT LEAST (4) CUBIC YARDS PER 1000 SF TO A DEPTH OF 6 INCHES INTO LANDSCAPE AREA (UNLESS CONTRAINDICATED BY A SOIL TEST).
- NO AREAS OF EXISTING TURF EXIST ON SITE. NO AREAS OF EXISTING TURF ARE PROPOSED.
- TURF SHALL NOT EXCEED 25% OF THE LANDSCAPE AREA IN RESIDENTIAL AREAS. NO TURF PERMITTED IN NON-RESIDENTIAL AREAS.
- TURF IS NOT PERMITTED ON SLOPES GREATER THAN 25%, AND IS PROHIBITED IN PARKWAYS LESS THAN 10 FEET WIDE.
- FINAL PLANT LOCATIONS SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANT PIT EXCAVATION.
- WHERE PLANT SPECIMENS ARE PAIRED TO FRAME SITE ELEMENTS (IE, ENTRY PLANTERS), PLANTS SHALL BE CHOSEN FOR MATCHED FORM AND SIZE.
- ALL GROUND COVERS PLANTED FROM 1 GALLON CANS SHALL BE INSTALLED MIN 36" CLEAR FROM ADJACENT PAVING OR TURF AREAS.
- SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.



**Kikuchi + Kankel
Design Group**

Landscape Architecture
Environmental Design
Site Planning

730 Mill Street
Half Moon Bay, CA 94019
(650) 726-7100

www.kkdesigngroup.com

LANDSCAPE
IMPROVEMENTS

**NICOLA
RESIDENCE**

555 SAN JUAN AVENUE
EL GRANADA, CA

APN: 047-116-020

PRINT IN COLOR

Revisions:

Date: 3/24/2022 PLANNING REVIEW

Drawn by: TNC/YY

Scale: 1/8" = 1'-0"
0 4' 8'

**SCHEMATIC
PLANTING PLAN**

Sheet

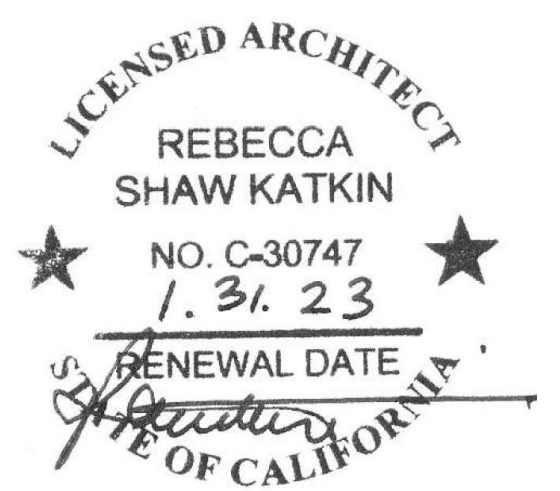
L4

CLIENTS:

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NICOLA
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EL GRANADA, CA



P.O. BOX 2115, EL GRANADA, CA 94018
rebecca@katkinarchitecture.com
415.706.0981



PROJECT:

NICOLA RESIDENCE
555 SAN JUAN AVENUE
EL GRANADA, CA

ISSUE:

NO.	DESCRIPTION	DATE

DESIGN REVIEW

SCALE: N/A

SHEET DATE: 08.18.2022

A0.1A

DEMONSTRATION OF
SCALE: EAST (FRONT)
ELEVATION

EXTERIOR PRODUCTS



WINDOWS AND MULTISLIDE DOORS:
FLEETWOOD ALUMINUM; COLOR: BLACK



ENTRY DOOR:
FLEETWOOD 4400-T PIVOT; COLOR: BLACK

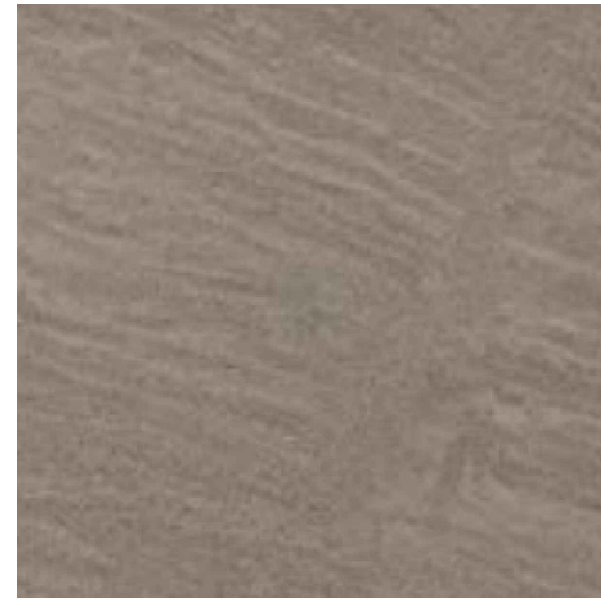


GARAGE DOORS:
MARTIN ATHENA ALUMINUM & GLASS
COLOR: BLACK & OBSCURED GLASS

EXTERIOR FINISHES AND LIGHTS (ALL EXTERIOR LIGHTING DARK SKY RATED)



SECONDARY SIDING:
PAINTED STUCCO
BM 969 SOFT CHAMOIS
OR SIM. ALT. BRUSH-OUT
SAMPLES FOR APPROVAL



PRIMARY SIDING:
PLAZA BUFF LIMESTONE
FINISH: WARM TAN, BRUSHED

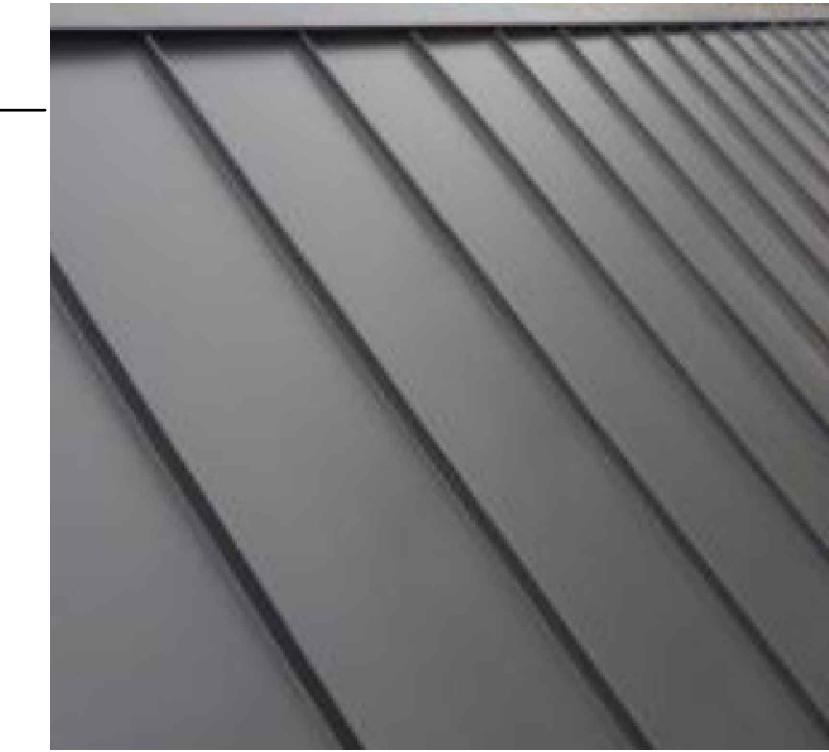


EXTERIOR DOWNLIGHTS
NORA LED DAMP RATED



EXTERIOR SCONCES
MINKA SKYLINE LED OR SIM.
DARK SKY COMPLIANT
COLOR: BRONZE/BLACK

PRIMARY ROOFING
METAL STANDING SEAM
COLOR: DARK GREY/BLACK



DECK RAILS: GLASS



EXTERIOR PATH LIGHTS
FX LUMINARE M-PZ OR SIM.
DARK SKY COMPLIANT
COLOR: BLACK



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CDRC SET

SCALE: N/A

SHEET DATE: 08.03.2022

A0.2
EXTERIOR MATERIALS

BASIS OF BEARINGS

THE BEARING, NORTH 19°18'48" WEST, OF THE CENTERLINE OF FERDINAND AVENUE, AS SHOWN ON THE RECORD OF SURVEY BY SAN MATEO COUNTY WHICH WAS FILED FOR RECORD IN VOLUME 25 OF LLS MAPS PAGES 97-100, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED UPON AN ASSUMED DATUM.

NOTES:

BGT DID NOT RECEIVE A TITLE REPORT COVERING THE SUBJECT PROPERTY; THEREFORE, ANY EASEMENTS OF RECORD AFFECTING THE PROPERTY COULD NOT BE PLOTTED HEREON.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELDCREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING
www.bgtlandsurveying.com

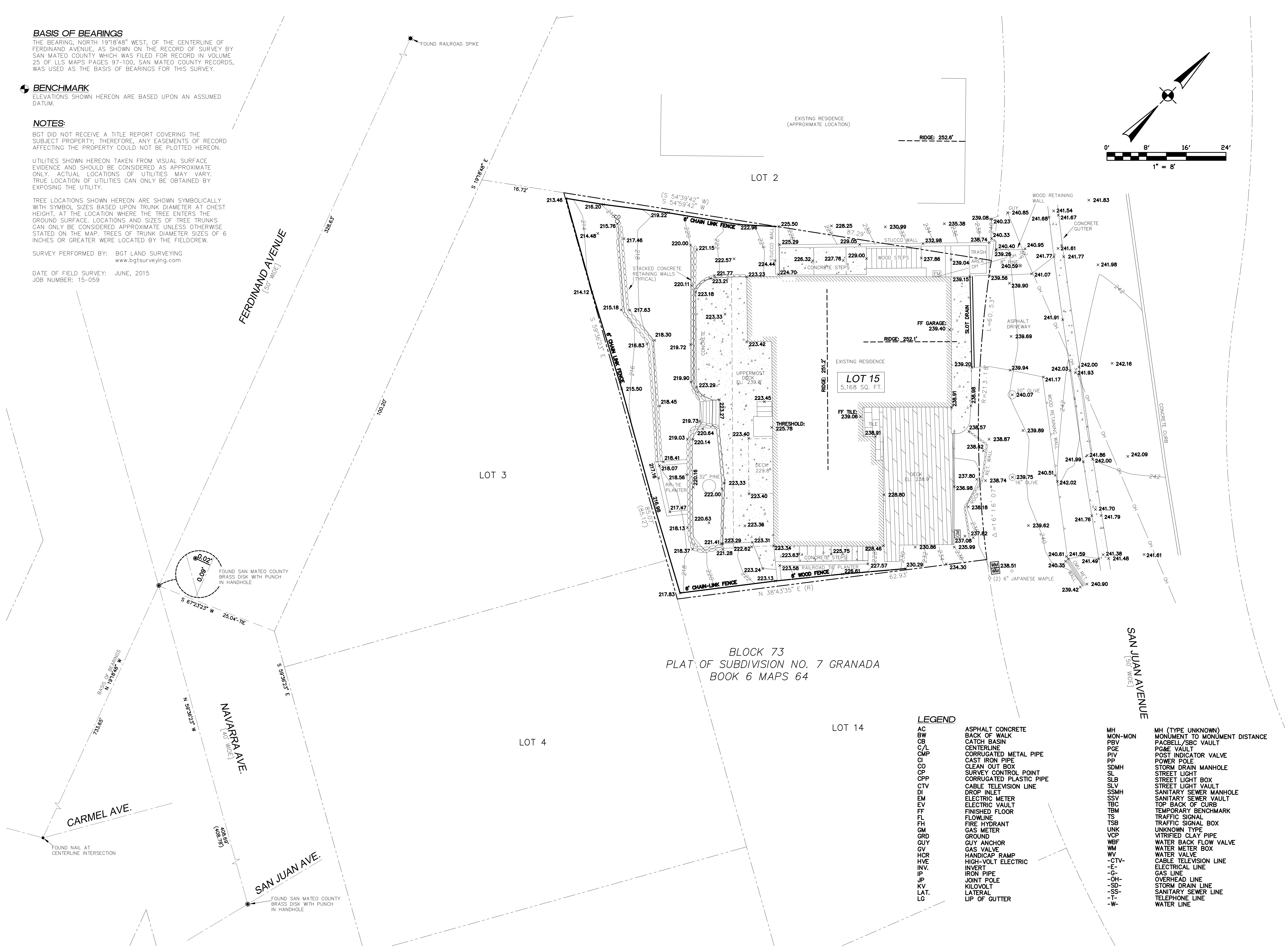
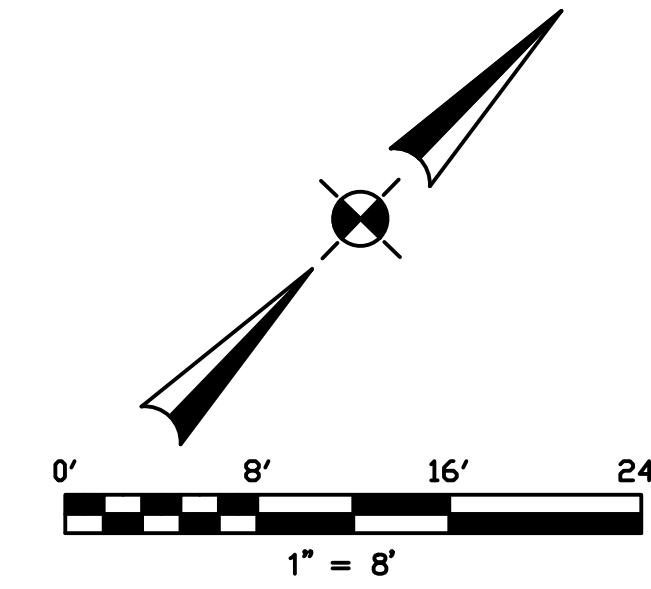
DATE OF FIELD SURVEY: JUNE, 2015
JOB NUMBER: 15-059

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NICOLA RESIDENCE
555 SAN JUAN AVENUE
EL GRANADA, CA

ISSUE:

NO.	DESCRIPTION	DATE

CDRC SET

SCALE: 1/8"=1'-0"

SHEET DATE: 08.03.2022

AB1.0
EXISTING SITE PLAN

LEGEND

- | | | | |
|------|-------------------------|---------|-------------------------------|
| AC | ASPHALT CONCRETE | MH | MH (TYPE UNKNOWN) |
| BW | BACK OF WALK | MON-MON | MONUMENT TO MONUMENT DISTANCE |
| CB | CATCH BASIN | PBV | PACBELL/SBC VAULT |
| C/L | CENTERLINE | PGE | PG&E VAULT |
| CMP | CORRUGATED METAL PIPE | PIV | POST INDICATOR VALVE |
| CI | CAST IRON PIPE | PP | POWER POLE |
| CO | CLEAN OUT BOX | SDMH | STORM DRAIN MANHOLE |
| CP | SURVEY CONTROL POINT | SLB | STREET LIGHT VAULT |
| CPP | CORRUGATED PLASTIC PIPE | SLV | STREET LIGHT BOX |
| CTV | CABLE TELEVISION LINE | SSMH | STREET LIGHT VAULT |
| DI | DROP INLET | SSV | SANITARY SEWER MANHOLE |
| EM | ELECTRIC METER | TBC | SANITARY SEWER VAULT |
| EV | ELECTRIC VAULT | TBM | TOP BACK OF CURB |
| FF | FINISHED FLOOR | TBM | TEMPORARY BENCHMARK |
| FL | FLOWLINE | TS | TRAFFIC SIGNAL |
| FL | FIRE HYDRANT | TSB | TRAFFIC SIGNAL BOX |
| GM | GAS METER | UNK | UNKNOWN TYPE |
| GRD | GROUND | VCP | VITRIFIED CLAY PIPE |
| GUY | GUY ANCHOR | WBF | WATER BACK FLOW VALVE |
| GV | GAS VALVE | WM | WATER METER BOX |
| HCR | HANDICAP RAMP | WV | WATER VALVE |
| HVE | HIGH-VOLT ELECTRIC | -CTV- | CABLE TELEVISION LINE |
| INV. | INVERT | -E- | ELECTRICAL LINE |
| IP | IRON PIPE | -G- | GAS LINE |
| JP | JOINT POLE | -OH- | OVERHEAD LINE |
| KV | KILOVOLT | -SD- | STORM DRAIN LINE |
| LAT. | LATERAL | -SS- | SANITARY SEWER LINE |
| LG | LIP OF GUTTER | -T- | TELEPHONE LINE |
| | | -W- | WATER LINE |

BASIS OF BEARINGS

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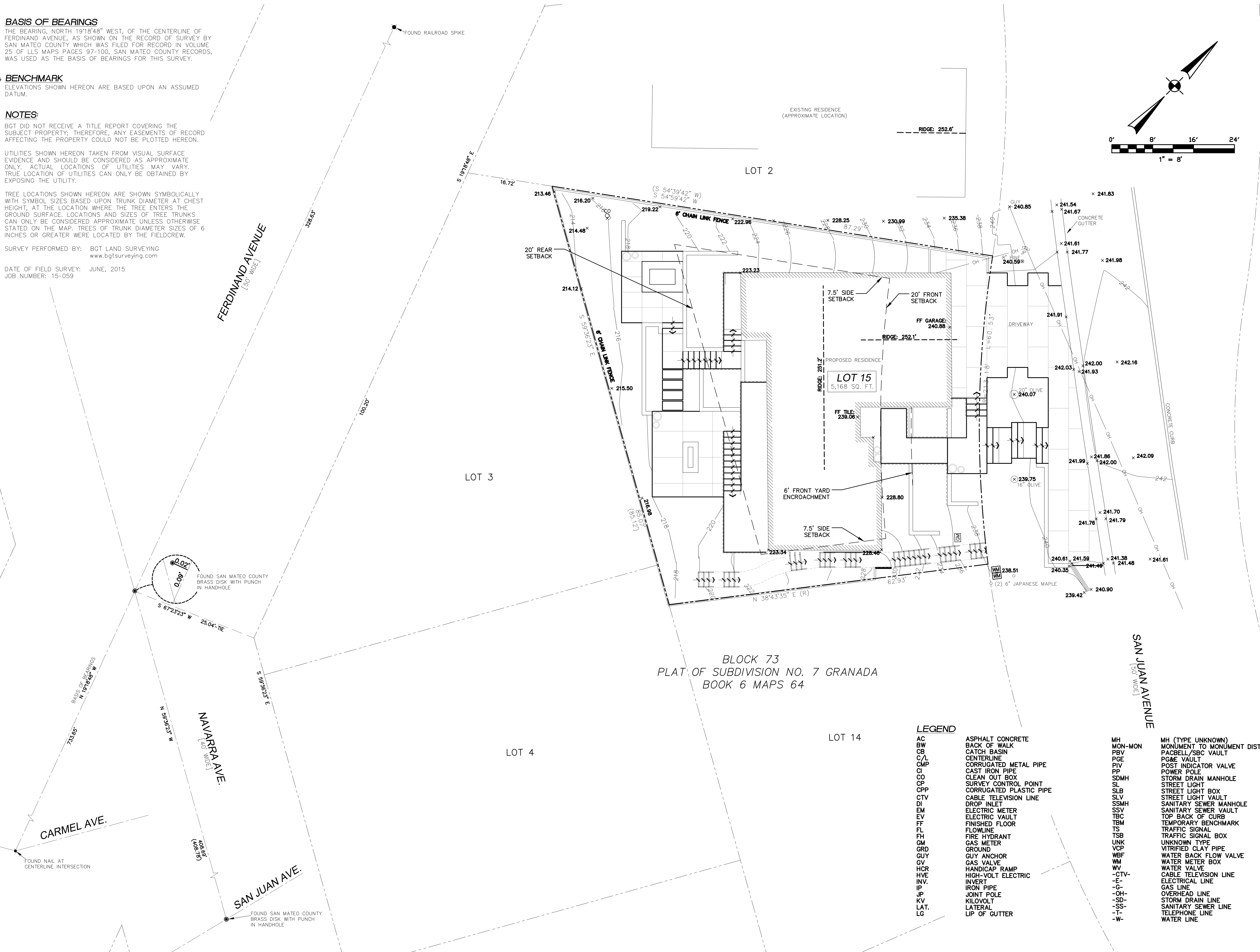
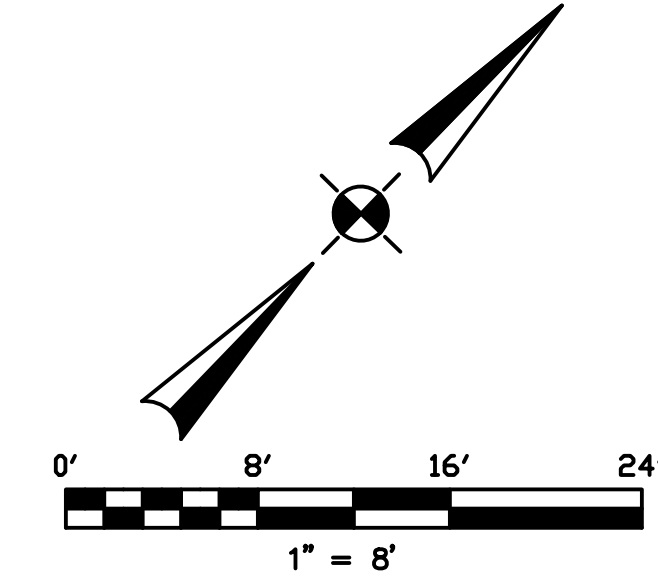
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PROJECT:

NICOLA RESIDENCE
555 SAN JUAN AVENUE
EL GRANADA, CA

ISSUE:

NO.	DESCRIPTION	DATE

CDRC SET

SCALE: 1/8"=1'-0"

SHEET DATE: 08.03.2022

A1.0
PROPOSED SITE PLAN

LEGEND

AC	ASPHALT CONCRETE	MH	MH (TYPE UNKNOWN)
BW	BACK OF WALK	MON-MON	MONUMENT TO MONUMENT DISTANCE
CB	CATCH BASIN	PBV	PACBELL/SBC VAULT
C/L	CENTERLINE	PGE	PIPE VAULT
CMP	CORRUGATED METAL PIPE	PIV	POST INDICATOR VALVE
CI	CAST IRON PIPE	PP	POWER POLE
CO	CLEAN OUT BOX	SDMH	STORM DRAIN MANHOLE
CP	SURVEY CONTROL POINT	SL	STREET LIGHT
CPP	CORRUGATED PLASTIC PIPE	SLB	STREET LIGHT BOX
CTV	CABLE TELEVISION LINE	SLV	STREET LIGHT VAULT
DI	DROP INLET	SSMH	SANITARY SEWER MANHOLE
EM	ELECTRIC METER	SSV	SANITARY SEWER VAULT
EV	ELECTRIC VAULT	TBC	TOP BACK OF CURB
FF	FINISHED FLOOR	TBM	TEMPORARY BENCHMARK
FL	FLOWLINE	TS	TRAFFIC SIGNAL
FH	FIRE HYDRANT	TSB	TRAFFIC SIGNAL BOX
GM	GAS METER	UNK	UNKNOWN TYPE
GRD	GROUND	VCP	VITRIFIED CLAY PIPE
GUY	GUY ANCHOR	WBF	WATER BACK FLOW VALVE
GV	GAS VALVE	WM	WATER METER BOX
HCR	HANDICAP RAMP	WV	WATER VALVE
HVE	HIGH-VOLT ELECTRIC	-CTV-	CABLE TELEVISION LINE
INV.	INVERT	-E-	ELECTRICAL LINE
IP	IRON PIPE	-G-	GAS LINE
JP	JOINT POLE	-OH-	OVERHEAD LINE
KV	KILOVOLT	-SD-	STORM DRAIN LINE
LAT.	LATERAL	-SS-	SANITARY SEWER LINE
LG	LIP OF GUTTER	-T-	TELEPHONE LINE
		-W-	WATER LINE



PROJECT:

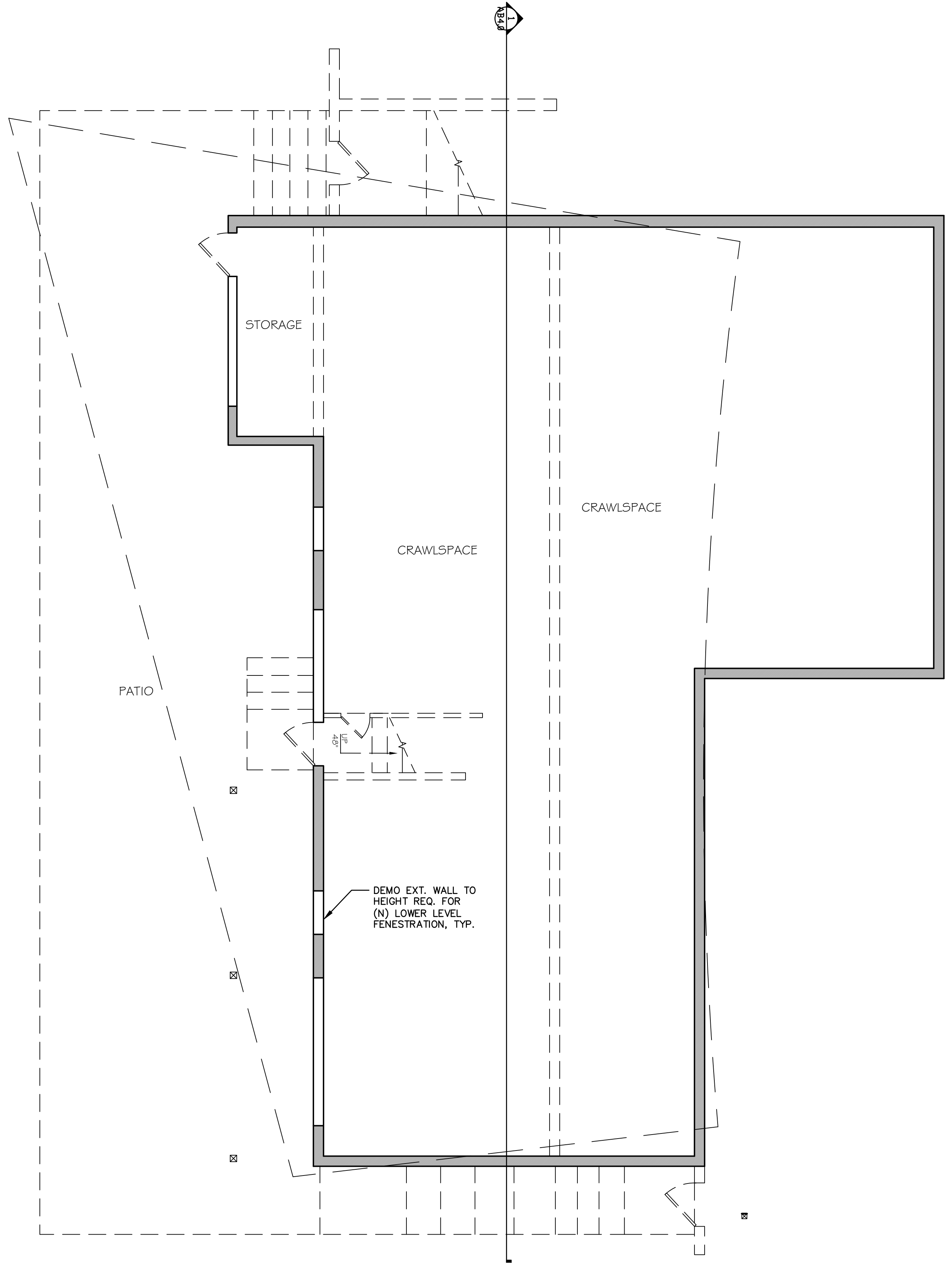
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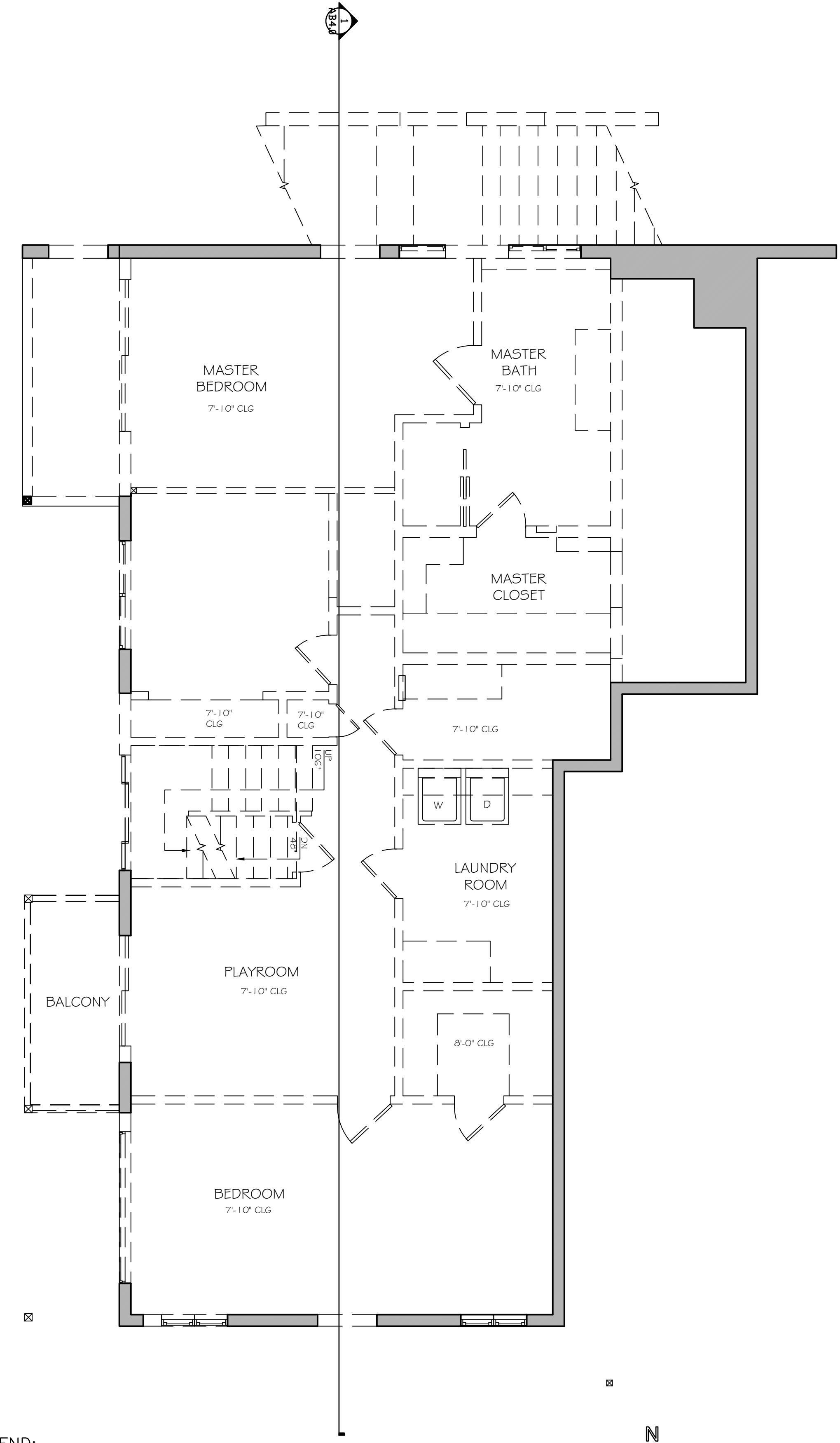
CDRC SET

SCALE: 1/4"=1'-0"
 SHEET DATE: 08.03.2022

AB2.0
 EXISTING/DEMO
 BASEMENT & CRAWL
 SPACE PLANS



② EXISTING/DEMO CRAWL SPACE PLAN
 1/4"=1'-0"



LEGEND:
 [Solid Line] EXISTING WALL
 [Dashed Line] DEMO

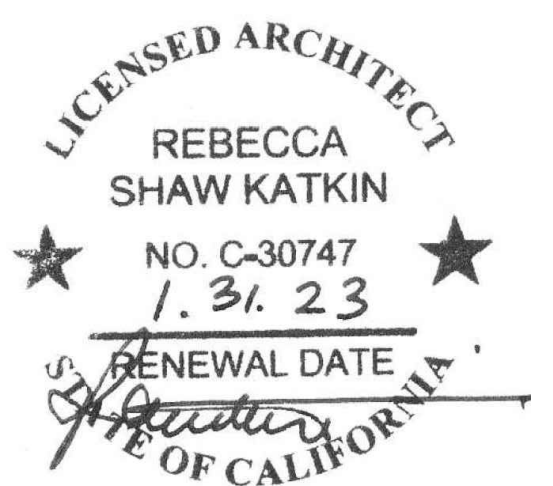
① EXISTING/DEMO LOWER LEVEL (1ST FL.) PLAN
 1/4"=1'-0"

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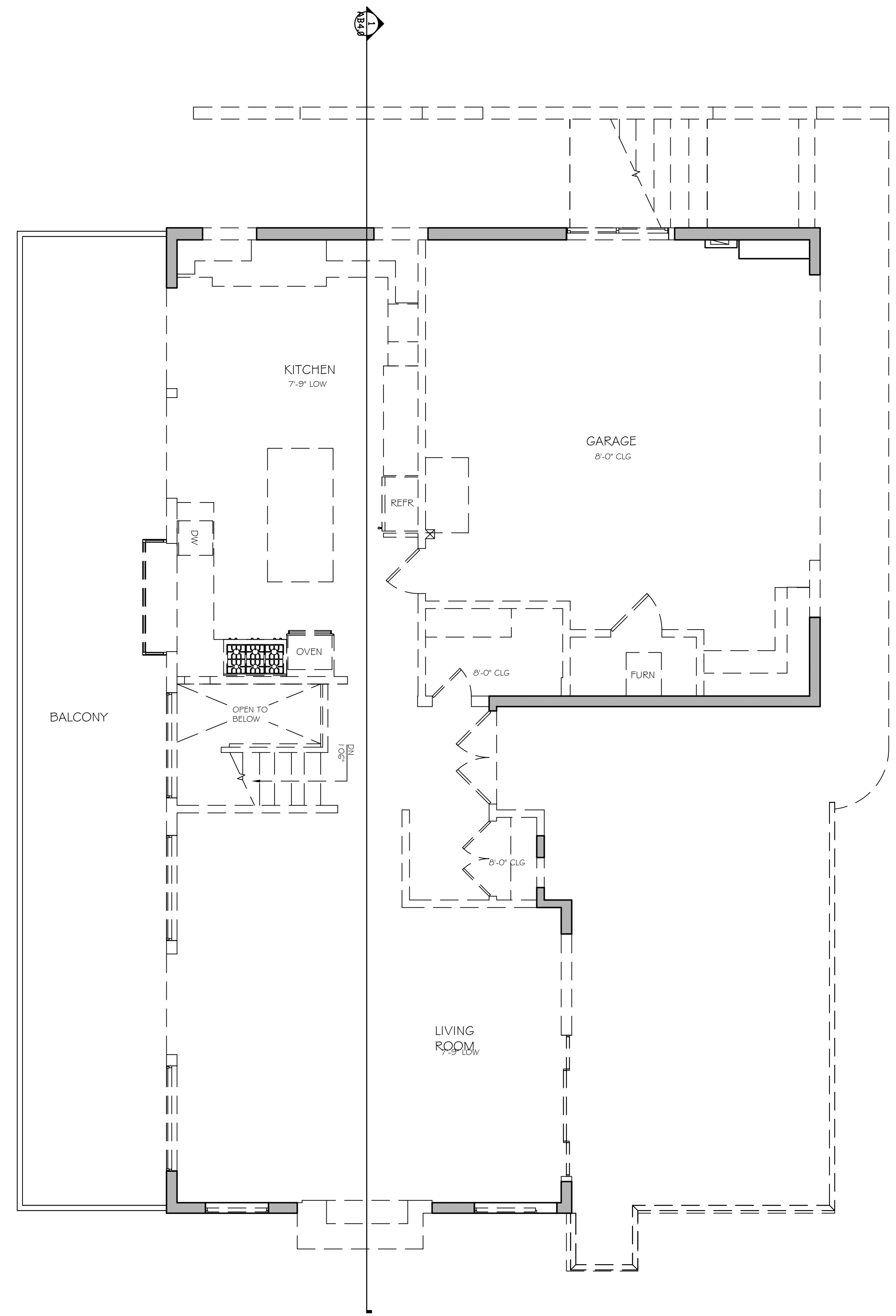
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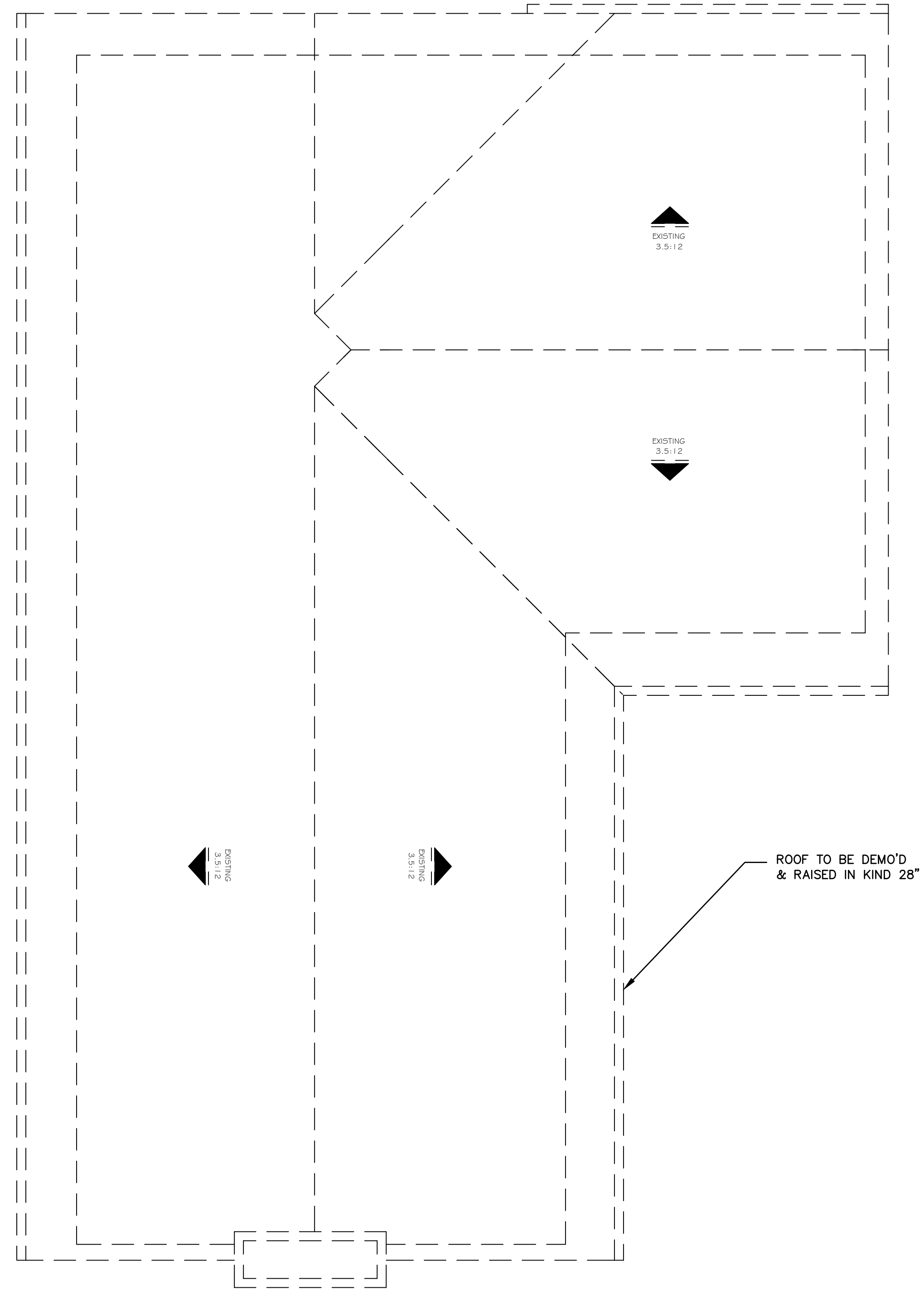
SHEET DATE: 08.03.2022

AB2.1

EXISTING/DEMO
MAIN FLOOR & ROOF
PLANS

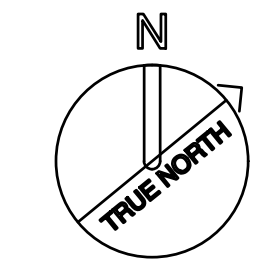


2 EXISTING/DEMO MAIN LEVEL (2ND FL.) PLAN
1/4"=1'-0"



LEGEND:
EXISTING WALL
DEMO

1 EXISTING ROOF PLAN
1/4"=1'-0"





PROJECT:

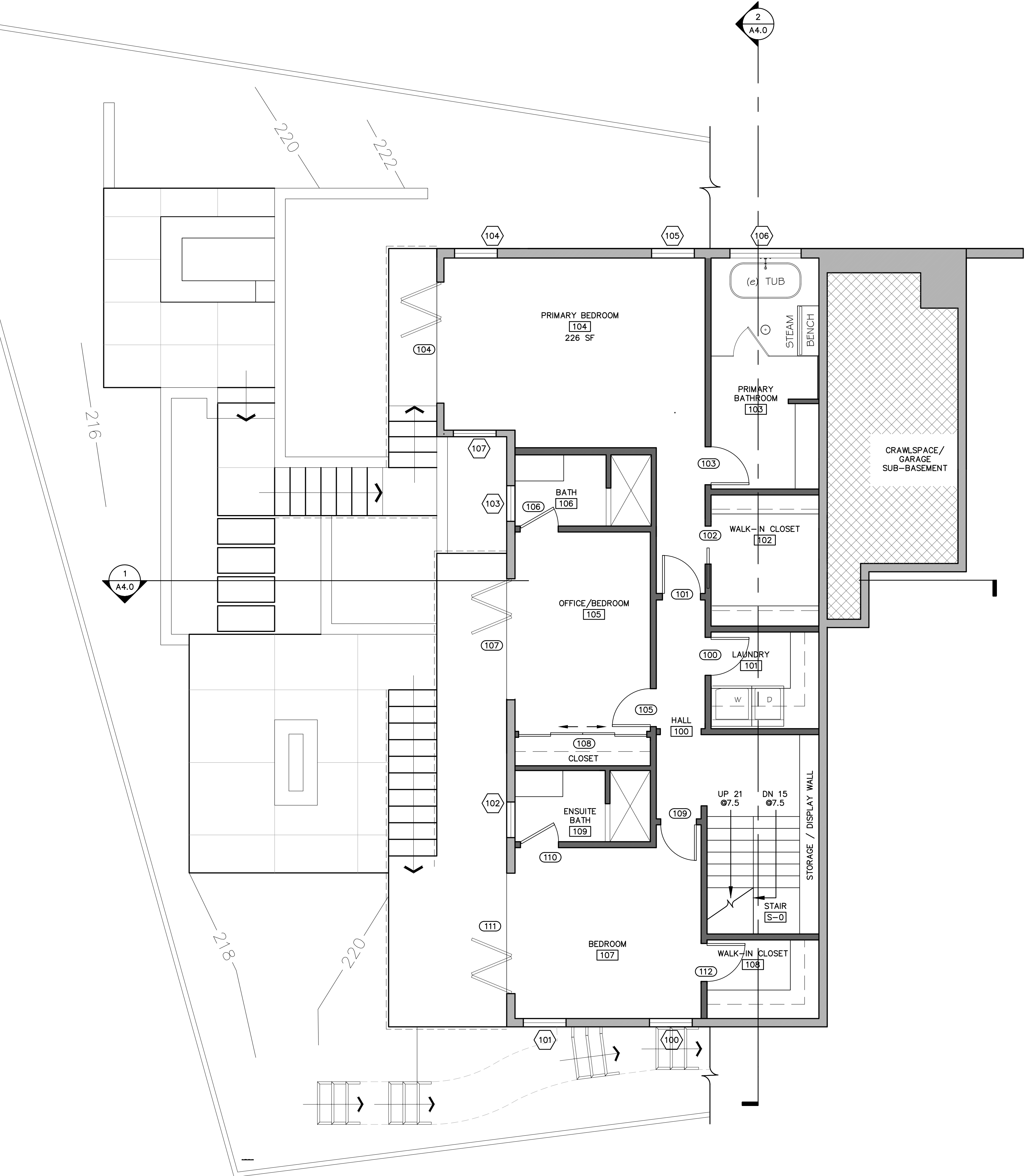
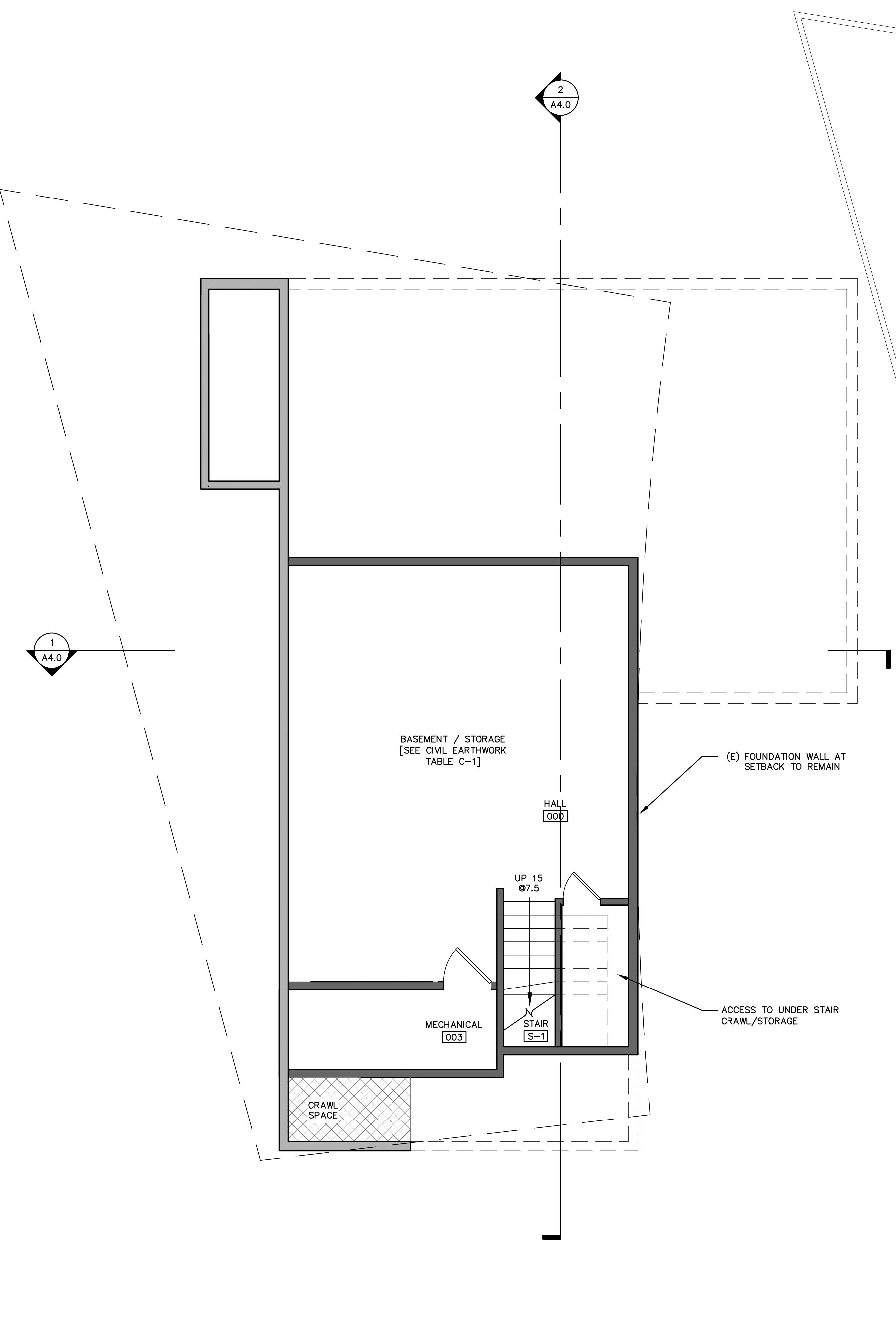
NICOLA RESIDENCE
 555 SAN JUAN AVENUE
 EL GRANADA, CA

ISSUE:
 NO. DESCRIPTION DATE

CDRC SET

SCALE: 1/4"=1'-0"
 SHEET DATE: 08.03.2022

A2.0
 PROPOSED
 BASEMENT & LOWER
 LEVEL PLANS



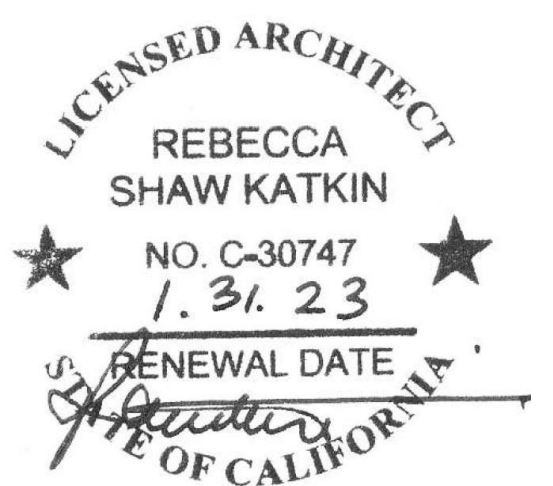
LEGEND:

- EXISTING WALL
- NEW WALL

CLIENTS:
CHRIS & CYNTHIA NICOLA
 PO BOX 2053
 EL GRANADA, CA



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 rebecca@katkinarchitecture.com
 415.706.0981



PROJECT:

NICOLA RESIDENCE
 555 SAN JUAN AVENUE
 EL GRANADA, CA

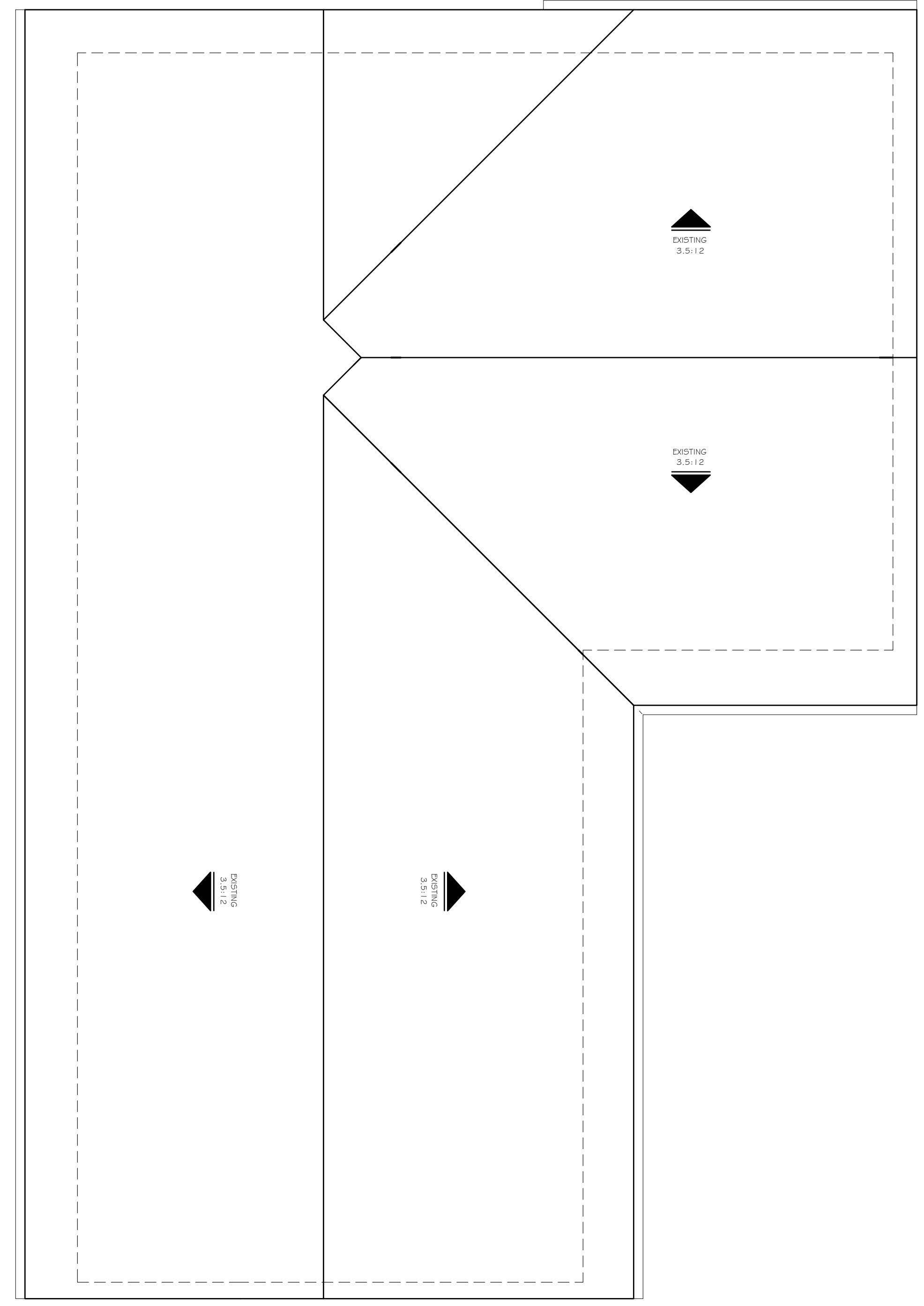
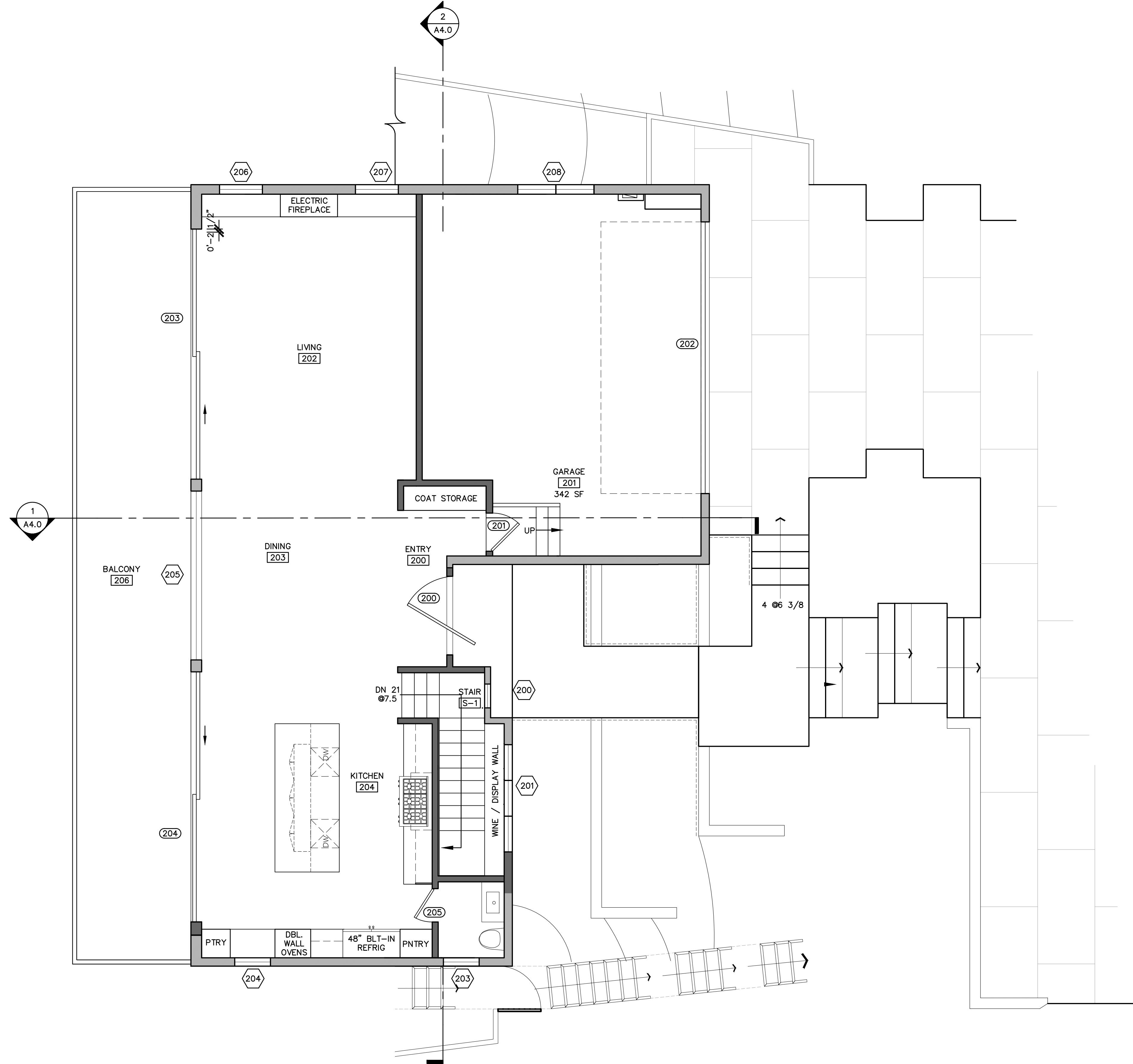
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NO.	DESCRIPTION	DATE

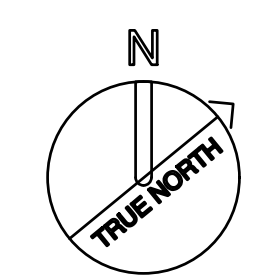
DESIGN REVIEW
 SCALE: 1/4"=1'-0"
 SHEET DATE: 08.18.2022

A2.1

PROPOSED MAIN LEVEL & ROOF PLANS



LEGEND:
 [Light Gray Box] EXISTING WALL
 [Dark Gray Box] NEW WALL



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PROJECT:

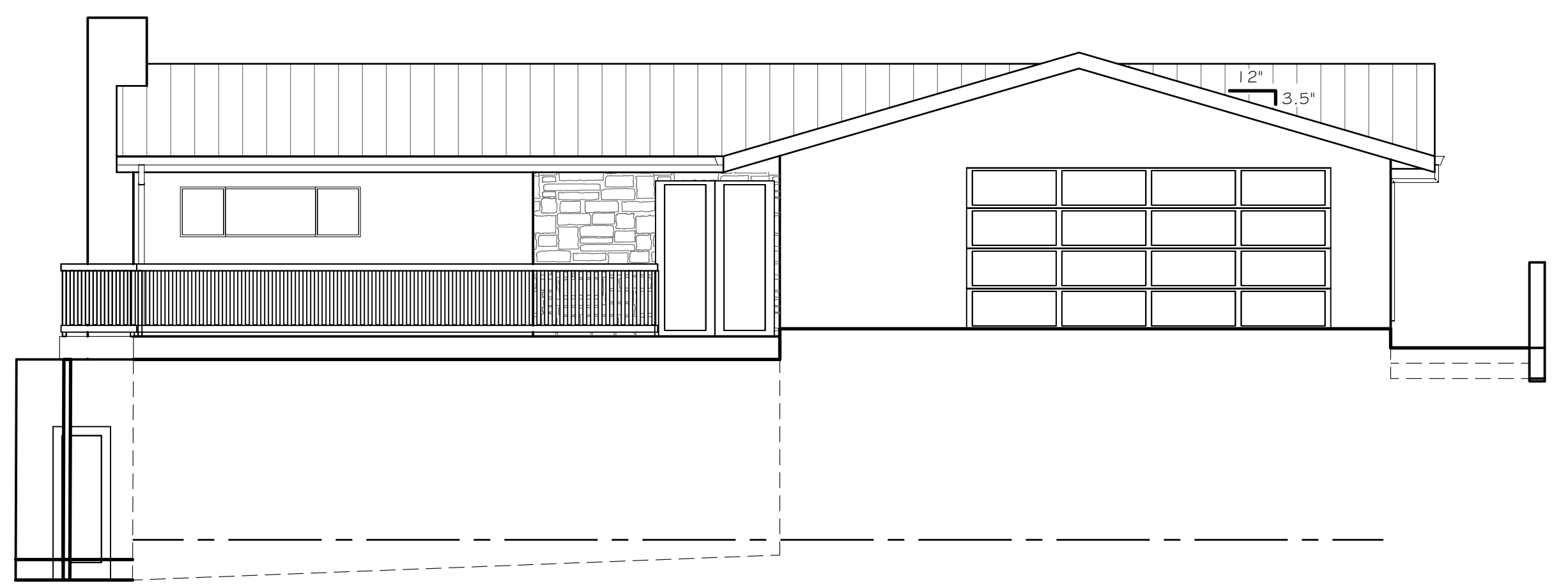
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 555 SAN JUAN AVENUE
 EL GRANADA, CA

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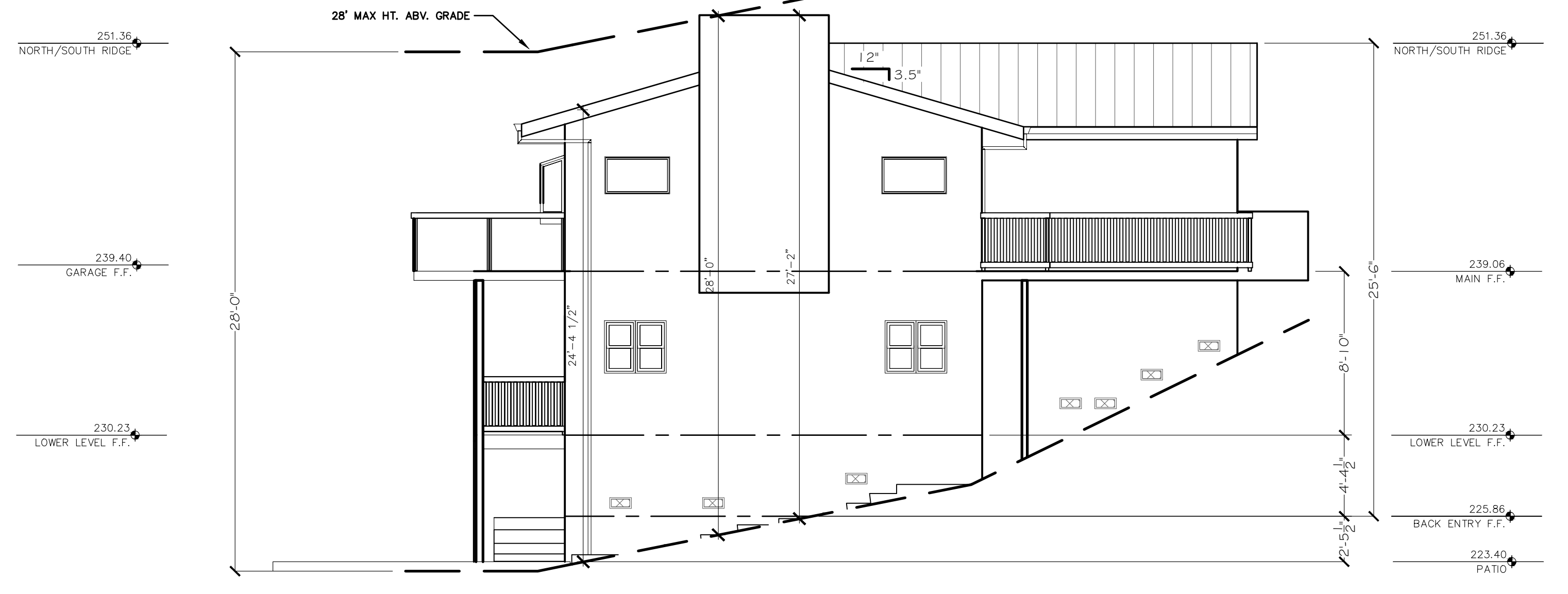
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 SHEET DATE: 08.03.2022

AB3.0

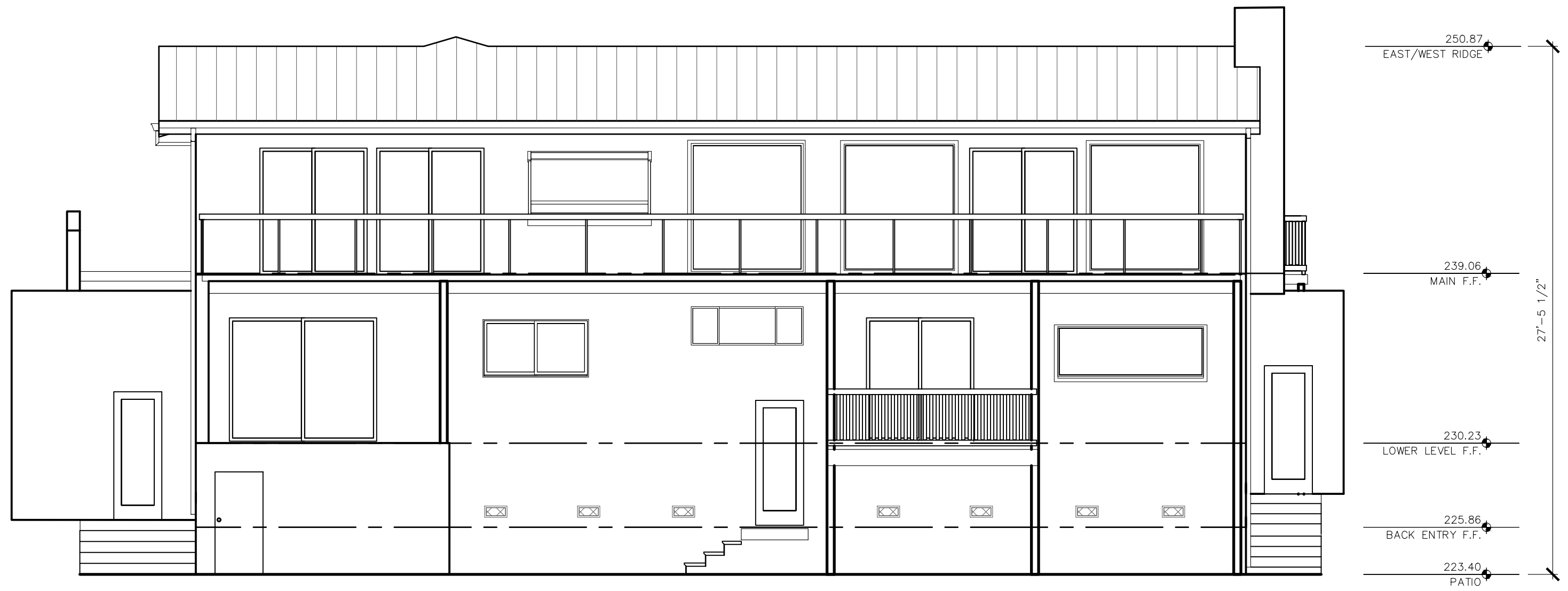
EXISTING EXTERIOR
 ELEVATIONS



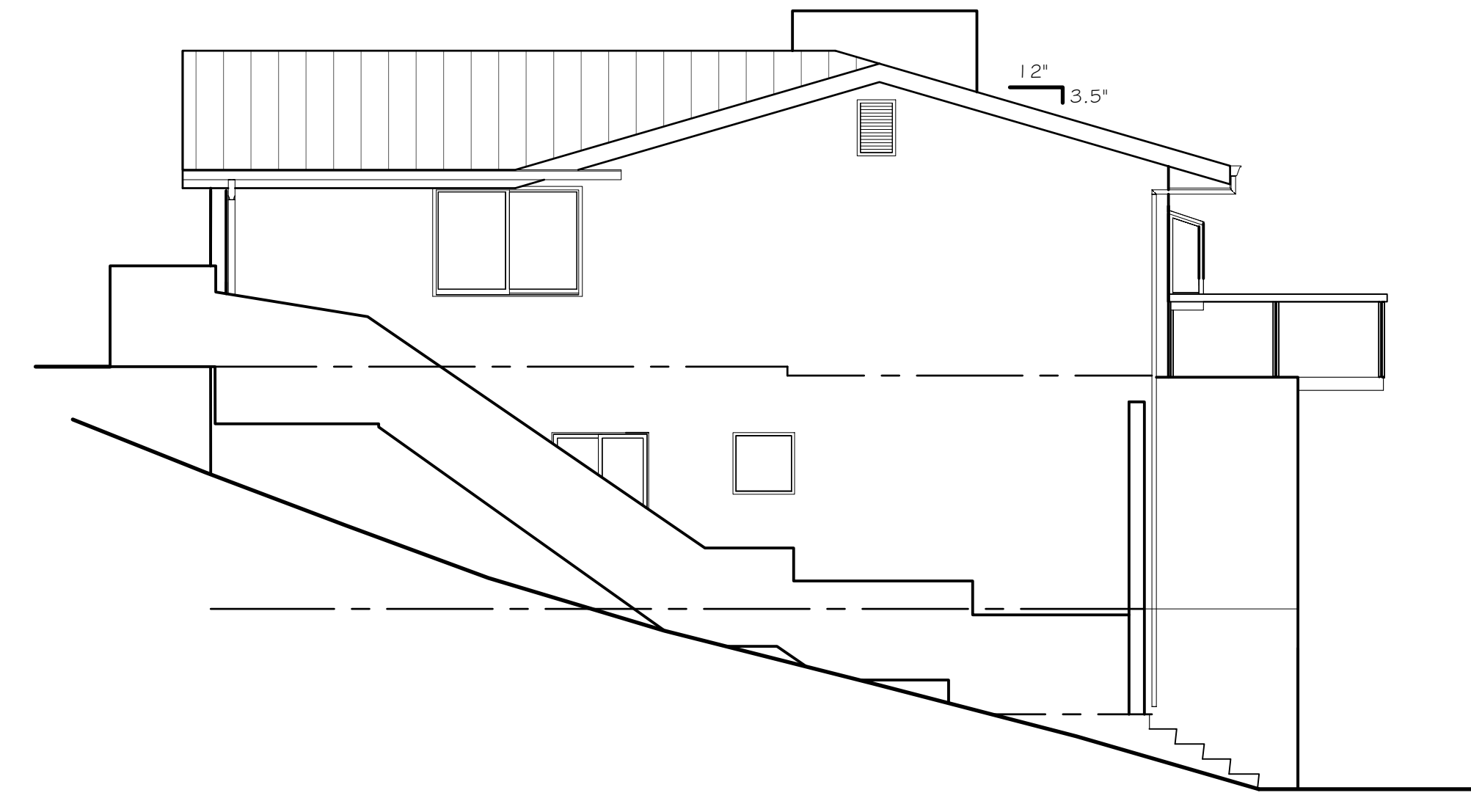
4 EXISTING EAST ELEVATION
 3/16"=1'-0"



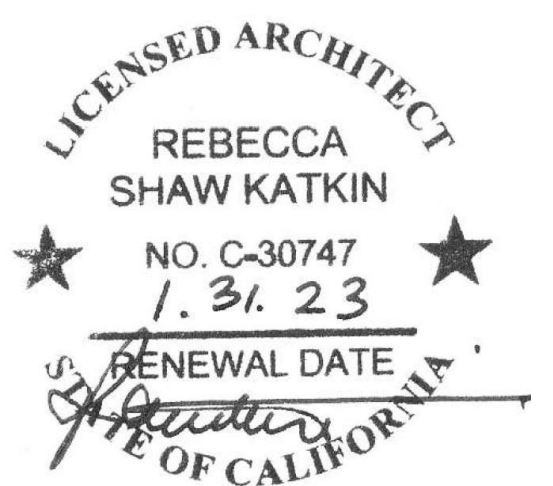
3 EXISTING SOUTH ELEVATION
 3/16"=1'-0"



1 EXISTING WEST ELEVATION
 3/16"=1'-0"



1 EXISTING NORTH ELEVATION
 3/16"=1'-0"



PROJECT:

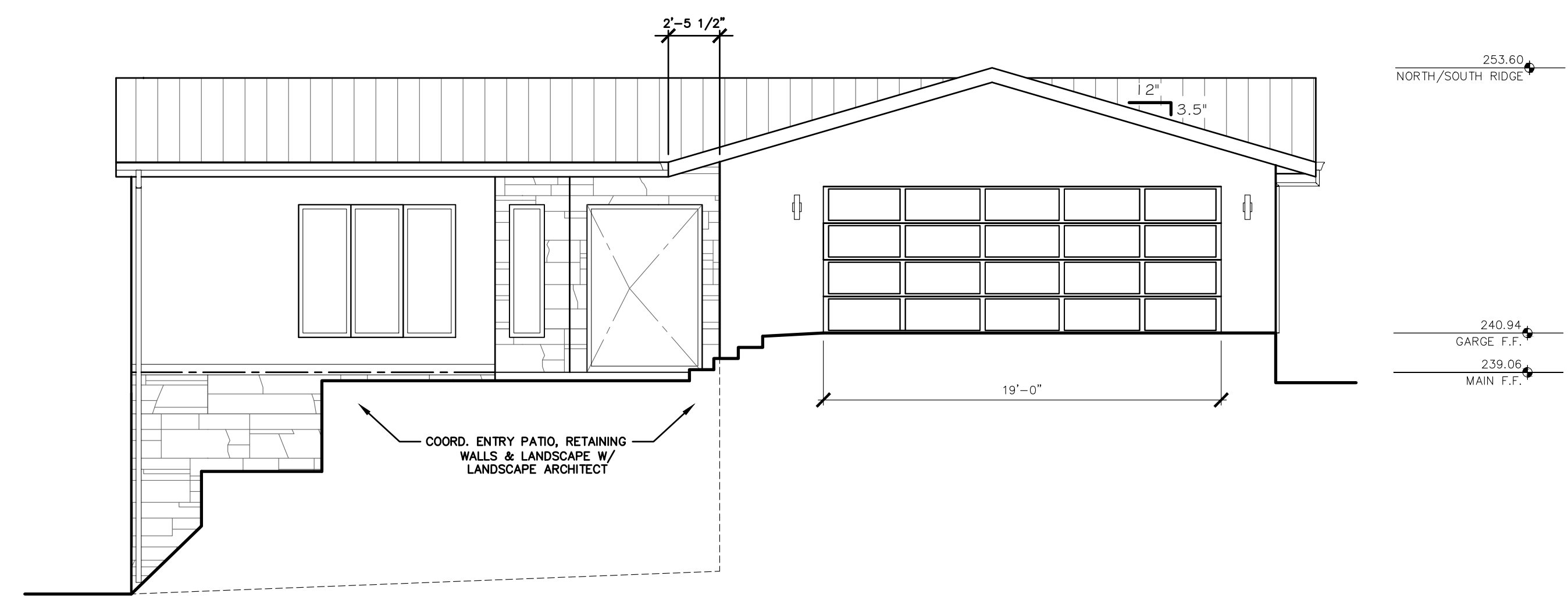
NICOLA RESIDENCE
 555 SAN JUAN AVENUE
 EL GRANADA, CA

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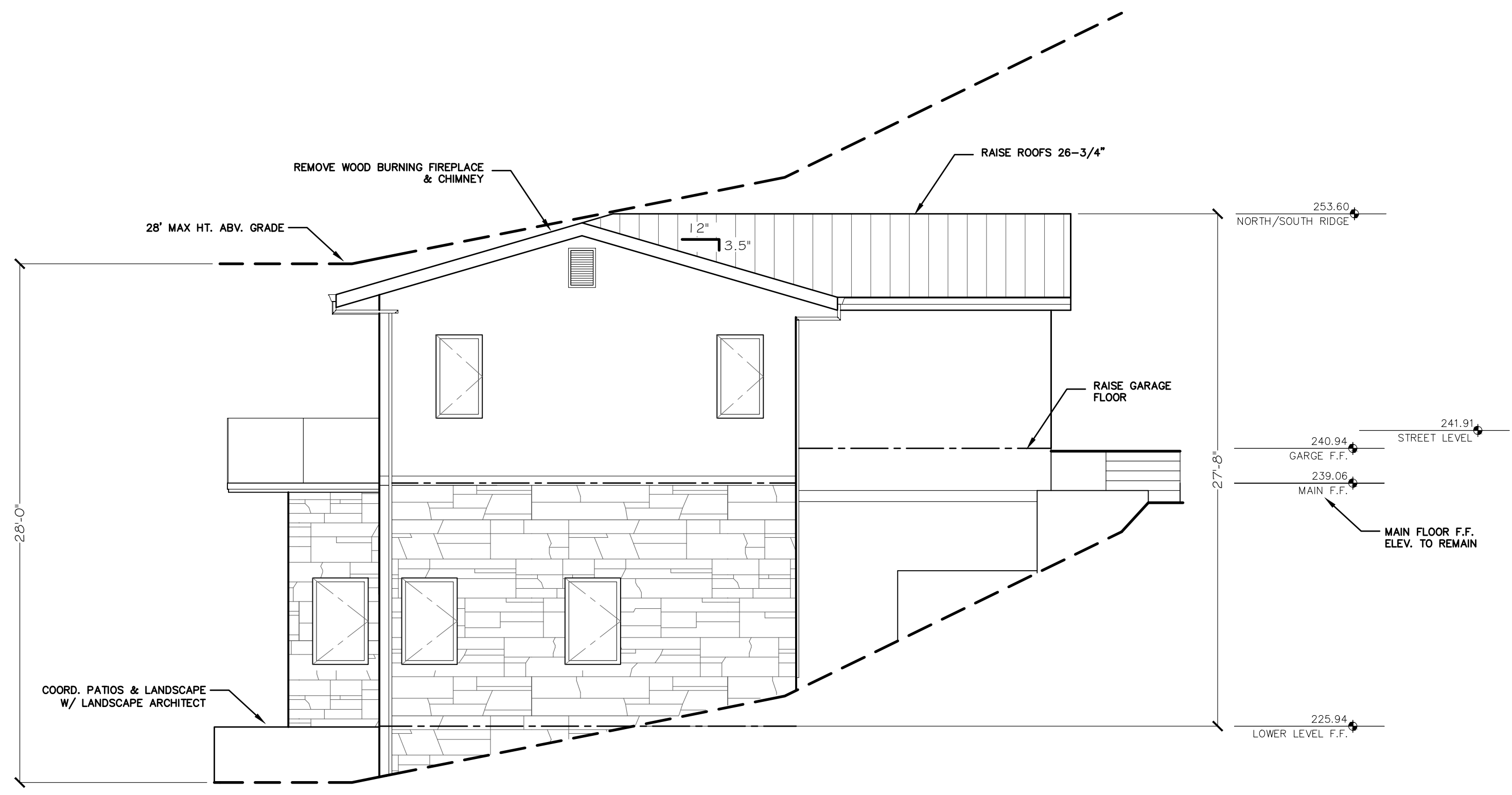
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 SHEET DATE: 08.18.2022

A3.0

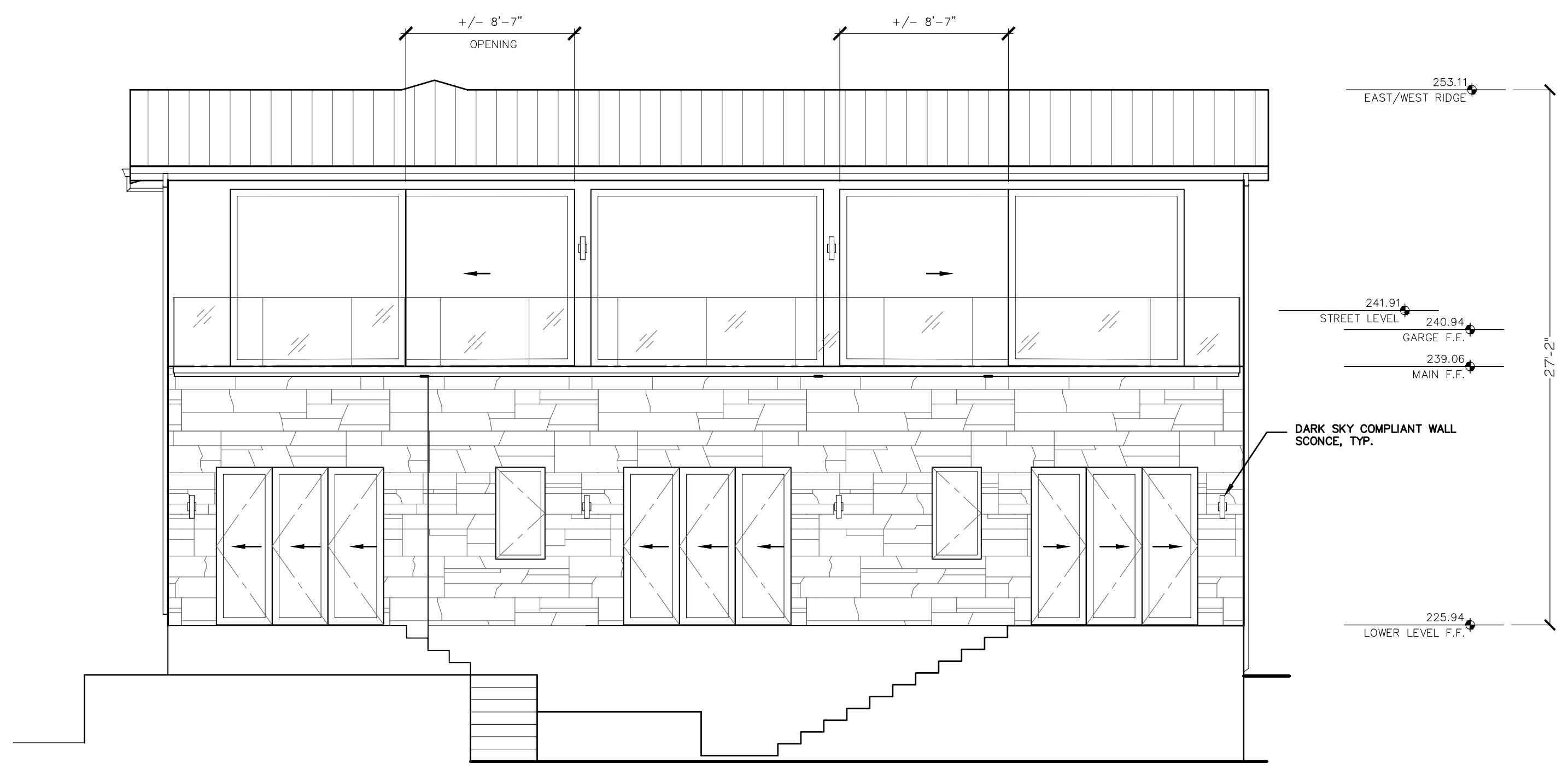
PROPOSED EXTERIOR
 ELEVATIONS



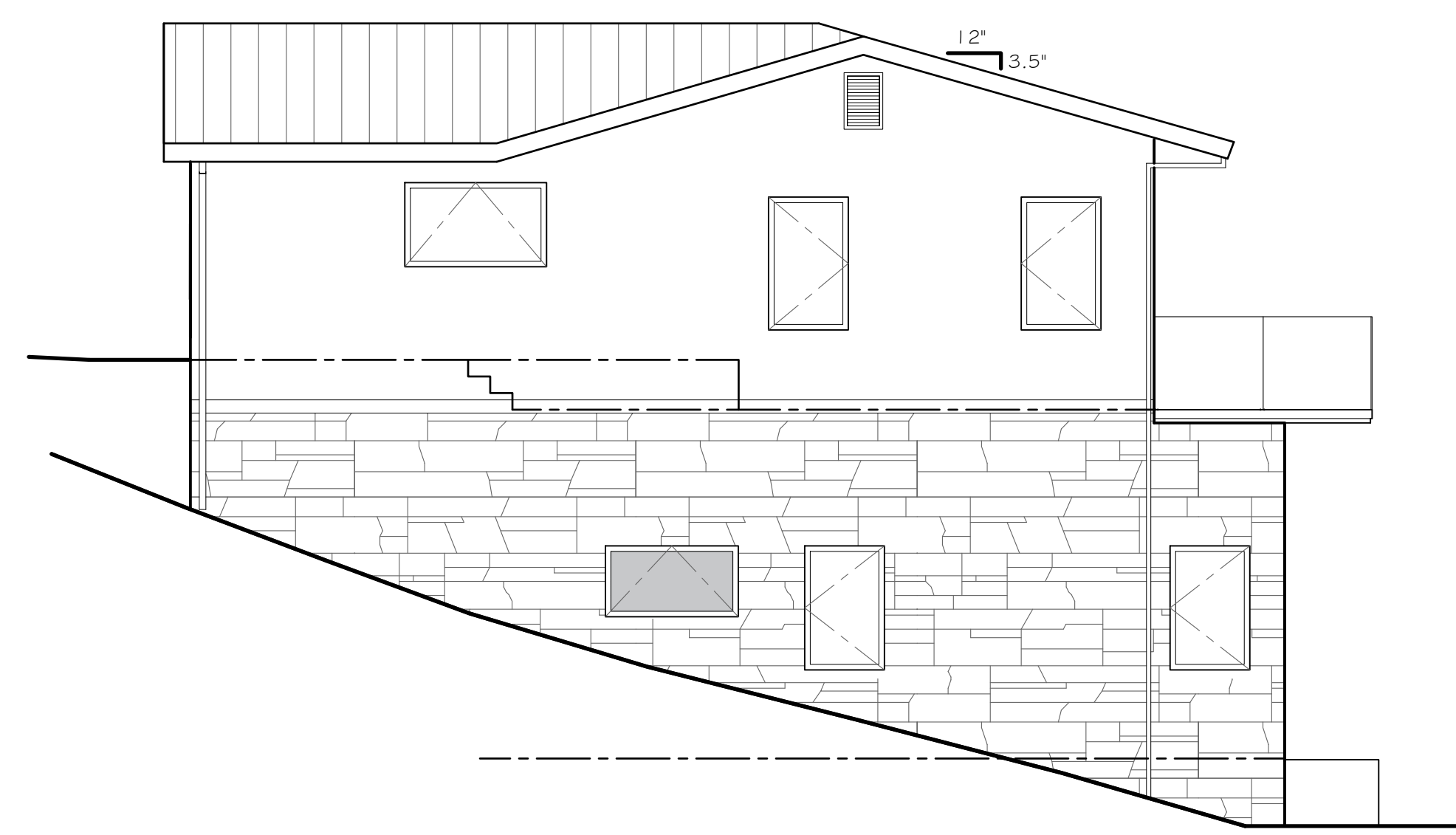
4 PROPOSED EAST ELEVATION
 3/16"=1'-0"



3 PROPOSED SOUTH ELEVATION
 3/16"=1'-0"



2 PROPOSED WEST ELEVATION
 3/16"=1'-0"



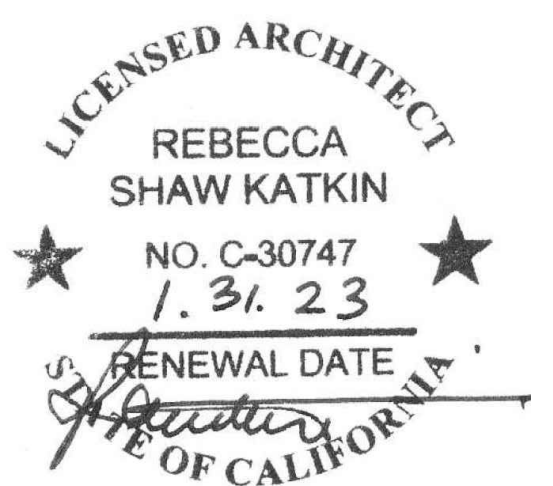
1 PROPOSED NORTH ELEVATION
 3/16"=1'-0"

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PROJECT:

NICOLA RESIDENCE
555 SAN JUAN AVENUE
EL GRANADA, CA

ISSUE:

NO.	DESCRIPTION	DATE

CDRC SET

SCALE: 1/4"=1'-0"

SHEET DATE: 8.03.2022

AB4.0

EXISTING BUILDING
SECTION N-S



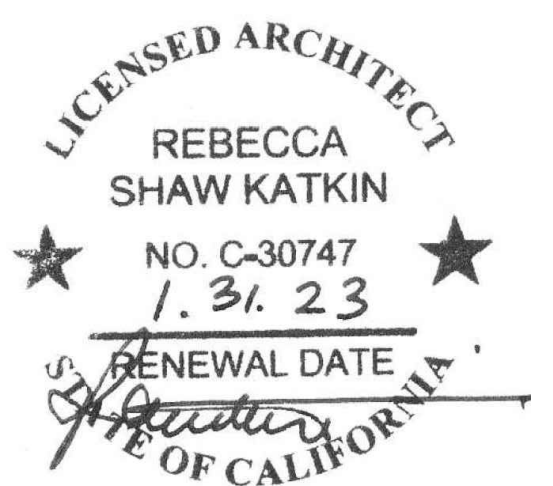
1 EXISTING SECTION N-S

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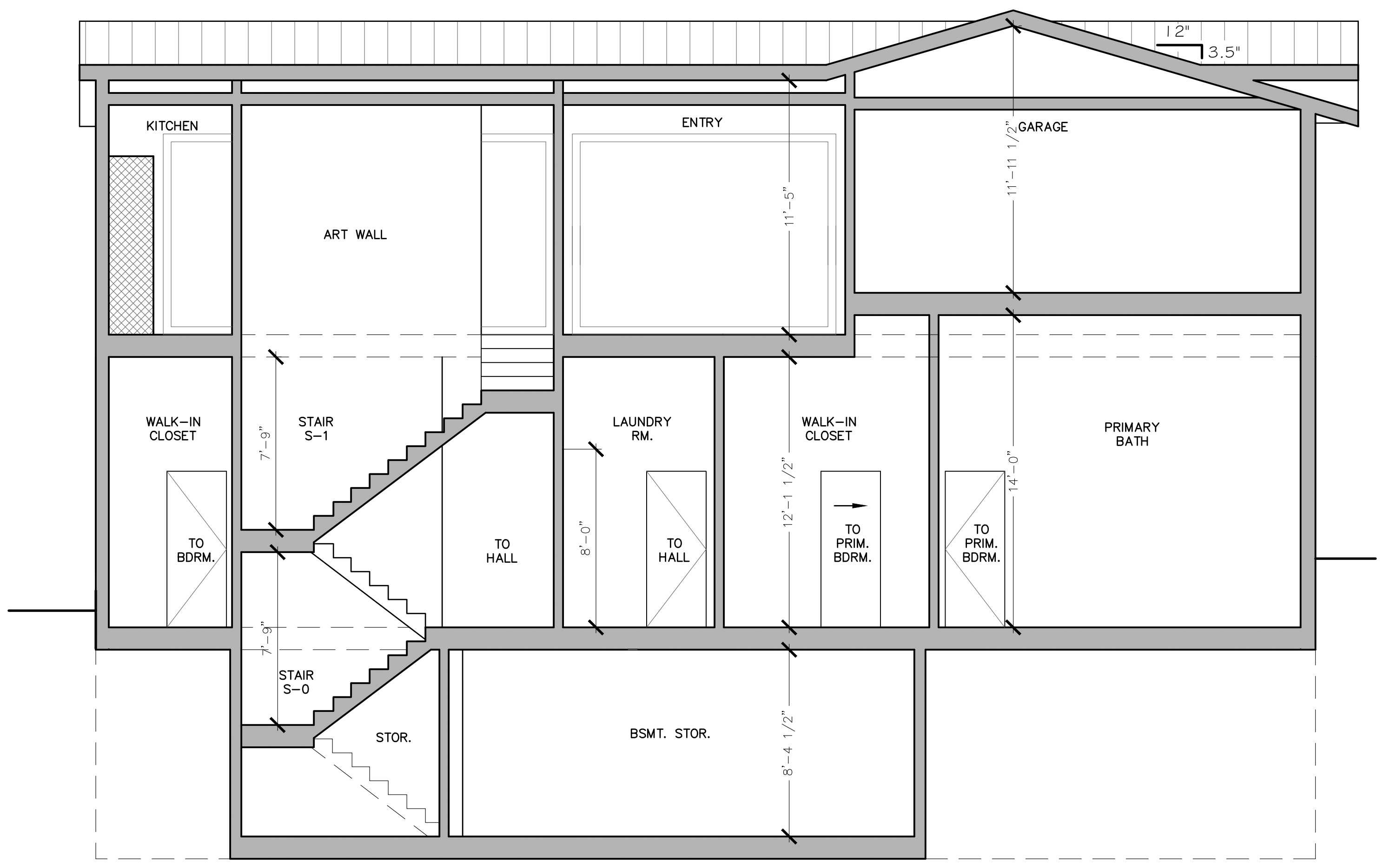
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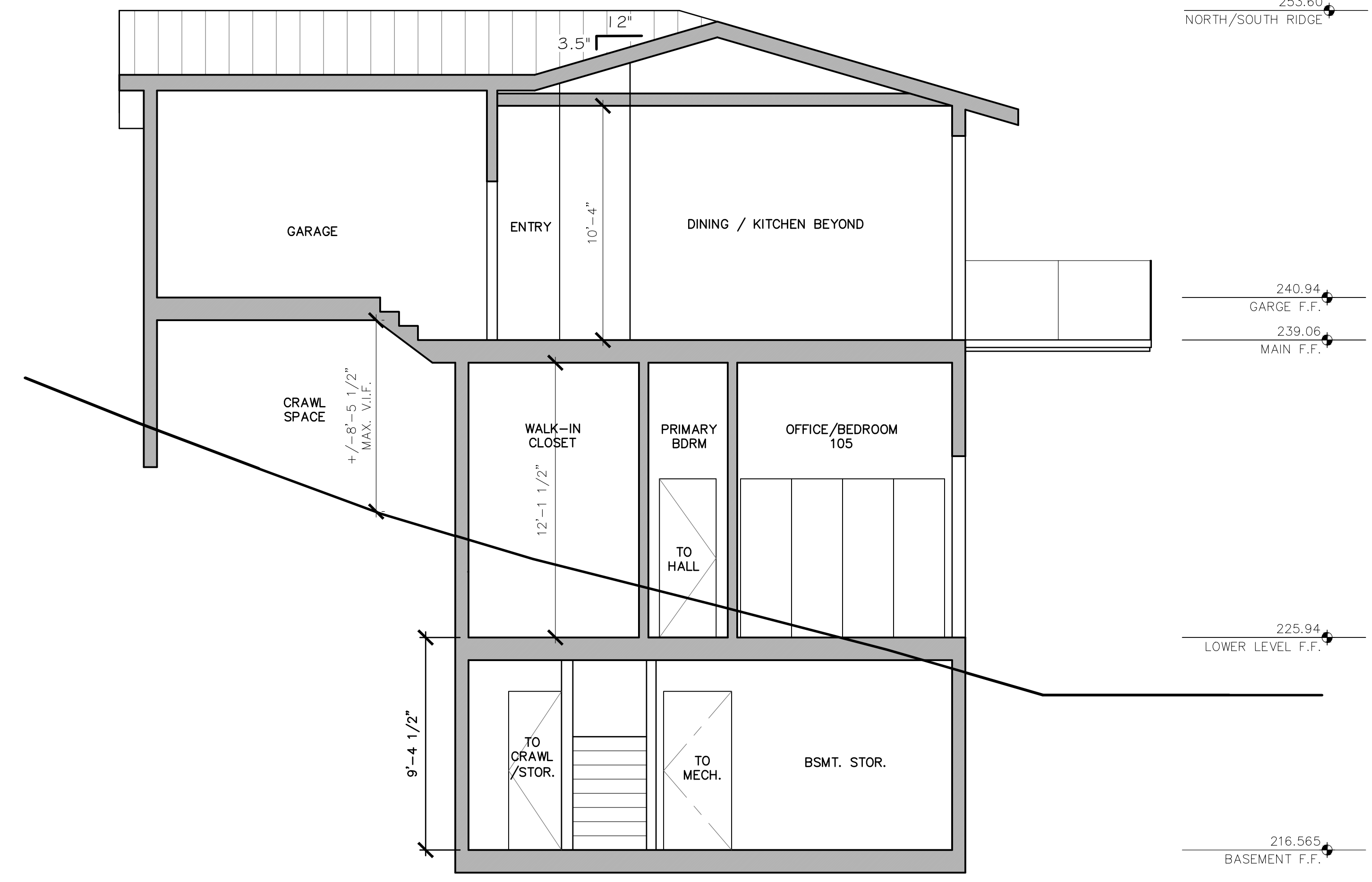
SCALE: 1/4"=1'-0"

SHEET DATE: 08.03.2022

A4.0
PROPOSED BUILDING
SECTIONS
E-W AND S-N



2 BUILDING SECTION SOUTH TO NORTH
1/4"=1'-0"



1 BUILDING SECTION EAST TO WEST
1/4"=1'-0"

253.60
NORTH/SOUTH RIDGE

240.94
GARAGE F.F.
239.06
MAIN F.F.

225.94
LOWER LEVEL F.F.

216.565
BASEMENT F.F.

FERDINAND AVENUE
(50' WIDE)

FOUND RAILROAD SPIKE

1
C-3

LOT 3

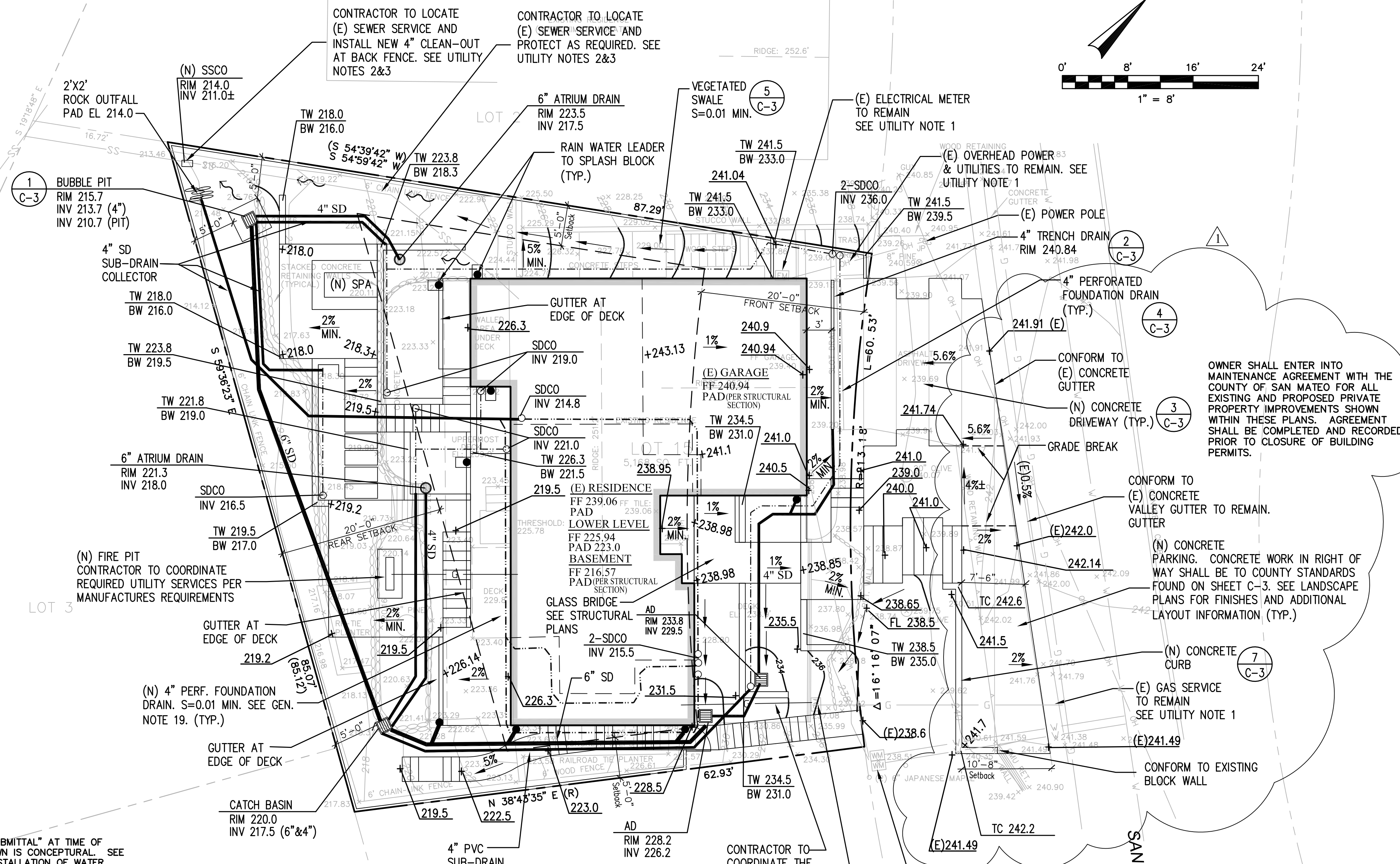
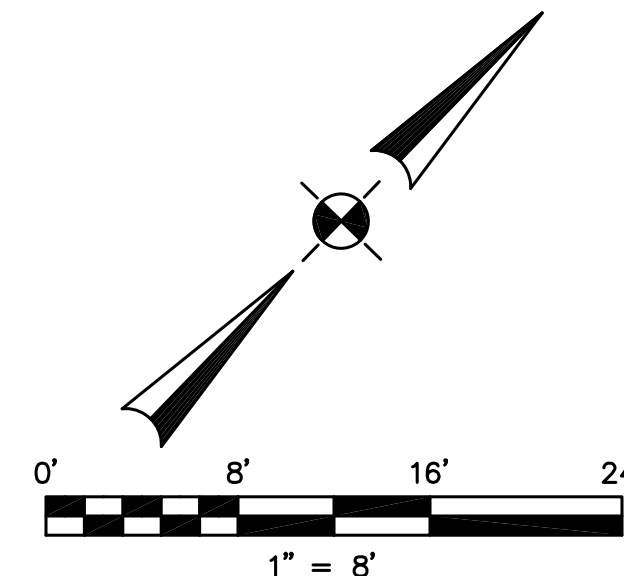
LOT 4

LOT 14

BLOCK 73
PLAT OF SUBDIVISION NO. 7 GRANADA
BOOK 6 MAPS 64

GRADING, DRAINAGE & UTILITY PLAN

1/8"=1'-0"



FIRE SERVICE NOTES:

1. SPINKLER PLANS ARE A "DEFERRED SUBMITTAL" AT TIME OF BUILDING PERMIT, THIS INFORMATION SHOWN IS CONCEPTUAL. SEE APPROVED SPINKLER PLANS PRIOR TO INSTALLATION OF WATER SERVICE AND METER MODIFICATIONS.
2. FIRE SERVICE SHLL HAVE A BACKFLOW PREVENTION DEVICE - USC APPROVED DOUBLE CHECK VALVE ASSEMBLY. GENERAL CONTRACTOR SHALL ENSURE THE DOUBLE CHECK VALVE ASSEMBLY FOR FIRE PROTECTION SHALL BE TESTED AND APPROVED BY A SAN MATEO COUNTY ENVIRONMENTAL HEALTH APPROVED CONTRACTOR PRIOR TO SCHEDULING WATER DEPARTMENT FINAL.
3. FIRE FLOW SHALL MEET REQUIREMENTS OF THE CALIFORNIA FIRE CODE APPENDIX 111A. FIRE FLOW FOR RESIDENTIAL BUILDINGS LESS THAN 3600 SQ. FT. SHALL BE PROVIDED AT 1,000 PGM UNLESS PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM, THEN IT MAY BE REDUCED TO 50%.
4. MINIMUM 1" WATER METER IS REQUIRED.

SITE DRAINAGE MAINTENANCE REQUIREMENTS

1. FALL, CLEAN ALL DRAINAGE INLETS AND BUBBLE BOX, AND MOW THE VEGETATION WITHIN THE SIDE YARD VEGETATED SWALES. SEDIMENT REMOVED AND VEGETATION CLIPPINGS SHALL BE DISPOSED OF OFF SITE OR IN TRASH BIN.
3. SPRING, REMOVE ALL SEDIMENT BUILD UP IN ALL DRAIN INLETS AND BUBBLE BOX. DISPOSE OF SEDIMENT OFF SITE OR IN TRASH BIN.

EARTHWORK TABLE	CUT	FILL
HOUSE/GARAGE	250 CY	14 CY
DRIVEWAY	0 CY	12 CY
REAR/FRONT/SIDE YARD	20 CY	46 CY
TOTAL	270 CY	46 CY
EXPORT	224 CY	

EXCESS MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER. EARTHWORK QUANTITIES HAVE BEEN PROVIDED FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL ESTIMATE HIS/HER OWN QUANTITIES TO COMPLETE JOB PER CONTRACT WITH OWNER.

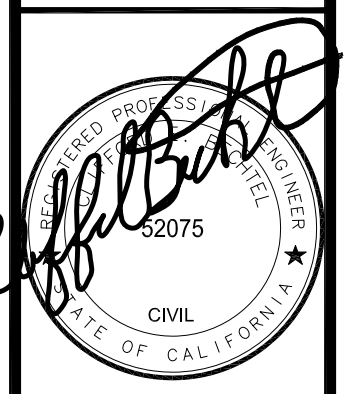
GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS & SETBACKS WITH ARCHITECTURAL PLANS.
2. TOPOGRAPHIC INFORMATION PROVIDED BY BGT LAND SURVEYING, INC., DATED JUNE 2015. SURVEYOR OF RECORD SHALL SET MONUMENTS, IF THEY DO NOT EXIST, AT ALL PROPERTY CORNERS AND PROVIDE STAKING OF CORNERS FOR CONSTRUCTION VERIFICATION.
3. SLOPE PORCHES, LANDINGS AND TERRACES 2% AWAY FROM RESIDENCE.
4. PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM THE HOUSE PERIMETER BY SLOPING THE FINISHED GROUND SURFACE AT LEAST 5% AWAY FROM RESIDENCE.
5. CONTRACTOR TO CONTACT SOILS ENGINEER TO COORDINATE INSPECTIONS AT LEAST ONE WEEK PRIOR TO PENDING INSPECTIONS.
6. ALL EARTHWORK, SUBSLAB PREPARATION, FOUNDATION AND SLAB CONSTRUCTION, BACKFILLING, SITE DRAINAGE, AND GEOTECHNICAL OBSERVATION AND TESTING SHALL BE IN ACCORDANCE WITH GEOTECHNICAL REPORT RECOMMENDATIONS.
7. THE OWNER RECOGNIZES THAT THE DRAINAGE FACILITIES AND DEPRESSED LANDSCAPE AREAS WILL NEED TO BE PERIODICALLY CLEANED OF DEBRIS DURING THE FUNCTIONAL LIFE OF THE SYSTEM.
8. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. THEY SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING. VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE STARTING CONSTRUCTION.
9. ANY SITE WORK THAT DEVIATES FROM WHAT IS SHOWN ON THE PLANS SHALL HAVE THE ENGINEER'S APPROVAL PRIOR TO PROCEEDING WITH THE DEVIATING WORK ITEM.
10. CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" (800) 642-2444, 48 HOURS PRIOR TO EXCAVATION.
11. FOR ADDITIONAL SITE LAYOUT INFORMATION SEE ARCHITECTURAL PLANS.
12. PRIOR TO CONSTRUCTING ANY IMPROVEMENT WITHIN THE PUBLIC RIGHT OF WAY, CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE COUNTY'S ENGINEERING DIVISION PRIOR TO STARTING ANY WORK. APPLICANT SHALL OBTAIN PERMITS FROM UTILITY COMPANIES PRIOR TO APPLYING TO COUNTY FOR ENCROACHMENT PERMIT. ENCROACHMENT WORK SHALL PASS PUBLIC WORKS INSPECTION, PRIOR TO BUILDING PERMIT SIGN OFF.
13. CONTRACTOR SHALL ADHERE TO "BEST MANAGEMENT PRACTICES" (BMP)'S GUIDELINES DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR STORING, USING, AND DISPOSING OF ALL HAZARDOUS MATERIALS, IN ACCORDANCE WITH ALL STATE AND LOCAL LAWS.
14. CONTRACTOR SHALL REVIEW AND UNDERSTAND GRADING AND DRAINAGE GUIDELINES SET FORTH IN THE GEOTECHNICAL REPORT PRIOR TO STARTING ANY SITE WORK.
15. CONTRACTOR SHALL ADHERE TO CAL OSHA STANDARD WHEN GRADING AND EXCAVATING.
16. CONTRACTOR AND OWNER SHALL OBTAIN ALL NECESSARY COUNTY STANDARD DETAILS, FROM THE COUNTY, TO PERFORM ALL TRENCHING AND SITE WORK IN THE PUBLIC RIGHT-OF-WAY.
17. APPLICANT/CONTRACTOR SHALL REMOVE AND REPLACE ALL CRACKED, DAMAGED, UPLIFTED OR DEPRESSED FRONTAGE IMPROVEMENTS, EXISTING OR DAMAGED BY CONSTRUCTION ACTIVITIES, PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE ON MILLS AVENUE.
18. STORM WATER RUNOFF GENERATED BY THE NEW DEVELOPMENT SHALL NOT DRAIN ONTO ADJACENT PROPERTIES. THE EXISTING STORM DRAINAGE FROM THE ADJACENT PROPERTIES SHALL NOT BE BLOCKED BY THE NEW DEVELOPMENT.
19. BASEMENT DRAINAGE SHOWN IS CONCEPTUAL. OWNER AND CONTRACTOR SHALL OBTAIN RECOMMENDATIONS AND FINAL DESIGN REQUIREMENTS FOR WATERPROOFING AND DRAINAGE OF THE BASEMENT AREA FROM A WATERPROOFING EXPERT.

UTILITY NOTES:

1. CONTRACTOR TO ASSIST OWNER IN COORDINATION WITH PG&E FOR THE INSTALLATION/RELOCATION OF GAS, PHONE, TV AND ELECTRIC SERVICES. SIZE OF NEW SERVICE TO BE DETERMINED BY PG&E AND RESPECTIVE AGENCIES.
2. EXISTING SS LATERAL TO REMAIN. CONTRACTOR SHALL VIDEO INSPECT TO CONFIRM LATERAL IS IN GOOD WORKING ORDER. IF LATERAL NEEDS TO BE REPLACED, CONTRACTOR SHALL ASSIST IN PERMITTING WITH THE GRANADA COMMUNITY SERVICE DISTRICT, IF REQUIRED, A NEW 4" SEWER LATERAL AND SERVICE TO BE INSTALLED, PER DISTRICT REQUIREMENTS. GRANADA COMMUNITY SERVICE DISTRICT CONTACT INFORMATION; 504 AVENUE ALHAMBRA, THIRD FLOOR, EL GRANADA, CA 94018, (650)-726-7093.
3. ALL SEWER WORK TO BE IN CONFORMANCE WITH DISTRICT AND COUNTY STANDARDS.
4. ALL STORM DRAIN PIPE SHALL BE PVC SDR 35, SLOPED AT 1% UNLESS OTHERWISE SPECIFIED ON THE PLANS. PIPE SHALL BE SIZED AS SPECIFIED ON THE PLANS. ALL DIRECTION CHANGES SHALL BE MADE WITH A WYE CONNECTION, ELBOWS AND TEE'S SHOULD BE AVOIDED.
5. ALL DOWN SPOUTS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM, UNLESS SHOWN OTHERWISE ON PLAN, WITH 4 M PVC SDR 35 PIPE OR EQUIVALENT. SEE ARCHITECTURAL PLANS FOR EXACT LOCATION OF THE DOWN SPOUTS.
6. CONTRACTOR SHALL INSTALL COPPER WATER MAIN FROM METER TO SERVE HOME PER COUNTY STANDARDS AND AS REQUIRED TO SERVE HOME. CONTRACTOR AND OWNER SHALL COORDINATE WITH WATER SERVICE PROVIDER, FOR NEW METER (SEE NOTE 8).
7. ALL SUB-DRAINAGE TO BE INSTALL PER THE GEOTECHNICAL ENGINEERS RECOMMENDATIONS. GEOTECHNICAL ENGINEER SHALL REVIEW ALL INSTALLATION OF SUB-DRAINAGE SYSTEM(S).
8. CONTRACTOR TO ASSIST OWNER IN THE PERMITTING OF A NEW WATER METER FROM THE COASTSIDE COUNTY WATER DISTRICT, IF REQUIRED FOR FIRE SUPPRESSION NEEDS. WATER LATERAL AND METER SHALL BE DESIGNED TO MEET ALL DOMESTIC AND FIRE SAFETY NEEDS. CONTACT COASTSIDE COUNTY WATER DISTRICT, AT 650-726-4405. OFFICE LOCATED AT 766 MAIN STREET, HALF MOON BAY, CA, 94019.
9. NO CONNECTIONS ARE ALLOWED, BETWEEN THE STORM WATER COLLECTION AND TREATMENT SYSTEMS AND THE SANITARY SEWER SYSTEM.
10. ALL DRAINAGE SYSTEM PIPES MUST BE INSPECTED BEFORE COVERING. INSPECTION CAN BE DONE IN STAGES AS BACKFILLING PROCEEDS, TO ALLOW FOR SUPPORT OF PIPES THAT ENTER THE SIDES OF STRUCTURES.

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Engineering and Project Management
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SAMMAMISH, WA 98075
650-333-0103
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NICOLA RESIDENCE
555 SAN JUAN AVENUE
SAN MATEO COUNTY
El Granada
California

CONTENTS:
GRADING,
DRAINAGE
& UTILITY
PLAN

DATE 03/24/22

SCALE AS NOTED

REVISIONS:
REV. 06/09/22

DRAWN J.G.

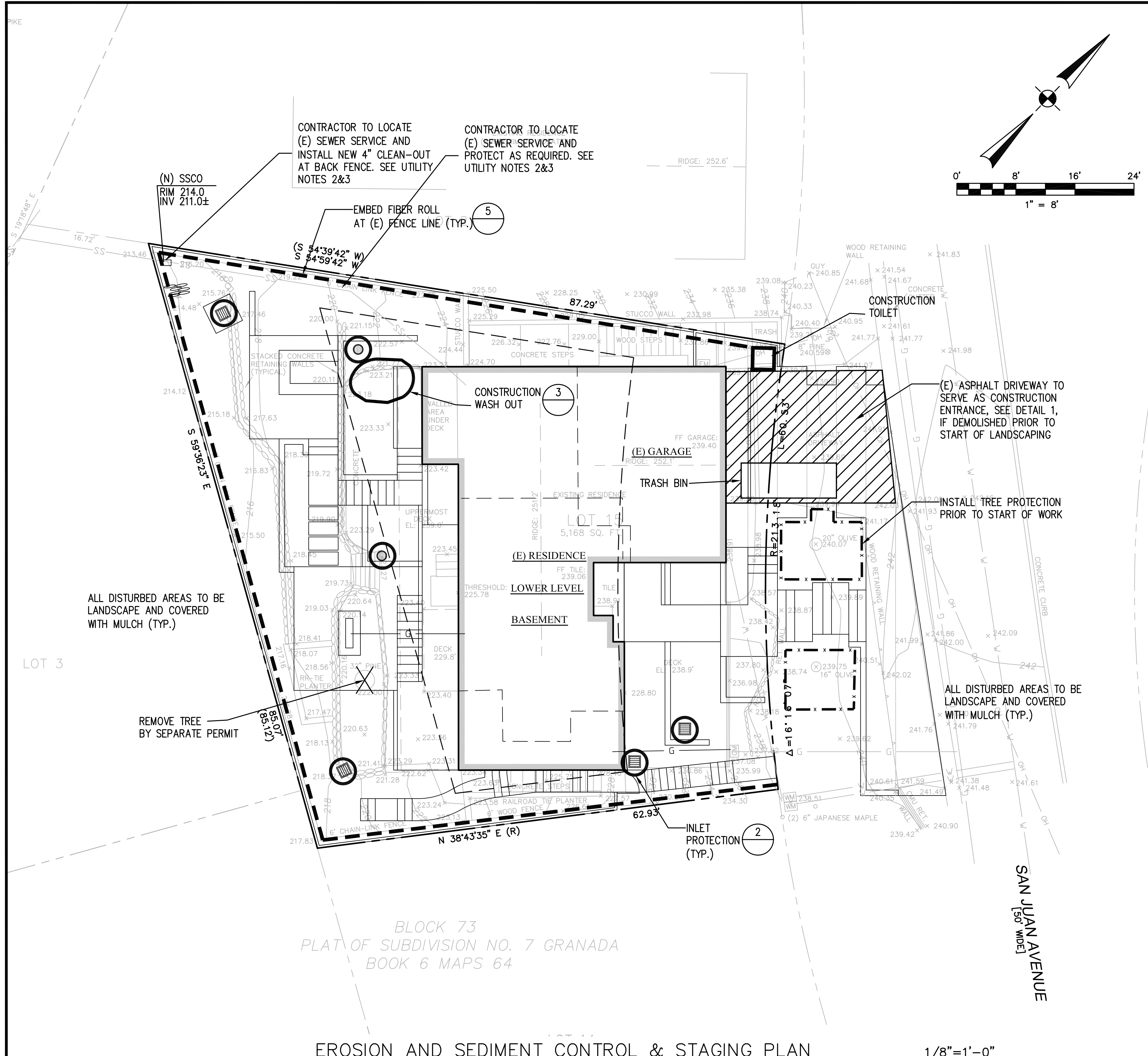
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JOB No. 2022786

SHEET NO.

C-1

OF 4 SHEETS

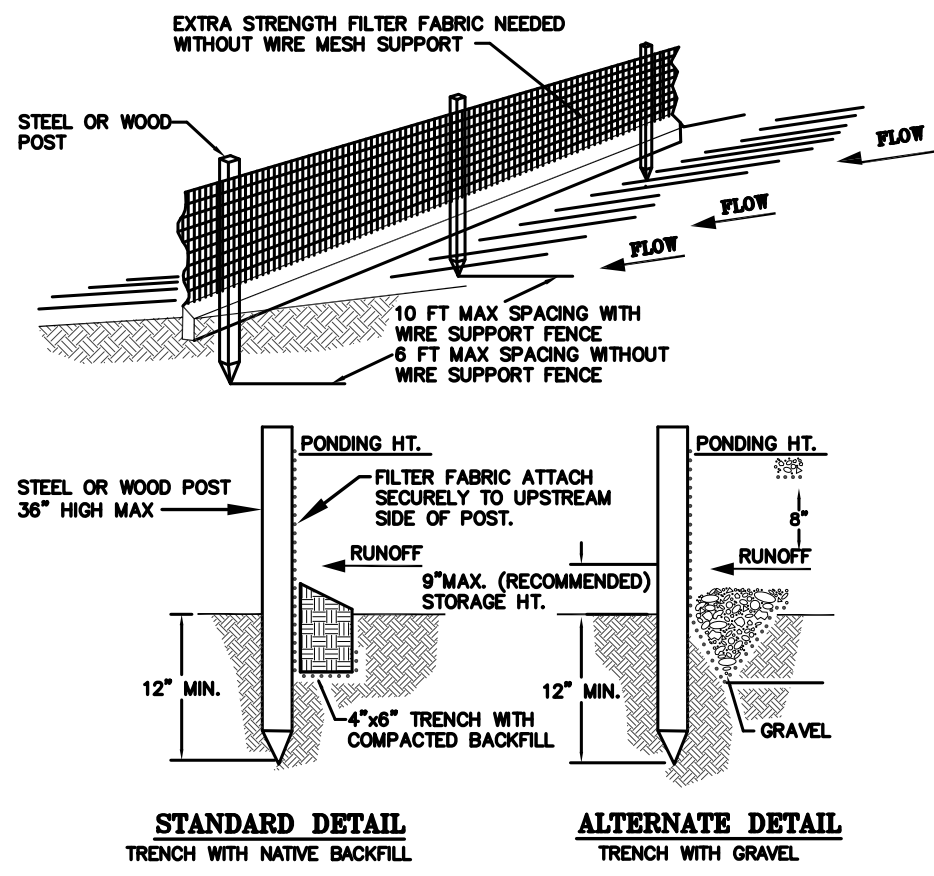


CAL GREEN NOTES:

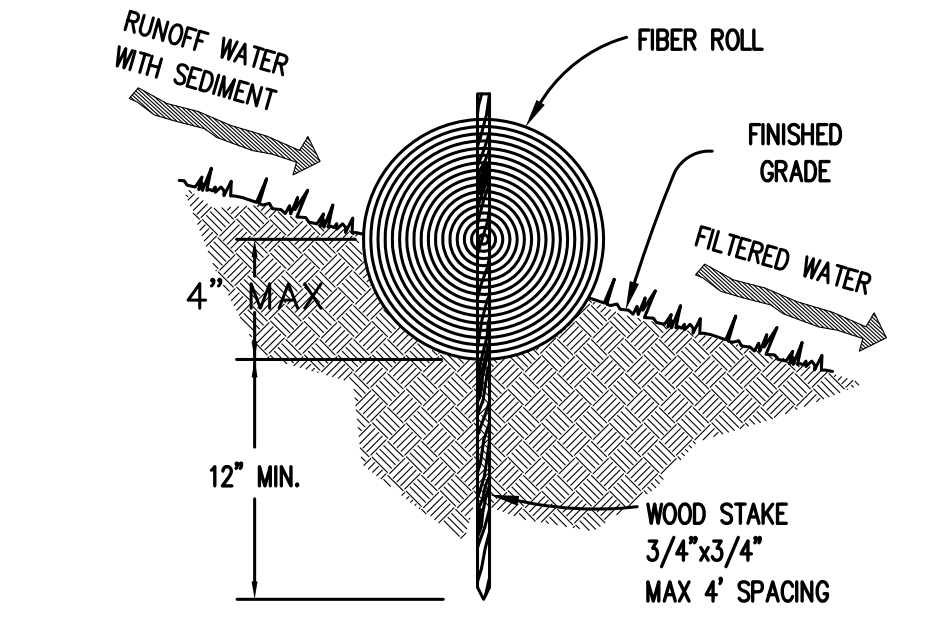
1. CONTRACTOR SHALL STOCKPILE SITE TOP SOIL FOR REUSE IN A DESIGNATED AREA AND COVER FOR PROTECTION FROM EROSION. PROTECTION FROM EROSION INCLUDES COVERING WITH TARPS, STRAW, MULCH, CHIPPED WOOD, VEGETATIVE COVER OR OTHER MEANS NECESSARY. SEE SHEET C-2 AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
2. WATER PERMEABLE SURFACE AREA TABLE CAN BE FOUND WITH LANDSCAPE PLAN. INFORMATION SHALL BE TO BE IN CONFORMANCE WITH THE CITY OF EL GRANADA STANDARDS.
4. CONSTRUCTION MANAGEMENT PLAN, FOUND ON SHEET C-2 SHALL BE FOLLOWED. STORAGE OF HEAVY EQUIPMENT PARKING, VEHICLE TRAFFIC, AND MATERIAL STORAGE SHALL BE LIMITED TO AREAS PLANNED FOR PAVING (A4.106.2.3).
5. ALL DOWN SPOUTS SHALL BE PIPED OR DISCHARGED ON AN IMPERMEABLE SURFACE TO LANDSCAPING, DRY WELL, SUMP, BIO SWALE OR RAIN WATER CAPTURE SYSTEM. A MINIMUM OF 5- FEET AWAY FROM FOUNDATIONS. ALL PIPE SHALL BE 4" PVC SDR 35 PIPE OR EQUAL.

EROSION AND SEDIMENT CONTROL NOTES:

1. STORM DRAIN POLLUTION PREVENTION: PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK BAGS, HAY BALES, TEMPORARY DRAINAGE SWALES, FIBER ROLLS, SILT FENCES, BERMS OR STORM DRAIN INLET FILTERS.
2. THE EXISTING CONCRETE DRIVEWAY SHALL SERVE AS THE STABILIZED CONSTRUCTION ENTRANCE.
3. FIBER ROLL(S) SHALL BE INSTALLED, IF REQUIRED BY CITY, PRIOR TO THE INCEPTION OF ANY WORK ON-SITE, AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED.
4. DRY SWEEPING METHODS SHALL BE USED TO REMOVE ANY DEBRIS AND/ OR SOIL TRACKED ON SAN JUAN AVE. DRY SWEEPING SHALL BE DONE AT THE END OF EACH WORK DAY.
5. THE CONTRACTOR SHALL FOLLOW AND USE BEST MANAGEMENT PRACTICES (BMP) FOR DISCHARGE INTO THE CITY'S STORM WATER SYSTEM DURING SITE STRIPPING, HAULING, EARTH MOVING ACTIVITIES, HEAVY EQUIPMENT OPERATIONS, GENERAL CONSTRUCTION AND SITE SUPERVISION, PAINTING, APPLICATIONS AND USE OF SOLVENTS AND ADHESIVES, LANDSCAPING AND GARDENING.
6. STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
7. ONCE THE PROPOSED ON-SITE DRAINAGE INLETS HAVE BEEN INSTALLED, THE CONTRACTOR SHALL PROTECT ANY BARE SOIL FROM ENTERING THE INLETS BY INSTALLING FILTER FABRIC UNDER THE INLET GRATES. THE FILTER FABRIC SHALL REMAIN UNTIL NATURAL GROUND COVER IS ESTABLISHED.
8. CONTRACTOR SHALL CONTROL DUST AS OFTEN AS REQUIRED BY THE CITY ENGINEER.
9. IF EROSION DEVELOPS IN A TEMPORARY EROSION PROTECTED AREA OR ANY ESTABLISHED VEGETATED AREA, THE CONTRACTOR SHALL IMMEDIATELY ALLEVIATE AND REMEDY THE PROBLEM AND TAKE PREVENTATIVE MEASURES TO MINIMIZE THE POSSIBILITY OF ITS REOCCURRENCE AND ALSO TO PREVENT THE RESULTING FLOW OF SOILS OR WATER WITH SUSPENDED SOILS FROM GETTING INTO THE TOWN'S DRAINAGE SYSTEM OR ANY NATURAL DRAINAGE CHANNEL OR DITCH.
10. CONTRACTOR MAY BE REQUIRED TO SUBMIT A LOGISTICS PLAN TO THE PUBLIC WORKS DEPARTMENT PRIOR TO COMMENCING WORK THAT ADDRESSES ALL IMPACTS TO THE CITY'S RIGHT-OF-WAY, INCLUDING, BUT NOT LIMITED TO: PEDESTRIAN CONTROL, TRAFFIC CONTROL, TRUCK ROUTES, MATERIAL DELIVERIES, CONTRACTOR'S PARKING, CONCRETE POURS, CRANE LIFTS, WORK HOURS, NOISE CONTROL, DUST CONTROL, STORM WATER POLLUTION PREVENTION, CONTRACTOR'S CONTACT, NOTICING OF AFFECTED SURROUNDING PROPERTIES, AND SCHEDULE OF WORK. THE REQUIREMENT TO SUBMIT A LOGISTICS PLAN WILL BE DEPENDANT ON THE NUMBER OF APPLICATIONS PUBLIC WORKS ENGINEERING RECEIVES WITH CLOSE PROXIMITY TO HELP MITIGATE AND CONTROL THE IMPACT TO THE PUBLIC RIGHT-OF-WAY. IF NECESSARY, PUBLIC WORKS MAY REQUIRE A LOGISTICS PLAN DURING CONSTRUCTION.



4 SILT FENCE
NOT TO SCALE



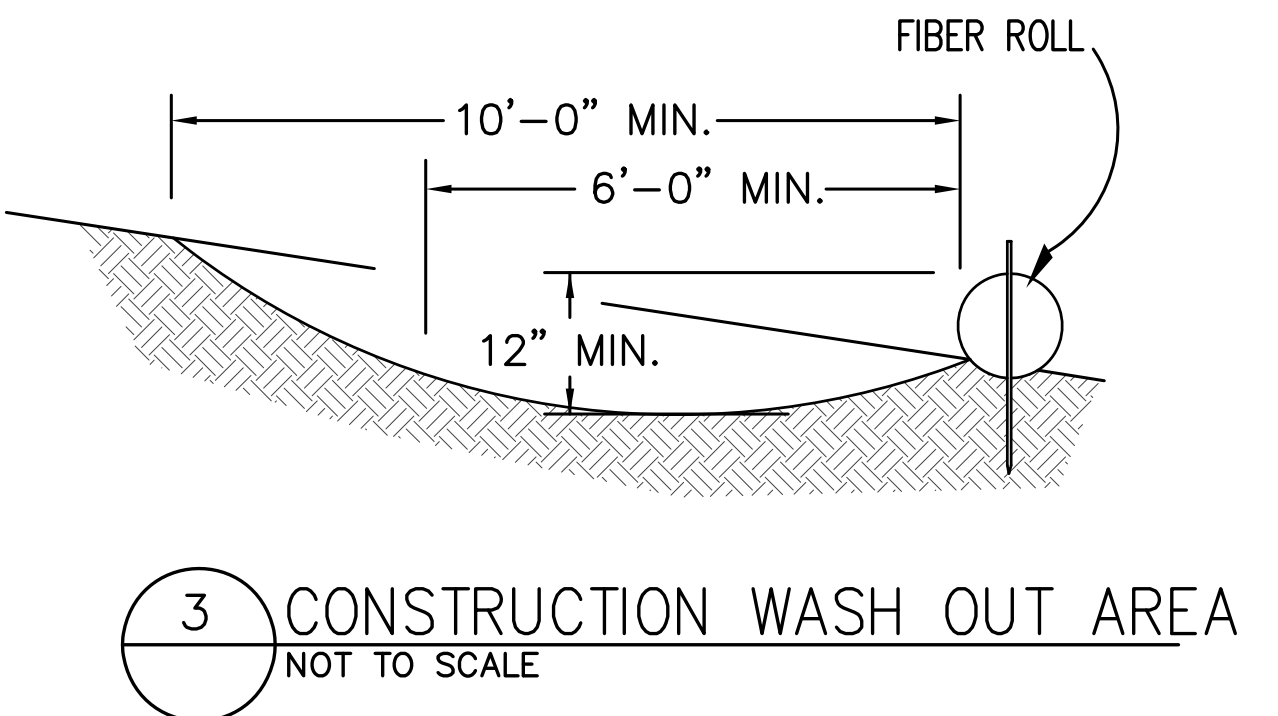
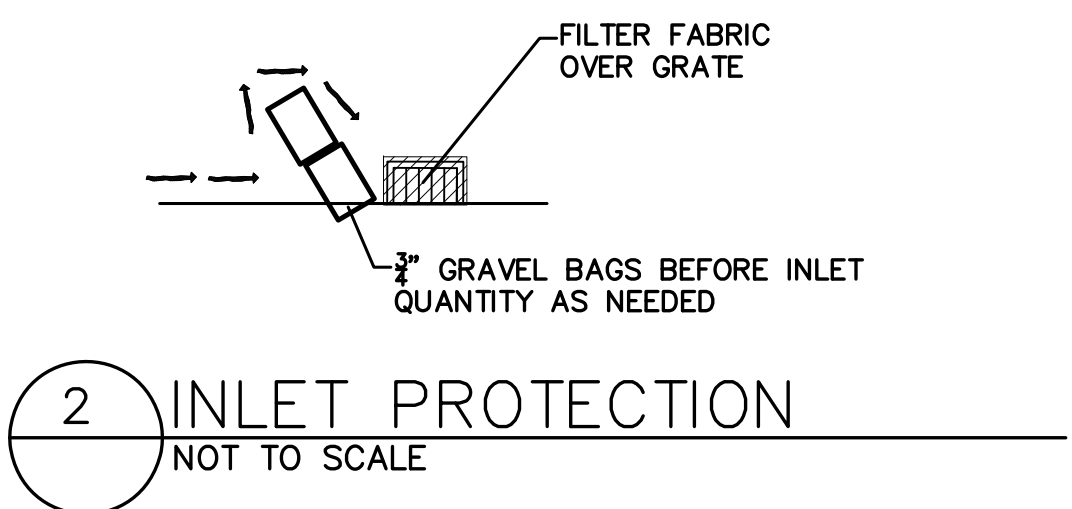
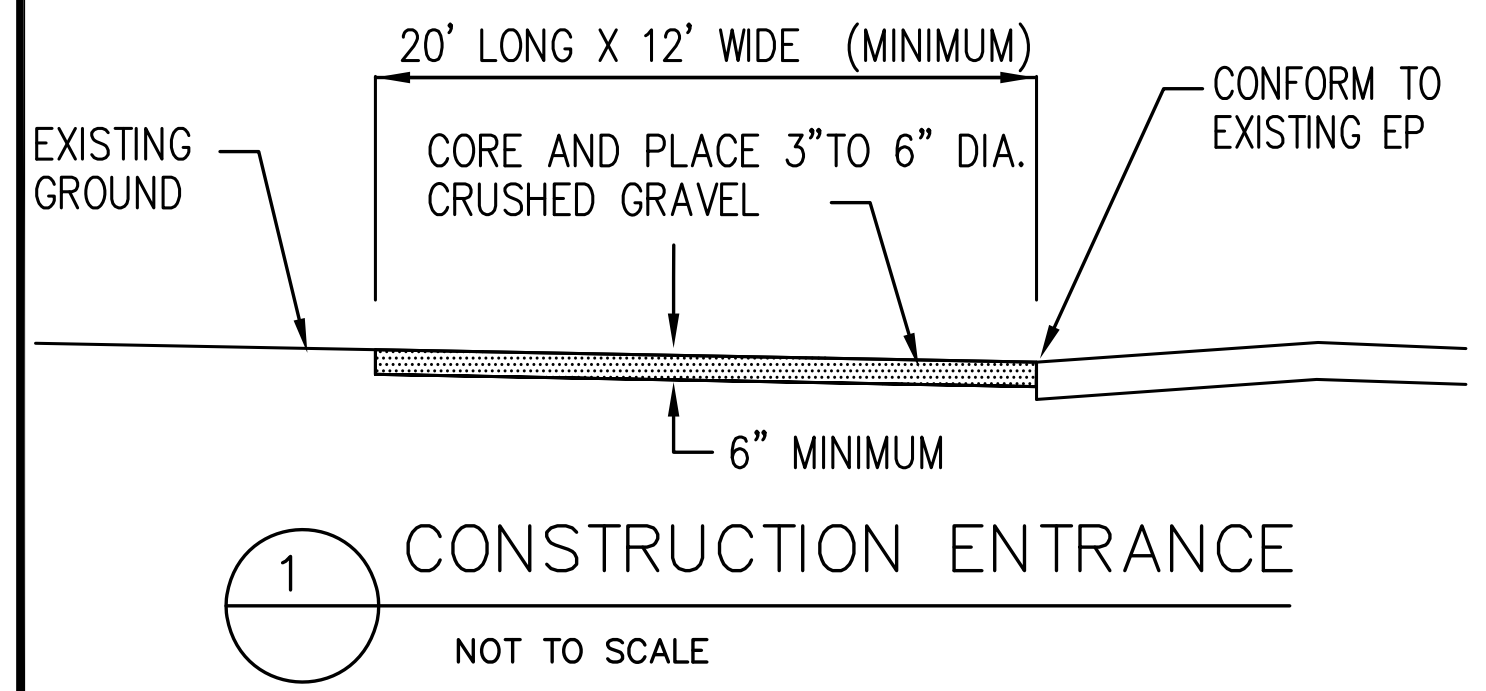
- NOTES:**
1. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3" TO 4" DEEP, DUG ON CONTOUR.
 2. ADJACENT ROLLS SHALL TIGHTLY ABUT.
 3. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.

COUNTY NOTES

- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit construction access routes to stabilized, designated access points.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Construction sites are required to have erosion control materials on-site during the "off-season".
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- Use of plastic sheeting between October 1st and April 30th is not acceptable, unless for use on stockpiles where the stockpile is also protected with fiber rolls containing the base of the stockpile.

C. For Your Reference Only - Erosion Control Policies for Construction Sites:

Project erosion and sediment control measures shall be maintained as necessary throughout the duration of the permit to be effective. If significant field changes are made, revised plans must be submitted for approval. The building inspector has the authority to require additional measures at any time, and may cancel any requested inspection if any measures are found to be deficient. A Stop Work Notice may be issued pursuant to the County's Stormwater Enforcement Response Plan until corrections have been made and applicable fees paid for staff enforcement time. The property owner shall demonstrate via building inspection, that the site is stabilized either with adequate erosion control or landscaping, prior to issuance of the Certificate of Occupancy.



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Professional Engineer
No. 32075
CIVIL
STATE OF CALIFORNIA

NICOLA RESIDENCE
555 SAN JUAN AVENUE
SAN MATEO COUNTY
California
El Granada

CONTENTS:

EROSION & SEDIMENT CONTROL & STAGING PLAN

DATE 03/24/22

SCALE AS NOTED

REVISIONS:
REV. 06/09/22

DRAWN J.G.

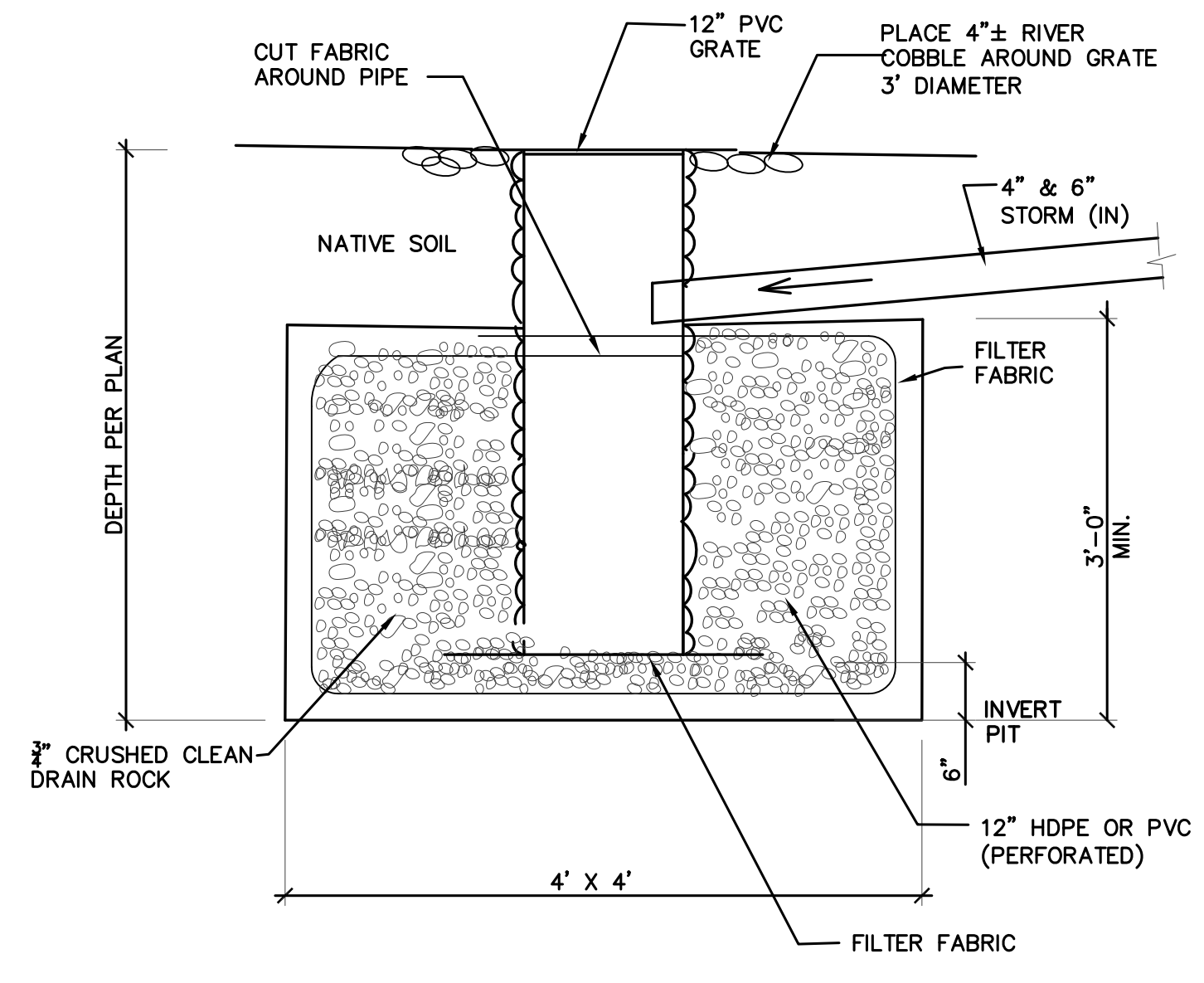
CHECKED C.B.

JOB No. 2022786

SHEET No.

C-2

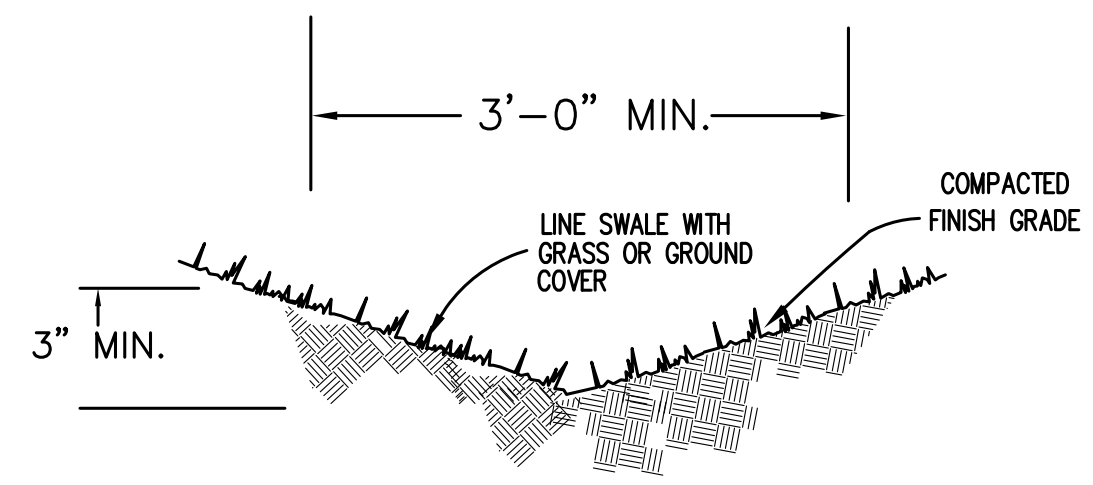
OF 4 SHEETS



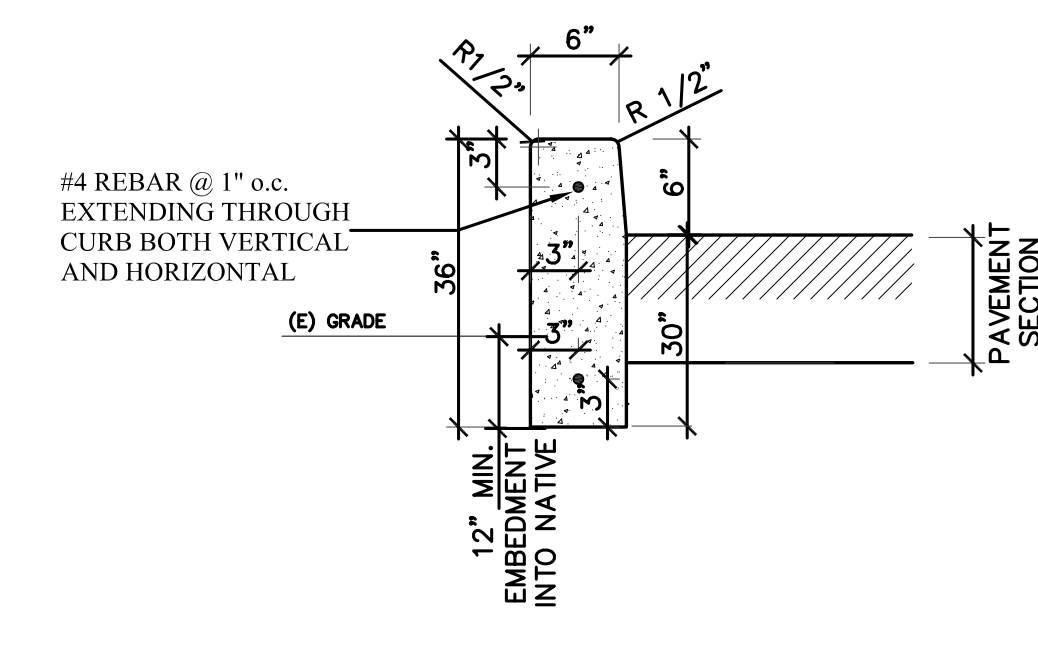
SITE DRAINAGE MAINTENANCE REQUIREMENTS

1. FALL, CLEAN ALL DRAINAGE INLETS AND TRENCH GRATE, AND MOW THE VEGETATION WITHIN THE SIDE YARD VEGETATED SWALES. SEDIMENT REMOVED AND VEGETATION CLIPPINGS SHALL BE DISPOSED OF OFF SITE OR IN TRASH BIN.
2. SPRING, (ONCE A YEAR) REMOVE ALL SEDIMENT BUILD UP IN THE BOTTOM OF BUBBLE PIT. SEDIMENT TO BE DISPOSED OF OFF SITE OR IN TRASH BIN.
3. SPRING, REMOVE ALL SEDIMENT BUILD UP IN ALL DRAIN INLETS AND TRENCH GRATE. DISPOSE OF SEDIMENT OFF SITE OR IN TRASH BIN.

1
C-3
BUBBLE PIT
NOT TO SCALE

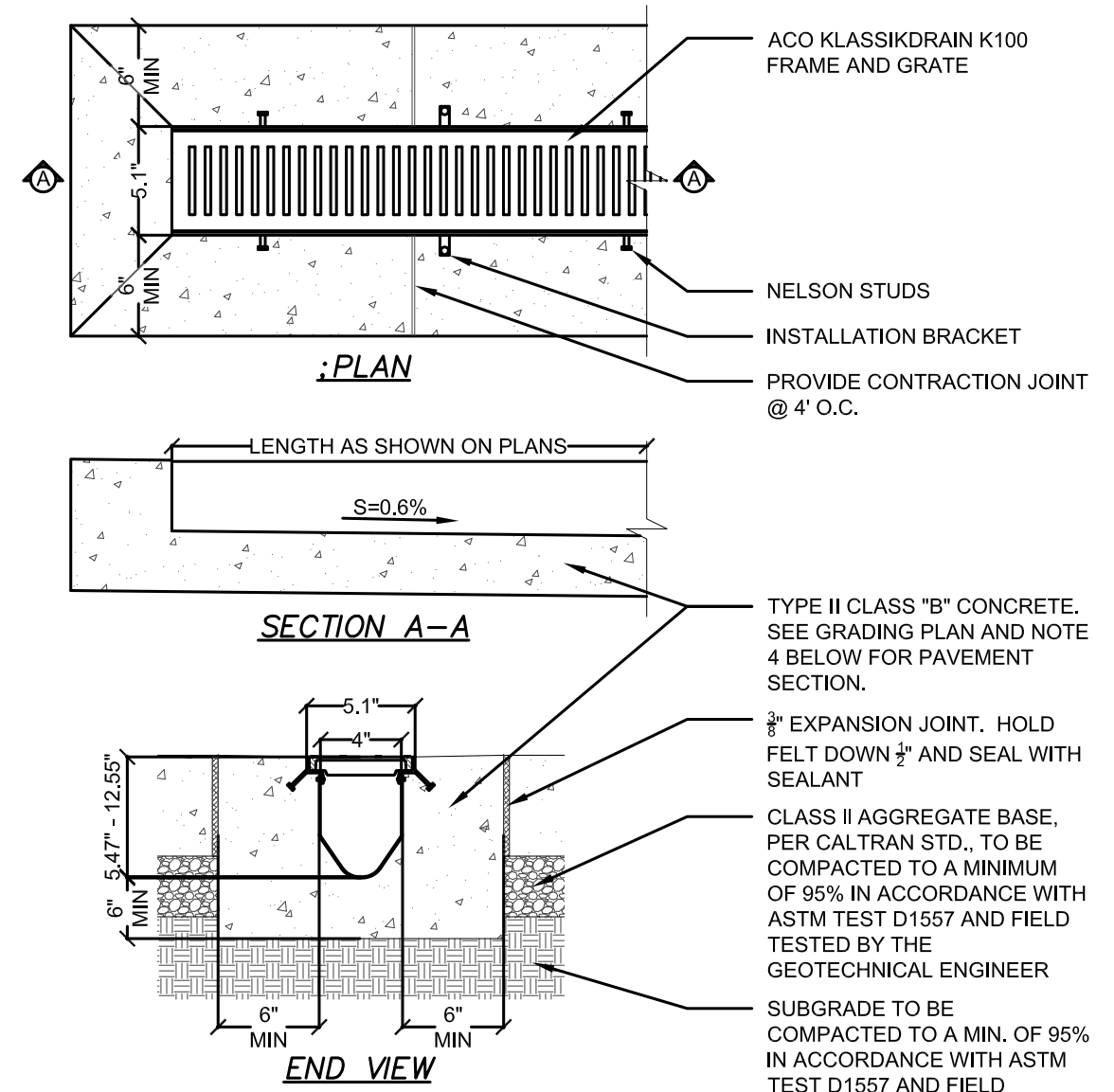


5
C-3
VEGETATED SWALE
NOT TO SCALE



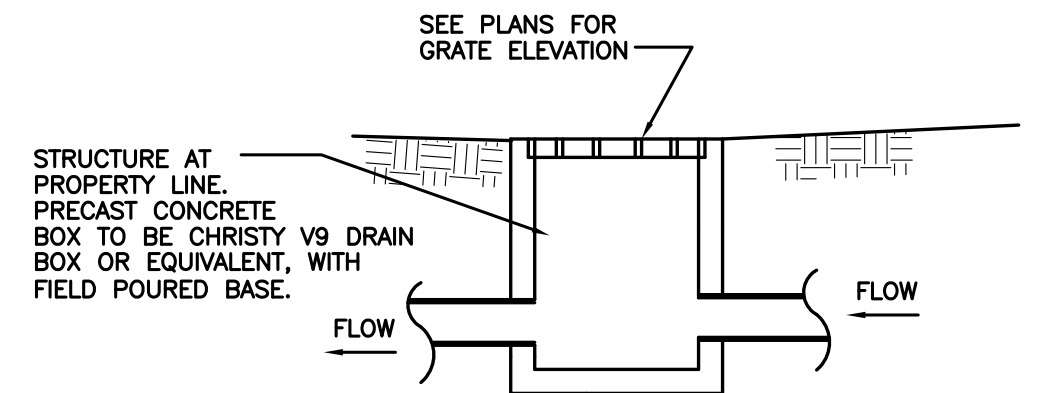
1. PORTLAND CEMENT CONCRETE (P.C.C.) SHALL BE CLASS "A" (6 SACK) AS SPECIFIED IN CALTRANS STANDARD SPECIFICATIONS.
2. BASE THICKNESS SHALL BE 4" COMPACTED CLASS II A.B.
3. EXPANSION JOINTS SHALL BE CONSTRUCTED AT ENDS OF CURB RETURNS, CURB INLETS, OTHER STRUCTURES & AT 20' INTERVALS. JOINTS SHALL MATCH ADJACENT IMPROVEMENTS. DO NOT USE FELT FOR EXPANSION JOINTS.
4. WEAKENED PLANE JOINTS SHALL BE CONSTRUCTED AT 10' INTERVALS.
5. DOWEL & EPOXY TWO (2) #4 BARS 8" INTO EXISTING CONCRETE CURB & GUTTER & 8" INTO NEW.
6. TO UTILIZE PROPER FORMWORK, A 12" SAW-CUT IN THE EXISTING A.C. PAVEMENT (STREET SIDE) IS REQUIRED, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
7. FORMWORK SHALL CONSIST OF A 2" x 10" FORM FOR THE BACK OF CURB, & A 2" x 6" FOR THE FACE OF CURB, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.

7
C-3
CONCRETE CURB
NOT TO SCALE

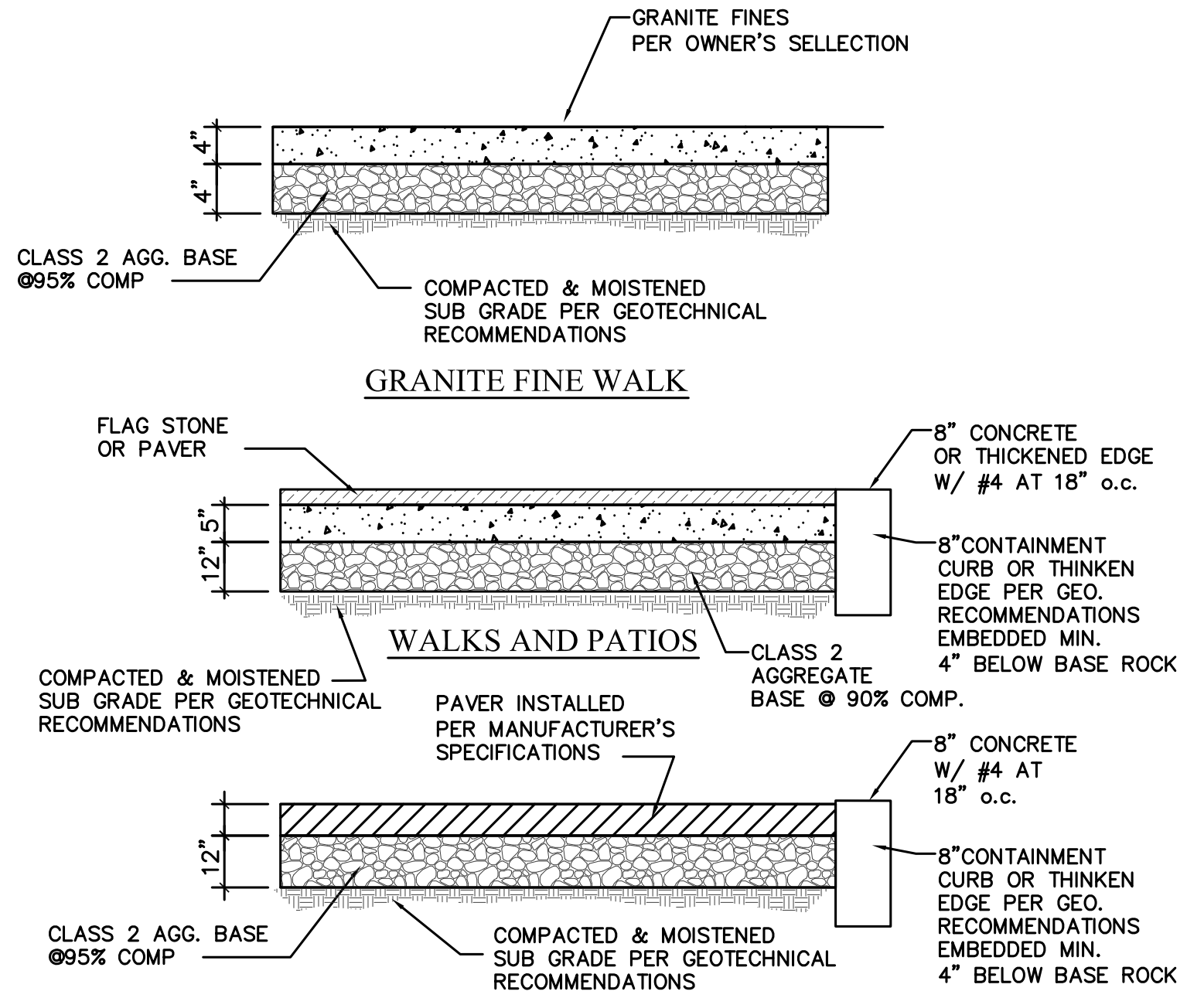


- NOTES:
1. TRENCH DRAIN SYSTEM AND ALL HARDWARE SHALL BE FIBERGLASS FG200 CHANNEL SYSTEM WITH STEEL FRAME AS MANUFACTURED BY ACO POLYMER PRODUCTS, INC.
 2. CHANNEL AND GRATE SHALL WITHSTAND LOADING TO LOAD CLASS B.
 3. THE FINISHED LEVEL OF THE CONCRETE SURROUND MUST BE APPROXIMATELY 1/2" ABOVE THE TOP OF THE CHANNEL EDGE.
 4. CONCRETE BASE THICKNESS TO MATCH SLAB THICKNESS. MINIMUM CONCRETE STRENGTH OF 3000 PSI SHALL BE USED. THE CONCRETE SHOULD BE VIBRATED TO ELIMINATE AIR POCKETS.

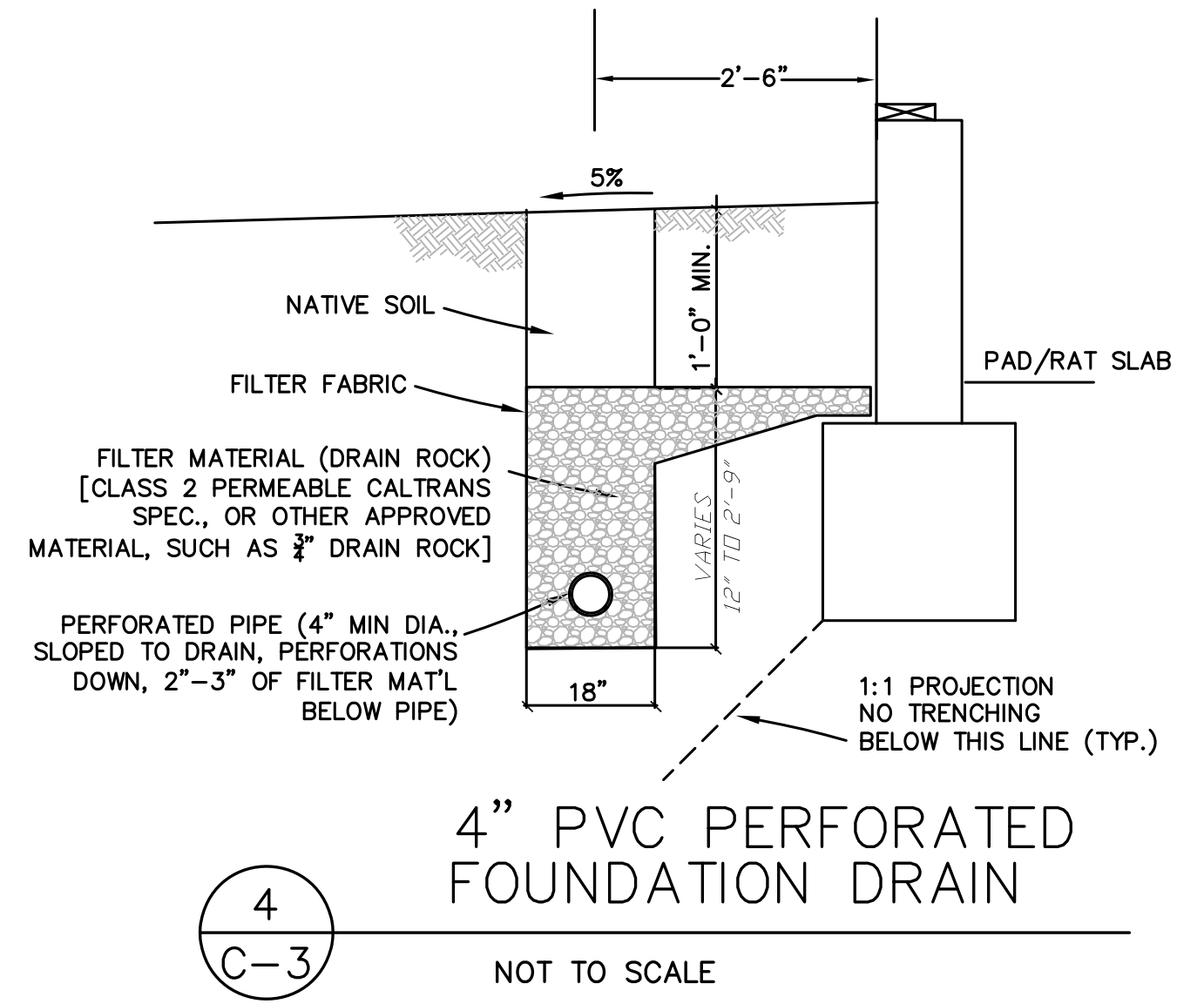
2
C-3
4" TRENCH GRATE
NOT TO SCALE



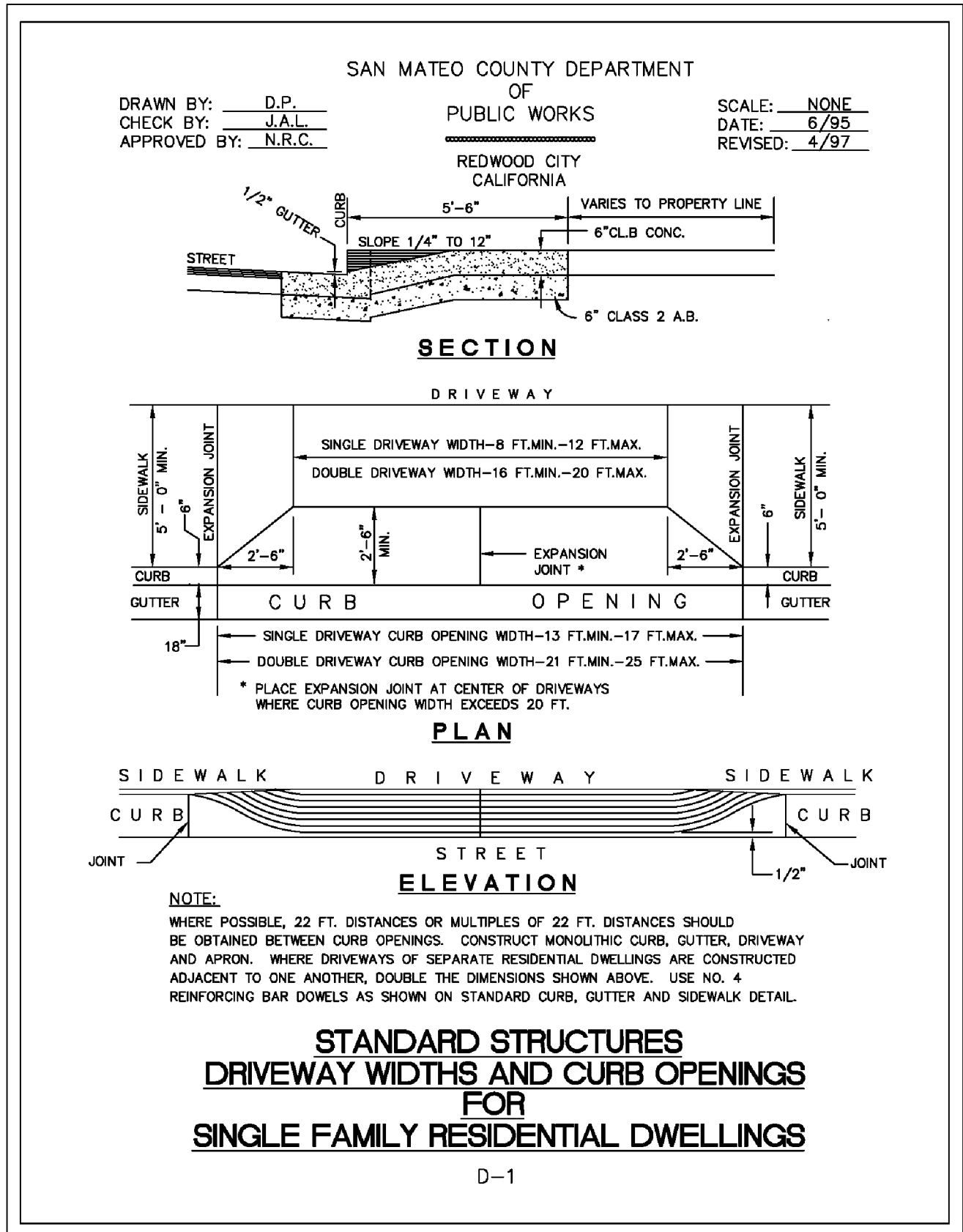
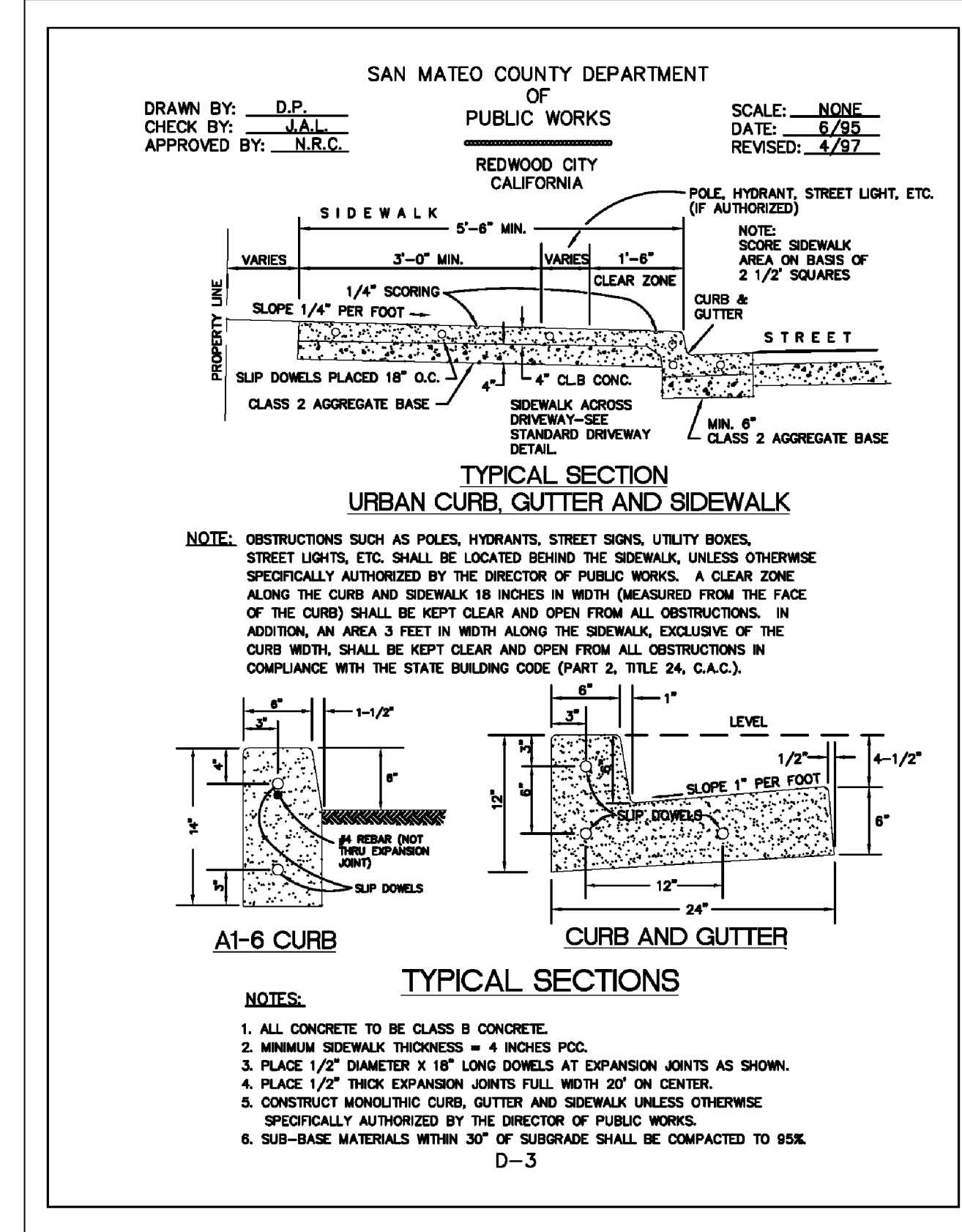
6
C-3
AREA DRAIN
NOT TO SCALE



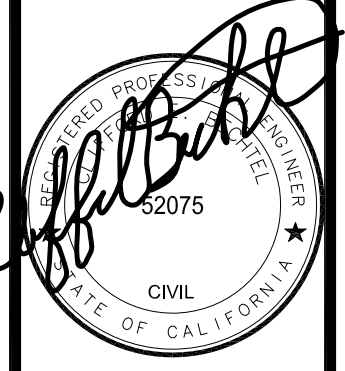
3
C-3
CONCRETE DRIVEWAY AND PARKING PAVEMENT SECTION
NOT TO SCALE



4
C-3
4" PVC PERFORATED FOUNDATION DRAIN
NOT TO SCALE



COUNTY DETAILS
NOT TO SCALE



NICOLA RESIDENCE
555 SAN JUAN AVENUE
SAN MATEO COUNTY

El Granada

CONTENTS:

CIVIL DETAILS

DATE 03/24/22

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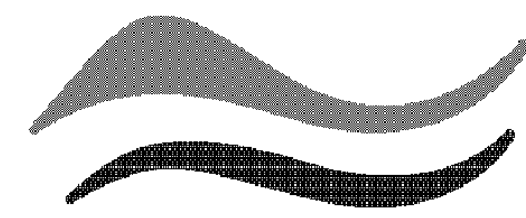
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JOB No. 2022786

SHEET No.

C-3
OF 4 SHEETS

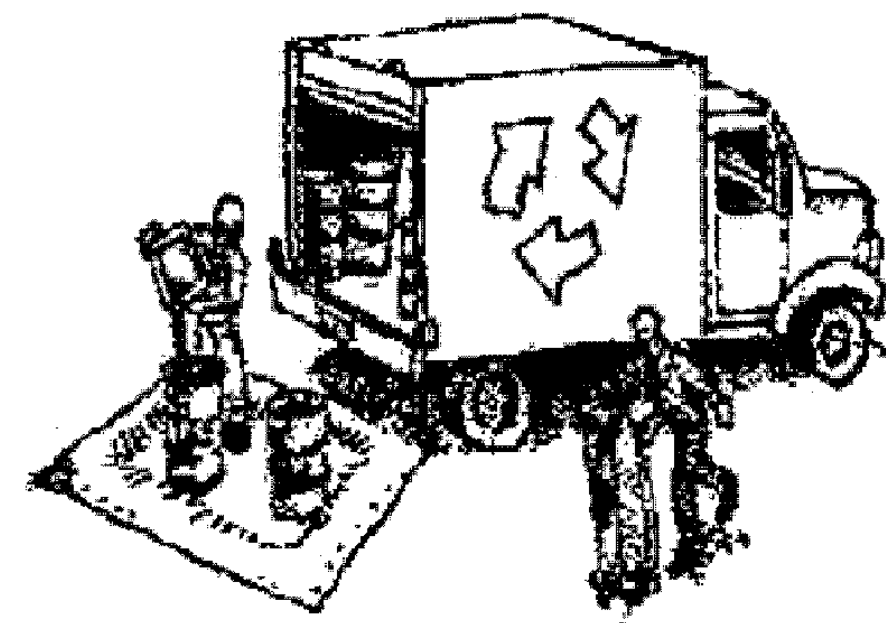


SAN MATEO COUNTYWIDE
**Water Pollution
 Prevention Program**
 Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

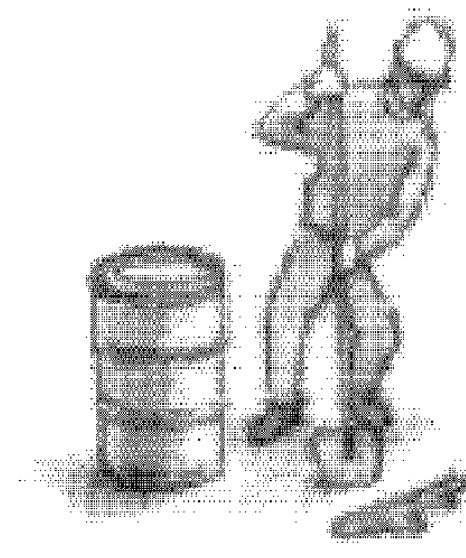
Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



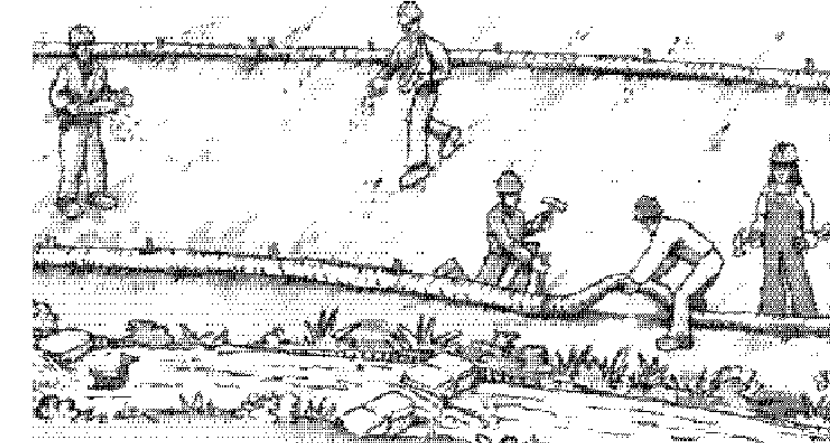
Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work

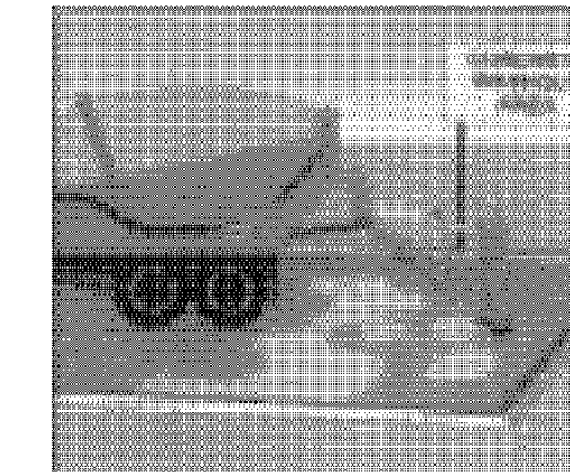


- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



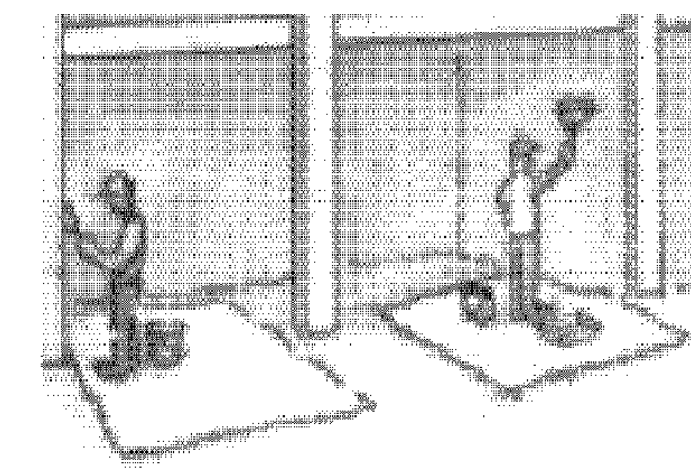
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

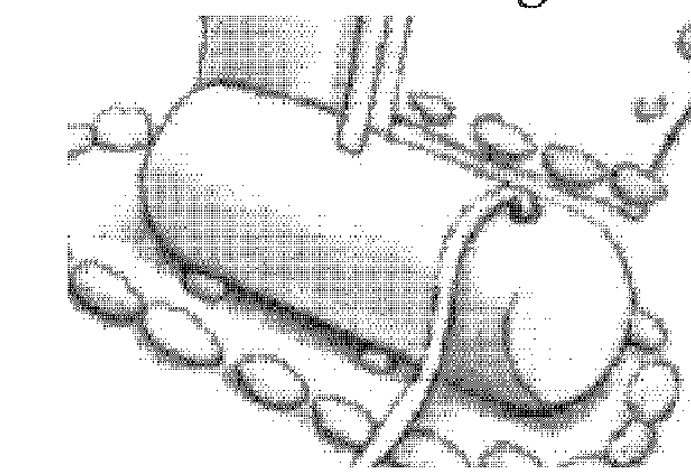
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

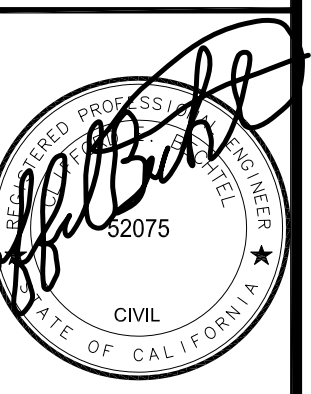
Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

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 cliffbechtel@comcast.net



NICOLA RESIDENCE
 555 SAN JUAN AVENUE
 SAN MATEO COUNTY

El Granada

CONTENTS:
 CONSTRUCTION
 BMP
 CHECKLIST

DATE 03/24/22

SCALE AS NOTED

REVISIONS:
 REV. 06/09/22

DRAWN J.G.

CHECKED C.B.

JOB No. 2022786

SHEET NO.

C-4

OF 4 SHEETS