# Coronado Residence and ADU

130 Coronado Ave, Half Moon Bay, CA 94019 APN: 048-013-890

#### **ABBREVIATIONS**

A/C ADU A.F.F. ALT. AMT. APPROX Air Conditioning Accessory Dwelling Uni Aboce Floor Finish Albernate Amount AVG. BLDG. Building

O.C. O.D. OPNG.

ORIG.

PROJ.

P.S.F.

P.S.I.

P.T.D.F.

RFINE

REQ.

RCHED.

S.C. SECT.

SHWR. SHT. SIM.

SPEC(S

STD.

STL.

STOR. STRUCT.

SYM.

TO.C.B.

TEL.

T&G

THK.

TOIL. T.O.P.

T.O.S.

T.O.W.

UNFIN.

V.T.R.

W.H.

W.R.B.

WSCT.

W/O

**ACRONYMS** 

A.N.S.I.

I.C.B.O.

N.F.P.A.

WOM.

TEMO.

On Center

Original

Quantity

Required

Solid Core

Section

Sheet

Specification(s

Square Feet

Stainless Steel

Standard

Structure

Symbol

Top of Concrete/Curk

Top of Catch Basin

Tongue and Groove

Unless Noted Otherwise

Vinyl Composition Tile

Vent Thru Roof

Water Closet

Water Heater

Wrought Iron

Waterproofing

Wainscot

With

Without

Weather Resistant Barrier

American National Standars

California Building Code

Building Officials

Uniform Fire Code

O.S.H.P.D. Occupational Safety and

National Fire Protection

International Conference of

Top of Pavement

Top of Slab

Top of Wall

Television

Typical

Unfinished

Temperature

Toilet

PLY. WD. Plywood

Outside Diameter

Plastic Laminata

Pounds Per Square Foot

Pounds Per Square Inch

Pressure Treated Dog Flr

BLW/BLKG Block/Blocking Cubic Feet Per Minute C.F.M. CHG. Cast Iron Clear/Clearance CLG. C.M.U. Concrete Masonry Un Concrete Construction

COL. CONC. CONSTR C.O.T.G. Clean Out to Grade CU. FT. Cubic Foot CU. YD D Cubic Yard DBL DEG. DEPT. DIAG. DIA DIM. DIV. D.S. D.W. Double Degree Department Diagonal Dimension

Downspout Dumbwaiter/D Existing EÁ. ELEC. ELEV. ENCL. EQ. EQUIP. Electric Elevation/Eleva Enclouse Equipment EXIST. EXT. F Existing Exterior

F.D. Floor Drain F.G. F.H. FIN. FLR. FLUOR. Finish Grade Fire Hydrant Finish Fluorescence F.O.C. Face of Concrete F.O.F. Face of Finish Face of Masonry F.O.S. Face of Stud F.O.S. Finish Surface Finish Surface FTG. Footing Galvanized

GALV. H.B. HDR. HDRW. Hose Bibb Header Hardware HORIZ. Horizontal Inside Diamet INFO. INSUL. Insulation Interior JAN. JCT. Junction

Lineal Foot LIN. LT. Linear Light LT.WT. Light Weigh MAX. M.B. Machine Bolt Medicine Cabinet MECH. MED. MEZZ. Mezzanine MFR./MFGR. MISC. Miscellaneou MTL

Natural Grade

Not In Contac

Not to Scale

N.I.C.

Building Grid Lines Ceiling Height Window Symbol Window No. 4 New Window

Door No.———— New Door

North Arrow

4——Detail Number A5.1 Page Number

Exterior Elevation

**GENERAL NOTES** 

EXAMINATION OF SITE: The contractor shall thoroughly examine the site and satisfy him/herself as to the conditions under which the work is to be performed. The contractor shall verify at the site all the measurements affecting the work and shall be responsible for the correctness of the same. No extra expense shall be allowed to the Contractor for expenses due to his neglect to examine, or failure to discover, conditions which affect the work. GENERAL OPERATION: the Contractor shall, after

consulting with the Owner, Schedule the work so as not to interfere unduly with the neighbors, etc. Contractor shall allay dust by approved means and minimize noise as much as practical. In no case shall the work interfere with existing streets, drives, walks, passageways, neighbors's property, improvements and the like. Protect all in-place construction in connection with the work. Particular attention is directed to but not limited to, such items as street improvements, curbs and gutters, rough grading lines, etc.

CONTRACTOR USE OF THE PREMISES: Confine operations at the site to areas permitted by law. ordinances, permits, and these Contract Documents. Do not unreasonably encumber premises with materials or Assume all responsibility for protection and safekeeping

of all products stored on the premises. Move any stored products which interfere with the operations of the City or other contractor. Obtain and pay for use of additional storage or work area required for operations.

LIMITS OF WORK: Work zone limits are established on the drawings. All Contractors, Subcontractors, and Tradesman shall coordinate their work with one another within the established limits.

SEQUENCE OF WORK: in the event any special sequencing of the work is required by the Owner, the Contractor shall arrange a conference before any such work is begun. Contractor shall be responsible and liable for deviations from schedule unless delays are the result of failure of the Owner to abide by the Contractor by acts of nature or God. 3. ORDERS: Place orders for material and equipment

immediately on receipt of contract and follow up vigorously to insure adequate and timely supply of work. Perform all tracing and expediting actions and arrange to get workers and subcontractors on job at proper time and avoid delays. MEASUREMENTS: Contractor shall verify all dimensions shown on drawings by taking field measurements; proper fit, and attachment of all parts is required. Before commencing work, check all lines and levels indicated and such other work as has been properly completed. Should there be any discrepancies, immediately report in writing to the Architect for correction or adjustment prior to the commencement of any related work. In the event of the Contractor's failure to do so, the Contractor should be fully and solely responsible for the correction or adjustment of any such related work or

errors. All dimensions take precedence over scale All

dimensions are to face of step, unless otherwise noted, THE

CONTRACTOR SHALL NOT SCALE DRAWINGS RULES AND REGULATIONS: All work and materials shall be in accordance with the latest rules and regulations of the National Board of Underwriters, the latest editions of the National Electrical Code, the National Plumbing Code, latest adopted edition of the California Building Code, all State Title 24 AB. 163 energy Regulations, and all applicable Local

and State Laws and Ordinances. Nothing on the drawings shall be constructed to permit work not conforming to these . The Contractor shall coordinate with the Building Department for all Building department required inspections. 10. The Contractor shall give all notices and/or comply with all

codes, laws, ordinances, rules regulations, and orders of

work and shall notify the Architect if the drawings and

any pertinent public authority bearing on the performance of

specifications are at variance therewith. 11. Solely as a convenience to the Owner and Contractor, the Architect may include documents prepared by certain consultants and/or vendors (or incorporate the recommendations of said consultants and/or vendors into documents prepared by the Architect) within the set documents issued by the architect. It is expressly understood that by such issuance, the Architect assumes no

12. CONSTRUCTION QUALITY: the Contractor shall complete all work to a degree of skill, efficiency and knowledge which is possessed by those of ordinary skill, competency and standing in the particular trade or business for which the Contractor employed in the community. The Construction documents are provided to illustrate the design and general type of construction, material and work commensurate with this type of project throughout.

liability for the services of said consultants and/or vendors.

13. COMPLETE PROJECT: The Contract Documents, including working drawings, specifications and schedules, represent the finished structure. Unless otherwise noted, they do not indicate method of construction. Contractor shall supervise and direct work and shall be solely responsible for all construction means, methods, techniques, sequences, and procedures. Observation visits by the Architect shall not include inspections of protective measure or the construction procedures required for same, which are not specifically detailed on drawings shall be similar to those shown, or those detail existing in the field as they occur. WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED TO PROVIDE A COMPLETE OPERABLE INSTALLATION WITHIN THE SCOPE OF WORK, BUT IS NOT SPECIFICALLY INCLUDED ON THE PLANS, SHALL BE PERFORMED BY THE CONTRACTOR AT NO EXTRA CHARGE.

14. COORDINATION: The General Contractor and each Subcontractor shall be responsible for verification of all field conditions and dimensions PRIOR to commencement of any work. Contractor shall bring any discrepancies to the Architect's and Owner's attention PRIOR to commencing any work. In the event that work commenced with a failure

to notify both the Architect and Owner, the Subcontractor is solely responsible for any and all corrective measures or

errors. 15.NOTES: All plans imply the words "the Contractor shall" or "the Contractor shall install". 16.COOPERATION:

 Contractor and Subcontractors shall coordinate their work with adjacent work and cooperate with other trades so as to facilitate general progress of the work. Each trade shall afford the other trades every reasonable opportunity for installation of their work and storage of their materials. In as much as building completion within the time limit is dependent upon cooperation of those engaged there in. It is required that each contractor lay out / install his work in a time and manner not to delay or interfere with carrying forward other contractor's work.

17. CHANGES: Any proposed changes in the construction should be made to the Architect IN WRITING OR IN DRAWINGS. All changes should be reviewed by the Architect, approved by the Owner, Contractor, Architect and by the Building Official as required.

18. Any revision or additional work required by field conditions or local governing authorities shall be brought to the

attention of the Architect before proceeding.

19. This set of Plans is to be on the Job Site at all times during construction. All work shall be in accordance with the approved plans. NO changes or revisions to the approved plans or specifications shall be permitted unless submitted to and approved by the Building Department. The issuance of a permit shall nor prevent the Building Department from requiring the correction of Errors or Omissions from the approved plans and specifications.

20.the issuance or granting of a permit or approval of plans, specifications and computations shall not be construed to be a permit for or an approval of, any violations of any of the codes or of any other ordinance of this jurisdiction. Permits presuming to give permission to violate or cancel the provisions of this code, or other ordinances of the jurisdiction, shall nor be valid.

21. These notes apply to all drawings unless otherwise noted or shown. Features of construction shown are typical and shall apply generally throughout similar conditions. Unless otherwise noted, all closets, recesses, columns, projections or other adjacent areas or work within the scheduled areas shall have finishes as scheduled for the respective spaces in which they occur. All omissions or conflicts between the various elements of the working drawings and/or notes shall be brought to the attention of the Architect prior to proceeding with the work involved.

22.OWNERSHIP AND USE OF DOCUMENTS: All drawings, specifications, and their content, and copies, there of furnished by Karen Wilkins and shall remain the property of Karen Wilkins.

23. Anyone supplying labor and/or materials to the project shall carefully examine all subsurfaces to receive work. Any conditions detrimental to the work shall be reported in writing

to the Contractor prior to beginning work. Commencement of work should imply acceptance of all sub-surfaces. 24. The contractor shall be responsible for obtaining and paying

for all special permits and licenses indicated on the plans and/or by specifications or required by the soils report and/or required by any government agency. The Contractor may need to obtain permits that may include but are not limited to, penetration fire stop systems, fire-resistant joint systems, automatic sprinkler systems, standpipe systems, manual fire alarm systems, emergency and stand by power systems, and door hardware schedules

25. Site address is to be clearly marked in field in such a position as to b plainly visible and legible from the street or road fronting the property.

26. Work in public right-of-way requires an "Encroachment Permit" from the Public Works Department.

27. All Contractors and Subcontractors must have on file with the Building Department, a list of all such Contractors and Subcontractors with the appropriate current City Business License Numbers.

28. The permits shall expire by limitation if work authorized under permit is not commenced within 180 days of the issuance or if the work is suspended for a period exceeding

180 days after the work has commenced. 29. Upon completion of the project, new spaces shall be cleaned and put in working order prior to occupancy

30. An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings. Section R313.2.

31. This project is not within a noise critical area (CNEL contour of 60 db) as shown on the general plan. 32. This project is not within a noise critical area (CNEL contour

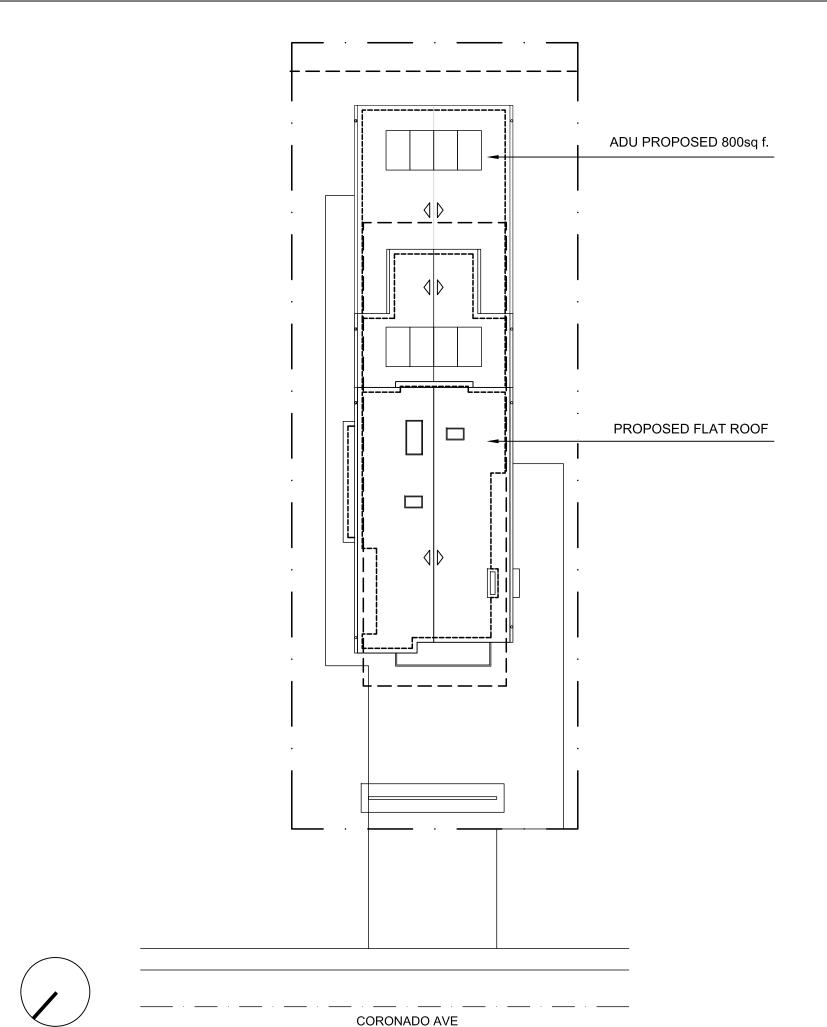
of 60 dB) as shown on the General Plan. 33. Prior to final inspection the licensed contractor, architect or engineer in responsible charge of the overall construction must provide to the building department official written

verification that all applicable provisions from the Green Building Standards Code have been implemented as part of the construction. CGC 102.3. 34. Compliance with the documentation requirements of the

2019 Energy Efficiency Standards is necessary for this project. Registered, signed, and dated copies of the appropriate CF1R, CF2R, and CF3R forms shall be made available at necessary intervals for Building Inspector review. Final completed forms will be available for the building owner.

35. Project is 100% electric, no gas.

Allowable Height Diagram



#### Project Data

New 3 story 2,111.56 Project Description: Sq Ft single family Residence with an 800 Sq ft ADU Project Address: 130 Coronado Ave Half Moon Bay, CA

94019

4,401.31 Sq Ft

Assessor's Parcel Number: 048-013-890 R-3 Occupancy Group: Construction Type: Stories: Zoning:

1,507.57 Sq Ft House Footprint: Area ADU: 800 Sq Ft 310.51 Sq Ft Area First Floor: 410 Sq Ft Area Garage: 910.59 Sq Ft Area 2nd Floor: Area Deck 2nd Floor: 71.40 Sq Ft Area 3rd Floor: 478.26 Sq Ft Area Deck 3rd Floor: 49.82 Sq Ft Total Area (1st, 2nd, 3rd floors): 1,699.36 Sq Ft

FAR calculation:

FAR:

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Diagram & Grounding Detail P1-0 Water Supply Plan P2-0 Drainage Floor Plan

Regulating Codes

2019 California Building Code Volumes 1 & 2 2019 California Mechanical Code 2019 California Plumbing Code 2019 California electrical Code 2019 California Existing Buildings

2019 California Fire Code 2019 California energy Code 2019 California Green Building Standards Code

# Site Drainage Notes

North Arrow

The ground imediately adjacent to the foundation shall be sloped away from the building at a slope of not less than one unit vertical in 20 units horizontal for a minimum distance of 10 feet measured perpendicular to the face of the wall if physical obstructions or lot lines prohibit 10 feet of horizontal distance, a 5 percent slope shall be provided to an approved alternative method of diverting water away from the foundation. Swales used for this purpose shall be sloped a minimum of 2 percent located within 10 feet of the building foundation, impervious surfaces within 10 feet of the building foundation shall be sloped a minimum of 2 percent away from the building.

# Operation and Manintenance Manual

Operation and Maintenance Manual Shall be provided to the owners in accordance to residential mandatory measures 4.410.1

# **Deferred Submittal**

- Deferred submittal for fire Alarm, sprinkler & Fire Suppression System Plan is required and submit to Building and Safety for review and approval prior to installation City of Manteca
- Deferred submittal for Solar Panels, assembly to be submitted to the Building Department for review and approval prior to installation.

# Wilkins Studio

San Francisco CA (415)273-9054



Wilkins Studio Architects Contract; Karen Wilkins, AIA 785 Quintana Rd # 180 Morro Bay, CA 93442 (415) 273-9054

Paul McGregor 130 Coronado Ave, Half Moon Bay, CA 94019

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Description Date Submittal Plan Check

> G1-0 Scale: As Noted

Cover

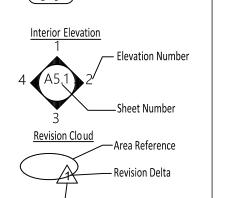
✓ Room Name —Square Footage -Section Number

Lot size:

— Revision Delta Revision Delta Number

**Aerial View** 

 Elevation Number —Sheet Numbe







Vicinity Map

47.92%

2,109.36 / 4,401.31





comply may cause delay, and/or additional expenses. An approved Seismic Gas Shutoff Valve be installed on the fuel gas line on the down-stream side of the utility meter and benignly

Provide ultra-low Flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water

connected to the exterior or the building structure containing the

fuel grasping. (Per ordinance 170.158( ( It includes Commercial

additions TI work over \$10,000.) Separate plumbing permit is

- Provide 70" high non-absorbent wall adjacent to shower and approved shatter-resistant materials for shower enclosure (1115 B 2406.3(5).
- Water heater must be strapped to wall (sec. 507.3, UPC). 6. If applicable, Ducts in a private garage and ducts penetrating the walls and ceiling separating the dwelling unit from the garage shall be constructed of a minimum 0.019-inch (0.48MM) sheet steel and shall have no openings into the garage.
- If applicable, A copy of the jurisdictional research report and/or conditions of other listings shall be made available at the job site. In the event the Owner, the Owner's contractors or
- subcontractors, or anyone for whom the owner is legally liable and allows commencement of construction prior to obtaining a PERMIT from the jurisdiction, Owner shall assume full responsibility for the results of such construction. Therefore, the Owner agrees to waive any claim against the Architect and to release Karen Wilkins from any liability directly or indirectly from such construction. In addition, the Owner agrees, to the highest extent permitted by law to hold harmless the Architect from any damages, liabilities or costs, including reasonable attorneys fees and cost of defense arising from such damages.
- . In addition, the Owner agrees, in any contracts or construction, appropriate language that prohibits the contractor or any subcontractors of any tier, from making copies of the Architect's construction documents without the prior written approval of Karen Wilkins and that further requires the Contractor to indemnify both Architect and the Owner from any liability or cost arising from such changes made without such proper
- 10. If the project is not built per Architect's plans and specifications in any means, the Owner agrees to waive any claims against the Architect and to release the Architect from any liability for the referenced plans
- 11. It is understood that the Architect will NOT provide design and construction services related to safety measures of any contractor or subcontractor on the project. Further, it is understood that Architect will NOT provide any supervisory services relating to the construction for the project. Any opinions solicited from Architect relating to any such review or supervisory services shall be considered only as general information and shall not be the basis for any claim against Architect.
- 12. The Owner shall contract an independent inspection and testing agency to review the materials, methods, and means of construction in relation to waterproofing and sound compliance. Architect will provide input into the selection of these consultants, but they will be retained by and report to the Owner.
- in full compliance with the plans and specifications prepared by Architect and must repair any substandard faulty or failing work. 14. Plumbing fixtures are required to be connected to a sanitary
- sewer or to an approved sewage disposal system (R306.3). 15. Kitchen sinks, lavatories, bathtubs, showers, bidets, laundry tubs, and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply (R306.4).
- 16. Bathtub and shower floors, walls above bathtubs with a shower head and shower compartments shall be finished with a non-absorbent surface, Such wall surfaces shall extend to a height of not less than 6 feet above the door. (R307.2).
- 17. Automatic garage Door openers, if provided, shall be listed in accordance with UL325.
- 18. Smoke detectors shall be provided for all dwelling units intended for human occupancy where a permit is required for alterations, repair, or additions. (R314.2).
- 19. Where a permit is required for alterations, repairs or additions, existing dwellings or sleeping units that have attached garages or fuel burning appliances shall be provided with a carbon monoxide alarm in accordance with Section R315.1. Carbon monoxide alarms shall only be required in the specific dwelling,
- 20. Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section R303.1 or shall be provided with artificial light that is adequate to provide an average illumination of 6 foot-candles over the area of a room at a height of 30 inches above the floor level. (R303.1)

unit, or sleeping unit for which the permit was obtained. (RJ15.2).

- 21. Buildings shall have approved address numbers, building numbers, or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. (R319).
- 22. Unit skylights shall be labeled by jurisdictional Approved labeling Agency. Such labels shall state the approved labeling agency name, product designation and performance grade rating. Research report not required) (R308.69). 23. If Applicable, Provide anti-graffiti finish within the first 9 feet,
- measured from grade, at street exposed walls. 24. Protection of wood and wood-based products from decay shall be provided in the locations specified per Section R317.1, by the use of naturally durable wood or wood that is preservative-treated, in accordance with AWPA U1 for the
- species, product, preservative and end use. Preservatives shall be listed in Section 4 of AWPA U1. 25. Provide ultra-low flush water closets for all new construction.
- **GENERAL CONSTRUCTION NOTES** The general contractor shall furnish all labor materials,
- equipment and other items necessary for the completion of all work shown, called for, or reasonably implied by the contract documents except where specifically noted otherwise where work or equipment is indicated "NIC", such work or equipment shall be provided by others, the general contractor shall
- coordinate and cooperate to effect such installation. the general contractor shall carefully examine the site to satisfy himself as to existing conditions, prior to submitting his bid. No claim will be allowed on the bases if his lack of knowledge of existing conditions and of problems arising there from. The general contractor shall review all drawings and specifications to obtain first-hand knowledge of all conditions prior to signing the contract. If found necessary, the general contractors shall requires additional information, clarification, and details to fully understand the project and scope of work.

3. The general contractor shall verify all dimensions and conditions of the project prior to commencing work and shall report any discrepancies, inconsistencies, errors and/or omissions to the

Architect and the Owner. All requests for clarifications of these

drawings shall be directed to the Architect in writing. Site plan

adjacent street. While this site plan is believed to be correct, the

Architect assumes no liability for any discrepancy occurring on

the drawings by reasons of reliance on the owner's or engineer's

documents. All dimensions locating the buildings within the

property lines must be verified with civil engineer or surveyor

shall apply where specific details (or sections) are not given.

dimensions are nominal and are to the face of objects unless

The contract drawings and specifications represent the finished

project. They do not indicate the method of construction. The

responsible for all construction means, methods, techniques,

sequences and procedures. The contractor shall provide all

Such measures shall include, but are not limited to, bracing,

shoring, shoring for loads due to construction equipment etc.

The Architect is not responsible for the performance of the

noted shall be brought to the attention of the Architect and

prefabricated items shall be delivered to the job site complete

Reference to any detail or drawing is for convenience only and

specifications or only in a detail, then that information shall be

All work shall conform to the minimum standards of the current

edition of CBC and or CRC. All other regulating codes and

between these documents and any applicable codes by the

approve/disapprove project construction and correctness of all

11. Each sub-contractor is considered a specialist in his respective

work) notify the general contractor or the owner of any work

the work. Details shall be the same as for other similar first-class

work for the trade involved. The owner and Architect shall be

immediately notified of any alternate non-standard or untested

all utilities required to support the work, including temporary and

and ready to install. Assemblies shall be erected rigidly,

information is noted only on the plans or only on the

valid as if noted on all above mentioned locations.

field inspector for such agency has final authority to

guaranteed or constructed as designed or detailed.

14. The general contractor shall determine locations of utility

services in the area, prior to any excavation for work. The

general contractor shall also verify any and all utility locations

specified or otherwise noted on the drawings. The general

underground and overhead utilities. Contractors must call 811 for

the contractor for the entire course of construction. Damages or

stolen materials shall be replaced by the general contractor at no

cost to the owner. All materials shall be securely stored and kept

Lead time for materials and equipment is the responsibility of the

complete the project, whether or not mentioned or described in

Substitutions/ alternatives may be permitted when approved by

19. When the work "provided" is used, it shall mean that such item or

. The general contractor and applicable subcontractors are

responsible for and will replace, any damaged or defective

equipment or work before final acceptance by the owner.

21. Project plan check fee and initial permit fee is the responsibility

22. The general contractor is responsible for site and structure

service referred to shall be furnished and installed or that the

owner shall be furnished an alternative for their approval prior to

of the owner. Subsequent permits, tests, and inspections are the

clean-up. The general contractor assumes sole and complete

responsibility) during the course of construction of the project

requirement shall apply for and not be limited to normal working

owner, building tenant and the Architect harmless from any and

all liabilities real or alleged in connection with the performance of

the work on the project during course of construction and after

23. All contractors and sub-contractors shall perform all work on this

project in compliance with the occupational safety and health

regulations of the U.S. department of Labor and the state of

24. Where shop drawings are requested, there shall be submitted to

approving and submitting shop drawings and samples, the

general contractor thereby represents that he has determined

and verified all field measurements, field construction criteria,

materials, catalog numbers and similar data, and that he has

checked and coordinated each shop drawing and sample with

project construction documents shall NOT be made without the

the requirements of the work and of the contract documents.

25. Changes to contract documents: alterations or deviations to the

26. Contractors and sub-contractors shall verify with owner any

written approval of the owner and the Architect.

the Architect 3 copies for her record and the owner's record. By

responsibility for the job site conditions (should there be no

general contractor for the project the owner assumes this

including safety for all persons and property and that this

hours. The contractor shall defend, indemnify and hold the

these specifications and allied documents, shall be provided.

general contractor and all subcontractors to order materials,

equipment, etc. sufficiently in advance to assure timely

18. Trade names and manufacturers referred to are primarily to

establish quality standards and character of materials.

17. Miscellaneous items of work and materials necessary to

contractor is responsible for the protection of an existing

15. All delivered and in-place materials remain the responsibility of

secured, plumbed, level and aligned true.

Observation visits to the site by the Architect does not include

general contractor or subcontractors, their errors or omissions

contractor shall supervise and direct the work and shall be solely

measures necessary to protect the structure during construction.

Do not scale the drawings. All dimensions specified govern

specifically noted otherwise.

observation of the above items.

Owner immediately

code related items.

method(s) proposed.

existing utility locations.

dry before installation.

construction and/or installation

the Architect and Owner.

completion.

California.

purchase, fabrication, or construction.

responsibility of the general contractor.

prior to construction. Dimensions, grades, and details shall be

verified prior to commencement of construction. Typical details

dimensions and bearings are to aid in locating the proposed

development in reference to the property lines and to any

- The liability insurance required for all contractors and law, and shall include contractual liability insurances.
- Work shall not commence under this contract until insurances have been obtained and such insurance has been approved by the owner. If contractor/subcontractor, fail to furnish such required
- amounts due under the contract. • The owner will maintain his own liability insurance. The owner
- insurance required. The policy shall cover all work shall be made payable to the parties as their respective and all similar items not otherwise covered shall be the responsibility of the contractor.
- 27. When applicable contractor shall furnish and maintain protection, fencing and all other required barricades, guardrails, warning signs, steps, lights and all other forms of protection for life, and property as may be necessary and as required by local ordinances and agencies nor the safety at the job site. Any non-conforming items found or
- 28. Contractor shall provide dust control throughout entire construction period consisting of intermittent watering and sprinkling as necessary lay dust during construction. All work shall be done in accordance with the highest quality of industry standards and the standards referenced herein. All
  - service for the use of the owner and authorized agents, on the designated property only. 30. Each trade shall be responsible for knowledge of relative information contained in these documents and the conditions
  - 31. Deviations from these documents necessitated by field Architect immediately.
  - supplementary to the various drawings. Should there be any the attention of the owner and Architect for clarification.
  - The contractor shall coordinate with the owners representative for installation of special manufacturing equipment not shown in these drawings. The contractor shall verify equipment locations with the owner's representative and/or equipment prior to forming the slab, for proper size and location of foundation depressions, drains and wraps.
- The contractor shall consult the electrical, mechanical, and field/trade and shall (prior to submission of bid or performance of plumbing drawings and all other drawings for the location of all sleeves needed through wall and floor slabs. Consult with the called out in the drawings or specifications which cannot be fully Architect should any sleeves not noted on the plans be required. 35. Miscellaneous signage shall be under a separate contract, Where construction details are not shown or noted for any part of
  - 36. Unless otherwise noted, stated manufacturer's items are to be "or equal". Contractor shall verify substitutions with the owner prior to bid and/or installation
  - removed, shall be maintained as such and retuned as per owner's instructions 38. It shall be the sole duty and responsibility of the contractor to
  - determine means and methods of construction and fabricate and install the work with accepted good practice and procedures and 65. Substitute products shall not be ordered or installed without to let the Architect know at the time of bidding if the drawings and details are not practical or structurally sound in their intent and
  - 39. Contractor shall be responsible for installation of all equipment support of such equipment.
  - 40. All materials provided shall conform to all applicable local, city, state, federal and/or county codes, ordinances and fire regulations. Certificates, and approved fire - retardant flame spread ratings, etc. be obtained and included in the general contractor's submittals
  - 42. Plumbing shall comply with applicable plumbing codes.
  - 43. Provide ventilation according to applicable mechanical code. mechanical engineer.
  - accumulation of waste materials or rubbish caused by their operations. At the completion of the work, he shall clean all glass, walls, and door surfaces, and vacuum all floor surfaces. 45. Contractor shall provide trash dumpster as required for all
  - contract with the owner. 46. the contractor shall be responsible for providing temporary
  - 47. The contractor shall note that there shall be no substitutions for the substitute shall be by the judgement and approval of the Architect and the owner, and all request shall be made prior to sheets or samples and/or (1) reproducible original of drawings for all requested substitution of materials, hardware, millwork, glass partitions, ceiling systems, plumbing fixtures, etc., to the
  - Architect for approval. 48. General contractor or his subcontractors shall be responsible for verification and approvals of substitute materials as requested by
  - 49. brochures of all equipment and furnishings as well as all finish without specific request prior to purchase and installation.
  - 51. If the contractor claims that instructions from the architect and/o and in any event before proceeding to execute the work. No
  - 52. Owner reserves the right to provide and install furnishing, fixtures

- modifications or additions to the following minimum insurance
- requirements subcontractors shall be written, and whatever is required by
- insurance, the owner may secure insurance and retain and deduct the amount of premiums for such insurance from any
- will also maintain property insurance to the full insurable value thereof. However, there shall be no duty on the part of the owner to procure such insurance until five days after receipt or written notice by the contractor to the owner of the amount of incorporated in the building, and all materials for incorporation into the building which may be in or about the premises, and interest may appear. Fire insurance for the protection of the contractor's buildings, materials nor otherwise covered by insurance of the owner, tools and equipment of the contractor
- 29. These drawings and copies thereof are legal instruments of
- under which each trade will be expected to perform. does not limit the application of such drawing or detail. If certain conditions shall be brought to the attention of the owner and the
- The structural, mechanical, plumbing, and electrical drawings are discrepancy between the various drawing, it shall be brought to agencies having jurisdiction over the work shall be complied with.
- The Architect shall be immediately notified of any discrepancies agent involved with the governing agency having jurisdiction. the
  - unless otherwise noted.
- 13. The Owner shall use its best efforts to properly construct project 13. The general contractor is responsible for appropriate hook-up of 37. All equipment and material which is in operating condition when

  - including water heater and all mounting, seismic bracing, and

  - 41. Electrical service, wiring, etc. shall comply with applicable
  - Complete air change every fifteen minutes, or as specified by the 44. The contractor shall keep the premises free from the daily

  - participating trades to use, in cluding those trades with a direct

utilities (power, lighting, water and restroom facilities) to the job

- site for use by all construction trades any material where specific manufacturers are specified. Where approved equal or equivalent is used, it shall be understood that installation. Contractor shall submit 3 sets of manufacturer's cut
- material samples as required, shall be submitted to the Architect 50. Contractor to provide schedule for performance and date of
- completion of all work. owner involve extra cost under this contract, he shall five written notice there of within 5 days after the receipt of such instructions, such claim shall be valid unless so made.
- and equipment which shall require coordination by the contractor for support items such as mechanical and electrical provisions for owner's equipment. Contractor shall coordinate the following, but not limited to:
- Coordinate schedule and work of the various equipment to assure efficient and orderly sequence of installation of interdependent construction elements.

- GENERAL NOTES
- of equipment are compatible with building utilities. 79. If the project is not built per Architect's plans and specifications in Coordinate work of the various equipment for any means, the Owner agrees to waive any claim against the installing, connection to and placing in service Architect and to release the Architect from any liability for the such equipment. reference project

54. Notify the Architect in writing, at time of submission, of any

55. Begin no fabrication or work which requires submittals until

56. Except when specifically indicated or specified, materials and

a. Use special care in removal, handing, storage,

Arrange for transportation and handling of

and reinstallation, to assure proper function in the

materials and equipment which require off-site

restoration or renovation. Pay all cost for such

reinstall all finished materials existing on the job

site and designated for reuse including but not

installation and until completion and acceptance.

leading to an agreed upon course of action

limited to existing light fixtures.

specified requirements.

contractor to collect, store, protect, clean and

work or give an allowance for providing such work.

58. When the specification requires that installation of work shall

comply with manufacturer's printed instruction, obtain copies of

such instructions from the manufacturer of the product. Maintain

one complete set of contract documents at the hob site during

strict accordance with such instructions and in conformity with

59. Handle, install, connect, clean, condition and adjust products in

60. Should project conditions or specified requirements conflict with

manufacturer's instructions consult with Architect for further

61. Do not omit any preparatory step or installation procedure,

works and conditions at job site. Deliver products in

identifying labels intact and legible. Provide necessary

upon delivery to assure compliance with requirements of

63. Mechanical and electrical equipment, which requires servicing

during long term storage shall have complete manufacturer's

instructions, accompanying each item with notice of enclosed

64. Provide protection of installed products to prevent damage from

damage. Cover projections, wall corners, jambs, sill and

soft hits of openings. In area used for traffic and for

66. Use only cleaning materials recommend by the manufacturer of

the product to be cleaned. Use clearing materials only on

owner's designated personnel on operation. adjustment

c. Operation and maintenance manual shall constitute the

personnel in full detail and explain all aspects of

68. Furnish to owner a written guarantee against all defects in

acceptance or as specified otherwise by the owner.

material and workmanship for one year from the date of

69. At completion, adjust all accessories for smooth operation, and

70. RE Any changes requested during the course of the project, GC

in that area, including the previous subcontractors respective

costs, and the GC costs, overhead, and profit, as well as a

similar breakdown of the proposed for, all submitted for the

71. Contractor shall obtain all permits necessary to perform full

72. contractor to obtain a permit from the state division of industrial

Building address numbers shall be easily seen from the street.

75. The general contractor fully understands the scope of work and

acknowledges that the construction documents include all

76. Should the owner decide to build their project without a general

contractor the Architect will not be held responsible for any

subcontractors, or anyone for whom the owner is legallyliable

PERMIT from the respectful city. the owner shall assume full

Owner agrees to waive any claim against the Architect and to

indirectly from such construction. In addition, the Owner agrees,

including reasonable attorneys' fees and cost of defense, arising

construction appropriate language that prohibits the Contractor

modifications to the Architect's construction documents without

equires the contractor to indemnify both Architect and le Owner

from any liability or cost arising from such changes made without

or any subcontractors of any tier from making any changes or

the prior written approval of Karen Wilkins and that further

release Karen Wilkins, from any liability arising directly or

to the fullest extent permitted by law, to indemnify and hold

harmless Architect from any damages, liabilities or costs,

78. In addition, the Owner agrees to include in any contracts for

responsibility for the results of such construction. Therefore, the

permits commencement of construction prior to obtaining a

77. In the event the Owner, the Owner's contractors or

necessary drawings, schedules and specifications to perform the

safety for trenches or excavations 5'-0" or deeper.

3. Building occupant to secure permits required by the Fire

to promptly provide a breakdown of all previously specified work

scope of work. Obtain all necessary inspections and certificate

basis of instruction. Review contents of manual with

surfaces recommended try cleaning materials manufacturer.

contract documents and accepted submittals.

instructions shown on exterior of package.

a. Provide coverings to protect finished surfaces from

Control traffic to prevent damage to equipment

1. Prior to final inspection for acceptance, fully instruct

and maintenance of equipment and systems.

passage of products in subsequent work.

written acceptance of the Architect.

67. Instructions of owner's personnel:

operation and maintenance

clean and polish all surfaces.

architect's and Owner's review.

of occupancy

portion of the project

from such changes.

subsequent operations:

62. Arrange delivery of products in accordance with construction

instruction. Do not proceed with work without such consultation

unless specifically modified or exempted by contract documents.

schedule: coordinate delivery time to avoid conflict with other

manufacturer's original sealed containers or packaging, with

protection and handling methods to prevent soiling and damage

to materials or products during transportation. Inspect shipment

deviation clearly on the submittal.

are approved by the architect.

the contract work

- 53. Contractor is responsible for review of shop drawings, product It is understood that Architect will not provide design and data, and samples prior to submission, and determination and construction services related to safely measures of any verification of accuracy of: contractor or subcontractor on the project Further, it is Field measurements understood that Architect will not provide any supervisory Field construction criteria services relating to the construction for the project. Any opinions c. Catalog number and similar data conformance with specifications and local authorities from Architect relating to any such review or supervisory services having jurisdiction over this project. shall be considered only as general information and shall not be
- the basis of any claim against Architect. deviation from specification's requirements, and identify such . The Owner shall contract an independent inspection and testing agency to review the materials, methods, and means of construction in relation to waterproofing and sound compliance. return of submittal with Architect's approval. If submittal is not Architect will provide input into the selection of these consultants approved by the Architect, make all corrections and changes and but they will be retained by and report to the Owner.
- resubmit all drawings and samples until drawings and materials the Owner shall use its best efforts to properly construct project in full compliance with the plans and specifications prepared by Architect and must repair any substandard, faulty or failing work. equipment removed from existing structure shall nor be used in 83. Always use resilient channels for ceiling between floors and all
- interior walls 57. for materials and equipment specifically indicated to be reused in 84. For Condominium Projects:
  - a. The Owner shall include provisions in the purchase agreement with all buyers of any condominium unit and in the CCR's that Owner shall have the right to effectuate reasonable repairs upon receiving notice of a complaint from any homeowner prior to the filling of any action against anyone involved in the construction. Futher proprietary individual or the Homeowner's Association (HOA) filing any action against the owner or any party involved with the construction, the CC & R's will mandate that the Owner shall have the right, in its sole discretion. to either repair the alleged problem or by the unit(s) back at the reasonable market rate for those units at the time the complaint is made.
  - Prior to the issuance of the permit by the building department for the project the Owner shall establish an escrow account in the amount of \$50,000 to be used solely by Architect to offset the expense in defending any lawsuit that any homeowner or Home Owner's Association might file surrounding and actual or alleged construction defect. In the event any construction defect action is filed. Architect shall have full use of the funds in the escrow to draw upon as Architect sees fit to assist in Architect's defense. In the event no construction defect litigation is filed, then the money will revert to the Owner at the expiration of twelve (12) years from substantial completion of the project
  - 85. The contractor shall review the drawings specifications, and site and verify all the dimensions and site conditions prior to beginning the work. The contractor shall report any inconsistencies to the Architect immediately for resolution before beginning construction or fabrication or ordering any materials.
  - 86. The contractor shall report any discrepancies between drawings and site conditions to the architect before proceeding the work. The contractor shall verify and coordinate all foundation plan dimension and floor plans and shall be responsible for proper execution of all work.
  - . The structural, mechanical, electrical, plumbing, and any and all other drawings are supplementary to the architectural drawings. It shall be the responsibility of the contractor to check with the architectural drawings before installation of structural, mechanical, electrical, plumbing, and any and all other work. Any discrepancies between the architect's and the consulting engineer's or designer's drawings and specifications shall be brought to the architect's attention for clarification prior to installation of said work and prior to finalizing the bid for
  - construction 88. Provide galvanic separation between all dissimilar metals. Along with the Agreement between the Owner and Architect, THE AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT A201, "GENERAL CONDITIONS OF THE CONTRACT OF CONSTRUCTION" SHALL GOVERN THE WORK IN THIS CONTRACT AS IF WHOLLY INCLUDED IN THESE GENRAL NOTES.
  - NOTES: THE PROVIDED SET OF ARCHITECTURAL DRAWINGS ISA BUILDER'S SET. FOR THE PURPOSE OF THESE DOCUMENTS AND ALL
  - OTHER DOCUMENTS FURNISHED BY THE ARCHITECTS INC. THE TERM "BUILDER'S SET" SHALL BE DEFINED AS THE FOLLOW ING:
  - A SET OF ARCHITECTURAL DRAWINGS CONSISTING OF THE MINIMUM NECESSARY PLANS, SECTIONS, ELEVATIONS, DIMENSIONS, SPECIFICATIONS, DETAILS CALCULATIONS AND NOTES TO ACQUIRE A BUILDING **SPECIFICATIONS**
  - Site work Demolition, where indicated on the drawings shall be performed in accordance with requirements shown there on.
  - Remove all organic matter and delete rious materials from the site. Burning is strictly prohibited. Unless shown or specified grater, all finished grades should provide a minimum slope of 2% slope away from all structural
  - footings a minimum of five (5) feet. 4. In the event of any loose fill, expansive soil, ground water or other dangerous conditions are encountered during excavations,
  - Department from the Fire Prevention Bureau prior to occupying all foundation work shall cease, and the owner notified. Fences over five (5) feet in height and retaining walls over four (4) feet in height measured from the bottom of the footing shall
    - require separate permit. Asphaltic Concrete Paving (AC Paving): Unless otherwise specified in the soil's inspection report scarify and recompact the upper six inches of sub-soil a minimum of
    - 90% density prior to placing the base. d. Sterilize the soil with aborate chloride compound for
    - c. Place 6 inches class ii aggregate base 4 inches thick after compaction having not less than 90%

d. Asphalt concrete type a is to be placed not less than 2

- inches thick after compaction in accordance with all provisions of the "standard specifications" from the State of California, Department of Public Works, Division or fhighways latest revision. Portland Cement Concrete Paving a. Provide materials for curbs, gutters, and sidewalks in accordance with the requirements for class a concrete (Section 8
- & 32) of the county of LA Standard and Specifications. b. Provide Portland cement concrete paving where shown on drawings, as specified herein, as needed for a complete and proper installation. c1. Provide wood and metal form work profiled to suit
- grades found on the drawing. c2. Earth forms will not be permitted for paving d. Subbase aggregate: Maximum Size 1/4" Compacted to 90%

conditions including adequate bracing to the lines and

e. Provide reinforcement which complies with the following as

minimum:

- e1. Reinforcing bars: u.o.n on the drawings, use deformed bars for number 3 and larger
- e2. Welded wire fabric: No 16 welded wire mesh, plain type in coiled rolls, unfinished f. For concrete see structural notes
- g. Finishing, texture finish g1. float to produce a surface level to within 1/4" inch in 2 feet q2. With bristle broom procedure a textured finish, light, medium or coarse as directed by the owner.
- h.Beginning immediately after placement, protect concrete from premature drying, excessively hot or cool temperatures and mechanical injury. Surfaces to have waterproofing shall have pits, holes, and cracks filled solid and shall be dry and smooth for application. i. Cobblestone Stamped Pattern
- i1. To receive a stamped pattern, concrete should receive a small size aggregate such as a pea gravel,  $\frac{3}{8}$  inch top size finishing. Follow the normal procedures, however, do not trowel the surface more than once. After the surface is trawled, or floated to the design texture, platform stamping platforms are used. One pad is placed next to the other so that the pattern is accurately aligned, at least two pads are required. the finisher simply steps from one pad to the next stamping
- the design to a depth of about one inch. THERMAL AND MOISTURE PROTECTION
- waterproofing per IBC 230 4.11.5: a. Waterproofing at foundation, retaining, walls, decks, under floor slabs and shall conform with the minimum requirements unless otherwise noted or unless dire condition deem it necessary for a heavier waterproofing application. Notify owner if later
- Surface to receive waterproofing shall receive pits, holes, and cracks filled solid and shall be dry and smooth for application. Manufacturer: use "pacific polymer" for install. See
- manufacturer's recommendations. Insulation a. Sound and thermal insulation shall be installed as indicated on the drawings as follows: 1. Sound insulation: u.s.g. sound attenuation blankets (or
- equal) shall be provided around bathrooms, bedrooms, and kitchen, as shown on the drawings. 2. Provide minimum 1/4" inch thick resilient material to insulate all plumbing from structure 3. Provide resilient channels on ceilings between the first and
- second floor thermal Insulation 1. Install all exterior walls and roof thermal insulations should be installed as shown on drawings (r-19 and R-30) 2. In addition to the R-30 insulation in the roof, provide rigid insulation, as shown on drawings
- Installation of Insulation 1. Exercise extreme care with integral vapor barrier to maintain it continuously. 2. Dully insulate all small areas in between close spaces framing members
- 3. Perform all end matching neatly with all ends fulling snugly or overlapped 4. Cut and finish insulation around pipes, conduits, and outlet boxed as necessary to maintain the integrity of the insulation. 5. Where pipes are located in stud spaces to receive insulation, place insulation between exterior wall and the pipe, com pressing insulation be if necessary 6. Securely fasten langes of insulation to sides of stud and
- joists with insulation fitting snuggly and tightly against the framing members, using staples or nails. a. Vulkem polyrethane sealants by mameco International, shall be installed by manufacturer's instructions as follows: 1. Vulkem #45 for horizontal joints in concrete slabs and
- 2. Vulkem #116 in vertical joints at doors/windows/jams/frames etc for general purposes 3. Joint filler and backing of closed sell neoprene or compressible pre-molded polyethylene foam, strips or rope,
- shall be installed as required. Caulking (mastic) equal to horsealwr and co shall be installed pre manufacturer's instructions under exterior metal thresholds.
- All sealants need to be installed between materials
- Roofing a. Roof slope to be 1" per foot minimum IBC 1502 b. All roofing materials class "A", "B" or "C" shall be shown on the drawings, applied in strict conformance with IBC 1505 and manufacturer's recommendations and in accordance with the following minimum requirements(see NRCA manual) c. Application shall confirm to IBC 1507

d. Roof and valley lashing and juncture of roof and vertical

- surface, flashing, and counter flashing shall be installed per IBC 150 3.2, 1507.3.9, 1507.5.6. 2. Flashing and Sheetmetal a. Fabricate and install flashing and sheet metal in accordance with latest SMACNA standards where applicable b. Pitch pockers, counterflashing, cap and coping flashing, splash pans, gravel stops, facialashing, etc. minimum: 2-gallon galvanized steel or as noted on the drawings.
- c. Drip flashing: Use 22-gallon galvanized steel or as noted on the drawings. d. Butyl Sealer: Where it is impractical to use a solder at joints corners, etc. seal with "dap butyl gutter and tap sealer", "cushion -lock d-50-butyl sealer", "haco600" or approved equal in accordance with manufacturer's instructions. e. Galvanized sheet metal: gallon iron or steel sheet, conforming to ASTM A525-67 or A446-67, as required with
- minimum zinc coating of 1.25 oz/sq. ft. and 0.2% copper f. Dissimilar Metals: where dissimilar metals come in contact, paint the connection with an approved protective coating. g. Flash and counter -flash all roof to wall conditions and around all vents and chimney protections through roof h. Insulate all metal flashing with wood with #15 felt
- i. All exposed flashing and metal to be painted color per owner 3. Roof Accessories a. Skylights. Glass or plastic skylights to comply with IBC 2415/2610
- Sizes and shapes indicated on the drawings 2. 1/4" nominal thickness acrylic clear tinted 3. Skylights shall be mounted on built -in curb 8minimum 4" where slope is less than 3:1) as detailed and is anodized aluminum frame in color to match the window frames. 4. All skylights must have an ICC approval and copy of the same must be on the job site for building inspector
- b. Roof Windows: 1. Size and shapes per drawings 2. Aluminum dad fixed window per "Velux" ner 216 (or equal),

approval.

with dual glazing and roller shades sun screening c. Anchor roof accessories securely in place as indicated and in accordance with manufacturer's recommendations in a manner which will permit roofing and flashing work to achieve a water tight and weather proof installation. 4. Roof Drains

- Size the roof drains and overflow per chapter 11 of LAPC 1503.4 Overflow scuppers to be designed per Table 11 - 1 of LAP C.
- DOORS AND WINDOWS Provide doors in place complete with finish hardware installed the types, designs, and dimensions shown on the door schedule, as shown on the drawings, and specified herein as needed for a
- complete and proper installation. 2. Submit shop drawings for approval of all raised panel doors. Hardware
- Submit hardware schedule to owner to review
- Finishes shall be selected by owner during submittal process, for pricing purpose use "Baldwin". A master keyed system to be specified on submittal
- Window Pricing
- "Fleetwood" for aluminum windows, equal or better "Marvin Integrity" series for clad windows, equal or better "Certain teed" for vinvl windows, equal or better 5. For pricing Purposes see Spec Book
- "Timely" = for frames or use equal or better "Ramco" = for hinges or use equal or better "Schlage" = for levers or use equal or better "Norton" = for closers or use equal or better "Pemko" = for thresholds or use equal or better
- "Von Duprin"= for exit device or use equal or better FINISHES Lath and Plaster
- confirm to latest addition of IBC 718, 2512, Table 2507.2, Table 2511.1.1 and "California Lathing and Plastering Association Reference Specifications" exterior cement plaster (stucco)

"Cal Royal" = for doorstops or use equal or better

- for machine application with integrally colored stucco finish as selected by owner. Vertical surfaces self-tuning galvanized metal lath back draft diamond mesh "B (U.S.G. or equal) Horizontal surfaced paper backed 3/8" furred galvanized metal rib lath
- Masonry or concrete surfaces shall be cleaned with 10% muriatic acid to water solution, rinsed with Clearwater. and receive plaster bonding agent equal to "weld-crete". Apply base code of plaster oven bonding agent, to machine applied codes with finished stucco code as selected by owner.
- Bullnose: Weld-wire reinforcement with  $\frac{1}{8}$  rad. "nose" and 2-1/2" byk wik wound or equal. Install with nails, wire, or wire ties to the outside of the lath sufficiently to maintain plumb (fed spec qq-w-461h) Casing beads equal to milcor or U.S.G. No 66 to be
- at all locations where plaster stops against masonry, concrete. wood, or metal surfaces and as otherwise shown or drawings. Expansion joints equal to milcor U.S.G. No 40 or
- "fryreglet" as indicated. Removal grounds or screeds as required to maintain exact plaster thickness and place surfaces 3. Finishing: Provide smooth steel trowel (knock-down) finish after the approved owner sample
- Precast Concrete Provide p.c.c. moldings, copings, sill, columns, etc, as shown on drawings. products manufactured by C.D.I. or equal. For installation use manufacturer's specifications or minimum 20 gallon brick ties.
- Field cutting (rising diamond blades) may required to fit. Gypsum Wallboard 1. Conform to latest edition of IBC 2508. 2508.1 and "American
- Standard Specifications for the Application and Finishing of Gypsum Wallboard" 2. regular 1/2" to 5/8" thick equal to U.S.G. tapered edge sheet rock where type "X" or w/o wallboard is not required.
- Regular and Type "X" single layer wallboard shall be installed horizontally staggering end joints. Nail with 5d cooler nails (1/2" wallboard), 6d cooler nails (5/8" wallboard), at 6" o.c. for ceiling and Water-resistant (w/r) 1/2" or 5/8" thick equal to U.S.G.
- tapereded gesheetrock (regular panels) or fore code "C" (type "X" panels) as required.

Panels where Type "X" is required

- Accessories: metal trim equal to U.S.G. No 402 where wallboard abuts with other material or terminates Corner beads equal to "pla-cor" traditional bullnose No
- 85 standard No 108 5 arch. at all external corners (or equal). For installation use manufacture specifications. Joint tape, bedding, finishing cement, adhesives and laminating compound to be as recommended by
- sheetrock manufacture and in compliance with UL inc. for fire-resistive rating. Access planel were indicated or required to be equal to milcor "style dw". 22"X30" u.o.n
- h.a. Use resilient channels for ceiling between floors and all e. interior walls. 6. Gyplap sheathing shall be equal to 1/2" thick U.S.G. gypsum sheathing (trademark gyplap) encased with water-repellant
- paper on both faces and long sides. Finish coat: apply smooth finish coat capable of producing a fine finish as approved from samples furnished to the owner. CERAMIC AND STONE TILES All ceramic and stone tiles shall be 1/4" to 1/2" thick selected by
- the owner. Installation shall conform to the latest edition of the "handbook for Ceramic Tile Installation " by the tile Council of America for the following conditions Exterior wall stone tile veneer (maximum 1/2" thick) shall be installed in accordance with W243 over a wood stud wall.
- Exterior deck stiles and stone shall be installed over plywood subfloor group I. ext. grade C.C. type or better conforming to A.P.A. classification and US Product Standard 1-83. over waterproofing with cement mortar in accordance with method
- Bathtub wall tile shall be installed over an approved "water-resistant" gypsum wall board with organic adhesives in accordance with method B 413-87 or on cement motor in accordance with method B 411.87.
- cement mortar in accordance with method B 414. 6. Tile tub shall be installed in accordance with method B 417 7. The countertops shall be installed in accordance with method C
- 8. Interior tile floors shall be installed per method F141. PAINTING All surfaces to be clean, smooth and dry as required my manufacture instructions for finish being applied.

2. Back paint all exterior and interior finish lumber and millwork,

including door and window frames, trim, cabinet work, etc. on all surfaces to be concealed after installation. Prime of stain and seal all exterior and interior wood scheduled for opaque finish. Apply to all edges, ends, face underside and backside of items to be exposed

Surfaces of miscellaneous iron and steel not embedded in

concrete and all surfaces of unprimed plain sheet metal work

(not galvanized) shall be primed with zinc chocolate primer.

- Galvanized (zinc) metalwork shall be primed with zinc dust, zinc
- Aluminum and aluminum ally surfaces shall be primed with zinc chromate primer
- the building shall be entirely wrapped in plywood. the Plywood should align with exterior face of shear walls.
- Senate Bill 407 (2009) / California Civil Code Sections 1101.1 through 2013 California Green Building Standards Code (CALGreen) Section
- When Work Triggers SB 407 When the work will trigger plumbing fixture upgrades, the following clarification and interpretation is made for each type of building:
- Single-family residential: All non-compliant plumbing fixtures will be required to be upgraded with water-conserving plumbing fixtures throughout the single-family residential building. [Civil Code
- Section 1101.4(a)] Clarification of "Non-Compliant Plumbing Fixture" Please note that according to the definition of "non-compliant plumbing fixture" in Civil Code Section 1101.3(c), the existing plumbing fixture water usage/flow rate must exceed the amount shown to be considered non-compliant. If
  - the existing plumbing fixture water usage/flow rate is equal to or lower than the amount shown, it is not required to be upgraded Civil Code Division 2. Property
- Part 4. Acquisition of Property Title 4. Transfer Chapter 2. Transfer of Real Property 1101.1. Except as provided in Section 1101.7, this article shall Portland cement plaster, mixed in proportion per references. apply to residential and commercial real property built and available

for use on or before January 1, 1994.

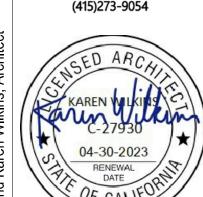
residential hotels.

- 1101.2. For the purposes of this article (a) "Commercial real property" means any real property that is improved with, or consisting of, a building that is intended for commercial use, including hotels and motels, that is not a single-family residential real property or a multifamily residential real
- (b) "Multifamily residential real property" means any real property that is improved with, or consisting of, a building containing more than one unit that is intended for human habitation, or any mixed residential-commercial buildings or portions thereof that are intended for human habitation. Multifamily residential real property includes residential hotels but does not include hotels and motels that are not
- "Noncompliant plumbing fixture" means any of the following: Any toilet manufactured to use more than 1.6 gallons of water per flush.
- (3) Any showerhead manufactured to have a flow capacity of more than 2.5 gallons of water per minute. (4) Any interior faucet that emits more than 2.2 gallons of water
- property that is improved with, or consisting of, a building containing not more than one unit that is intended for human habitation. (e) "Water-conserving plumbing fixture" means any fixture that is in compliance with current building standards applicable to a newly constructed real property of the same type.
- property estate or the fee interest in that real property estate and does not include the sale or transfer of a partial interest, including a leasehold.
- (a) No person shall use any pipe, pipe or plumbing fitting or fixture, solder, or flux that is not lead free in the installation or repair of any public water system or any plumbing in a facility providing water for
- ioints of cast iron pipes. (b)(1) No person shall introduce into commerce any pipe, pipe or plumbing fitting, or fixture intended to convey or dispense water for human consumption through drinking or cooking that is not lead free, as defined in subdivision (e). This includes kitchen faucets, bathroom faucets, and any other end-use devices intended to convey or dispense water for human consumption through drinking or cooking. but excludes service saddles, backflow preventers for nonpotable
- gate valves that are two inches in diameter and above. (2) Pipes, pipe or plumbing fittings, or fixtures that are used in paragraph (1).
- processing, or to convey or dispense water for human consumption, "lead free" is defined in subdivision (f). (c) No person engaged in the business of selling plumbing supplies,
- any plumbing providing water for human consumption. (e) For the purposes of this section, "lead free" means not more not more than a weighted average of 0.25 percent when used with respect to the wetted surfaces of pipes and pipe fittings, plumbing fittings, and fixtures. The weighted average lead content of a pipe and pipe fitting, plumbing fitting, and fixture shall be calculated by using the following formula: The percentage of lead content within
- pipe fitting, plumbing fitting, or fixture. (f) For the purposes of paragraph (3) of subdivision (b), "lead
- than 0.2 percent lead when used with respect to solder and flux and not more than 8 percent when used with respect to pipes and pipe fittings. With respect to plumbing fittings and fixtures, "lead free" means not more than 4 percent by dry weight after August 6, 2002, unless the department has adopted a standard, based on health effects, for the leaching of lead.
- (ANSI) accredited third party, including, but not limited to, NSF International, as being in compliance with this section. (2)(A) The certification described in paragraph (1) shall, at a Shower receptors/walls shall be installed with organic adhesives minimum, include testing of materials in accordance with the protocols used by the Department of Toxic Substances Control in over w/rgyp. Board in accordance with method B 416 or in
  - Department of Toxic Substances Control's exercise of its independent (3) It is the intent of the Legislature that this subdivision only provide guidance and assistance to the entities that use an independent ANSI
  - under California statute. (4) Notwithstanding paragraph (1), the department shall retain its independent authority in administering this article. (h) This section shall become operative on January 1, 2010. The requirement described in subdivision (g) shall not be construed in any

set forth in subdivision (e)

San Francisco CA

Wilkins Studio



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No. Description Date

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(2) Any urinal manufactured to use more than one gallon of water per flush.

per minute (d) "Single-family residential real property" means any real

- (f) "Sale or transfer" means the sale or transfer of an entire real
- HSC 116875
  - services such as irrigation and industrial, and water distribution main
  - manufacturing, industrial processing, for irrigation purposes, and any other uses where the water is not intended for human consumption through drinking or cooking are not subject to the requirements of (3) For all purposes other than manufacturing, industrial
  - except manufacturers, shall sell solder or flux that is not lead free. (d) No person shall introduce into commerce any solder or flux that is not lead free unless the solder or flux bears a prominent label stating that it is illegal to use the solder or flux in the installation or repair of than 0.2 percent lead when used with respect to solder and flux and
  - each component that comes into contact with water shall be multiplied 5 by the percent of the total wetted surface of the entire pipe and pipe fitting, plumbing fitting, or fixture represented in each component containing lead. These percentages shall be added and the sum shall constitute the weighted average lead content of the pipe and
  - (g)(1) All pipe, pipe or plumbing fittings or fixtures, solder, or flux shall be certified by an independent American National Standards Institute

free," consistent with the requirements of federal law, means not more

- implementing Article 10.1.2 (commencing with Section 25214.4.3) of Chapter 6.5 of Division 20. (B) The certification required pursuant to this subdivision shall not interfere with either the department's exercise of its independent authority to protect public health pursuant to this section, or the authority to implement Article 10.1.2 (commencing with Section 25214.4.3 ) of Chapter 6.5 of Division 20.
- accredited third party to demonstrate compliance with this section. Any tests developed by an independent ANSI accredited third party in accordance with this subdivision shall have no weight of authority

manner as to justify a delay in compliance with the lead-free standard

General Notes

Scale: As Noted Sheet size: Arch D

THE PROJECT CONSTRUCTION.

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PROVIDE EACH BEDROOM, BASEMENT, AND HABITABLE ATTICS WITH A MINIMUM OF ONE EXTERIOR WINDOW WITH A 44" MAXIMUM CLEAR OPENING HEIGHT, 5.7 SQ. FT. MINIMUM CLEAR OPENABLE AREA (MINIMUM 5.0 SQ. FT. AT GRADE FLOOR OPENINGS), 24" MINIMUM CLEAR OPENABLE HEIGHT AND 20" MINIMUM CLEAR WIDTH. OR AN OPENABLE EXTERIOR EXIT DOOR. (CRC R310.2.1 AND CRC R310.2.2) WINDOW WELLS, LADDERS. AND STEPS SHALL COMPLY WITH CRC R310.2.3. BARS, GRILLES,

COVERS, ANDS SCREENS SHALL BE RELEASABLE OR REMOVABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE, OR FORCE GREATER THAN 15LBS TO OPERATE THE EMERGENCY ESCAPE AND RESCUE OPENINGS. (CRC R310.4) FACH BATHROOM CONTAINING A BATHTUB SHOWER OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED WITH ENERGY STAR APPROVED EQUIPMENT (MINIMUM 50CFM) WITH AN INTEGRAL HUMIDISTAT INSTALLED. (CRC R303.3.1) PROVIDE ATTIC CROSS VENTILATION: 1/150 OF ATTIC AREA OR 1/300 WITH AT LEAST 40% BUT MORE THAN 50% OF VENTS ARE 3 FT. ABOVE EAVE AND BALANCE IS AT EAVE. AS AN ALTERNATIVE IN CLIMATE ZONE 16 (TRUCKEE REGION). THE NET AREA MAY BE REDUCED TO 1/300 WHEN A CLASS I OR II VAPOR BARRIER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING BAFFLES ARE REQUIRED AT VENTS FOR INSULATION, PROVIDE MINIMUM OF 1" INCH OF AIR SPACE BETWEEN INSULATION AND ROOF

ENCLOSED RAFTER SPACES SHALL HAVE 1 INCH CLEAR CROSS VENTILATION. (PROPERLY SIZED RAFTERS FOR INSULATION) (CRC

UNDER FLOOR CROSS VENTILATION: MINIMUM 1.0 SQ. FT. FOR EACH 150 SO FT OF UNDER FLOOR WHEN A CLASS 1 VAPOR RETARDER IS INSTALLED ON THE GROUND SURFACE THE MINIMUM AREA OF VENTILATION MAY BE LIMITED TO 1SQ.FT FOR EACH 1,500 SQUARE FEET OF UNDER-FLOOR ONE VENTILATION OPENING SHALL BE WITHIN THREE (3) FEET OF EACH CORNER OF THE BUILDING (CRO R408.1). UNVENTED CRAWL SPACES SHALL COMPLY WITH CRC

THE FOLLOWING AREAS SHALL HAVE SAFETY GLAZING: (CRC R308.4) SUDING/SWINGING GLASS DOORS GLAZING IN WALLS AND ENCLOSURES FACING HOT TURS. SPAS WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND SWIMMING POOLS WHERE THE GLAZING IS LESS THAN 60 INCHES ABOVE THE STANDING SURFACE WITHIN THE COMPARTMENT AND WITHIN 60 INCHES HORIZONTALLY OF THE WATER'S EDGE (CRC

GLAZING WITHIN A 24" ARC OF A DOOR THAT IS LESS THAN 60 INCHES ABOVE THE FLOOR GLAZING INSTALLED PERPENDICULAR TO A DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES OF THE DOOR ONLY REQUIRES SAFETY GLAZING IF IT IS ON THE HINGE SIDE OF AN INSWING DOOR, (CRC R308,4,2) GLAZING WHERE THE EXPOSED AREA IS GREATER THAN 9SQ.FT, BOTTOM IS LESS THAN 18 IN. AND AT LEAST 36 IN. ABOVE THE FLOOR,

AND ADJACENT TO A WALKING SURFACE WITHIN 60IN. OF THE BOTTOM TREAD OF A STAIRWAY AND LESS THAN 36IN, ABOVE THE LANDING GLAZING IN GUARDS AND RAILINGS

GLAZING ADJACENT TO STAIRWAYS LANDINGS AND RAMPS WITHIN 36IN. HORIZONTALLY OF THE WALKING SURFACE LESS THAN 36IN. ABOVE THE WALKING SURFACE PROVIDE LANDINGS AND A PORCH LIGHT AT ALL EXTERIOR DOORS LANDINGS ARE TO BE MINIMUM 3 FT DEEP X WIDTH OF DOOR.

LANDINGS AT REQUIRED EGRESS DOORS MAY STEP DOWN A MAXIMUM OF 7.75 INCHES WHEN THE DOOR DOES NOT SWING OVER THE LANDING AND 1.5 INCHES WHEN DOOR SWINGS ONTO THE LANDING OTHER THAN REQUIRED EXTERIOR EXIT DOORS MAY HAVE A THRESHOLD OF 7.75 INCHES MAXIMUM: A LANDING IS NOT REQUIRED IF A STAIR WITH TWO OR FEWER RISERS IS LOCATED ON THE EXTERIOR SIDE AND THE DOOR DOES NOT SWING OVER THE STAIRWAY, (CRC R311,3-R311,3,2)

#### **FOUNDATIONS & CONCRETE SLABS** CONCRETE STRENGTH(S):

SLOPE DRAINAGE 6" WITHIN THE FIRST 10FT. FROM THE FOUNDATION WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT THE 10FT DISTANCE, A 2-5 PERCENT SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING THE WATER AWAY FROM THE FOUNDATION IMPERVIOUS SURFACES SHALL ALSO BE SLOPED A MINIMUM OF 2 PERCENT FOR 10FT AWAY FROM STRUCTURES TO AN APPROVED DRAINAGE WAY, (CRC R401.3) FOOTINGS SHALL EXTEND AT LEAST 12 INCHES INTO THE TURBED GROUND SURFACE. (CRC R403.1.4) UNLESS E ON SOLID ROCK, TO PROTECT AGAINST FROST AND FREEZING, THE MINIMUM FOUNDATION DEPTH IS 18 INCHES BELOW GRADE IF BETWEEN 4.000-7.000 FOOT ELEVATION AND 24 INCHES BELOW GRADE FOR 7.000 FOOT ELEVATION AND ABOVE, EXCEPTION: INTERIOR FOOTINGS SHALL BE A MINIMUM OF 12 INCHES BELOW

STEPPED FOOTINGS SHALL BE USED WHEN SLOPE OF FOOTING BOTTOM IS GREATER THAN 1 IN 10 (V: H).

CONCRETE SLABS: 3 1/2" MINIMUM (CRC R506.1). SLABS UNDER LIVING AREAS AND GARAGES SHALL BE REINFORCED WITH WIRE 6" X 6", 10 GAUGE X 10 GAUGE WELDED MESH OR EQUIVALENT STEEL REINFORCEMENT AND 4" THICKNESS OF 3/8 MINIMUM GRAVEL UNDER THE CONCRETE SLAB. SEPARATE FROM SOIL WITH A 6 MIL. POLYETHYLENE VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES IN LIVING AREAS, A CAPILLARY BREAK SHALL BE INSTALLED WHEN A VAPOR RETARDER IS REQUIRED. PROVIDE 18" X 24" FOUNDATION ACCESS THROUGH THE FLOOR OR 16"X24" ACCESS THROUGH A PERIMETER WALL. (CRC R408.4)

MINIMUM SILL BOLTING: 1/2" ANCHOR BOLTS OR APPROVED ANCHORS AT 6 FT. O.C. MAXIMUM FOR ONE-STORY (CRC R403.1.6), USE ANCHOR BOLTS AT 4 FT. O.C. MAXIMUM FOR THREE STORY CONSTRUCTION. EMBED BOLTS 7" MINIMUM. THE ANCHOR BOLTS SHALL BE PLACED IN THE MIDDLE THIRD OF THE WIDTH OF THE PLATE LOCATE END BOLTS NOT LESS THAN 7 BOLT DIAMETERS, NOR MORE THAN 12" FROM ENDS OF SILL MEMBERS. IN SDC D0 AND ABOVE: PROVIDE 3"X3"X0.229 PLATE WASHERS ON EACH BOLT AT BRACED OR SHEAR WALL LOCATIONS STANDARD CUT WASHERS. SHALL BE PERMITTED FOR ANCHOR BOLTS NOT LOCATED IN BRACED/SHEAR WALL LINES.

#### CLEARANCES AND TREATMENT FOR WOOD FRAMING WEATHER EXPOSED GLU-LAM, BEAMS AND POSTS SHALL BE

TO DECAY (CRC R317.1.3 & 5) COLUMNS EXPOSED TO THE WEATHER OR IN BASEMENTS WHEN SUPPORTED ON CONCRETE PIER OR METAL PEDESTALS SHALL BE PRESSURE TREATED OR NATURAL RESISTANCE TO DECAY UNLESS THE PIER/PEDESTALS PROJECT 1" ABOVE CONCRETE OR 6" ABOVE EARTH AND THE EARTH IS COVERED BY AN APPROVED IMPERVIOUS MOISTURE BARRIER, (CRC R317.1.4 EXC. 1 COLUMNS IN ENCLOSED CRAWL SPACES OR UNEXCAVATED AREAS

PRESSURE TREATED OR SHALL BE WOOD OF NATURAL RESISTANCE

LOCATED WITHIN THE PERIPHERY OF THE BUILDING SHALL BE PRESSURE TREATED OR NATURAL RESISTANCE TO DECAY UNLESS THE COLUMN IS SUPPORTED BY A CONCRETE PIER OR METAL PEDESTAL OF A HEIGHT 8" OR MORE AND THE EARTH IS COVERED BY AN IMPERVIOUS MOISTURE BARRIER. (CRC R317.1.4 EXC. 2) DECK POSTS SUPPORTED BY CONCRETE PIERS OR METAL PEDESTALS PROJECTING NOT LESS THAN 1" ABOVE A CONCRETE

FLOOR OR 6" ABOVE EXPOSED EARTH. (CRC R317.1.4 EXC. 3)

#### POSITIVE POST TO BEAM CONNECTION SHALL BE PROVIDED TO ENSURE AGAINST UPLIFT AND LATERAL DISPLACEMENT. (CRC R502.9

& CBC 2304.9.7) ALL FASTENERS USED FOR ATTACHMENT OF SIDING & INTO PRESSURE TREATED LUMBER SHALL BE OF A CORROSION RESISTANT TYPE (CRC R317.3) FIRE-BLOCK IN CONCEALED SPACES OF STUD WALLS/PARTITIONS,

VERTICALLY AT CEILING/FLOOR LEVELS. HORIZONTALLY AT 10FT. INTERVALS. FIRE-BLOCK AT SOFFITS, DROP CEILINGS/SIMILAR LOCATIONS & IN CONCEALED SPACES AT THE TOP/BOTTOM OF STAIR STRINGERS, (CRC R302.11 PROVIDE APPROVED BUILDING PAPER UNDER THE BUILDING SIDING AND APPROVED FLASHING AT EXTERIOR OPENINGS (CRC R703.2). SPECIFY A MINIMUM OF 2 LAYERS OF GRADE D PAPER UNDER STUCCO AND 2 LAYERS OF 15LB FELT (OR EQUIVALENT) UNDER

STUCCO SHALL HAVE A MINIMUM CLEARANCE TO EARTH OF 4 INCHES AND 2 INCHES TO PAVED SURFACES WITH AN APPROVED WEEP SCREED. (CRC R703.7.2.1) MASONRY STONE VENEER SHALL BE FLASHED BENEATH THE FIRST COURSE OF MASONRY AND PROVIDED

# WITH WEEP HOLES IMMEDIATELY ABOVE THE FLASHING. (CRC R703.8.5 AND R703.8.6)

PROVIDE A MINIMUM 22" X 30" ACCESS OPENING TO ATTIC (CRC R807); MAY BE REQUIRED TO BE 30"X30" TO REMOVE THE LARGEST PIECE OF MECHANICAL EQUIPMENT PER THE CALIFORNIA ROOF DRAINS/GUTTERS REQUIRED TO BE INSTALLED PER THE

ALL ROOFING SHALL BE TESTED/LISTED CLASS A MINIMUM.

CALIFORNIA PLUMBING CODE WITH LEAF/ DEBRIS PROTECTION ALSO

4 ASPHALT SHINGLES WITH SLOPED ROOES 2/12 TO 4/12 SHALL HAVE TWO LAYERS OF UNDERLAYMENT APPLIED PER CRC R905.2.2.

#### **GARAGE AND CARPORT**

GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT & ATTIC AREA BY ½ INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGE BENEATH HABITABLE ROOMS SHALL BE SEPARATED BY NOT LESS THAN 5/8" TYPE X GYPSUM BOARD. STRUCTURE SUPPORTING FLOOR/CEILING ASSEMBLIES USED FOR REQUIRED SEPARATIONS SHALL HAVE 1/3" GYPSLIM BOARD INSTALLED MINIMUM. DOOR OPENINGS FROM THE GARAGE TO THE DWELLING SHALL BE SOLID WOOD/STEEL DOORS OR HONEYCOMB STEEL DOORS NOT LESS THAN 1 3/8" THICK OR A 20 MINUTE RATED FIRE DOOR. DOORS SHALL BE SELF-CLOSING & SELF-LATCHING. NO OPENINGS DIRECTLY INTO A SLEEPING ROOM FROM THE GARAGE. WHEN THE DWELLING AND GARAGE HAS FIRE SPRINKLERS INSTALLED PER R309.6 AND R313, DOORS INTO THE DWELLING UNIT FROM THE GARAGE ONLY NEED TO BE SELE-CLOSING AND SELE-LATCHING (CRC R302 5 1 & T-R302 6) (CARPORTS OPEN ON TWO OR MORE SIDES AND NO ENCLOSED AREAS ABOVE DO NOT REQUIRE A SEPARATION

DUCTS PENETRATING THE GARAGE TO DWELLING SEPARATION SHALL BE A MINIMUM OF 26 GAUGE WITH NO OPENINGS INTO THE GARAGE. (CRC R302.5.2) PENETRATIONS THROUGH THE GARAGE TO DWELLING SEPARATION

WALL (OTHER THAN DUCTS AS LISTED ABOVE) SHALL BE FIRE-BLOCKED PER CRC SECTION R302.11. ITEM #4. GARAGE AND CARPORT FLOOR SURFACES SHALL BE NON-COMBUSTIBLE MATERIAL AND SLOPE TO DRAIN TOWARDS THE GARAGE DOOR OPENING. (CRC R309.1)

APPLIANCES AND RECEPTACLES INSTALLED IN GARAGE GENERATING A GLOW, SPARK OR FLAME SHALL BE LOCATED 18" ABOVE FLOOR UNLESS IT IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. PROVIDE PROTECTIVE POST OR OTHER IMPACT BARRIER FROM VEHICLES (CMC 308.0)

#### STAIRWAYS & RAMPS

EXTERIOR STAIR STRINGERS MUST BE NATURALLY RESISTANT TO DECAY OR PRESSURE TREATED. (CRC R317.1) RISE SHALL BE MAXIMUM 7.75". RUN SHALL

A HANDRAIL ON ONE SIDE AND 27" WITH HANDRAILS ON TWO SIDES, VARIATION BETWEEN RISER HEIGHTS 3/8" MAXIMUM, A NOSING NOT LESS THAN .75 INCHES BUT NOT MORE THAN 1.25 INCHES SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS WHERE THE TREAD DEPTH IS LESS THAN 11 INCHES. THE LEADING EDGE OF TREADS SHALL PROJECT NOT MORE THAN 1.25 INCHES BEYOND THE TREAD BELOW, OPEN RISERS ARE PERMITTED. PROVIDED THE OPENING BETWEEN THE TREADS DOES NOT PERMIT THE PASSAGE OF A 4" SPHERE. (OPENINGS ARE NOT LIMITED WHEN THE STAIR HAS A RISE OF 30" OR LESS). (CRC R311.7)

STAIRWAYS WITH 4 OR MORE RISERS SHALL HAVE A HANDRAIL ON ONE SIDE 34" TO 38" ABOVE THE TREAD NOSING, CIRCULAR HANDRAILS SHALL HAVE AN OUTSIDE DIAMETER OF 1.25"-2"; IF NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF 4"-6.25" WITH A MAXIMUM CROSS SECTIONAL DIMENSION OF 2.25". SEE R311.7.8.3 ITEM# 2 FOR TYPE II HANDRAILS WITH A PARAMETER OVER 6.25" A MINIMUM CLEARANCE OF 1.5" SHALL BE MAINTAINED. FROM THE WALL OR OTHER SURFACE. HANDRAILS SHALL BE RETURNED, TERMINATE IN NEWEL POSTS, OR SAFETY TERMINALS. (CRC R311.7.8.2)

GUARDS SHALL BE 42" MINIMUM HEIGHT (UNLESS ACTING AS A HANDRAIL/GUARD FOR A STAIRWAY; THE GUARD HEIGHT MAY BE 34"-38" IN HEIGHT), WITH OPENINGS LESS THAN 4" INCHES CLEAR (GUARDS ON THE OPEN SIDES OF STAIRS MAY HAVE 4 3/8" OPENINGS) (CRC R312) PROVIDE LANDINGS AT THE TOP/BOTTOM OF THE STAIRWAY THE

WIDTH OF THE STAIRWAY. THE DEPTH OF THE LANDING SHALL BE 36" MINIMUM. (SEE CRC R311.7.6 FOR EXCEPTIONS). USABLE SPACES UNDERNEATH ENCLOSED/UNENCLOSED STAIRWAYS SHALL BE PROTECTED BY A MINIMUM OF 1/2" GYPSUM

BOARD (CRC R302.7) RAMPS SERVING THE EGRESS DOOR SHALL HAVE A SLOPE OF NOT MORE THAN 1 UNIT VERTICAL IN 12 UNITS HORIZONTAL (8.3-PERCENT SLOPE), ALL OTHER RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1 UNIT VERTICAL IN 8 UNITS HORIZONTAL (12.5-PERCENT SLOPE). EXCEPTION: WHERE IT IS TECHNICALLY INFEASIBLE TO COMPLY BECAUSE OF SITE CONSTRAINTS, RAMPS SHALL HAVE A SLOPE OF NOT MORE THAN 1 UNIT VERTICAL IN 8 UNITS HORIZONTAL (12.5-PERCENT SLOPE) (CRC R311.8.1). PROVIDE 3'X3' LANDINGS AT THE TOP AND BOTTOM OF

RAMPS. WHERE DOORS OPEN ONTO RAMPS, AND WHERE RAMPS

# GUARDS ARE REQUIRED IF DECK OR FLOOR IS OVER 30" ABOVE

CHANGE DIRECTIONS. (CRC R311.8)

GRADE MINIMUM 42" HIGH WITH OPENINGS LESS THAN 4" (CRC R312). GUARDRAILS SHALL BE DESIGNED AND DETAILED FOR LATERAL FORCES ACCORDING TO CRC TABLE 301.5. PROVIDE DECK LATERAL LOAD CONNECTIONS AT EACH END OF THE DECK AND AT DECK INTERSECTIONS PER CRC R507.2.4. CONNECTORS SHALL HAVE A MINIMUM ALLOWABLE STRESS DESIGN CAPACITY OF 1.500LBS AND INSTALL WITH 24" OF THE END

OF THE DECK. 750LB RATED DEVICES ARE ALLOWED (DTT1Z AS EXAMPLE) IF LOCATED EVENLY AT 4 POINTS ALONG THE DECK. POSTS/COLUMNS SHALL BE RETRAINED AT THE BOTTOM FND TO PREVENT LATERAL DISPLACEMENT; CLEARLY SHOW APPROVED POST BASES, STRAPS, ETC TO ACHIEVE THIS PER CRC R407.3 HARDWARE AND FASTENERS TO BE HOT-DIPPED GALVANIZED, STAINLESS STEEL, SILICON BRONZED OR COPPER. (CRC R317.3)

#### ELECTRICAL

NO ELECTRICAL PANELS SHALL BE IN CLOSETS OF BATHROOMS. MAINTAIN A CLEARANCE OF 36" INCHES IN FRONT OF PANELS, 30" WIDE OR WIDTH OF EQUIPMENT AND 6'-6" HIGH FOR HEADROOM (CEC 110.26).

A CONCRETE-ENCASED ELECTRODE (UFER) CONSISTING OF 20' OF REBAR OR #4 COPPER WIRE PLACED IN THE BOTTOM OF A FOOTING IS REQUIRED FOR ALL NEW CONSTRUCTION. (CEC 250.52(A) BOND ALL METAL GAS AND WATER PIPES TO GROUND, ALL GROUND CLAMPS SHALL BE ACCESSIBLE AND OF AN APPROVED TYPE. (CEC

3. ALL 15/20 AMPERE RECEPTACLES INSTALLED PER CEC 210.52 SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. (CEC 406.12) 4. ALL BRANCH CIRCUITS SUPPLYING 15/20 AMPERE OUTLETS IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS. LIBRARIES, DENS. BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, KITCHENS, LAUNDRY ROOM OR SIMILAR TYPE ARC-FAULT CIRCUIT INTERRUPTER. (CEC 210.12)

ROOMS/AREAS SHALL BE PROTECTED BY A LISTED COMBINATION PROVIDE A MINIMUM OF ONE 20A CIRCUIT TO BE USED FOR THE LAUNDRY RECEPTACLE. (CEC 210.11(C)(2)) PROVIDE A MINIMUM OF ONE 20A CIRCUIT FOR BATHROOM RECEPTACLE OUTLETS. (CEC 210.11(C)(3)

PROVIDE AT LEAST 1 OUTLET IN BASEMENTS, GARAGES, LAUNDRY ROOMS, DECKS, BALCONIES, PORCHES AND WITHIN 3' OF THE OUTSIDE OF EACH BATHROOM BASIN. (CEC 210.52 (D), (F) & (G)) FURNACES INSTALLED IN ATTICS AND CRAWL SPACES SHALL HAVE AN ACCESS PLATFORM (CATWALK IN ATTICS LIGHT SWITCH AND RECEPTACLE IN THE SPACE. PROVIDE A SERVICE RECEPTACLE FOR THE FURNACE. (CEC 210.63)

ALL DWELLINGS MUST HAVE ONE EXTERIOR OUTLET AT THE FRONT AND THE BACK OF THE DWELLING. (CEC 210.52(E)) GARAGE RECEPTACLES SHALL NOT SERVE OUTLETS OUTSIDE THE GARAGE. A MINIMUM OF 1 RECEPTACLE SHALL BE PROVIDED FOR EACH CAR SPACE. (210.52(G)(1))

A 15/20 AMP RECEPTACLE SHALL BE INSTALLED WITHIN 50FT OF

ELECTRICAL SERVICE EQUIPMENT. (CEC 210.64 11. KITCHENS, DINING ROOMS, PANTRIES, BREAKFAST NOOKS, AND SIMILAR AREAS MUST HAVE A MINIMUM OF TWO 20A CIRCUITS, KITCHEN, PANTRY, BREAKFAST NOOKS, DINING ROOMS, AND SIMILAR AREAS COUNTER OUTLETS MUST BE INSTALLED IN EVERY COUNTER SPACE 12" INCHES OR WIDER. NOT GREATER THAN 4' O.C., WITHIN 24" INCHES OF THE END OF ANY COUNTER SPACE AND NOT HIGHER THAN 20" ABOVE COUNTER. CEC 210.52 (C)) ISLAND COUNTER SPACES SHALL HAVE AT LEAST RECEPTACLE OUTLET UNLESS A RANGE TOP OR SINK IS INSTALLED THAN 2 RECEPTACLES MAY BE REQUIRED. 1 RECEPTACLE IS REQUIRED FOR PENINSULAR COUNTER SPACES. RECEPTACLES SHALL BE LOCATED BEHIND KITCHEN SINKS IF THE COUNTER AREA DEPTH BEHIND THE SINK IS MORE THAN 12" FOR STRAIGHT COUNTERS AND 18" FOR CORNER INSTALLATIONS. (CEC

FIGURE 210.52(C)(1) RECEPTACLES SHALL BE INSTALLED AT 12' O.C. MAXIMUM IN WALLS STARTING AT 6' MAXIMUM FROM THE WALL END. WALLS LONGER THAN TWO FEET SHALL HAVE A RECEPTACLE. HALLWAY WALLS LONGER THAN 10 FT SHALL HAVE A RECEPTACLE IN HALLWAYS. (CEC 13. RECEPTACLES SHALL NOT BE INSTALLED WITHIN OR DIRECTLY OVER

THAT ARE DESIGNED TO SERVE COUNTERTOP

A BATHTUB OR SHOWER STALL. (CEC 406.9(C) LIGHT PENDANTS, CEILING FANS, LIGHTING TRACKS, ETC SHALL NOT BE LOCATED WITHIN 3FT HORIZONTALLY AND 8FT VERTICALLY ABOVE A SHOWER AND/OR BATHTUB THRESHOLD. (CEC 410.10(D)) ALL LIGHTING/FAN FIXTURES LOCATED IN WET OR DAMP LOCATIONS SHALL BE RATED FOR THE APPLICATION. (CEC 410.10) 15. GFCI OUTLETS ARE REQUIRED: FOR ALL KITCHEN RECEPTACLES

OR BELOW GRADE LEVEL IN EXTERIOR OUTLIETS WITHIN 6' OF A LAUNDRY/UTILITY/WET BAR INKS. LAUNDRY AREAS. AND IN ALL GARAGE OUTLETS INCLUDING OUTLETS DEDICATED TO A SINGLE DEVICE OR GARAGE DOOR OPENER (CEC 210.8). CARBON-MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING

UNITS WITH FUEL-BURNING APPLIANCES OR WITH ATTACHED GARAGES (CRC R315): OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS

ALTERATIONS, REPAIRS, OR ADDITIONS EXCEEDING 1,000 DOLLARS (MAY BE BATTERY OPERATED) SMOKE ALARMS SHALL BE INSTALLED (CRC (R314): IN EACH ROOM USED FOR SLEEPING PURPOSES.

OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE

IN EACH STORY, INCLUDING BASEMENTS. SHALL NOT BE INSTALLED WITHIN 20FT HORIZONTALLY OF COOKING APPLIANCES AND NO CLOSER THAN 3FT TO MECHANICAL REGISTERS, CEILING FANS AND BATHROOM DOORS WITH A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE DETECTOR (314.3(4)). ALTERATIONS, REPAIRS, OR ADDITIONS EXCEEDING 1,000 DOLLARS.

(MAY BE BATTERY OPERATED) 18. ALL SMOKE AND CARBON-MONOXIDE ALARMS SHALL BE HARDWIRED WITH A BATTERY BACKUP (SMOKE ALARMS SHALL HAVE A 10-YEAR SEALED BATTERY), (CRC R314.4 & R315.1.2) ALL 15/20 AMPERE RECEPTACLES IN WET LOCATIONS SHALL HAVE IN-USE (BUBBLE) COVERS INSTALLED. ALL RECEPTACLES IN WET

LOCATIONS SHALL ALSO BE LISTED WEATHER-RESISTANT TYPE.

VICINITY OF BEDROOMS.

UNDERFLOOR CLEANOUTS SHALL NOT BE MORE THAN 5 FEET FROM AN UNDERFLOOR ACCESS, ACCESS DOOR OR TRAP DOOR. (CPC

ABS PIPING SHALL NOT BE EXPOSED TO DIRECT SUNLIGHT UNLESS PROTECTED BY WATER BASED SYNTHETIC LATEX PAINTS. (CPC BE 10" MINIMUM; HEADROOM 6'-8" MINIMUM; WIDTH 36" MINIMUM, 31.5" BEFWEENC PIPING SHALL NOT BE EXPOSED TO DIRECT SUNLIGHT UNLESS PROTECTED BY WATER BASED SYNTHETIC LATEX PAINT: 04" THICK

WRAP OR OTHERWISE PROTECTED FROM UV DEGRADATION. (CPC THE ADJACENT SPACE NEXT TO SHOWERS WITHOUT THRESHOLDS SHALL BE CONSIDERED A "WET LOCATION" WHEN USING THE CRC, CBC, AND THE CEC, (CPC 408.5) SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, SHALL HAVE A

MINIMUM FINISHED INTERIOR OF 1024 SQUARE INCHES (32" BY 32") AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30" CIRCLE. THE REQUIRED AREA AND DIMENSIONS SHALL BE MEASURED AT A HEIGHT EQUAL TO THE TOP OF THE THRESHOLD AND SHALL BE MAINTAINED TO A POINT OF NOT LESS THAN 70" ABOVE THE SHOWER DRAIN OUTLET. (CPC 408.6) PROVIDE CURTAIN ROD OR DOOR A MINIMUM OF 22" IN WIDTH (CPC 408.5). SHOWERS AND TUBS WITH SHOWERS REQUIRE A NON-ABSORBENT SURFACE UP TO 6' ABOVE THE FLOOR. (CRC

WATER HEATERS: PROVIDE PRESSURE RELIEF VALVE WITH DRAIN TO OUTSIDE FOR WATER HEATER. (CPC 504.6) PROVIDE SEISMIC STRAPPING IN THE UPPER & LOWER THIRD OF THE WATER HEATER A MINIMUM OF 4" ABOVE CONTROLS. (CPC 507.2) THE WATER HEATER SHALL BE OF AN INSTANTANEOUS TYPE OR THE FOLLOWING SHALL BE PROVIDED (NEW CONSTRUCTION ONLY) (CEC 150(N)): A 120V RECEPTACLES PROVIDED WITHIN 3FT

A CATEGORY III OR IV VENT, OR A STRAIGHT (WITHOUT BENDS) TYPE CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE BASE OF THE WATER HEATER

GAS SUPPLY LINE WITH A MINIMUM 200,000 BTU/HR DEDICATED CAPACITY FOR THE WATER HEATER DOMESTIC HOT WATER LINES SHALL BE INSULATED. INSULATION SHALL BE THE THICKNESS OF THE PIPE DIAMETER UP TO 2" IN SIZE AND MINIMUM 2" THICKNESS FOR PIPES LARGER THAN 2" IN DIAMETER. (CPC 609.11)

A 3-INCH GRAVITY DRAIN SHALL BE PROVIDED AT THE LOW POINT OF UNDERFLOOR SPACES, INSTALLED SO AS TO PROVIDE 1/4-INCH PER FOOT GRADE AND TERMINATE AT AN EXTERIOR POINT OF THE BUILDING PROTECTED FROM BLOCKAGE. THE OPENING SHALL BE SCREENED WITH A CORROSION-RESISTANT WIRE MESH WITH MESH OPENINGS OF 1/4-INCH IN DIMENSION I ENGTHS OF THE GRAVITY DRAINS OVER 10 FEET IN LENGTH SHALL BE FIRST APPROVED BY

THE BUILDING OFFICIAL. (L-V 8.9) WATER HEATERS LOCATED IN ATTICS, CEILING ASSEMBLIES AND RAISED FLOOR ASSEMBLIES SHALL SHOW A WATER-TIGHT CORROSION RESISTANT MINIMUM 1 1/2" DEEP PAN UNDER THE WATER HEATER WITH A MINIMUM ¾ INCH DRAIN TO THE EXTERIOR OF THE BUILDING, (CPC 507.5)

WATER CLOSET SHALL BE LOCATED IN A SPACE NOT LESS THAN 30" IN WIDTH (15" ON EACH SIDE) AND 24" MINIMUM CLEARANCE IN FRONT, (CPC 402.5) THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM A BATHTUB OR WHIRLPOOL BATHTUB FILLER SHALL NOT EXCEED 120

PROVIDE ANTI-SIPHON VALVES ON ALL HOSE BIBS. (CPC 603.5.7) 3. FLOOR DRAINS SHALL BE PROVIDED WITH A TRAP PRIMER. (CPC 14. MAXIMUM WATER FLOW RATES. (CGBSC 4.303.1): WATER CLOSETS: 1.28GPF

#### URINALS: 125GPF KITCHEN FAUCETS: 1.8GPM @ 60PSI LAVATORY FAUCETS: 1.2PGM @ 60PSI SHOWERHEADS: 2GPM

#### **MECHANICAL**

WOOD BURNING APPLIANCES SHALL BE ONE OF THE FOLLOWING: A PELLET-FUELED WOOD BURNING HEATER. A U.S. EPA PHASE II CERTIFIED WOOD BURNING HEATER. AN APPLIANCE OR FIREPLACE DETERMINED TO MEET THE U.S. EPA PARTICULATE MATTER EMISSION STANDARD OF LESS THAN 7.5 GRAMS PER HOUR FOR A NON-CATALYTIC WOOD FIRED APPLIANCE

OR 4.1 GRAMS PER HOUR FOR A CATALYTIC WOOD FIRED APPLIANCE AND IS APPROVED IN WRITING BY THE APCO ALL NEWLY INSTALLED GAS FIREPLACES SHALL BE DIRECT VENT AND SEALED-COMBUSTION TYPE. (CMC 912.2) ANY INSTALLED WOOD STOVE OR PELLET STOVE SHALL HAVE A

PERMANENT NSPS LABEL CERTIFYING EMISSION LIMITS. TOP CHIMNEY MUST EXTEND A MINIMUM OF 2 FT. ABOVE ANY PART OF THE BUILDING WITHIN 10 FT. (CMC 802.5.4) FIREPLACES SHALL HAVE CLOSABLE METAL OR GLASS DOORS, HAVE COMBUSTION AIR INTAKE DRAWN FROM THE OUTSIDE AND HAVE A READILY ACCESSIBLE FLUE DAMPENER CONTROL. CONTINUOUS

BURNING PILOT LIGHTS ARE PROHIBITED. (CEC 150.0(E)) PROVIDE COMBUSTION AIR FOR ALL GAS FIRED APPLIANCES PER CMC CHAPTER 7 GAS VENTS PASSING THROUGH AN INSULATED ASSEMBLY SHALL HAVE A METAL INSULATION SHIELD A MINIMUM 2" ABOVE INSULATION.

GAS WATER HEATER AND FURNACE ARE NOT ALLOWED IN AREAS OPENING INTO BATHROOMS, CLOSETS OR BEDROOMS UNLESS INSTALLED IN A CLOSET EQUIPPED WITH A LISTED GASKETED DOOR ASSEMBLY AND A LISTED SELF-CLOSING DEVICE WITH ALL COMBUSTION AIR OBTAINED FROM THE OUTDOORS. (CPC 504) ROOF TOP EQUIPMENT ON ROOFS WITH OVER 4/12 SLOPE SHALL

HAVE A LEVEL 30"X30" WORKING PLATFORM. (CMC 304.2) EXHAUST OPENINGS TERMINATING TO THE OUTDOORS SHALL BE COVERED WITH A CORROSION RESISTANT SCREEN 1/4"-1/2" IN OPENING SIZE (NOT REQUIRED FOR CLOTHES DRYERS). (CMC 502.1) VENT DRYER TO OUTSIDE OF BUILDING (NOT TO UNDER-FLOOR AREA). VENT LENGTH SHALL BE 14 MAXIMUM. SHALL TERMINATE A

MINIMUM OF 3' FROM THE PROPERTY LINE AND ANY OPENING INTO THE BUILDING. (CMC 504.4.2) ENVIRONMENTAL AIR DUCTS SHALL NOT TERMINATE LESS THAN 3' TO A PROPERTY LINE. 10' TO A FORCED AIR INLET. 3' TO OPENINGS INTO THE BUILDING AND SHALL NOT DISCHARGE ON TO A

PUBLIC (CMC 502.2.1) PROVIDE MINIMUM 100 SQUARE INCHES MAKE-UP AIR FOR CLOTHES DRYERS INSTALLED IN CLOSETS. (CMC 504.4.1(1)) HEATING SYSTEM IS REQUIRED TO MAINTAIN 68 DEGREES AT 3 FT. ABOVE FLOOR LEVEL AND 2FT FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS. (CRC R303.9)

ALL DUCTS IN CONDITIONED SPACES MUST INCLUDE R-4.2 INSULATION. (CALIFORNIA ENERGY CODE 150.1(C)9) INSULATE THE FIRST 5' OF HOT/COLD WATER LINES, ALL LINES 3/4 INCH IN DIAMETER OR LARGER, ALL RECIRCULATION PIPING, PIPING TO STORAGE TANKS AND ALL HOT WATER PIPES TO KITCHEN FIXTURES FROM THE WATER HEATER. (CALIFORNIA ENERGY CODE

ISOLATION WATER VALVES REQUIRED FOR INSTANTANEOUS WATER HEATERS 6.8KBTU/HR AND ABOVE VALVES SHALL BE INSTALLED ON BOTH COLD AND HOT WATER LINES, EACH VALVE WILL NEED A HOSE BIB OR OTHER FITTING ALLOWING FOR FLUSHING THE WATER HEATER WHEN THE VALVES ARE CLOSED. (CEC 110.3(C)7) ALL LUMINAIRES MUST BE HIGH EFFICACY (CALIFORNIA ENERGY

SURFACES, DISHWASHERS, BATHROOMS, IN UNDER-FLOOR SPACES 5. THE MAXIMUM NUMBER OF BLANK ELECTRICAL BOXES INSTALLED MORE THAN 5 FEET ABOVE THE FLOOR IS LIMITED TO THE NUMBER OF BEDROOMS. THE BLANK BOXES SHALL BE SERVED BY A DIMMER, VACANCY SENSOR OR FAN SPEED CONTROL. (CALIFORNIA ENERGY

LUMINARIES RECESSED IN INSULATED CEILINGS MUST MEET THESE REQUIREMENTS (CALIFORNIA ENERGY CODE 150.0(K)1C): THEY MUST BE RATED FOR DIRECT INSULATION CONTACT (IC). THEY MUST BE CERTIFIED AS AIRTIGHT (AT) CONSTRUCTION. THEY MUST HAVE A SEALED GASKET OR CAULKING BETWEEN THE HOUSING AND CEILING TO PREVENT FLOW OF HEATED OR COOLED AIR OUT OF LIVING AREAS AND INTO THE CEILING CAVITY.

THEY SHALL CONTAIN A JA8 COMPLIANT LIGHT SOURCE • IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR. (CALIFORNIA ENERGY CODE JOINT APPENDIX A (JA8) CERTIFIED LAMPS SHALL BE CONSIDERED

HIGH EFFICACY. JA8 COMPLIANT LIGHT SOURCES SHALL BE

CONTROLLED BY A VACANCY SENSOR OR DIMMER. (EXCEPTION:

THEY MAY NOT CONTAIN A SCREW BASE SOCKETS

<70SF CLOSETS AND HALLWAY) (CALIFORNIA ENERGY CODE UNDER-CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS. (CALIFORNIA ENERGY CODE 150.0(K)2L) ALL EXTERIOR LIGHTING SHALL BE HIGH EFFICACY, BE CONTROLLED BY A MANUAL ON/OFF SWITCH AND HAVE ONE OF THE FOLLOWING CONTROLS (THE MANUAL SWITCH SHALL NOT OVERRIDE THE

AUTOMATIC CONTROL DEVICE): (CALIFORNIA ENERGY CODE

PHOTO-CONTROL AND MOTION SENSOR PHOTO-CONTROL AND AUTOMATIC TIME SWITCH CONTROL ASTRONOMICAL TIME CLOCK CONTROL TURNING LIGHTS OFF

DURING THE DAY ALL HIGH EFFICACY LIGHT FIXTURES SHALL BE CERTIFIED AS "HIGH-EFFICACY" LIGHT FIXTURES BY THE CALIFORNIA ENERGY COMMISSION. CONTRACTOR SHALL PROVIDE THE HOMEOWNER WITH A LUMINAIRE

SCHEDULE GIVING THE LAMPS USED IN THE LUMINAIRES INSTALLED. (CALIFORNIA ENERGY CODE 10-103(B)) PROJECT SHALL MEET THE MINIMUM VENTILATION AND ACCEPTABLE INDOOR AIR QUALITY REQUIREMENTS PER ASHRAE STANDARD 62.2. WINDOW OPERATION IS NOT A PERMISSIBLE METHOD OF PROVIDING THE WHOLE BUILDING VENTUATION AIRELOW REQUIRED. THIS IS SUBJECT TO HERS TESTING. THE FOLLOWING LABEL MUST BE ATTACHED TO THE FAN SWITCH: "TO MAINTAIN MINIMUM LEVELS OF OUTSIDE AIR VENTILATION REQUIRED FOR GOOD HEALTH, THE FAN CONTROL SHOULD BE ON AT ALL TIMES WHEN THE BUILDING IS OCCUPIED, UNLESS THERE IS SEVERE OUTDOOR AIR CONTAMINATION " (CALIFORNIA ENERGY CODE 150 0(O))

#### WILDLAND URBAN INTERFACE (WUI)

BUILDINGS CONSTRUCTED AFTER JANUARY 1, 2008 EXTERIOR WALL COVERINGS SHALL BE NONCOMBUSTIBLE, IGNITION RESISTANT, HEAVY TIMBER, LOG WALL OR FIRE RESISTIVE

CONSTRUCTION, (CRC R337.7) EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE FOUNDATION TO THE ROOF AND TERMINATE AT 2 INCH NOMINAL SOLID BLOCKING BETWEEN RAFTERS AND OVERHANGS. (CRC R337.7.3.1) OPEN/ENCLOSED ROOF EAVES AND SOFFITS, EXTERIOR PORCH

CEILINGS, FLOOR PROJECTIONS, UNDER-FLOOR AREAS AND UNDERSIDES OF APPENDAGES TO COMPLY WITH IGNITION RESISTANT CONSTRUCTION REQUIREMENTS. (CRC R337.5-9) (SHOW COMPLIANCE ON THE PLANS). SPACES CREATED BETWEEN ROOF COVERINGS AND ROOF DECKING SHALL BE FIRE STOPPED BY APPROVED MATERIALS OR HAVE ONE

LAYER OF MINIMUM 72LB MINERAL SURFACED NONPERFORATED CAP SHEET COMPLYING WITH ASTM D 3909. (CRC R337.5.2) VALLEY FLASHING SHALL BE NOT LESS THAN 26AWG AND INSTALLED OVER NOT LESS THAN ONE LAYER OF MINIMUM 72LB MINERAL SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D 3909 AND AT LEAST 36 INCHES WIDE RUNNING THE FULL LENGTH.

(CRC R337.5.3) ATTIC GABLE AND FAVES ABOVE 12FT AND UNDER-FLOOR VENTILATION SHALL BE PROVIDED WITH FULLY COVERED METAL WIRE MESH. VENTS. OR OTHER MATERIALS THAT HAVE A MINIMUM 1/16 INCH AND MAXIMUM 1/8 INCH OPENINGS, NON-COMBUSTIBLE AND CORROSION RESISTANT. ALL OTHER EAVE VENTS SHALL BE LISTED/APPROVED TO RESIST THE INTRUSION OF FLAME AND BURNING (CRC R337.6) EXTERIOR GLAZING SHALL HAVE A MINIMUM OF ONE-TEMPERED

PANE GLASS BLOCK HAVE A FIRE RESISTIVE RATING OF 20 MINUTES. OR BE TESTED TO MEET PERFORMANCE REQUIREMENTS OF SFM 8. EXTERIOR DOORS INCLUDING GARAGE DOORS SHALL BE NONCOMBUSTIBLE, IGNITION RESISTANT MATERIAL, MINIMUM 1 3/ INCH SOLID CORE, MINIMUM 20 MINUTE FIRE RESISTIVE RATING OR

SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SEM STANDARD 12-7A-1 (CRC R337 8 3). THE WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES AND STAIRS WITHIN 10FT OF GRADE LEVEL SHALL BE IGNITION RESISTANT MATERIAL, EXTERIOR FIRE RETARDANT TREATED WOOD OR NONCOMBUSTIBLE MATERIAL. (CRC R337.9)

NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT WHICH IN TOTAL DISTURBS ONE ACRE OR MORE, SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION, ONE OR MORE OF THE FOLLOWING MEASURES SHALL BE IMPLEMENTED TO PREVENT FLOODING OF ADJACENT PROPERTY, PREVENT EROSION AND RETAIN SOIL RUNOFF ON THE SITE (CGBSC 4.106.2):

PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL AND ARE

 RETENTION BASINS OF SUFFICIENT SIZE SHALL BE UTILIZED TO RETAIN STORM WATER ON SITE WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, COLLECTION POINT, GUTTER, OR SIMILAR DISPOSAL METHOD, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATTLE OR OTHER METHOD APPROVED BY THE ENFORCING

ALL NEW RESIDENTIAL CONSTRUCTION WITH ATTACHED PRIVATE GARAGES SHALL HAVE THE FOLLOWING FOR ELECTRIC VEHICLE (EV) CHARGING STATIONS (CGBSC 4 106 4) INSTALL A MINIMUM 1-INCH CONDUIT CAPABLE OF SUPPLYING A 208/240V BRANCH CIRCUIT TO A SUITABLE BOX LOCATION FOR EV

CHARGING. THE OTHER END SHALL TERMINATE TO THE MAIN SERVICE AND/OR SUBPANEL THE MAIN PANEL AND/OR SUBPANEL SHALL BE OF SUFFICIENT SIZE TO INSTALL A 40-AMPERE DEDICATED BRANCH CIRCUIT. THE DEDICATED OVERCURRENT PROTECTION SPACE SHALL BE LABELED "EV CAPABLE"

MULTIPLE SHOWER HEADS SERVING A SINGLE SHOWER SHALL HAVE A COMBINED FLOW RATE OF 2GPM OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. (CGBSC 4.303.1.3.2) RESIDENTIAL PROJECTS WITH AN AGGREGATE LANDSCAPE AREA EQUAL TO OR GREATER THAN 500 SQUARE FEET SHALL COMPLY WITH EITHER A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT. AUTOMATIC IRRIGATION SYSTEM CONTROLLERS INSTALLED AT TIME OF FINAL INSPECTION SHALL HAVE WEATHER OR SOIL BASED CONTROLLERS AND/OR WEATHER BASED CONTROLLERS WITH RAIN SENSORS. SOIL

MOISTURE BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT. (CGBSC 4.304) RECYCLE AND/OR REUSE A MINIMUM OF 65 PERCENT OF NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE. (CGBSC

MAINTENANCE MANUAL, COMPACT DISC, ETC SHALL BE PROVIDED CONTAINING THE FOLLOWING: (CGBSC 4.410) DIRECTIONS THAT MANUAL SHALL REMAIN ONSITE FOR THE LIFE OF OPERATION AND MAINTENANCE INSTRUCTIONS FOR EQUIPMENT, APPLIANCES, ROOF/YARD DRAIN-AGE, IRRIGATION SYSTEMS, ETC

AT TIME OF FINAL INSPECTION, A BUILDING OPERATION AND

PROVIDERS PUBLIC TRANSPORTATION AND CARPOOL OPTIONS MATERIAL REGARDING IMPORTANCE OF KEEPING HUMIDITY LEVELS INFORMATION REGARDING ROUTINE MAINTENANCE PROCEDURES STATE SOLAR ENERGY INCENTIVE PROGRAM INFORMATION

A COPY OF ANY REQUIRED SPECIAL INSPECTION VERIFICATIONS

THAT WERE REQUIRED (IF ANY)

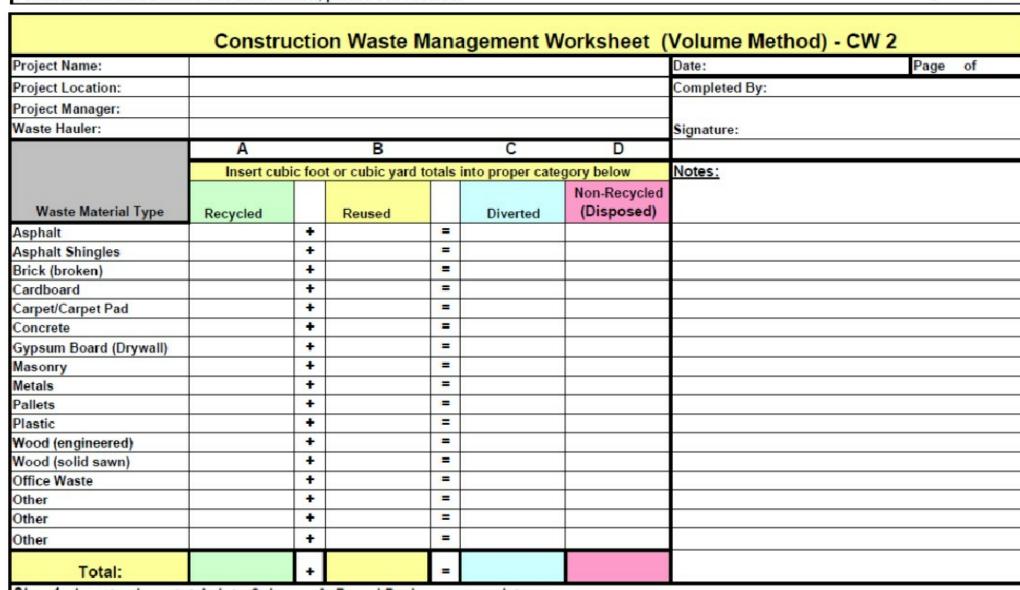
ENTER THE SYSTEM. (CGBSC 4.504 1)

INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY

THE PROJECT SHALL MEET MINIMUM POLLUTANT CONTROL REQUIREMENTS FOR ADHESIVES, SEALANTS, CAULKS, PAINTS, CARPET, RESILIENT FLOORING SYSTEMS, ETC. (CGBSC 4.504) DUCT OPENINGS RELATED TO HVAC SYSTEMS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS WHICH MAY

GENERAL NOTES BASED ON THE 2019 CALIFORNIA BUILDING STANDARD CODES. THIS IS NOT AN ALL INCLUSIVE LIST OF CODE REQUIREMENTS SPECIFIC TO THE PROJECT. REFERENCE APPLICABLE SHEETS AND SPECIFIC AREAS OF THE PLANS FOR LOCATIONS OF FIXTURES/ FOUIPMENT, STRUCTURAL COMPONENTS, STRUCTURAL DESIGN CRITERIA, BUILDING FINISHES AND OTHER COMPONENTS SPECIFIC TO

roject Name:							Date:	Page of
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			- giii teimie iiite	P P		Non-Recycled		
Waste Material Type	Recycled		Reused		Diverted	(Disposed)		
sphalt		+		=				
Asphalt Shingles		+		=				
Brick (broken)		+		=			·	
ardboard		+		=				
Carpet/Carpet Pad		+		=				
oncrete		+		=				
Sypsum Board (Drywall)		+		=				
lasonry		+		=				
Metals		+		=				
allets		+		=				
lastic		+		=				
Vood (engineered)		+		=				
Vood (solid sawn)		+		=				
ffice Waste		+		=				
ther		+		=				
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ther		+		=				
Total:		<b> </b>		-				



If Column C is larger than Column D (on the summary sheet), compliance with 65 percent waste reduction requirement is achieved.

Step 1 - Insert volume totals into Columns A. B. and D where appropriate.

Step 2 - Add Column A to Column B and insert total into Column C for total diverted volume.

Step 2 - Add Column A to Column B and insert total into Column C for total diverted weight.

f multiple worksheets are used, transfer column totals from each worksheet to the summary sheet.

Step 3 - Add each column down and enter totals in the boxes provided.

For additional instructions and information, please see reverse.

Step 3 - Add each column down and enter totals in the boxes provided.

If Column C is larger than Column D (on the summary sheet), compliance with 65 percent waste reduction requirement is achieved. If multiple worksheets are used, transfer column totals from each worksheet to the summary sheet. For additional instructions and information, please see reverse.

#### Instructions for Weight or Volume Method:

 Choose which method of construction waste tracking to be used throughout the project. Choose either the Weight Method or the Volume Method, but do not use different methods on the same worksheet.

 To minimize confusion, use the same unit of measure and do not mix pounds and tons, or Cu. Yds. and Cu. Ft. on the same worksheet. It is easiest to stay with the same unit of measure for the entire project to avoid the need for conversions.

Enter construction waste materials that are to be recycled under Recycled (Column A).

Enter construction waste materials that are to be reused under Reused (Column B).

Enter construction waste materials that will not get recycled or reused under Non-Recycled/Disposed (Column D).

Add amounts from Column A to amounts from Column B and enter the total under Diverted (Column C).

Add amounts in each Column (A, B, C, and D) and enter these sums into Total boxes.

 If the Diverted amount (Column C) is greater than the Non-Recycled/Disposed amount (Column D), compliance with the construction waste reduction requirement of at least 65 percent per Section 4.408.1 has been achieved.

When more than one worksheet is used, transfer the data onto the Weight or Volume Summary Worksheet at the completion

#### Examples of weights and volumes of some typical construction waste materials'

Material	Range of pounds per cubic yard	Typical pounds per cubic yard	Typical cubic yards per ton
Asphalt roofing material	250-460	360	5.5
Asphalt - paving	1300-2200	1750	1.1
Cardboard	70-135	85	23.5
Concrete	1300-2200	1750	1.1
Gypsum Drywall	315-470	400	5
Metals	220-1940	540	3.7
Wood	200-540	499	5

Standard Conversions: 1 cubic yard equals 27 cubic feet 1 ton equals 2000 pounds

\* Source: Sacramento Regional Solid Waste Authority

No. Description Date Plan Check | 05/24/2022 **General Notes** 



# 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

NOT APPLICABLE
RESPONSIBLE PARTY (Ie: ARCHITECT, ENGINEER,
OWNER, CONTRACTOR, INSPECTOR ETC.) **CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL** DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION 4.106.4.2.1.1 Electric Vehicle Charging Stations (EVCS) When EV chargers are installed, EV spaces **301.1 SCOPE.** Buildings shall be designed to include the green building measures specified as mandatory in **EFFICIENCY** required by Section 4.106.2.2, Item 3, shall comply with at least one of the following options: the application checklists contained in this code. Voluntary green building measures are also included in the 4.303 INDOOR WATER USE application checklists and may be included in the design and construction of structures covered by this code, 1. The EV space shall be located adjacent to an accessible parking space meeting the 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE **4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS.** Plumbing fixtures (water closets and but are not required unless adopted by a city, county, or city and county as specified in Section 101.7. requirements of the California Building Code, Chapter 11A, to allow use of the EV charger urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, **4.406.1 RODENT PROOFING.** Annular spaces around pipes, electric cables, conduits or other openings in from the accessible parking space. sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such 2. The EV space shall be located on an accessible route, as defined in the California Building 301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing additions or alterations of existing residential buildings where the addition or alteration increases the Code, Chapter 2, to the building. Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving building's conditioned area, volume, or size. The requirements shall apply only to and/or within the plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final specific area of the addition or alteration. **Exception:** Electric vehicle charging stations designed and constructed in compliance with the 4.408 CONSTRUCTION WASTE REDUCTION. DISPOSAL AND RECYCLING completion, certificate of occupancy, or final permit approval by the local building department. See Civil California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.1.1 and Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential **4.408.1 CONSTRUCTION WASTE MANAGEMENT.** Recycle and/or salvage for reuse a minimum of 65 Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or buildings affected and other important enactment dates. percent of the non-hazardous construction and demolition waste in accordance with either Section improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate **Note:** Electric Vehicle charging stations serving public housing are required to comply with the *California* **4.303.1.1 Water Closets.** The effective flush volume of all water closets shall not exceed 1.28 gallons per of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and Exceptions: other important enactment dates 4.106.4.2.2 Electric vehicle charging space (EV space) dimensions. The EV space shall be designed to comply with the following: Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume Excavated soil and land-clearing debris. 2. Alternate waste reduction methods developed by working with local agencies if diversion or of two reduced flushes and one full flush. 301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of . The minimum length of each EV space shall be 18 feet (5486 mm). recycle facilities capable of compliance with this item do not exist or are not located reasonably individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential The minimum width of each EV space shall be 9 feet (2743 mm). **4.303.1.2 Urinals.** The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. 3. One in every 25 EV spaces, but not less than one EV space, shall have an 8-foot (2438 mm) buildings, or both. Individual sections will be designated by banners to indicate where the section applies The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush. 3. The enforcing agency may make exceptions to the requirements of this section when isolated specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the iobsites are located in areas beyond the haul boundaries of the diversion facility. high-rise buildings, no banner will be used. minimum width of the EV space is 12 feet (3658 mm). 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan a. Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units 4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 in conformance with Items 1 through 5. The construction waste management plan shall be updated as **SECTION 302 MIXED OCCUPANCY BUILDINGS** horizontal (2.083 percent slope) in any direction. gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA necessary and shall be available during construction for examination by the enforcing agency. WaterSense Specification for Showerheads. **302.1 MIXED OCCUPANCY BUILDINGS.** In mixed occupancy buildings, each portion of a building 1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, shall comply with the specific green building measures applicable to each specific occupancy. 4.106.4.2.3 Single EV space required. Install a listed raceway capable of accommodating a 208/240-**4.303.1.3.2 Multiple showerheads serving one shower**. When a shower is served by more than one reuse on the project or salvage for future use or sale. volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by 2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or diameter). The raceway shall originate at the main service or suppanel and shall terminate into a listed a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only **ABBREVIATION DEFINITIONS:** bulk mixed (single stream). cabinet, box or enclosure in close proximity to the proposed location of the EV space. Construction allow one shower outlet to be in operation at a time. 3. Identify diversion facilities where the construction and demolition waste material collected will be Department of Housing and Community Development documents shall identify the raceway termination point. The service panel and/or subpanel shall provide California Building Standards Commission capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit Note: A hand-held shower shall be considered a showerhead. 4. Identify construction methods employed to reduce the amount of construction and demolition waste Division of the State Architect, Structural Safety installation of a branch circuit overcurrent protective device. OSHPD Office of Statewide Health Planning and Development 4.303.1.4 Faucets. 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated 4.106.4.2.4 Multiple EV spaces required. Construction documents shall indicate the raceway by weight or volume, but not by both. High Rise termination point and proposed location of future EV spaces and EV chargers. Construction documents 4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall Additions and Alterations shall also provide information on amperage of future EVSE, raceway method(s), wiring schematics and not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall **4.408.3 WASTE MANAGEMENT COMPANY.** Utilize a waste management company, approved by the electrical load calculations to verify that the electrical panel service capacity and electrical system, not be less than 0.8 gallons per minute at 20 psi. enforcing agency, which can provide verifiable documentation that the percentage of construction and including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs demolition waste material diverted from the landfill complies with Section 4.408.1. at all required EV spaces at the full rated amperage of the EVSE. Plan design shall be based upon a 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory 40-ampere minimum branch circuit. Required raceways and related components that are planned to be faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential Note: The owner or contractor may make the determination if the construction and demolition waste installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the buildings shall not exceed 0.5 gallons per minute at 60 psi. materials will be diverted by a waste management company. RESIDENTIAL MANDATORY MEASURES time of original construction. **4.303.1.4.3 Metering Faucets.** Metering faucets when installed in residential buildings shall not deliver 4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined **DIVISION 4.1 PLANNING AND DESIGN** 4.106.4.2.5 Identification. The service panel or subpanel circuit directory shall identify the overcurrent weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 more than 0.2 gallons per cycle. protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in **SECTION 4.102 DEFINITIONS** 4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not The following terms are defined in Chapter 2 (and are included here for reference) to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per **4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE.** Projects that generate a total combined **4.106.4.3 New hotels and motels.** All newly constructed hotels and motels shall provide EV spaces weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds capable of supporting future installation of EVSE. The construction documents shall identify the location FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar per square foot of the building area, shall meet the minimum 65% construction waste reduction of the EV spaces. Note: Where complying faucets are unavailable, aerators or other means may be used to achieve pervious material used to collect or channel drainage or runoff water. requirement in Section 4.408.1 WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials **I.408.5 DOCUMENTATION.** Documentation shall be provided to the enforcing agency which demonstrates such as hav, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also 4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4... 1. Construction documents are intended to demonstrate the project's capability and capacity in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table used for perimeter and inlet controls. or facilitating future EV charging. 1701.1 of the California Plumbing Code. 2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. **4.106.1 GENERAL.** Preservation and use of available natural resources shall be accomplished through evaluation 1. Sample forms found in "A Guide to the California Green Building Standards Code and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in 4.106.4.3.1 Number of required EV spaces. The number of required EV spaces shall be based THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND management of storm water drainage and erosion controls shall comply with this section. documenting compliance with this section. on the total number of parking spaces provided for all types of parking facilities in accordance with IS INCLUDED AS A CONVENIENCE FOR THE USER. 2. Mixed construction and demolition debris (C & D) processors can be located at the California Table 4.106.4.3.1. Calculations for the required number of EV spaces shall be rounded up to the 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less Department of Resources Recycling and Recovery (CalRecycle). than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre TABLE - MAXIMUM FIXTURE WATER USE 4.410 BUILDING MAINTENANCE AND OPERATION or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent **4.410.1 OPERATION AND MAINTENANCE MANUAL.** At the time of final inspection, a manual, compact TABLE 4.106.4.3.1 property, prevent erosion and retain soil runoff on the site. disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building: TOTAL NUMBER OF PARKING NUMBER OF REQUIRED EV SHOWER HEADS Retention basins of sufficient size shall be utilized to retain storm water on the site. 1.8 GMP @ 80 PSI (RESIDENTIAL) 1. Directions to the owner or occupant that the manual shall remain with the building throughout the 2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved life cycle of the structure. LAVATORY FAUCETS MAX. 1.2 GPM @ 60 PSI 2. Operation and maintenance instructions for the following: (RESIDENTIAL) MIN. 0.8 GPM @ 20 PSI 3. Compliance with a lawfully enacted storm water management ordinance. a. Equipment and appliances, including water-saving devices and systems, HVAC systems, LAVATORY FAUCETS IN photovoltaic systems, electric vehicle chargers, water-heating systems and other major 0.5 GPM @ 60 PSI Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or COMMON & PUBLIC USE AREAS appliances and equipment. b. Roof and yard drainage, including gutters and downspouts. are part of a larger common plan of development which in total disturbs one acre or more of soil. KITCHEN FAUCETS 1.8 GPM @ 60 PSI c. Space conditioning systems, including condensers and air filters. (Website: https://www.waterboards.ca.gov/water\_issues/programs/stormwater/construction.html) d. Landscape irrigation systems. METERING FAUCETS 0.2 GAL/CYCLE e. Water reuse systems. 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will 3. Information from local utility, water and waste recovery providers on methods to further reduce WATER CLOSET 1.28 GAL/FLUSH 76-100 resource consumption, including recycle programs and locations. manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: URINALS 0.125 GAL/FLUSH 4. Public transportation and/or carpool options available in the area. 101-150 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range. 151-200 6. Information about water-conserving landscape and irrigation design and controllers which conserve 2. Water collection and disposal systems French drains 201 and over 6 percent of total 4.304 OUTDOOR WATER USE Water retention gardens 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with 5. Other water measures which keep surface water away from buildings and aid in groundwater feet away from the foundation. a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water 4.106.4.3.2 Electric vehicle charging space (EV space) dimensions. The EV spaces shall be designed to 8. Information on required routine maintenance measures, including, but not limited to, caulking, Efficient Landscape Ordinance (MWELO), whichever is more stringent. painting, grading around the building, etc. **Exception**: Additions and alterations not altering the drainage path. 9. Information about state solar energy and incentive programs available. 1. The minimum length of each EV space shall be 18 feet (5486mm). 10. A copy of all special inspections verifications required by the enforcing agency or this code. 2. The minimum width of each EV space shall be 9 feet (2743mm) **4.106.4 Electric vehicle (EV) charging for new construction.** New construction shall comply with Sections 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, 4.106.4.1. 4.106.4.2, or 4.106.4.3 to facilitate future installation and use of EV chargers. Electric vehicle supply **4.410.2 RECYCLING BY OCCUPANTS.** Where 5 or more multifamily dwelling units are constructed on a Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. 4.106.4.3.3 Single EV space required. When a single EV space is required, the EV space shall be designed building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the available at: https://www.water.ca.gov/ in accordance with Section 4.106.4.2.3. depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling 4.106.4.3.4 Multiple EV spaces required. When multiple EV spaces are required, the EV spaces shall be 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and ordinance, if more restrictive, infrastructure are not feasible based upon one or more of the following conditions: designed in accordance with Section 4.106.4.2.4. 1.1 Where there is no commercial power supply. **Exception:** Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 4.106.4.3.5 Identification. The service panels or sub-panels shall be identified in accordance with Section 1.2 Where there is evidence substantiating that meeting the requirements will alter the local 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of utility infrastructure design requirements on the utility side of the meter so as to increase the utility side cost to the homeowner or the developer by more than \$400.00 per **4.106.4.3.6 Accessible EV spaces.** In addition to the requirements in Section 4.106.4.3, EV spaces for dwelling unit. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional hotels/motels and all EVSE, when installed, shall comply with the accessibility provisions for the EV charging stations in the California Building Code, Chapter 11B. DIVISION 4.5 ENVIRONMENTAL QUALITY 4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway DIVISION 4.2 ENERGY EFFICIENCY **SECTION 4.501 GENERAL** shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main 4.501.1 Scope service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors. **4.201.1 SCOPE.** For the purposes of mandatory energy efficiency standards in this code, the California Energy concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere Commission will continue to adopt mandatory standards. minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent **SECTION 4.502 DEFINITIONS** 5.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference) **4.106.4.1.1 Identification.** The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door location shall be permanently and visibly marked as "EV CAPABLE". cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements. **4.106.4.2** New multifamily dwellings. If residential parking is available, ten (10) percent of the total number of COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood. spaces (EV spaces) capable of supporting future EVSE. Calculations for the required number of EV spaces shall structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated be rounded up to the nearest whole number. wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 1. Construction documents are intended to demonstrate the project's capability and capacity for **DIRECT-VENT APPLIANCE.** A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere. 2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed **4.106.4.2.1 Electric vehicle charging space (EV space) locations.** Construction documents shall indicate the location of proposed EV spaces. Where common use parking is provided at least one EV space shall be located in the common use parking area and shall be available for use by all residents.

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE 2016 CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED AN AMEND TO INDICATE AREAS OF COMPLIANCE WITH THE FULL CODE.

Wilkins Studio

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Description Date

05/24/202

Submittal

Plan Check

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**Green Sheet** 



and 94701.

product (excluding container and packaging).

4.504 POLLUTANT CONTROL

management district rules apply:

Table 4.504.3 shall apply.

4.503 FIREPLACES

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a

Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700

MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.

PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this

article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to

hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17. Section 94508(a).

4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed

4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING

**CONSTRUCTION.** At the time of rough installation, during storage on the construction site and until final

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.

startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component

openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to

4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the

Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks

Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and

2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in

prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17,

**4.504.2.2 Paints and Coatings.** Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits

apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss

coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR

Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air

50

50

150

100

65

50

50

70

100

250

50

510

490

325

250

550

80

250

140

250

30

50

30

80

Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation

Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic

compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the

enforcing agency. Documentation may include, but is not limited to, the following:

TABLE 4.504.1 - ADHESIVE VOC LIMIT $_{1,2}$ 

(Less Water and Less Exempt Compounds in Grams per Liter)

shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable.

units of product, less packaging, which do not weigh more than 1 pound and do not consist of more

than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including

requirements of the following standards unless more stringent local or regional air pollution or air quality

tricloroethylene), except for aerosol products, as specified in Subsection 2 below.

**VOC.** A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain

woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as

applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves,

Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).

pellet stoves and fireplaces shall also comply with applicable local ordinances.

reduce the amount of water, dust or debris which may enter the system

commencing with section 94507.

1. Manufacturer's product specification.

ARCHITECTURAL APPLICATIONS

INDOOR CARPET ADHESIVES

OUTDOOR CARPET ADHESIVES

WOOD FLOORING ADHESIVES

RUBBER FLOOR ADHESIVES

SUBFLOOR ADHESIVES

CERAMIC TILE ADHESIVES

COVE BASE ADHESIVES

VCT & ASPHALT TILE ADHESIVES

DRYWALL & PANEL ADHESIVES

STRUCTURAL GLAZING ADHESIVES

OTHER ADHESIVES NOT LISTED

SPECIALTY APPLICATIONS

PLASTIC CEMENT WELDING

CONTACT ADHESIVE

TOP & TRIM ADHESIVE

METAL TO METAL

PLASTIC FOAMS

**FIBERGLASS** 

ADHESIVE PRIMER FOR PLASTIC

SPECIAL PURPOSE CONTACT ADHESIVE

STRUCTURAL WOOD MEMBER ADHESIVE

SUBSTRATE SPECIFIC APPLICATIONS

POROUS MATERIAL (EXCEPT WOOD)

PVC WELDING

CPVC WELDING

ABS WELDING

MULTIPURPOSE CONSTRUCTION ADHESIVE

SINGLE-PLY ROOF MEMBRANE ADHESIVES

CARPET PAD ADHESIVES

Field verification of on-site product containers.

compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to

# 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)



**INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS** 

**702.1 INSTALLER TRAINING.** HVAC system installers shall be trained and certified in the proper

installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and

Examples of acceptable HVAC training and certification programs include but are not limited to the following:

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the

considered by the enforcing agency when evaluating the qualifications of a special inspector:

project they are inspecting for compliance with this code.

shall be closely related to the primary job function, as determined by the local agency.

1. Certification by a national or regional green building program or standard publisher.

3. Successful completion of a third party apprentice training program in the appropriate trade.

homes in California according to the Home Energy Rating System (HERS).

this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall

employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with

particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification

Note: Special inspectors shall be independent entities with no financial interest in the materials or the

**703.1 DOCUMENTATION.** Documentation used to show compliance with this code shall include but is not

limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other

documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in

methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific

responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or

other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence

other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be

2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building

Special inspectors shall be independent entities with no financial interest in the materials or the

2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate

to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to

responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems.

3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.

CHAPTER 7

702 QUALIFICATIONS

1. State certified apprenticeship programs.

4. Programs sponsored by manufacturing organizations.

performance contractors, and home energy auditors.

4. Other programs acceptable to the enforcing agency.

project they are inspecting for compliance with this code.

the appropriate section or identified applicable checklist.

**703 VERIFICATIONS** 

5. Other programs acceptable to the enforcing agency.

Public utility training programs.

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Description Plan Check 05/24/202

Green Sheet

TABLE 4.504.2 - SEALANT VOC LIMIT (Less Water and Less Exempt Compounds in Grams per Liter) **SEALANTS VOC LIMIT ARCHITECTURAL** 250 760 MARINE DECK NONMEMBRANE ROOF 300 ROADWAY 250 450 SINGLE-PLY ROOF MEMBRANE OTHER 420 SEALANT PRIMERS NON-POROUS 250 775 POROUS 500 MODIFIED BITUMINOUS MARINE DECK 760 OTHER TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS23 GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT

COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS1	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER &

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

PRODUCT	<b>CURRENT LIMIT</b>	
HARDWOOD PLYWOOD VENEER CORE	0.05	
HARDWOOD PLYWOOD COMPOSITE CORE	0.05	
PARTICLE BOARD	0.09	
MEDIUM DENSITY FIBERBOARD	0.11	
THIN MEDIUM DENSITY FIBERBOARD2	0.13	
1. VALUES IN THIS TABLE ARE DERIVED FROM BY THE CALIF. AIR RESOURCES BOARD, AIR T MEASURE FOR COMPOSITE WOOD AS TESTEI WITH ASTM E 1333. FOR ADDITIONAL INFORM CODE OF REGULATIONS, TITLE 17, SECTIONS 93120.12.	OXICS CONTROL D IN ACCORDANCE ATION, SEE CALIF.	
2. THIN MEDIUM DENSITY FIBERBOARD HAS A THICKNESS OF 5/16" (8 MM).	A MAXIMUM	
<ol> <li>Carpet and Rug Institute's Green Label Plus Program.</li> <li>California Department of Public Health, "Standard Method for Organic Chemical Emissions from Indoor Sources Using En February 2010 (also known as Specification 01350).</li> <li>NSF/ANSI 140 at the Gold level.</li> </ol>		
4. Scientific Certifications Systems Indoor Advantageтм Gold.		
4.504.3.1 Carpet cushion. All carpet cushion installed in the bu requirements of the Carpet and Rug Institute's Green Label prog		е
4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the	requirements of Table 4.50	4.1.
4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring resilient flooring shall comply with one or more of the following:	is installed , at least 80% o	of floor area receivin
<ol> <li>Products compliant with the California Department of Public Evaluation of Volatile Organic Chemical Emissions from Ind. Version 1.1, February 2010 (also known as Specification 01 in the Collaborative for High Performance Schools (CHPS) 2. Products certified under UL GREENGUARD Gold (formerly 3. Certification under the Resilient Floor Covering Institute (RF 4. Meet the California Department of Public Health, "Standard Volatile Organic Chemical Emissions from Indoor Sources U</li> </ol>	oor Sources Using Enviror 350), certified as a CHPS High Performance Product the Greenguard Children & CI) FloorScore program. Method for the Testing and	mental Chambers," Low-Emitting Materi s Database. k Schools program). d Evaluation of

February 2010 (also known as Specification 01350).

5. Other methods acceptable to the enforcing agency.

3. A slab design specified by a licensed design professional.

TABLE 4.504.5 - FORMALDEHYDE LIMITS

MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION

composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5 4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following: 1. Product certifications and specifications. 2. Chain of custody certifications. 3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see 4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.

**4.504.5 COMPOSITE WOOD PRODUCTS.** Hardwood plywood, particleboard and medium density fiberboard

4.505 INTERIOR MOISTURE CONTROL

**4.505.1 General.** Buildings shall meet or exceed the provisions of the California Building Standards Code. 4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

**4.505.2.1 Capillary break.** A capillary break shall be installed in compliance with at least one of the

1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, 2. Other equivalent methods approved by the enforcing agency.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.

2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end

3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST

**4.506.1 Bathroom exhaust fans.** Each bathroom shall be mechanically ventilated and shall comply with the

- 1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a
- a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of

b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or 2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

4.507 ENVIRONMENTAL COMFORT 4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be

sized, designed and have their equipment selected using the following methods:

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. 2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems),

ASHRAE handbooks or other equivalent design software or methods 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.

**Exception:** Use of alternate design temperatures necessary to ensure the system functions are

THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED. 2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER,

THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE 2016 CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE 2016 CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE.

HW \$ys 1	N/A	
DHW Sys 1	N/A	
HW Sys 1	N/A	
07	08	
Nindow and Door Area (ft2)	Tilt (deg)	
48	90	
70.5	90	
68.73	90	
0	90	
0	90	
25.07	90	
٥	90	
96	90	
31.5	90	
32	90	
15	90	
117.53	90	
69	90	
:		

Report Generated: 2022-02-28 21:17:48

TIFICATE OF COMPLIAN iect Name: 130 Coronac culation Description: Tit ESTRATION / GLAZING	lo Ave Resdid			Input I		ne: 264			10:45:57+0 o Ave, Half		CA 940		CF1R-PRF-01 (Page 7 of 1) rgy
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Туре	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft <sup>2</sup> )	U-factor	U-factor Source	SHGC	SHGC Sourc e	Exterior Shading
Door 008- 28610_	Window	Right Wall SW	Right	225			1	18.23	0.3	NFRC	0.35	NFRC	Bug Screen
Door 001- 38610_	Window	Left Wall NE 3	Left	45			1	25.07	0.3	NFRC	0.35	NFRC	Bug Screen
Door 4- 12080_	Window	Front Wall NW 2		270			1	96	0.3	NFRČ	0.35	NFRĈ	Bug Screen
Window 2- 6040_4	Window	Rear Wall SE 2	Back	135			1	24	0.3	NFRC	0.35	NFRC	Bug Screen
Window 11- 2630_	Window	Rear Wall SE 2	Back	135			1	7.5	0.3	NFRC	0.35	NFRĊ	Bug Screer
Window 2- 6040_5	Window	Left Wall NE 4	Left	45			1	24	0.3	NFRC	0.35	NFRC	Bug Screen
Window 3- 2040_3	Window	Left Wall NE 4	Left	45			1	8	0.3	NFRC	0.35	NFRC	Bug Screen
Window 8- 2660_	Window	Left Wall NE 5	Left	45			1	15	0.3	NFRC	0.35	NFRC	Bug Screen
Window 2- 6040_6	Window	Right Wall SW 3	Right	225			1	24	0.3	NFRC	0.35	NFRC	Bug Screen
Window 10- 3030_	Window	Right Wall SW 3	Right	225			1	9	0.3	NFRC	0.35	NFRC	Bug Screen
Window 9- 2645_	Window	Right Wall SW 3	Right	225			1	11.05	0.3	NFRC	0.35	NFRC	Bug Screen
Window 9- 2645_2	Window	Right Wall 5W 3	Right	225			1	11.05	0.3	NFRC	0.35	NFRC	Bug Screen
Window 9- 2645_3	Window	Right Wall 5W 3	Right	225	R.	3	1	11.05	0.3	NFRC	0.35	NFRC	Bug Screen
Window 7- 3870_	Window	Right Wall SW 3	Right	225			1	25.69	0.3	NFRC	0.35	NFRC	Bug Screen
Window 7- 3870_2	Window	Right Wall SW 3	Right	225			1	25.69	0.3	NFRC	0.35	NFRC	Bug Screer
Window 16-8080_	Window	Font Wall NW	Front	315			1	64	0.3	NFRC	0.35	NFRC	Bug Screen
Window 12- 2026_	Window	Font Wall NW	Front	315			1	.5	0.3	NFRC	0.35	NFRC	Bug Screen
Window 2- 6040_7	Window	Rear Wall SE 3	Back	135			1	24	0.3	NFRC	0.35	NFRC	Bug Screen
Window 5- 3036_3	Window	Rear Wall SE 3	Back	135			1	10.5	0.3	NFRC	0.35	NFRC	Bug Screen
Window 11- 2630_ 2	Window	Left Wall NE 6	Left	45			1	7.5	0.3	NFRC	0.35	NFRC	Bug Screen
Window 11- 2630_ 3	Window	Left Wall NE 6	Left	45			1	7.5	0.3	NFRC	0.35	NFRC	Bug Screen
Window 13- 2626_	Window	Left Wall NE 6	Left	45			1	6.25	0.3	NFRĈ	0.35	NFRĈ	Bug Screen
Window 1- 2640_	Window	Left Wall NE 6	Left	45			1	10	0.3	NFRC	0.35	NFRC	Bug Screen
Window 13- 2626_ 2	Window	Left Wall NE 6	Left	45			1	6.25	0.3	NFRC	0.35	NFRC	Bug Screen
Window 14- 3040_	Window	Right Wall SW 4	Right	225			1	12	0.3	NFRC	0.35	NFRC	Bug Screen

Registration Number: 422-P010032498A-000-0000-00000-0000 Registration Date/Time: 03/08/2022 13:14 HERS Provider: CHEERS

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Report Version: 2019.1.300

Schema Version: rev 20200901

CA Building Energy Efficiency Standards - 2019 Residential Compliance

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CERTIFICATE OF COMPLIANCE CF1R-PRF-01E Project Name: 130 Coronado Ave Resdidence and ADU. Calculation Date/Time: 2022-03-01T10:45:57+05:30 (Page 2 of 13) Calculation Description: Title 24 Analysis Input File Name: 2648\_130 Coronado Ave, Half Moon Bay, CA 94019\_Energy Analysis\_V8.ribd19x

ENERGY DESIGN RATING					
	Energy Des	e Margins			
	Efficiency <sup>1</sup> (EDR)	Total <sup>2</sup> (EDR)	Efficiency <sup>1</sup> (EDR)	Total <sup>2</sup> (EDR)	
Standard Design	44.9	25.8			
Proposed Design	44.6	25.5	0.3	0.3	
	RESULT: 3:	COMPLIES			

1: Efficiency EDR includes improvements to the building envelope and more efficient equipment 2: Total EDR includes efficiency and demand response measures such as photovoltaic (PV) systems and batteries 3: Building complies when efficiency and total compliance margins are greater than or equal to zero

PV System resized to 2.95 kWdc (a factor of 2.946) to achieve 'Standard Design PV' PV scaling

01

DC System Size

(kWdc)

2.95

NA

CA Building Energy Efficiency Standards - 2019 Residential Compliance

ENERGY USE SUMMARY										
Energy Use (kTDV/ft²-yr)	Standard Design	Proposed Design	Compliance Margin	Percent Improvemen						
Space Heating	22.93	21.68	1.25	5.5						
Space Cooling	1.36	21.68	-0.68	-50						
IAQ Ventilation	2.76	2.76	0	Ò						
Water Heating	19.29	19.29	0	0						
Self Utilization/Flexibility Credit	n/a	o	0	n/a						
Compliance Energy Total	46.34	45.77	0.57	1.2						

Array Angle Tilt: (x in Inverter Eff.

12)

<=7:12

(%)

Input

(deg)

(deg)

150-270

Registration Number: 422-P010032498A-000-000-000000-0000 Registration Date/Time: 03/08/2022 13:14 HERS Provider: CHEERS
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Schema Version: rev 20200901

Fixed

oject Name: 130 C	oronado Ave Resdidence	and ADU.	c	alculation Date/Ti	me: 2022-03-01T10:45	:57+05:30	(Page 5 of 13)
lculation Descripti	on: Title 24 Analysis		ln	put File Name: 25	48 130 Coronado Ave.	Half Moon Bay, CA 940	
PAQUE SURFACES		· · · · · · · · · · · · · · · · · · ·		nalysis_V8.ribd19x			0,
01	02	03	04	05	06	07	08
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft <sup>2</sup> )	Window and Door Area (ft2)	Tilt (deg)
Rear Wall SE 3	3rd Floor -Bedroom Area	R-15 Wall_	135	Back	170	34.5	90
Left Wall NE 6	3rd Floor -Bedroom Area	R-15 Wall_	45	Left	301.15	37.5	90
Right Wall SW 4	3rd Floor -Bedroom Area	R-15 Wall_	225	Right	228.9	30	90
Right Wall SW 5	3rd Floor -Bedroom Area	R-15 Wall + WS_	225	Right	72.25	0	90
Interior Wall	1st Floor -Living Area AD≫1st Floor - Entry Lobby	R-0 Wall_1	n/a	n/a	180	o	n/a
Interior Wall 2	1st Floor - Entry Lobby>>Garage	R-13 Wall_	11/2	n/a	137.12	0	n/a
Raised Floor	2nd Floor -Living Area	R-19 Floor No Crawlspace_1	n/a	n/a	127.84	n/a	n/a
Interior Floor	2nd Floor -Living Area	R-O Floor No Crawlspace_	n/a	n/a	347	n/a	n/a
Interior Floor 2	2nd Floor -Living Area	R-O Floor No Crawlspace_	n/a	n/a	209	n/a	n/a
Interior Floor 3	2nd Floor -Living Area	R-19 Floor No Crawispace	n/a	n/a	358.66	n/a	n/a
Interior Floor 4	3rd Floor -Bedroom Area	R-O Floor No Crawlspace_	n/a	n/a	578.5	n/a	n/a
Front Wall NW 3	Garage	R-0 Wall_	270	n/a	180	102.72	90
Rear Wall SE 4	Garage	R-0 Wall_	135	Back	62.88	0	90
Left Wall NE 7	Garage	R-0 Wall_	45	Left	164	20	90
Right Wall SW 6	Garage	R-0 Wall_	225	Right	164	18.5	90

Registration Number: 422-P010032498A-000-000-0000000-0000 Registration Date/Time: 03/08/2022 13:14 HERS Provider: CHEERS

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roject Name: 130 C	oronado Ave Resdiden	ce and ADU.		Calculation Date/Time: 2022-03-01T10:45:57+05:30 (Page 8									(Page 8 of
alculation Descripti	ion: Title 24 Analysis						8_130 C	coronad	lo Ave, Hali	f Moon Bay,	CA 940	19_Ene	rgy
ENESTRATION / GLAZ	ING	:		Analys	is_V8.ri	bd19x	_			_			
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	e Type Surface		Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft²)	U-factor	U-factor Source	SHGC	SHGC Sourc e	Exterio Shadin
Window 15- 464	0_ Window	Right Wall SW 4	Right	225			1	18	0.3	NFRC	0.35	NFRC	Bug Scre
Window 1- 2640	_2 Window	Left Wall NE 7	Left	45			1	10	0.55	Table 110.6-A	0.67	Table 110.6- B	Bug Scre
Window 1- 2640	_3 Window	Left Wall NE 7	Left	45			1	10	0.55	Table 110.6-A	0.67	Table 110.6- B	Bug Scre
Door 008- 28610	_2 Window	Right Wall SW 6	Right	225			1	18.5	0.53	Table 110.6-A	0.67	Table 110.6- B	Bug Scre
Skylight 2030_	Skylight	Non Attic Roof NE 2	Left	45			1	6	0.49	NFRC	0.27	NFRC	None
Skylight 2030_	2 Skylight	Non Attic Roof SW 2	Right	225			1	6	0.49	NFRC	0.27	NFRC	None
PAQUE DOORS		<del></del>		and the second					-				
	01	1 0	2			6 0	)3				0	)4	
N:	ame	Side of E	Side of Building			Area (ft²)				U-factor			
Door 00	4- 16065_	Front Wa	all NW 3				2.72						
LAB FLOORS							1						
01	02	03	04		05			06		07			08
Name	Zone	Area (ft <sup>2</sup> )	Perimeter (ft)	_	Insul. R- ind Dept		_	Insul. R- ind Dept		Carpeted Fra	ction		Heated
Slab-on-Grade	1st Floor -Living Area AD	750.5	100		none			0		80%			No
Slab-on-Grade 2	1st Floor - Entry Lobby	209	33.5		none		0			80%			No
Slab-on-Grade 3	Slab-on-Grade 3Garage 389		74		none		0			0%			No

Report Version: 2019.1.300

Schema Version: rev 20200901

Report Generated: 2022-02-28 21:17:48

CERTIFICATE OF COMPLIANCE CF1R-PRF-01E Project Name: 130 Coronado Ave Resdidence and ADU. Calculation Date/Time: 2022-03-01T10:45:57+05:30 (Page 3 of 13) Calculation Description: Title 24 Analysis Input File Name: 2648 130 Coronado Ave, Half Moon Bay, CA 94019 Energy

Analysis\_V8.ribd19x

REQUIRED SPECIAL FEATURES The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis. Variable capacity heat pump compliance option (verification details from VCHP Staff report, Appendix B, and RA3)

HERS FEATURE SUMMARY

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry Building-level Verifications:

Quality insulation installation (QII) Indoor air quality ventilation Kitchen range hood

Cooling System Verifications: Verified EER Verified SEER Verified Refrigerant Charge Airflow in habitable rooms (SC3.1.4.1.7)

eating System Verifications: Verified HSPF Verified heat pump rated heating capacity

Wall-mounted thermostat in zones greater than 150 ft2 (SC3.4.5) Ductless indoor units located entirely in conditioned space (\$C3.1.41.8)

-- None --Domestic Hot Water System Verifications: -- None --

HVAC Distribution System Verifications:

CERTIFICATE OF COMPLIANCE

CERTIFICATE OF COMPLIANCE

R-0 Wall\_1

Interior Walls

Wood Framed Wall

BUILDING - FEATURES INFORMATION										
01	02	03	04	05	06	07				
Project Name	Conditioned Floor Area (ft <sup>2</sup> )	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems				
130 Coronado Ave Resdidence and ADU.	2580.5	1	4	4	0	1				

Registration Number: 422-P010032498A-000-000-000000-0000 Registration Date/Time: 03/08/2022 13:14 HERS Provider: CHEERS
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•	130 Coronado Av scription: Title 24		nd ADU.		Calcula Input F Analysi	ay, CA 94019_En	(Page 6 of 13) nergy			
OPAQUE SURFAC	ES - CATHEDRAL C	EILINGS					·			
01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Azimuth	Orientation	Area (ft <sup>2</sup> )	\$kylight Area (ft <sup>2</sup> )	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Cool Roof
Non Attic Roof	1st Floor -Living Area AD	R-30 Roof No Attic_	0	n/a	403.5	o	ō	0.1	0.85	No
Non Attic Roof NE	2nd Floor -Living Area	R-30 Roof No Attic_	45	Left	232	0	0.2	0.1	0.85	No
Non Attic Roof SW	2nd Floor -Living Area	R-30 Roof No Attic_	225	Right	232	0	0.2	0.1	0.85	No
Non Attic Roof NE 2	3rd Floor -Bedroom Area	R-30 Roof No Attic_	45	Left	289.25	6	0.2	0.1	0.85	No
Non Attic Roof SW 2	3rd Floor -Bedroom Area	R-30 Roof No Attic_	225	Right	289.25	6	0.2	0.1	0.85	No
Non Attic Roof 2	Garage	R-O Roof No Attic	0	n/a	30.34	0	0	0.1	0.85	No

01	02	03	04	05	06	.07	80	09	10	11	12	13	14
Name	Туре	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft²)	U-factor	U-factor Source	SHGC	SHGC Sourc e	Exterior Shading
Window 2- 6040_	Window	Rear Wall SE	Back	135			1	24	0.3	NFRC	0.35	NFRC	Bug Screen
Window 2- 6040_2	Window	Rear Wall SE	Back	135			1	24	0.3	NFRC	0.35	NFRC	Bug Screen
Window 6-5040_	Window	Left Wall NE	Left	45			1	20	0.3	NFRC	0.35	NFRC	Bug Screen
Window 3- 2040_	Window	Left Wall NE	Left	45			1	8	0.3	NFRC	0.35	NFRC	Bug Screen
Window 9- 2040_2	Window	Left Wall NE	Left	45			1	8	0.3	NFRC	0.35	NFRC	Bug Screen
Window 5- 3036_	Window	Left Wall NE	Left	45			1	10.5	0.3	NFRC	0.35	NFRC	Bug Screen
Window 2- 6040_3	Window	Left Wall NE	Left	45			1	24	0.3	NFRC	0.35	NFRC	Bug Screen
Window 6- 5040_ 2	Window	Right Wall SW	Right	225			1	20	0.3	NFRC	0.35	NFRC	Bug Screen
Window 5- 3036_ 2	Window	Right Wall SW	Right	225			1	10.5	0.3	NFRC	0.35	NFRC	Bug Screen
Window 6- 5040_3	Window	Right Wall SW	Right	225			1	20	0.3	NFRC	0.35	NFRC	Bug Screen

Registration Number: 422-P010032498A-000-000-00000-0000
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PAQUE SURFACE CONST	RUCTIONS		Anatys	is_V8.ribd19x	:		
01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-0 Wall_	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-0	None / None	0.361	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Exterior Finish: 3 Coat Stucco
R-15 Wall_	Exterior Walls	Wood Framed Wall	2x4 @ 16 In, O. C.	R-15	None / None	0.095	Inside Finish: Gypsum Board Cavity / Frame: R-15 / 2x4 Exterior Finish: 3 Coat Stucco
R-15 Wall + W5_	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-15	None / None	0.089	Inside Finish: Gypsum Board Cavity / Frame: R-15 / 2x4 Exterior Finish: Wood Siding/sheathing/decking
R-0 Roof No Attic_	Cathedral Ceilings	Wood Framed Ceiling	2x4 @ 16 in. O. C.	R S	None / None	0.484	Roofing: Light Roof (Asphalt Shingle Roof Deck; Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4 Inside Finish: Gypsum Board
R-30 Roof No Attic_	Cathedral Cellings	Wood Framed Ceiling	2x12 @ 16 in. O. C.	R-30	None / None	0.036	Roofing: Light Roof (Asphalt Shingle Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: R-30 / 2x12 Inside Finish: Gypsum Board

2x4 @ 16 in. O. C.

2x4 @ 16 in. O. C.

Registration Number: 422-P010032498A-000-000-0000000-0000 Registration Date/Time: 03/08/2022 13:14 HERS Provider: CHEERS
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R-O

R-13

None / None

0.277



Architects San Francisco CA



Architect Wilkins Studio Architects Contract: Karen Wilkins, AIA 785 Quintana Rd # 180 Morro Bay, CA 93442 (415) 273-9054

Owner Paul McGregor 130 Coronado Ave, Half

Moon Bay, CA 94019

CF1R-PRF-01E

CF1R-PRF-01E

Inside Finish: Gypsum Board

Cavity / Frame: no insul. / 2x4 Other Side Finish: Gypsum Board Inside Finish: Gypsum Board

Cavity / Frame: R-13 / 2x4 Other Side Finish: Gypsum Board

0 B  $\boldsymbol{\omega}$  $\Box$ ence ON Ŏ Half sid **(1)** A N oronado 0 O oron 30

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048

Description Date 5/10/202 Submittal Plan Check 05/24/2022

> Title 24 sheet Part 1

Scale: As Noted Sheet size: Arch D

	onado Ave Resdidence	and ADU.			rime: 2022-03-01T10			(Page 10 c	
Calculation Description OPAQUE SURFACE CONS				Input File Name: 2 Analysis_V8.ribd19	648_130 Coronado	Ave, Half N	loon Bay, CA 94	1019_Energy	
01	02	03	04	05	06	07		08	
Construction Name	Surface Type	Construction Type	Framing	Total Cavit R-value	Interior / Eutorior	U-factor	Ass	embly Layers	
R-19 Floor No Crawlspace_1	Exterior Floors	Wood Framed Floor	2x10 @ 16 in. O. (	C. R-19	None / None	0.047	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: R-19 / 2x1		
R-0 Floor No Crawlspace_	Interior Floors	Wood Framed Floor	2x12 @ 16 in. 0. 0	R-O	None / None	0.196	Floo Siding/s Cavity / Fra	urface: Carpeted or Deck: Wood sheathing/decking ame: no insul. / 2x12 or Finish: Gypsum Boa	
R-19 Floor No Crawispace_	Interior Floors	Wood Framed Floor	2x10 @ 16 in. O. C	R-19	None / None	0.045	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: R-19 / 2x10 Ceiling Below Finish: Gypsum Boa		
BUILDING ENVELOPE - H	ERS VERIFICATION	- 6		ERS	·				
01		02			03	$\neg$		04	
Quality Insulation	Installation (QII)	High R-value Spray F	oam Insulation	Building En	velope Air Leakage	$\neg$	CFM50		
Requi	red	Not Requ	ired	No	t Required			n/a	
WATER HEATING SYSTEM	ts.								
01	02	03	04	1	05		06	07	
Name	System Type	Distribution Type	Water Heate	er Name (#)	Solar Heating System	Compa	et Distribution	HERS Verification	
DHW Sys 1	Domestic Hot Water (DHW)	Standard Distribution System	DHW Hea	ater 1 (1)	n/a		None	n/a	
Registration Number: 4: 1077CE: This document has be esponsible for, and cannot gui CA Building Energy Effici	22-P010032498A-000-000- en generated by ConSol Home traftee, the accuracy or comple ency Standards - 2019 Res	-000000-0000 Energy Efficiency Hating Syste Iteress of the information cont idential Compliance	Report V	tion Date/Time: 03/0 using information upload lersion: 2019.1.300 Version: rev 2020090		HER liated with or a	S Provider: CHE related to CHEERS. 1 ort Generated: 20	ERS Therefore, CHEERS is not 022-02-28 21:17:48	

CERTIFICATE OF COMPLIANCE	CF1R-PRF-0				
Project Name: 130 Coronado Ave Resdidence and ADU.	Calculation Date/Time: 2022-03-01T10:45:57+05:30 (Page 13 of 1				
Calculation Description: Title 24 Analysis	Input File Name: 2648_130 Coronado Ave, Half Moon Bay, CA 94019_Energy Analysis_V8.rlbd19x				
DOCUMENTATION AUTHOR'S DECLARATION STATEMENT	- transfurning - soft resembles				
1. I certify that this Certificate of Compliance documentation is accurate and complete.					
Documentation Author Name: Viranchi Shah	Documentation Author Signature: Vivanchi Shah				
Company: www.gettitle24.com	Signature Date: 03/08/2022				
Address: 14730 Beach Blvd., #133	CEA/ HERS Certification Identification (If applicable):				
City/State/Zip:	Phone:				
La Mirada, CA 90638	714-888-4736				
RESPONSIBLE PERSON'S DECLARATION STATEMENT    certify the following under penalty of perjury, under the laws of the State of California:    I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the certify that the energy features and performance specifications identified on this Certificate of	e building design identified on this Certificate of Compliance.  Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.  e are consistent with the information provided on other applicable compliance documents, worksheets,				
responsible Person's Declaration Statement  1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the Certify that the energy features and performance specifications identified on this Certificate of The building design features or system design features identified on this Certificate of Complian calculations, plans and specifications submitted to the enforcement agency for approval with the	e building design identified on this Certificate of Compliance.  Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.  e are consistent with the information provided on other applicable compliance documents, worksheets, s building permit application.				
responsible Person's Declaration Statement  Learlify the following under penalty of perjury, under the laws of the State of California:  Learnify the following under penalty of perjury, under the laws of the State of California:  Learnify that the energy features and performance specifications identified on this Certificate of The building design features or system design features identified on this Certificate of Complian calculations, plans and specifications submitted to the enforcement agency for approval with the Responsible Designer Name:	e building design identified on this Certificate of Compliance.  Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.  e are consistent with the information provided on other applicable compliance documents, worksheets, shuilding permit application.  Responsible Designer Signature:				
RESPONSIBLE PERSON'S DECLARATION STATEMENT  I certify the following under penalty of perjury, under the laws of the State of California:  1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the Certify that the energy features and performance specifications identified on this Certificate of Complian calculations, plans and specifications submitted to the enforcement agency for approval with the Responsible Designer Name:  Karen Wilkins  Company:  Wilkins Studio Architects	e building design identified on this Certificate of Compliance.  Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.  e are consistent with the information provided on other applicable compliance documents, worksheets, soulding permit application.  Responsible Designer Signature:  Kaven Wilkins  Date Signed:  03/08/2022  License:				
RESPONSIBLE PERSON'S DECLARATION STATEMENT  I certify the following under penalty of perjury, under the laws of the State of California:  1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the Cartify that the energy features and performance specifications identified on this Cartificate of Complian calculations, plans and specifications submitted to the enforcement agency for approval with the Responsible Designer Name:  Karen Wilkins  Company:  Wilkins Studio Architects	e building design identified on this Certificate of Compliance.  Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.  e are consistent with the information provided on other applicable compliance documents, worksheets, soluiding permit application.  Responsible Designer Signature:  Karen Wilkins  Date Signed:  03/08/2022				
RESPONSIBLE PERSON'S DECLARATION STATEMENT  I certify the following under penalty of perjury, under the laws of the State of California:  1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the State of California:  2. I certify that the energy features and performance specifications identified on this Certificate of The building design features or system design features identified on this Certificate of Complian calculations, plans and specifications submitted to the enforcement agency for approval with the Responsible Designer Name:  Karen Wilkins  Company:  Wilkins Studio Architects  Address:  785 Quintana Rd #180  City/State/Zip:	e building design identified on this Certificate of Compliance. Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. e are consistent with the information provided on other applicable compliance documents, worksheets, shuilding permit application.  Responsible Designer Signature:  Kaven Wükins  Date Signed: 03/08/2022  License:  Architect  Phone:				
RESPONSIBLE PERSON'S DECLARATION STATEMENT  I certify the following under penalty of perjury, under the laws of the State of California:  1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the State of California:  2. I certify that the energy features and performance specifications identified on this Certificate of Table 1. The building design features or system design features identified on this Certificate of Compliant calculations, plans and specifications submitted to the enforcement agency for approval with the Responsible Designer Name:  Karen Wilkins  Company:  Wilkins Studio Architects  Address:  785 Quintana Rd #180	e building design identified on this Certificate of Compliance. Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. e are consistent with the information provided on other applicable compliance documents, worksheets, s building permit application.  Responsible Designer Signature:  Kaven Wilkins  Date Signed: 03/08/2022  License:  Architect				
RESPONSIBLE PERSON'S DECLARATION STATEMENT  certify the following under penalty of perjury, under the laws of the State of California:  1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the State of California:  2. I certify that the energy features and performance specifications identified on this Certificate of The building design features or system design features identified on this Certificate of Complian calculations, plans and specifications submitted to the enforcement agency for approval with the Responsible Designer Name:  Karen Wilkins  Company:  Wilkins Studio Architects  Address:  785 Quintana Rd #180  City/State/Zip:	e building design identified on this Certificate of Compliance.  Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.  e are consistent with the information provided on other applicable compliance documents, worksheets, shuilding permit application.  Responsible Designer Signature:  Kaven Wilkins  Date Signed: 03/08/2022  License:  Architect  Phone:				

Schema Version: rev 20200901

CERTIFICATE OF COM Project Name: 130 Co	oronado Ave		ce and ADU.						-	ne: 2022-03					(	CF1R-PRF-0 Page 11 of 1
Calculation Descripti	on: Title 24 /	Analysis							Name; 264 V8.ribd19x	18_130 Corc	nado A	ve, Halfı	Moon Ba	ay, CA 940	19_Ene	rgy
WATER HEATERS																
01	02	•	03	04	05	06	07		08	09	:	ıo		11		12
Name	Heating Element Type	Tank	A TUPES	# of Inits	Tank Vol. (gal)	Energy Factor or Efficiency	Input Ratir or Pilot		Tank nsulation R-value (Int/Ext)	Standby Loss or Recovery Eff	1St Hr	. Rating w Rate		leat Pump or Model		k Location ( ient Conditi
DHW Heater 1	Gas		sumer taneous	1	0	0.81-UEF	<= 200 kBtu/hr		0	n/a	r	/a	ı	n/a		n/a
WATER HEATING - HER	VERIFICATIO	N					A Pharam									
01	02	;	03		Т	04	M		05		6	$\top$	07			08
Name	Pipe Ins	ulation	Parallel	Piping		Compact Distril	oution		Distribution ype	Recirculat	on Cont	rol	Central Distribu			r Drain Wa It Recovery
DHW Sys 1 - 1/1	Not Rec	uired	Not Red	uired		Not Require	d	N	one	Not Re	quired		Not Req	uired	No	t Required
SPACE CONDITIONING	SYSTEMS															
01		92			03	04	0:		06	07		08	0.9		10	11
Name		System	Туре		ting Un Name	nit Cooling Ur Name	it Fan N	ame	Distributi Name	on Requi	stat	Ŝtatus	Verifi Existi Condit	ng Equ	ating pment ount	Cooling Equipme Count
HVAC System1	Hea	t pump hea	ating cooling		at Pum stem 1		. I n/	â	n/a	Setba	ick	New	NA		1	1
01	02		03	T	04	05	06		07	08	T	09	T	10		11
HVAC - HEAT PUMPS				"						-			-			
Name	System Ty	pe Nu	mber of Units			Heating				oling	┨.	Zonally		mpressor	HERS	Verificatio
		-		HS	PF/CO	P Cap 47	Cap 1	7	SEER	EER/CEER	<u>'</u>	Controlled	<u>'</u>	Туре		
Heat Pump System 1	VCHP-duct	less	1		11	62600	5008	,	22.5	12.5		Not Zonal		Single Speed		Pump Syste ers-htpump

Registration Number: 422-P010032498A-000-000-0000000-0000 Registration Date/Time: 03/08/2022 13:14 HERS Provider: CHEERS

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CENTILIZATE OF CO	MPLIANCE											CF1R-PRF-01
Project Name: 130	Coronado Ave Re	esdidence an	d ADŲ.		Calcula	tion Date/Time:	2022-	03-01T10:	45:57+05:	30		(Page 12 of 13
Calculation Descrip	tion: Title 24 Ana	alysis				ile Name; 2648_1 s_V8.ribd19x	130 Cc	oronado A	ve, Half Me	oon Bay,	CA 94019_E	inergy
HVAC HEAT PUMPS -	HERS VERIFICATIO	Ń										
01	02	03		04	05	5 06		07		08		09
Name	Verified Airflow	Airflov	v Target	Verified EER	Verified SEER	Verified Refrige Charge	Verified Refrigerant Charge		HSPF	Verified Heating Cap 47		Verified Heating Cap 17
Heat Pump System 1-hers-htpump	Not Required	0		Required	Required	Yes		Yes		Ye	25	Yes
01		02	03	04	Ô5	06	Law	07	80 Wilelia		09	10
Name	1	Certified ow-Static HP System	Airflow t Habitabl Rooms	e in Conditioned	Wall Mount Thermostat	Air Filter Sizing & amp; Pressure Drop Rating	Con	Leakage ucts in ditioned	Minimu Airflow   RA3.3 a	per nd no	Certified on-continuous Fan	Indoor Fan no Running Continuously
Heat Pump Sys	item 1 No	ot required	Required	d Required	Required	Not required		required	SC3.3.3.		Not required	Not required
Trade Formplays			Required	d Reduired	nequirea	140s raquiras		espairea	rescient			· ·
			Requires	Reduired	The domestic of the state of th	1155 Taquillas		squired	riotrega			
IAQ (INDOOR AIR QU		02	Requires	O3		04		i suspui i suu	05			06
IAQ (INDOOR AIR QU	ALITY) FANS	* 1	Required						05	ness (%)	SREIAQ Reco	ry Effectiveness
IAQ (INDOOR AIR QU	ALITY) FANS	02	require	03		04			05	ness (%)	SREIAQ Reco	ry Effectiveness - every Effectivenes

Registration Number: 422-P010032498A-000-000-0000000-0000 Registration Date/Time: 03/08/2022 13:14 HERS Provider: CHEERS

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Architects
San Francisco CA
(415)273-9054

Architect
Wilkins Studio Architects
Contract: Karen Wilkins, AIA
785 Quintana Rd # 180 Morro Bay, CA 93442 (415) 273-9054

Owner Paul McGregor 130 Coronado Ave, Half Moon Bay, CA 94019

0

940 and f Moon Bay, -013-890 ence Resid Half 048-

Coronado

No. Description Date 05/24/2022 Plan Check

130 Coronado

Title 24 Sheet Part 2

KESIL	DENTIAL	MEAS	SURES SU	MM	ARY						RMS-
roject Na	me			Build	ding Type				Addition Alone		Date
		Resdide	nce and ADU				ii Family		Existing+ Addition		3/8/202
roject Ade	<sub>dress</sub> ronado Ave	LIGHT N	loon Pov			rgy Clima ate Zon		Total	Cond. Floor Area 2,581	Addition n/a	# of Uni
		riali w	ооп вау		A CIIITI		e 03		2,001	Tila	1
	ATION ruction 1	уре		Cav	ritu	Area (# <del>2</del> )	9,	saci	al Features		Status
fall	Wood Frame			R 15	ity	2,307		3601	ai i catales	:	New
emising	Wood Frame				sulation	180				:	New
ab	Unheated Siz				sulation	960	Perim =	49.81		:	New
au oof	Wood Frame			R 30	STREETHOTT	1.434	regni -	104		:	New
dol dati	Wood Frame			R 15		681					New
		•									
emising	Wood Frame	-	0	R 13	as dadina	137	-				New
emising	Wood Frame				sulation	1,135				:	New
emising	Wood Frame		i	R 19	_	487					New
	TRATION	_	Total Area:	687	_	Percentag	,	6.6%	New/Altered Aver		0.30
Orienta	ation Ai	ea(ft²)		GC	Overl	nang	Sidefi	ns	Exterior Sh	ades	Status
ear (SE)		114.0	0.300	0.35	none	-	กอกอ		N/A	·	New
eft (NE)		155.0	0.300	0.35	none	-	none		N/A		New
Right (SW)		198.0	0.300	0.35	none	-	none		NIA		New
Right (SW)		18.2	0.300	0.35	none	-	none		N/A		New
eft (NE)		25.1	0.300	0.35	none		none		N/A	:	New
light (W)		96.0	0.300	0.35	none		none		N/A	:	New
ront (NW)	·	69.0	0.300	0.35	none		none		N/A		New
Skylight		6.0	0.490	0.27	none		none		N/A		New
Skylight		6.0	0.490	0.27	none		none		N/A		New
Qty. I	SYSTEM: Heating Split Heat Purm		Min. Eff		<b>oling</b> it Heat Pu	2000		. Efl		rmostat	Status New
	opin rivet ruin	<i>P</i>	Truy narr	Эрі	n nea ru	rup	22.0	SEEN	Serbec	n	14647
HVAC Locatio	DISTRIBI on		ating	Co	oling	Duc	t Loca	ition		Duct R-Value	Status
IVAC Syst	tern	Ductle	ss / with Fan	Dua	tless	n/a				n/a	New
		IG		ne	Min.	Eff	Distril	butie	on		Status
	R HEATIN Type		Gallo								
Qty. 7	R HEATIN Type Small instanta	neous Gas	Gallo	110	0.81		Standard	í			New
Qty. 7	Гуре	neous Gas		119			Standard	4			New
Qty. 7	Гуре						Standard	4	ID:   2648		New Page 16 of

2019 Low-Rise Residential Mandatory Measures Summary

provides the functionality of a dimmer according to § 110.9, and complies with all other applicable requirements in § 150.0(k)2.

Interior Switches and Controls. Under cabinet lighting must be controlled separately from ceiling-installed lighting systems.

buildings on the same lot, must meet the requirement in item § 150.0(k)3Ai (ON and OFF switch) and the requirements in either

EMCS requirements of § 130.0(e); and meets all other requirements in § 150.0(k)2.

initially configured to manual-on operation using the manual control required under Section 150.0(k)2C.

dimming, and that are not controlled by occupancy or vacancy sensors, must have dimming controls.

with the applicable requirements in Sections 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0,

ne applicable requirements in Sections 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0.

applicable requirements for nonresidential garages in Sections 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.

i. Comply with the applicable requirements in Sections 110.9, 130.0, 130.1, 140.6 and 141.0; and

power as determined according to § 130.0(c).

requirements of § 110.10(b) through § 110.10(d).

mounted equipment."

requirement is applicable to the entire building, including mixed occupancy."

dead load and roof live load must be clearly indicated on the construction documents.

the nearest point of the solar zone, measured in the vertical plane."

§ 110.10(c) must be provided to the occupant.

§ 150.0(k)2G:

§ 150.0(k)3A:

§ 150.0(k)3C:

§ 150.0(k)4:

§ 150.0(k)6A:

§ 150.0(k)6B:

§ 110.10(a)1:

§ 110.10(a)2:

§ 110.10(b)1:

Interior Switches and Controls. An energy management control system (EMCS) may be used to comply with control requirements if it:

Interior Switches and Controls. A multiscene programmable controller may be used to comply with dimmer requirements in § 150.9(k) if it

Interior Switches and Controls. Luminaires that are or contain light sources that meet Reference Joint Appendix JA8 requirements for

Interior Switches and Controls. In bathrooms, garages, laundry rooms, and utility rooms, at least one luminaire in each of these spaces must

sidential Outdoor Lighting. For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other

§ 150.0(k)3Aii (photocell and either a motion sensor or automatic time switch control) or § 150.0(k)3Aii (astronomical time clock), or an EMCS. dential Outdoor Lighting. For low-rise residential buildings with four or more dwelling units, outdoor lighting for private patios, entrances, balconies, and porches; and residential parking lots and carports with less than eight vehicles per site must comply with either § 150.0(k)3A or

lesidential Outdoor Lighting. For low-rise residential buildings with four or more dwelling units, any outdoor lighting for residential parking lots or carports with a total of eight or more vehicles per site and any outdoor lighting not regulated by § 150.0(k)3B or § 150.0(k)3B must comply with

Internally illuminated address signs. Internally illuminated address signs must comply with § 140.8; or must consume no more than 5 watts of

Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the

Interior Common Areas of Low-rise Multifamily Residential Buildings. In a low-rise multifamily residential building where the total interior

common area in a single building equals 20 percent or less of the floor area, permanently installed lighting for the interior common areas in that

building must be comply with Table 150.0-A and be controlled by an occupant sensor.

Interior Common Areas of Low-rise Multifamily Residential Buildings. In a low-rise multifamily residential building where the total interior common area in a single building equals more than 20 percent of the floor area, permanently installed lighting for the interior common areas in

ii. Lighting installed in corridors and stainvells must be controlled by occupant sensors that reduce the lighting power in each space by at least 50 percent. The occupant sensors must be capable of turning the light fully on and off from all designed paths of ingress and egress.

Single Family Residences. Single family residences located in subdivisions with 10 or more single family residences and where the

Low-rise Multifamily Buildings. Low-rise multi-family buildings that do not have a photovoltaic system installed must comply with the

do not have a photovoltaic system installed, must comply with the requirements of § 110.10(b) through § 110.10(e).

§ 110.10(b)2; Azimuth. All sections of the solar zone located on steep-sloped roofs must be oriented between 90 degrees and 300 degrees of true north.

§ 110.10(b)3B: distance, measured in the horizontal plane, of the height difference between the highest point of the obstruction and the horizontal projection of

Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps.

breaker for a future solar electric installation. The reserved space must be permanently marked as "For Future Solar Electric".

application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which

inimum Solar Zone Area. The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than 5 feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas greater than 10.000 square feet. For single family residences, the solar zone must be located on the roof or overhang of the building

and have a total area no less than 250 square feet. For low-rise multi-family buildings the solar zone must be located on the roof or overhang of the building, or on the roof or overhang of another structure located within 250 feet of the building, or on covered parking installed with the building project, and have a total area no less than 15 percent of the total roof area of the building excluding any skylight area. The solar zone

Shading. The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof

Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the

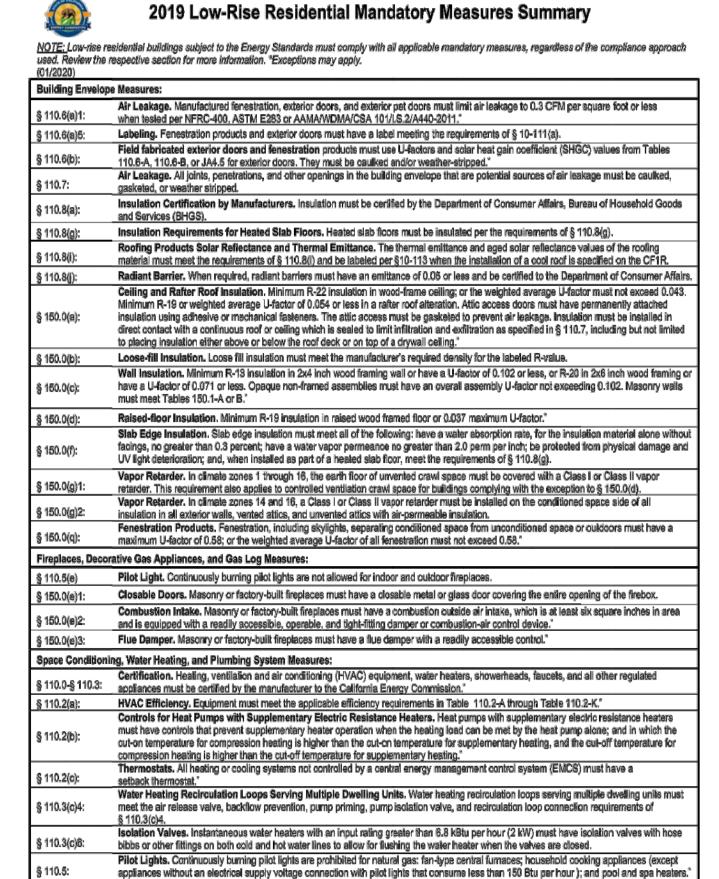
tructural Design Loads on Construction Documents. For areas of the roof designated as a solar zone, the structural design loads for roof

lain Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit

nterconnection Pathways. The construction documents must indicate: a location reserved for inverters and metering equipment and a pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single family residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system.

Documentation. A copy of the construction documents or a comparable document indicating the information from § 110.10(b) through

provides functionality of the specified control according to § 110.9; meets the Installation Certificate requirements of § 130.4; meets the



Building Cooling and Heating Loads. Heating and/or cooling loads are calculated in accordance with the ASHRAE Handbook,

Manual; or the ACCA Manual J using design conditions specified in § 150.0(h)2.

§ 150.0(h)1:

Equipment Volume, Applications Volume, and Fundamentals Volume; the SMACNA Residential Comfort System Installation Standards

Project Name	:	AND COOLING LOAD				Date	
130 Coronado Ave Resdi	dence and	I ADU.					8/2022
System Name HVAC System						Floor	Area 2,581
ENGINEERING CHECKS		SYSTEM LOAD	:	-			_,00 !
Number of Systems	1		COIL	COOLING P	EAK	COIL HT	rg. PEAK
Heating System			CFM	Sensible	Latent	CFM	Sensible
Output per System	62,600	Total Room Loads	1,569		1,060	672	26,786
Total Output (Btuh)	62,600	Return Vented Lighting		0			
Output (Btuh/sqft)	24.3	Return Air Ducts		0			C
Cooling System		Return Fan		0			C
Output per System	60,600	Ventilation	0	0	0	0	С
Total Output (Btuh)	60,600	Supply Fan		0			C
Total Output (Tons)	5.1	Supply Air Ducts		0			С
Total Output (Btuh/sqft)	23.5						
Total Output (sqft/Ton)	511.0	TOTAL SYSTEM LOAD		33,815	1,060	[	26,786
Air System						,	
CFM per System	800	HVAC EQUIPMENT SELECTION					
Airflow (cfm)	800	Pansonic E12RKUA		59,809	1,145		45,654
Airflow (cfm/sqft)	0.31						
Airflow (cfm/Ton)	158.4						
Outside Air (%)	0.0%	Total Adjusted System Output		59,809	1,145		45,654
Outside Air (cfm/sqft)	0.00	(Adjusted for Peak Design conditions)					
Note: values above given at ARI	conditions	TIME OF SYSTEM PEAK			Aug 3 PM		Jan 1 AM
HEATING SYSTEM PSYCHR	OMETRICS	(Airstream Temperatures at Time o	of Heating	Peak)			
Outside Air O ofm Supply Far	68 °F  Heating (	105 °F	<b>→</b>		RO	ООМ	06 °F
68 °F	-						58 °F 
		(Airstream Temperatures at Time	of Cooling	Peak)			
COOLING SYSTEM PSYCHR	OMETRICS						
		5/61 °F 55/54 °F			B		-
	31 °F 78	5/61 °F 55/54 °F  Cooling Coil	<b>→</b>			55 OOM	/ 54 °F

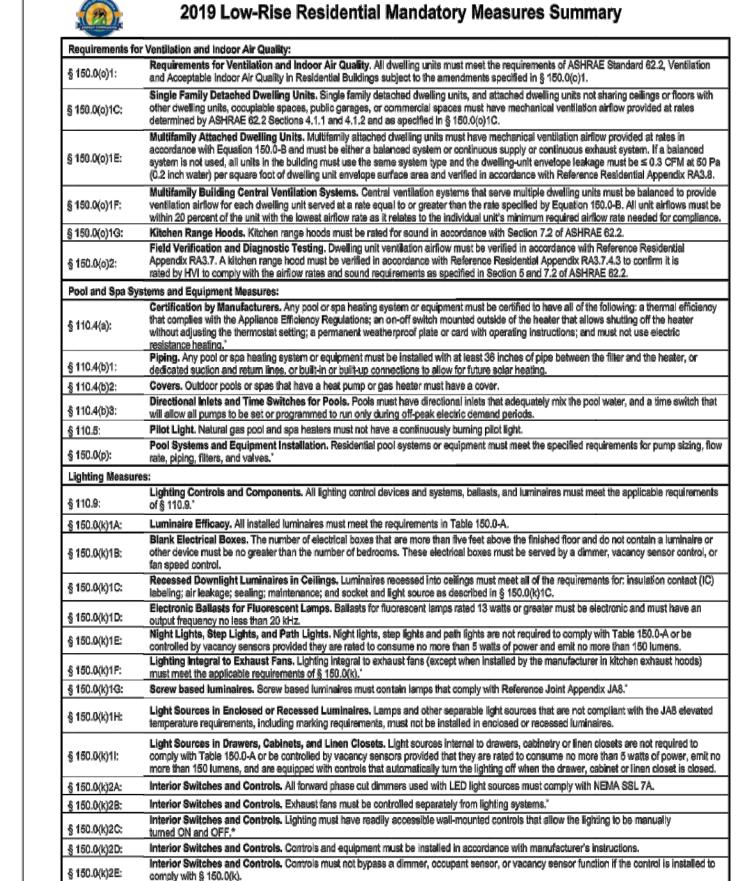
#### 2019 Low-Rise Residential Mandatory Measures Summary Clearances. Air conditioner and heat pump outdoor condensing units must have a clearance of at least five feet from the outlet of any dryer § 150.0(h)3A: Liquid Line Drier. Air conditioners and heat pump systems must be equipped with liquid line filter driers if required, as specified by the § 150.0(h)3B: Storage Tank Insulation. Unfired hot water tanks, such as storage tanks and backup storage tanks for solar water-heating systems, must have 150.0(j)1: a minimum of R-12 external insulation or R-16 internal insulation where the internal insulation R-value is indicated on the exterior of the tank. Water Piping, Solar Water-heating System Piping, and Space Conditioning System Line Insulation. All domestic hot water piping must be insulated as specified in Section 609.11 of the California Plumbing Code. In addition, the following piping conditions must have a minimum insulation wall thickness of one inch or a minimum insulation R-value of 7.7: the first five feet of cold water pipes from the storage tank; all hot water piping with a nominal diameter equal to or greater than 3/4 inch and less than one inch; all hot water piping with a nominal diameter less than 3/4 inch that is: associated with a domestic hot water recirculation system, from the heating source to storage tank or between tanks, buried below grade, and from the heating source to kitchen fixtures.\* Insulation Protection. Piping insulation must be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind as required by Section 120.3(b). Insulation exposed to weather must be water retardant and protected from UV light (no adhesive tapes). Insulation covering chilled water piping and refrigerant suction piping located outside the conditioned space must include, or be protected by, Class I or Class II vapor retarder. Pipe insulation buried below grade must be installed in a waterproof and non-crushable casing or sleeve. Gas or Propane Water Heating Systems. Systems using gas or propane water heaters to serve individual dwelling units must include all of the following: A dedicated 125 volt, 20 amp electrical receptacle connected to the electric panel with a 120/240 volt 3 conductor, 10 AWG cooper branch circuit, within three feet of the water heater without obstruction. Both ends of the unused conductor must be labeled with the word "spare" and be electrically isolated. Have a reserved single pole circuit breaker space in the electrical panel adjacent to the circuit breaker for the branch circuit and labeled with the words "Future 240V Use"; a Category III or IV vent, or a Type B vent with straight pipe between the outside termination and the space where the water heater is installed; a condensate drain that is no more than two inches higher than the base of the water heater, and allows natural draining without pump assistance; and a gas supply line with a capacity of at least 200,000 Btu per hour. Recirculating Loops. Recirculating loops serving multiple dwelling units must meet the requirements of § 110.3(c)5. Solar Water-heating Systems, Solar water-heating systems and collectors must be certified and rated by the Solar Rating and Certification Corporation (SRCC), the International Association of Plumbing and Mechanical Officials, Research and Testing (IAPMO R&T), or by a listing § 150.0(n)3: agency that is approved by the Executive Director. **Ducts and Fans Measures:** Ducts, Insulation installed on an existing space-conditioning duct must comply with § 604.0 of the California Mechanical Code (CMC). If a contractor installs the insulation, the contractor must certify to the customer, in writing, that the insulation meets this requirement. CMC Compliance, All air-distribution system ducts and plenums must meet the requirements of the CMC §§ 801.0, 802.0, 803.0, 804.0, 605.0 and ANSI/SMACNA-006-2006 HVAC Duct Construction Standards Metal and Flexible 3rd Edition. Portions of supply-air and return-air ducts and plenums must be insultated to a minimum installed level of R-6.0 or a minimum installed level of R-4.2 when ducts are entirely in conditioned space as confirmed through field verification and diagnostic testing (RA3.1.4.3.8). Portions of the duct system completely exposed and surrounded by directly conditioned space are not required to be insulated. Connections of metal ducts and inner core of flexible ducts must be mechanically fastened. Openings must be sealed with mastic, tape, or other duct-closure system that meets the applicable requirements of UL 181, UL 181A, or UL 181B or aerosol sealant that meets the requirements of UL 723. If mastic or tape is used to seal openings greater than 1/4 inch, the combination of mastic and either mesh or tape must be used. Building cavities, support platforms for air handlers, and plenums designed or constructed with materials other than sealed sheet metal, duct board or flexible duct must not be used to convey conditioned air. Building cavities and support platforms may contain ducts. Ducts installed in cavities and support platforms must not be compressed to cause Factory-Fabricated Duct Systems. Factory-fabricated duct systems must comply with applicable requirements for duct construction, connections, and closures; joints and seams of duct systems and their components must not be sealed with cloth back rubber adhesive duct § 150.0(m)2: tanes unless such tabe is used in combination with mastic and draw bands. Field-Fabricated Duct Systems. Field-fabricated duct systems must comply with applicable requirements for: pressure-sensitive tapes, mastics, sealants, and other requirements specified for duct construction. Backdraft Damper. Fan systems that exchange air between the conditioned space and outdoors must have backdraft or automatic dampers. Gravity Ventilation Dampers. Gravity ventilating systems serving conditioned space must have either automatic or readily accessible § 150.0(m)8: manually operated dampers in all openings to the outside, except combustion inlet and outlet air openings and elevator shaft vents. Protection of Insulation. Insulation must be protected from damage, sunlight, moisture, equipment maintenance, and wind. Insulation expose to weather must be suitable for outdoor service. For example, protected by aluminum, sheet metal, painted canvas, or plastic cover. Cellular foam insulation must be protected as above or painted with a coating that is water retardant and provides shielding from solar radiation. Porous Inner Core Flex Duct. Porous inner core flex ducts must have a non-porous layer between the inner core and outer vapor barrier. Duct System Sealing and Leakage Test, When space conditioning systems use forced air duct systems to supply conditioned air to an occupiable space, the ducts must be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in accordance with § 150.0(m)11 and Reference Residential Appendix RA3. Air Filtration. Space conditioning systems with ducts exceeding 10 feet and the supply side of ventilation systems must have MERV 13 or equivalent filters. Filters for space conditioning systems must have a two inch depth or can be one inch if sized per Equation 150.0-A. Pressure drops and labeling must meet the requirements in §150.0(m)12. Filters must be accessible for regular service.\* Space Conditioning System Airflow Rate and Fan Efficacy. Space conditioning systems that use ducts to supply cooling must have a hole for the placement of a static pressure probe, or a permanently installed static pressure probe in the supply plenum. Airflow must be ≥ 350 CFM

150.0(m)13:

per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.45 watts per CFM for gas furnace air handlers and ≤ 0.58 watts per

CFM for all others. Small duct high velocity systems must provide an airflow ≥ 250 CFM per ton of nominal cooling capacity, and an air-handling

unit fan efficacy ≤ 0.62 watts per CFM. Field verification testing is required in accordance with Reference Residential Appendix RA3.3.\*





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Owner Paul McGregor

Moon Bay, CA 94019

130 Coronado Ave, Half

comply with § 150.0(k). § 150,0(k)2F: Interior Switches and Controls. Lighting controls must comply with the applicable requirements of § 110.9.

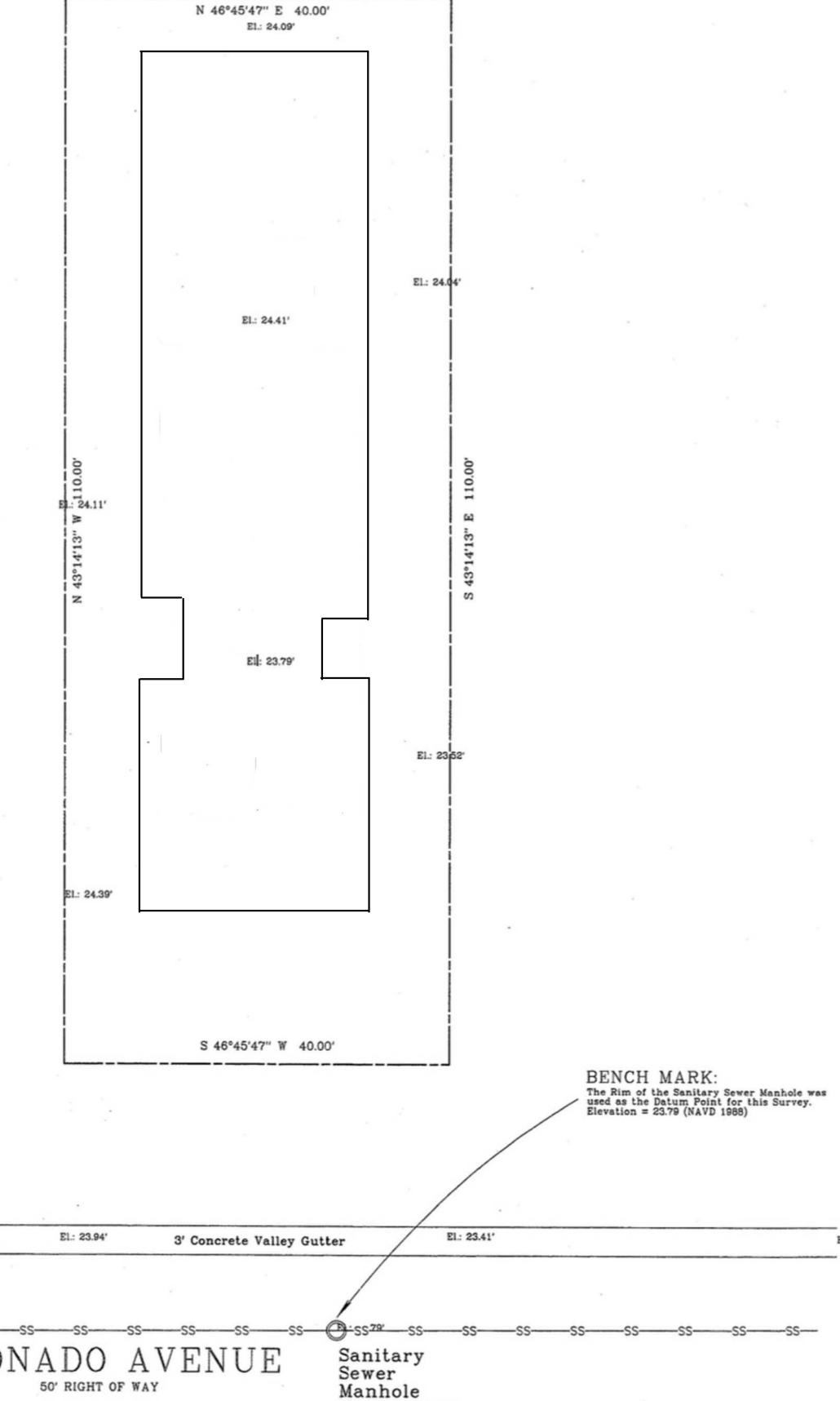
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Description Date Submittal Plan Check 05/24/202

Title 24 Sheet



Rim = 23.79

3' Concrete Valley Gutter

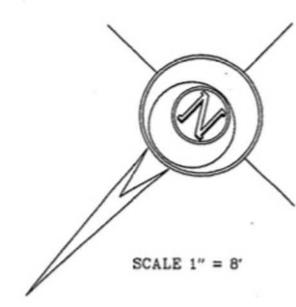
El.: 23.85'

El.: 23.41'

El.: 24.42°

El.: 24.08'

El.: 23.47"



LEGEND	
——x——x——x——x—	Fence
	Property Line
-55555555-	Sanitary Sewer Line
	Water Line
	Edge of Pavement

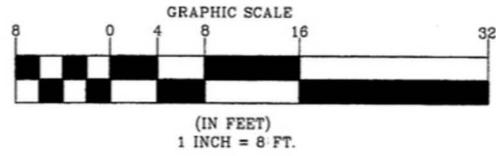
#### SURVEY FOR: Paul McGregor

SURVEY OF:

Lot 19 Block 7 of R.S.M. Book 3 of Maps pg. 95 SITE ADDRESS: Vacant Lot Cooronado Avenue, Unincorporated San mateo County A.P.N. 048-013-220 Area = 4,400 sq. ft.+/-

# NOTES:

- Survey shows existing site conditions at the time of the survey. Any Site Plan or Grading Plan has been done by others.
- 2.) The Elevations shown are based upon the NAVD 88 Datum.
- The nearest fire hydrant and utility pole is located at the corner of Coronado Avenue and Mirada Rd.





EL: 23.04'

A0-1

BOUNDARY & TOPOGRAPHY MAP
Prepared By:
Pat McNulty
Professional Land Surveyor
1604 Francis Avenue
Belmont, California 94002
650-654-6460
DATE: July 2016 JOB NO.: 13-16

#### SITE PLAN NOTES & SYMBOL LEGEND

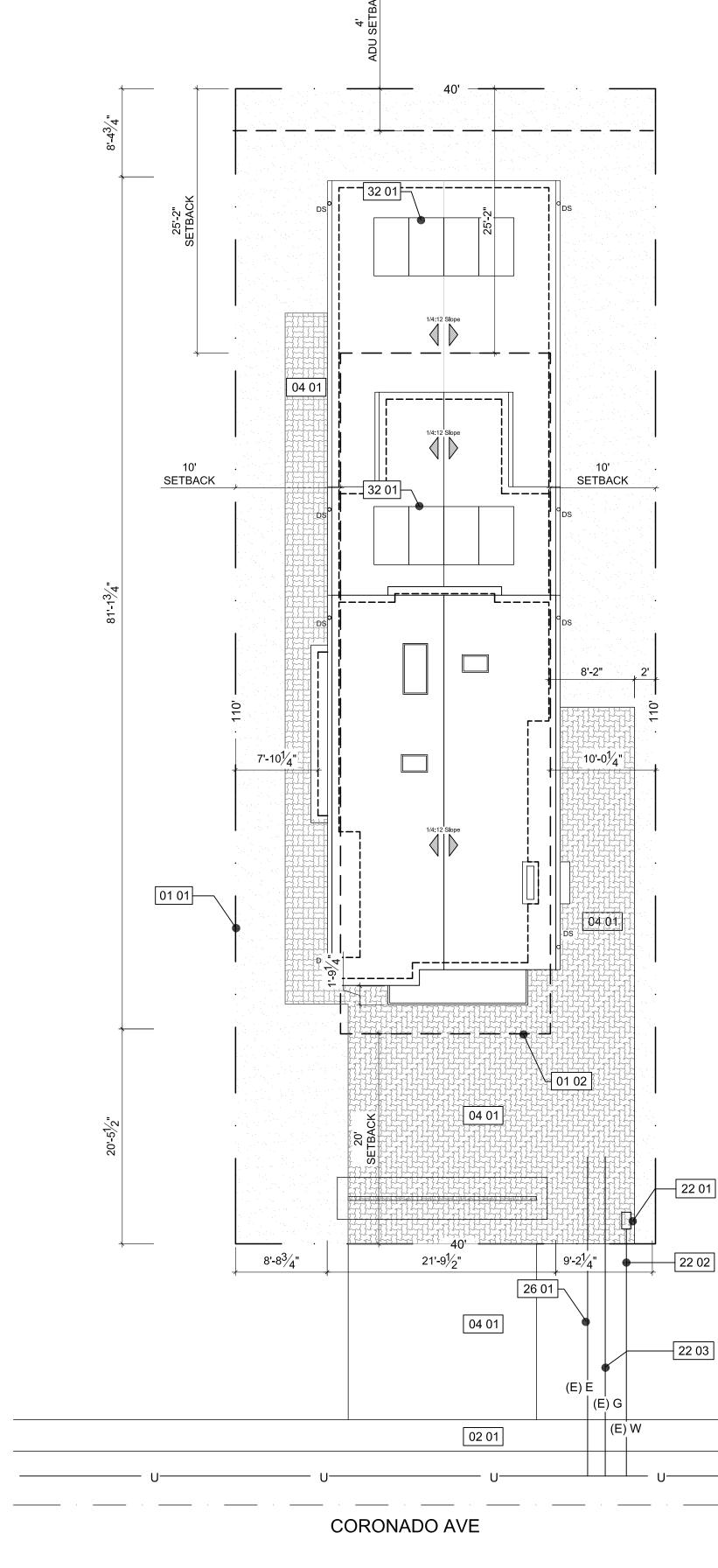
SYMBOL	DESCRIPCION (NOT ALL SYMBILS NECESSARY ON THIS SHEET)
01 00	GENERAL
01 01	PROPERTY LINE
01 02	SETBACKS
02 00	EXISTING CONDITIONS
02 01	3' CONCRETE VALLEY GUTTER
04 00	MASONRY
04 01	PAVERS
22 00	PLUMBING
	22.1 SEE MEP PLANS FOR REQUIREMENTS AND NOTES
22 01	WATER ENTRY POINT W/ PRIVATE METERS. (1.5 WATER SERVICE& BBOS VALVE) CONTRACTOR TO VERIFY
22 02	WATER LINE
22 03	GAS LINE
26 00	ELECTRICAL
	26.1 SEE MEP PLANS FOR REQUIREMENTS AND NOTES
26 01	MAIN ELECTRICAL SERVICE
32 00	SITE IMPROVEMENT
32 01	SOLAR POWER SYSTEM (PV)- STANDARD PV SIZE

#### **GENERAL SITE NOTES**

- 1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. IF DIMENSIONAL ERRORS OCCUR, CONTRACTOR SHALL NOTIFY THE ARCHITECTED PRIOR TO COMMENCING THAT PORTION OF THE WORK.
- 2. DURING GRADING IF THE PROPERTY CORNERS ARE DISTURBED, ALTERED, OR TAMPERED WITH THE GRADING CONTRACTOR SHALL HAVE THE PROPERTY CORNERS RESET BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR AT COMPLETION OF GRADING. ALL COST SHALL BE BORNE BY THE GRADING
- 3. THE CONCRETE CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING BUILDING CORNERS, PERFORMING ALL LAYOUT WORK, SETTING ALL LINES, GRADES, RADIO, ETC. OR ANY OTHER POINTS NECESSARY FOR HIS WORK.
- 4. LOCATION OF UTILITIES BASED ON BEST INFORMATION AVAILABLE, AND MAY NOT BE COMPLETE OR ACCURATE. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES.
- 5. ALL DIMENSIONS, SETBACKS, AND PROPERTY BOUNDARIES SHOWN HERE MAY ONLY BE CONSIDERED TO BE APPROXIMATE, CONTRACTOR BEARS FULL RESPONSIBILITY FOR VERIFICATION OF ALL SETBACKS OR EASEMENTS BEFORE BEGINNING CONSTRUCTION.
- 6. ALL PROPERTY LINES, EASEMENTS AND BUILDINGS, BOTH EXISTING AND PROPOSED,
- 7. SOILS PREPARATION AND SITE GRADING SHALL BE INSPECTED BY THE SOILS ENGINEER OR ENGINEERING GEOLOGIST OF RECORD DURING THE GRADING OPERATIONS. THE ENGINEER SHALL CERTIFY THE WORK AS BEING DONE IN ACCORDANCE WITH THE APPROVED RECOMMENDATIONS IF NEEDED, PRIOR TO PLACEMENT OF BUILDING FOUNDATIONS.
- 8. ALL SITE WORK, DRAINAGE SYSTEMS AND FOUNDATIONS AND OTHER SOIL CONSIDERATIONS SHALL CONFORM TO THE RECOMMENDATIONS OF THE REPORT AND ANY SUBSEQUENT RECOMMENDATIONS MADE BY THE SOIL ENGINEER OF RECORD. FOUNDATION EXCAVATIONS SHALL BE REVIEWED AND APPROVED BY SOIL ENGINEER OF RECORD PRIOR TO PLACEMENT OF FORMS AND REINFORCEMENT.
- 9. OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT.

## LINE LEGEND

—(E) E—	EXISTING ELECTRICAL SUPPLY
—(E) P—	EXISTING WATER SUPPLY
—(E) G—	EXISTING GAS SUPPLY
—(E) S—	EXISTING BUILDINGS SEWER
—(N) E——	NEW ELECTRICAL SUPPLY
—(N) P—	NEW WATER SUPPLY
—(N) G—	NEW GAS SUPPLY
—(N) S —	NEW BUILDINGS SEWER
— U —	UTILITY LINES







Wilkins Studio



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Owner Paul McGregor 130 Coronado Ave, Half Moon Bay, CA 94019

0 and ay -890  $\Box$ Moon 013-89 0 Resid 048-Half Coronado Coronado 130

No. Description Date Plan Check 05/24/2022

Proposed Site

Sheet size: Arch D

#### **GENERAL NOTES**

- 1. NO CONSTRUCTION SHALL BE STARTED WITHOUT PLANS APPROVED BY THE COUNTY BUILDING DEPARTMENT, THE BUILDING DEPARTMENT SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO STARTING OF CONSTRUCTION AND OF THE TIME LOCATION OF THE PRECONSTRUCTION CONFERENCE. ANY CONSTRUCTION PERFORMED WITHOUT APPROVED PLANS OR PRIOR NOTIFICATION TO THE BUILDING DEPARTMENT WILL BE REJECTED AND WILL BE AT THE CONTRACTOR'S AND/OR OWNER'S RISK.
- 2. FOR ANY CONSTRUCTION PERFORMED THAT IS NOT IN COMPLIANCE WITH PLANS OR PERMITS APPROVED FOR THE PROJECT THE BUILDING DEPARTMENT MAY REVOKE ALL ACTIVE PERMITS AND RECOMMEND THAT COUNTY CODE ENFORCEMENT PROVIDE A WRITTEN NOTICE OR STOP WORK ORDER IN ACCORDANCE WITH SECTION 22.52.140 [23.10] OF THE LAND USE ORDINANCE.
- 3. ALL CONSTRUCTION WORK AND INSTALLATIONS SHALL CONFORM TO THE MOST CURRENT JURISDICTION PUBLIC IMPROVEMENT STANDARDS AND ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE BUILDING DEPARTMENT.
- 4. THE PROJECT OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND/OR MAINTAINING ALL WEATHER ACCESS AT ALL TIMES TO EXISTING PROPERTIES LOCATED IN THE VICINITY OF WORK. ADDITIONALLY, THEY SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING SERVICES, INCLUDING UTILITY, GARBAGE COLLECTION, MAIL DISTRIBUTION, ETC., TO ALL EXISTING PROPERTIES LOCATED IN THE VICINITY OF WORK.
- 5. ON-SITE HAZARDS TO PUBLIC SAFETY SHALL BE SHIELDED BY CONSTRUCTION FENCING. FENCING SHALL BE MAINTAINED BY THE PROJECT OWNER AND CONTRACTOR UNTIL SUCH TIME THAT THE PROJECT IS COMPLETED AND OCCUPIED, POTENTIAL HAZARDS HAVE BEEN MITIGATED, OR ALTERNATIVE PROTECTIVE MEASURES HAVE BEEN INSTALLED.
- 6. SOILS TESTS SHALL BE DONE IN ACCORDANCE WITH THE COUNTY PUBLIC IMPROVEMENT STANDARDS, SECTION 3.2.3. ALL TESTS MUST BE MADE WITHIN 15 DAYS PRIOR TO THE PLACING MATERIAL. THE TEST RESULTS SHALL CLEARLY INDICATE THE LOCATION AND SOURCE OF THE MATERIAL.
- 7. ROADWAY COMPACTION TESTS SHALL BE MADE ON SUBGRADE MATERIAL AGGREGATE BASE MATERIAL, AND MATERIAL AS SPECIFIED BY THE SOILS ENGINEER. SAID TESTS SHALL BE MADE PRIOR TO THE PLACEMENT OF THE NEXT MATERIAL LIFT.
- 8. SUBGRADE MATERIAL SHALL BE COMPACTED TO A RELATIVE COMPACTION OF 95% IN THE ZONE BETWEEN FINISHED SUBGRADE ELEVATION AND A MINIMUM OF 1-FOOT BELOW. ALL MATERIAL IN FILL SECTIONS BELOW THE ZONE MENTIONED ABOVE SHALL BE COMPACTED TO 90% RELATIVE COMPACTION.
- 9. CONTRACTOR SHALL CERTIFY THAT THE IMPROVEMENTS WHEN COMPLETED ARE IN ACCORDANCE WITH THE PLANS PRIOR TO THE REQUEST FOR A FINAL INSPECTION, RECORD DRAWINGS SHALL BE PREPARED AFTER CONSTRUCTION IS COMPLETED. THE CONTRACTOR CERTIFYING THE IMPROVEMENTS AND PREPARING AS-BUILT PLANS MAY BE PRESENT WHEN THE FINAL INSPECTION IS MADE BY THE
- ALL UTILITY COMPANIES SHALL BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION.
- 11. A JURISDICTION ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK DONE WITHIN THE COUNTY RIGHT-OFWAY. THE ENCROACHMENT PERMIT MAY ESTABLISH ADDITIONAL CONSTRUCTION, UTILITY AND TRAFFIC CONTROL REQUIREMENTS.
- 12. THE JURISDICTION INSPECTOR ACTING ON BEHALF OF THE JURISDICTION BUILDING DEPARTMENT MAY REQUIRE REVISIONS IN THE PLANS TO SOLVE UNFORESEEN PROBLEMS THAT MAY ARISE IN THE FIELD. ALL REVISIONS SHALL BE SUBJECT TO THE APPROVAL OF THE DEVELOPER'S ENGINEER OF WORK.
- 13. THE STRUCTURAL SECTION SHALL BE BASED ON SOILS TESTS TAKEN AT THE TIME OF CONSTRUCTION AND USING A TRAFFIC INDEX OF FOR (ROAD NAME). THE STRUCTURAL SECTION SHALL BE APPROVED BY THE BUILDING DEPARTMENT PRIOR TO ROAD
- 14.HYDRO-SEEDING OR OTHER PERMANENT EROSION CONTROL SHALL BE PLACED AND ESTABLISHED WITH 90% COVERAGE ON ALL DISTURBED SURFACES (OTHER THAN PAVED OR GRAVEL SURFACES) PRIOR TO THE FINAL INSPECTION.
- 15 FOR ANY PUBLIC IMPROVEMENTS TO BE MAINTAINED BY THE JURISDICTION, IE ENVIRONMENTAL PERMITS FROM THE U.S. ARMY CORPS OF ENGINEERS, THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD/STATE WATER RESOURCES CONTROL BOARD, OR THE CALIFORNIA DEPARTMENT OF FISH & GAME ARE REQUIRED, THE DEVELOPER SHALL: A. SUBMIT A COPY OF ALL SUCH COMPLETED PERMITS TO THE COUNTY BUILDING DEPARTMENT OR, B. DOCUMENT THAT THE REGULATORY
- 16.WHEN THE PROJECT SITE EARTHWORK IS NOT INTENDED TO BALANCE THEN A SEPARATE GRADING PERMIT FOR THE SENDING OR RECEIVING PROPERTY MAY BE REQUIRED. A COPY OF THE PERMIT/S OR EVIDENCE THAT NO PERMITS ARE REQUIRED SHALL BE SUBMITTED TO THE DEPARTMENT PRIOR TO COMMENCING PROJECT

17.SITE GRADING AND SLOPE ARE BASED ON OWNERS DESCRIPTION. ARCHITECT WAS NOT PROVIDED WITH UPDATED PROPERTY SLOPE AND GRADING DOCUMENTS FOR THIS DESIGN. OWNER MUST PROVIDE LEGAL SURVEY TO VERIFY SLOPE AND TO SUBMIT TO ARCHITECT FOR ASSESSMENT AND PLAN ADJUSTMENTS PRIOR TO CONSTRUCTION

#### GRADING NOTES

- 1. ALL GRADING CONSTRUCTION SHALL CONFORM TO THE APPLICABLE CODES AS NOTED UNDER "APPLICABLE CODES" HEADING.
- 2. THE DEVELOPER SHALL BE RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION MEETING WITH THE COUNTY AND OTHER AFFECTED AGENCIES. THE CONTRACTOR SHALL NOTIFY THE COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS PRIOR TO ANY WORK BEING PERFORMED, AND ARRANGE FOR INSPECTION.
- 3. GRADING SHALL COMPLY WITH THE RECOMMENDATIONS OF THE PRELIMINARY SOILS REPORT.
- 4. NOTE: EXACT SHRINKAGE, CONSOLIDATION, AND SUBSIDENCE FACTORS AND LOSSES DUE TO CLEARING OPERATIONS ARE NOT INCLUDED. ESTIMATED EARTHWORK QUANTITIES ARE BASED UPON THE DIFFERENCE BETWEEN EXISTING GROUND SURFACE AND PROPOSED FINISH GRADES, OR SUB GRADES AS SHOWN ON THE PLAN, AND SHOULD VARY ACCORDING TO THESE FACTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE INSPECTION AND QUANTITY TAKE OFF, AND SHALL BID ACCORDINGLY.
- 5. SOILS ENGINEER TO DETERMINE THE SOIL IS SUITABLE TO SUPPORT THE INTENDED STRUCTURE. SUCH REPORT INCLUDING PROGRESS AND/OR COMPACTION REPORTS SHALL BE SUBMITTED TO THE FIELD INSPECTOR PRIOR TO FINAL INSPECTION WHEN A SOILS REPORT IS OBTAINED. THE COUNTY POLICY REGARDING PAD CERTIFICATION SHALL BE FOLLOWED. WHEN APPLICABLE THE ENGINEER SHALL OBSERVE THE GRADING OPERATION(S) AND PROVIDE THE FIELD INSPECTOR WITH REQUIRED COMPACTION REPORTS AND A REPORT STATING THAT THE GRADING PERFORMED HAS BEEN OBSERVED AND IS IN CONFORMANCE WITH THE UBC AND JURISDICTION ORDINANCES.
- 6. NO CUT OR FILL SLOPES WILL BE CONSTRUCTED STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1).
- 7. DUST CONTROL IS TO BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
- 8. AREAS OF FILL SHALL BE SCARIFIED, BENCHED AND RECOMPACTED PRIOR TO REPLACING FILL.
- 9. FILL MATERIAL WILL BE RECOMPACTED TO 90% OF MAXIMUM DENSITY.
- 10.REMOVE ANY DELETERIOUS MATERIAL ENCOUNTERED BEFORE PLACING FILL.

- 11. ALL DISTURBED AREAS SHALL BE HYDRO SEEDED OR PLANTED WITH APPROVED EROSION CONTROL VEGETATION AS SOON AS PRACTICAL AFTER CONSTRUCTION IS
- 12.MINIMUM SETBACK TO CREEKS AND BLUFFS SHALL BE MAINTAINED. MINIMUM SETBACK OF TWO FEET FROM ALL PROPERTY LINES WILL BE MAINTAINED FOR ALL
- 13.MINIMUM SLOPE AWAY FROM BUILDINGS SHALL BE 5% FOR THE FIRST TEN FEET AROUND PERIMETER.
- 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MARKERS DURING CONSTRUCTION. ALL SUCH MONUMENTS OR MARKERS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
- 15. ALL CONTRACTORS AND SUBCONTRACTORS WORKING WITHIN THE RIGHT OF WAY SHALL HAVE AN APPROPRIATE CONTRACTOR'S LICENSE, A LOCAL BUSINESS LICENSE, AND shall obtain an encroachment permit.
- 16.ENGINEERING REPORTS FOR CUT OR FILL SLOPE STEEPER THAN 2:1 SHALL BE SUBMITTED TO THE FIELD INSPECTOR.

#### UNDERGROUND UTILITY NOTES

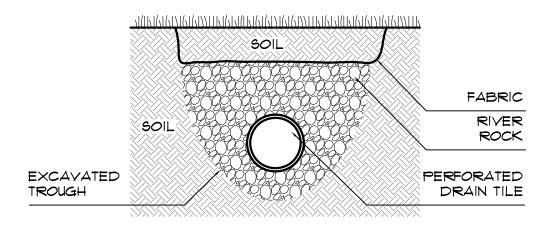
- 1. AN EFFORT HAS BEEN MADE TO DEFINE THE LOCATION OF UNDERGROUND FACILITIES WITHIN THE JOB SITE. HOWEVER, ALL EXISTING UTILITY AND OTHER UNDERGROUND STRUCTURES MAY NOT BE SHOWN ON THIS PLAN AND THEIR LOCATION WHERE SHOWN IS APPROXIMATE. THE CONSTRUCTION CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR LOCATING OR HAVING LOCATED ALL UNDERGROUND UTILITIES AND OTHER FACILITIES AND FOR PROTECTING THEM DURING
- 2. ALL UTILITY COMPANIES MUST BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION. THE CONSTRUCTION CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) AT 811 TWO TO TEN DAYS PRIOR TO THE START OF EXCAVATION AND SHALL VERIFY THE LOCATION OF ANY KNOWN UTILITIES AND WHETHER OR NOT A REPRESENTATIVE OF EACH COMPANY WILL BE PRESENT DURING EXCAVATION.

#### APPLICABLE CODES

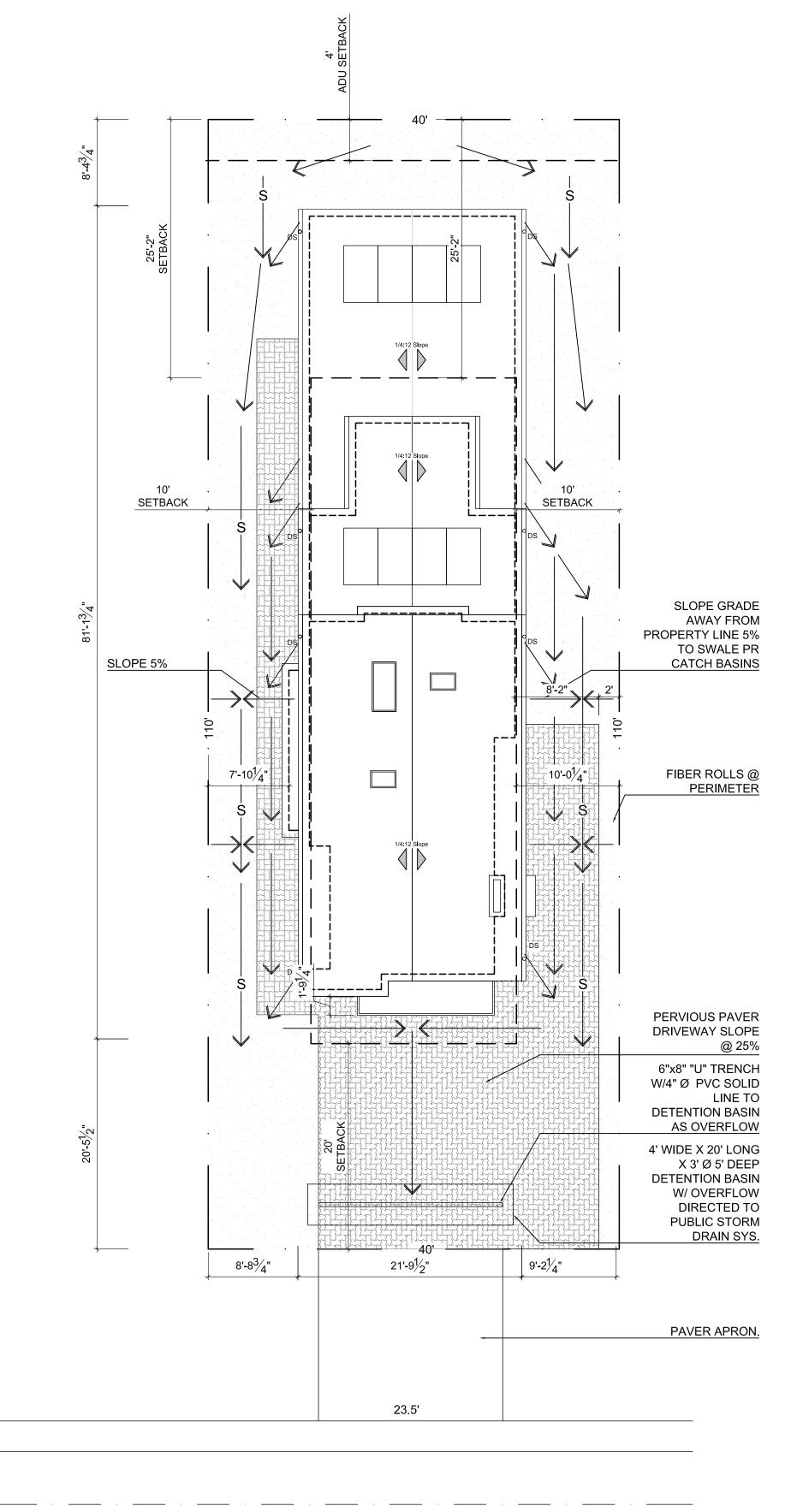
- 2019 BUILDING STANDARDS CODES
- · CALIFORNIA BUILDING CODE, VOLS 1 & 2 (2019 IBC) CALIFORNIA RESIDENTIAL CODE (NEW) (2019 IRC)
- · CALIFORNIA PLUMBING CODE (2019 UPC)
- · CALIFORNIA MECHANICAL CODE (2019 UMC)
- CALIFORNIA ELECTRICAL CODE (2019 NEC) CALIFORNIA ENERGY CODE (V.2008 UNTIL 7/1/2019)
- CALIFORNIA GREEN BUILDING CODE
- California Fire Code (2019 IFC)
- CALIFORNIA REFERENCE STANDARDS CODE
- COUNTY BUILDING AND CONSTRUCTION ORDINANCE -TITLE 19 · COUNTY COASTAL ZONE LAND USE ORDINANCE - TITLE 23
- COUNTY FIRE CODE ORDINANCE TITLE 16
- · COUNTY LAND USE ORDINANCE -TITLE 22

#### **LEGEND**

	PROPERTY LINE
	SETBACK
550	EXISTING GROUND CONTOUR
550	FINISH GRADE CONTOUR
4.4	CONCRETE
	EDGE OF PAVEMENT
W	WATER LINE
₩V	WATER VALVE
	FIRE HYDRANT
S	SANITARY SEWER MAIN
—— E ——	ELECTRICAL LINE
——ОН ———	OVERHEAD LINE
$\mathcal{O}$	UTILITY POLE
7	GUY ANCHOR
E	ELEC. VAULT / PEDESTAL / PULL BOX
—— T——	TELEPHONE LINE
T	TELE. VAULT / PEDESTAL / PULL BOX
×	FENCE
——— G ———	GAS MAIN
$\cdots \longrightarrow \cdots \longrightarrow \cdots$	FLOWLINE
2%	PROPOSED GRADE & DIRECTION
$\langle 1 \rangle$	CONSTRUCTION NOTE REFERENCE
100.0	SPOT ELEVATION
ELEV	-: -: <del></del>







CORONADO AVE





San Francisco CA

(415)273-9054

Architect Wilkins Studio Architects Contract: Karen Wilkins, AIA 785 Quintana Rd # 180 Morro Bay, CA 93442 (415) 273-9054

Owner Paul McGregor 130 Coronado Ave, Half Moon Bay, CA 94019

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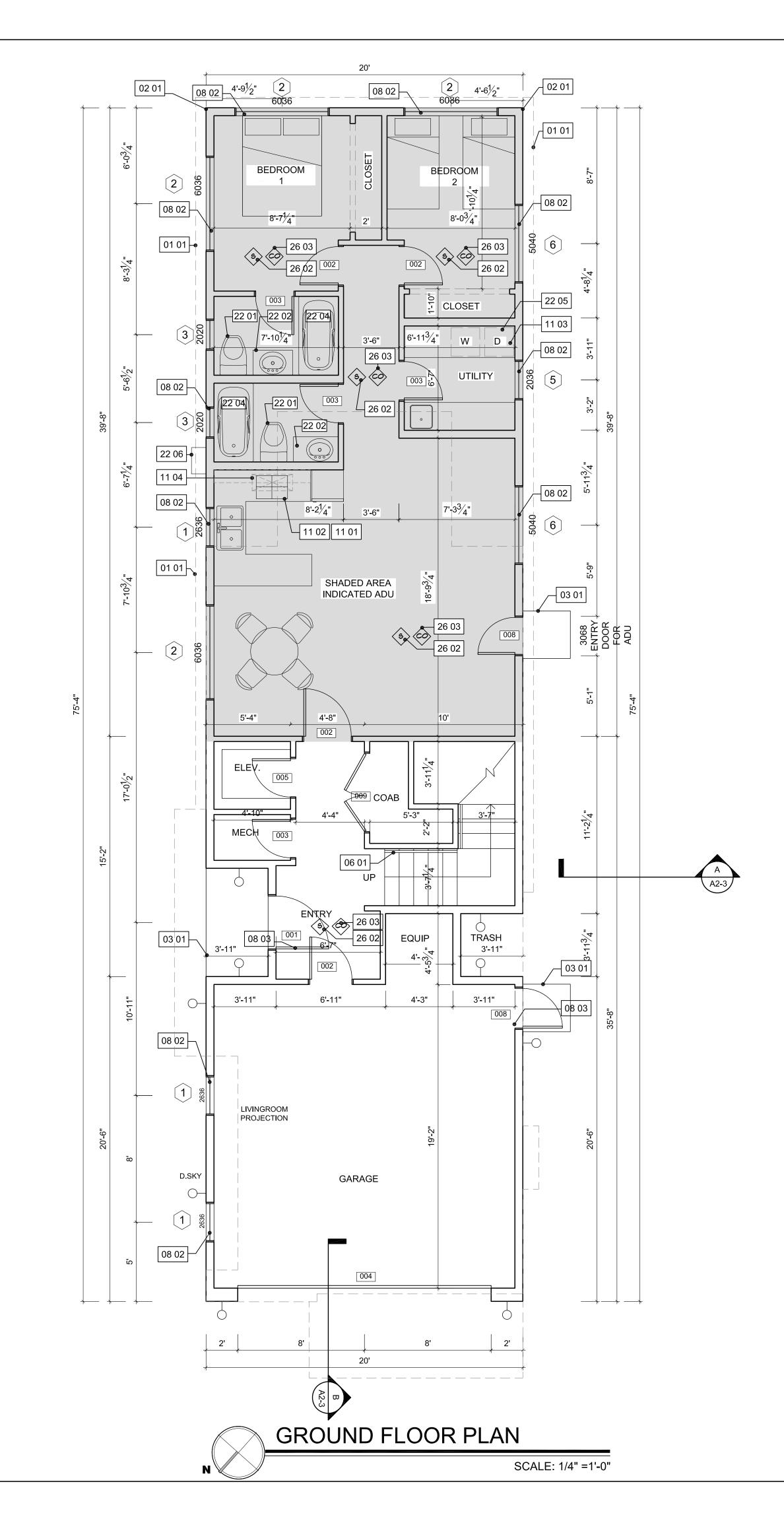
Description Date Submittal Plan Check 05/24/202

Grading and Drainage

Scale: As Noted

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#### FLOOR PLAN NOTES & SYMBOL LEGEND FLOOR PLAN NOTES DESCRIPCION (NOT ALL SYMBILS NECESSARY ON THIS SHEET) 4. PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS 01 00 ALL PLUMBING WALLS TO BE 2x6 AVAILABLE IN THE AREA. 5. EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN ALL INTERIOR DOOR TO BE SET 4" FROM WALL UNO 01 01 EAVE ABOVE INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND PROVIDE VAPOR BARRIER ON THE WARM SIDE OF EXTERIOR WALLS IN BATHROOMS WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN THE 01 02 LINE OF FRAMING BELOW CEILING IN UNFINISHED AREAS WILL HAVE UNFACED INSULATION RELATIVE HUMIDITY LEVEL IN THAT RANGE. THE UNFINISHED AREAS 6. INFORMATION ABOUT WATER-CONSERVING LANDSCAPE AND 02 00 IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE PROVIDE HANDRAILS MIN AND MAX HEIGHTS OF 34" AND 38", CONTINUOUS THE FULL LENGTH OF THE STAIRS AT LEAST ONE SLOPE FINISH GRADE 5% OF 10'-0" AWAY FROM STRUCTURE ALL AROUND U.O.N. ON 02 01 SIDE OF STAIR AND TERMINATE INTO THE WALL OR NEWEL 7. INSTRUCTIONS FOR MAINTAINING GUTTERS AND GRADING PLAN LANDSCAPE AREA POST. MAXIMUM RISERS HT IS 7 3/4" AND MINIMUM TREADS IS DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING 03 00 CONCRETE WATER AT LEAST S FEET AWAY FROM THE FOUNDATION. 10". PROVIDE 6'-8" HEADROOM FOR STAIR. PROVIDE GUARDRAILS WHERE FLOOR SURFACES ARE 30" OR 8. INFORMATION ON REQUIRED ROUTINE MAINTENANCE 03 01 CONCRETE LANDING MORE ABOVE THE GRADE BELOW. GUARDRAILS SHOULD HAVE A MEASURES, INCLUDING, BUT NOT LIMITED TO, CAULKING SLAB ON GRADE 03 02 MIN. HEIGHT OF 42" AND HAVE BALUSTERS THAT ARE SPACED PAINTING, GRADING AROUND THE BUILDING, ETC. SO THAT OBJECTS 4" IN DIA. CANNOT PASS THROUGH. 9. INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE 8. MAXIMUM DIFFERENCE BETWEEN THE TALLEST AND THE PROGRAMS AVAILABLE. 06 00 WOOD 10. A COPY OF ALL SPECIAL INSPECTIONS, VERIFICATIONS SMALLEST STAIR RISER SHALL NOT BE GREATER THAN 3/8" . SD AND CO DETECTORS TO BE INSTALLED OUTSIDE OF REQUIRED BY THE ENFORCING AGENCY OR THIS CODE. 6.1 INSTALL FIRE (BLOCKING) STOPPING PER CBC CHAPTER 7 IN THE FOLLOWING BEDROOM WITHIN 15 FT OF BEDROOM DOORS. 23. HVAC TYPE - NEW CENTRAL GAS FURNACE WITH COOLING a. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED 10. ALL PLUMBING FIXTURES LOCATION TO BE V.I.F. W/ OWNER (GIVEN) TO HAVE HEATING EFF. 0.96 AFUE AND COOLING EFF. 16 SPACES SUCH AS AT THE CEILING AND FLOOR LEVELS AND AT 10' INTERVALS BOTH VERTICAL AND HORIZONTAL. PRIOR INSTALLATION SEER, 12.5 EER FOR MAIN UNIT. (2 EACH FUTURE ADU UNIT WILL 11. PROVIDE PVC VENTS TYP. FOR MECH. EQUIPMENT HAVE AN INDEPENDENT HVAC SYSTEM.) MINI-SPLIT HEAT PUMP b. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS. 12. ALL EXHAUST FANS MUST VENT DIRECTLY TO THE EXTERIOR HAVING 8.5 HSPF AND 15 SEER 12.5 EER. c. IN CONCEALED SPACES BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED. 13. ALL FURNACES SHALL BE PROVIDED WITH AN ELECTRICAL 24. R8 INSULATED DUCTS IN CONDITIONED SPACE. DISCONNECT SWITCH 25. NEW 2x4 STUD WALLS (GIVEN) WITH R15 INSULATION AND 6" d. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS. 14. CUTS, NOTCHES AND HOLES BORED IN TRUSSES, LAMINATED CONCRETE WALL WITH R13 INTERIOR INSULATION WALL AT 6.2 PROVIDE 2X BACKING FOR TOWEL BARS, TOILET PAPER HOLDERS, WINDOW COVERINGS ETC. COORDINATE FINAL LOCATIONS IN WITH OWNER. VENEER LUMBER, GLUE-LAMINATED MEMBERS OR I-JOISTS ARE 26. EXTERIOR WALL FINISH - STUCCO FOR GARAGE AND UPPER NOT PERMITTED UNLESS THE EFFECTS OF SUCH ARE SPECIFICALLY ADDRESSED. LEVEL WALLS AND WOOD SIDING FOR LOWER LEVEL WALLS. 6.3 2x4 (@ 16" o.c. Wooden Stud) walls with R15 Insulation. -42" HALF WALLS OR HANDRAIL W/ BALUSTERS SPACED SUCH THAT A 4" SPHERE . FOOTING DRAIN TILE SHALL BE PLACED ON A MINIMUM OF 2" OF 27. WINDOWS & DOORS WITH NFRC VALUE OF 0.29 u-FACTOR AND 06 01 SHALL NOT PASS ON METAL STRUCTURE. SEE DETAIL ON SHEET D-1 GRAVEL AND BE COVERED WITH A MINIMUM OF 6" OF GRAVEL. 0.21 SHGC HANDRAILS SHALL MEET MINIMUM REQUIREMENTS OF THE 2019 CRC SECTION R311 MOUNTING HEIGHT OF HANDRAIL TO BE BETWEEN 34" AND 38" ABOVE 28. SLAB ON GRADE. (GIVEN) 16. PROVIDE PROTECTIVE COVERS FOR WDW WELLS. 29. (4x) ENERGY RECOVERY VENTILATOR (40 CFM, 23 WATTS, 0.66 17. ENHANCED DURABILITY AND REDUCED MAINTENANCE. 4.406.1 RODENT PROOFING HEAT RECOVERY. PRODUCT; PANASONIC FV04VE1) NEW 2X12 (@16" O.C. WOODEN RAFTERS) NON ATTIC ROOF (ROOF SLOPE 0.25:12) TO HAVE R30 RAFTER INSULATION. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS 28. ALL INTERIOR AND EXTERIOR STAIR HANDRAILS TO COMPLY WITH OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR 29. PROVIDE JAMES HARDIE RENDERED WATER-RESISTIVE BARRIER 06 02 PLI-DECK WATERPROOF DECK COATING SYSTEM OVER PLYWOOD WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF HOUSE WRAP AS PER CRC R703.2 RODENTS BY CLOSING SUCH 30. GUARDS (SECTION R312): OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY ORA 07 00 THERMAL & MOISTURE PROTECTION A)SHALL BE PROVIDED FOR THOSE PORTIONS OF OPEN-SIDED SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY. WALKING SURFACES THAT ARE LOCATED MORE THAN 30" ABOVE 7.1 CONTRACTOR SHALL INSTALL ALL INSULATION AS REQUIRED AS FOLLOWS: 18. 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND EXTERIOR WALL INSULATION: R-15 BATT / 2X4@ 24" O.C THE FLOOR OR GRADE BELOW. RECYCLING B)SHALL HAVE A HEIGHT OF 42" (MAY BE 34" ALONG THE SIDES WALL BTE GARAGE-LOBBY: R-13 BATT / 2X4@ 24" O.C 4.408.1 CONSTRUCTION WASTE MANAGEMENT OF STAIRS). INTERIOR WALLS: R-0 BATT / 2X4@ 24" O.C. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 6S C)OPENINGS BETWEEN RAILINGS SHALL BE LESS THAN 4". THE **ROOF INSULATION:** R-30 MIN W/ R-9 RIGID PERCENT OF THE NON-HAZARDOUS CONSTRUCTION AND TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND DEMOLITION WASTE IN ACCORDANCE WITH EITHER SECTION BOTTOM ELEMENT OF A GUARDRAIL AT A STAIR SHALL BE LESS WEATHER STRIPPING: @ ALL EXTERIOR DOORS AND WINDOWS 4.408.2, 4.408.3 OR 4.408.4, OR MEET A MORE STRINGENT THAN 6". CAULKING: @ ALL EXTERIOR OPENINGS AND PENETRATIONS LOCAL CONSTRUCTION A ND DEMOLITION WASTE MANAGEMENT D)SHALL BE DETAILED TO SHOW CAPABILITY TO RESIST A ALL INSULATION MATERIAL SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 200 AND A SMOKE DENSITY NOT TO EXCEED 450. ORDINANCE. CONCENTRATED LOAD OF 200 POUNDS IN ANY DIRECTION **EXCEPTIONS** ALONG THE TOP RAIL AND 50 PSF FOR INFILL COMPONENTS 7.3 ALL FLASH / COUNTER FLASHING SHALL COMPLY WITH 2016 CRC • EXCAVATED SOIL AND LAND-CLEARING DEBRIS. CALCULATIONS MAY BE REQUIRED. TABLE R301.5. 7.4 ALL INTERIOR WALLS ARE TO HAVE QUIET BATT 30 SOUNDPROOFING INSULATION. ALTERNATE WASTE REDUCTION METHODS DEVELOPED BY 31. PROVIDE STAIRWAY AND LANDING DETAILS. SECTION R311.7 WORKING WITH LOCAL AGENCIES IF DIVER.;ION OR 08 00 **OPENINGS** A)MAXIMUM RISE IS 7-3/4" AND MINIMUM RUN IS 10", MEASURED RECYCLE FACILITIES CAPABLE OF COMPLIANCE WITH THIS ITEM FROM THE NOSING PROJECTION. WHERE THERE IS NO NOSING, SEE DOOR AND WINDOWS NOTES ON SHEET A2.1 DO NOT EXIST OR ARE NOT LOCATED REASONABLY CLOSE TO THE MINIMUM RUN IS 11". USE TYREK "FLEXWRAP" FLASHING AT ALL EXTERIOR OPENINGS, SEE 6/A-3.1 (TYPICAL) 08 01 THE JOBSITE B)MINIMUM HEADROOM IS 6'-8". • THE ENFORCING AGENCY MAY MAKE EXCEPTIONS TO THE C)MINIMUM WIDTH IS 36". 08 02 REQUIREMENTS OF THIS SECTION WHEN ISOLATED JOB SITES NOTE: ALL WINDOWS TO BE TEMPERED GLAZING OR FIRE RATED PER CBC 708A LOCATIONS SHOWN ON PLAN ARE MINIMUM REQUIRED LOCATIONS PER CRC 308 TO BI TEMPERED ON BOTH PANES, SEE SPECIAL CONSTRUCTION NOTES - HIGH FIRE SEVERITY D)THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS ARE LOCATED IN AREAS BEYOND THE HAUL BOUNDARIES OF SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH. THE DIVER.; ION FACILITY THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN SUBMIT A 20 MIN. FREE RATED DOOR W/ SELF-CLOSER, FULL PERIMETER SMOKE GASKET &SELF-LATCHING HARDWARE 08 03 SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH. CONSTRUCTION WASTE MANAGEMENT PLAN IN CONFORMANCE 32. OPEN RISERS ARE ONLY PERMITTED IF THE OPENING BETWEEN WITH ITEMS 1 THROUGH 5. THE CONSTRUCTION WASTE TREADS DOES NOT PERMIT THE PASSAGE OF A 4" DIAMETER MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND 08 04 WB SUPER SIMPLEX SERIES PULL-DOWN ROOF HATCH ACCESS LADDER. 2'-6"x4'-10" SPHERE. SECTION R311.7.5.1. SHALL BE AVAILABLE DURING CONSTRUCTION FOR 33. A NOSING (BETWEEN ¾" AND 1-¼") SHALL BE PROVIDED ON 08 05 EXAMINATION BY THE ENFORCING AGENCY SKYLIGHT 30x20 STAIRWAYS WITH SOLID RISERS.EXCEPTION: NO NOSING IS 20. IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE REQUIRED IF THE TREAD DEPTH IS AT LEAST 11 INCHES. MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING. 09 00 **FINISHES** SECTIONR311.7.5.3. REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR 34. HANDRAILS (SECTION R311.7.8): SALE.SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE 9.1 INTERIOR FINISHES TO BE SELECTED BY OWNER A)SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH 9.2 CONTRACTOR SHALL INSTALL WATERPROOF GYPSUM BOARD AT MATERIALS WILL BE SORTED ON-SITE (SOURCE SEPARATED) OR STAIRWAY WITH FOUR OR MORE RISERS ALL "WET" LOCATIONS SUCH AS TUB & SHOWER WALLS AND WINDOW BULK MIXED (SINGLE STREAM). B)HANDRAILS AND EXTENSIONS SHALL BE 34" TO 38" ABOVE 21. IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION 9.3 ALL DRYWALL AND PLASTERING SHALL CONFORM TO 2016 CRC. NOSING OF TREADS AND BE CONTINUOUS. AND DEMOLITION WASTE MATERIAL COLLECTED WILL BE TAKEN. 9.4 WALL SURFACES BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS SHA C)THE HAND GRIP PORTION OF ALL HANDRAILS SHALL BE NO 22. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE BE CONSTRUCTED FOR MATERIALS NOT ADVERSELY AFFECTED BY WATER. SHOWER LESS THAN 1-1/4 INCHES NORMORE THAN 2 INCHES IN AREA WALLS SHALL BE FINISHED WITH A SMOOTH NON-ABSORBENT SURFACE TO A AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE CROSS-SECTIONAL DIMENSION. SEE SECTION R311.7.8.3 FOR HEIGHT OF 70" ABOVE DRAIN INLET. GENERATED. ALTERNATIVES. 9.5 TILE FOR TUB AND SHOWER ENCLOSURES SHALL BE APPLIED OVER PORTLAND 23. SPECIFY THAT THE AMOUNT OF CONSTRUCTION AND CEMENT PLASTER WITH 30# FELT BACKING W/ METAL LATH U.O.N. D)HANDRAILS ADJACENT TO WALLS SHALL HAVE AT LEAST DEMOLITION WASTE MATERIALS DIVERTED SHALL BE 1-1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL. GYP BD @ WALLS & CEILINGS - 5/8" TYPE X CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH. E)ENDS OF HANDRAILS SHALL BE RETURNED OR SHALL HAVE ALL WALLS OR FLOORS BETWEEN LIVING SPACE AND GARAGE AND GARAGE CEILING 20, 4.408.3 WASTE MANAGEMENT COMPANY UTILIZE A WASTE SHALL HAVE 5/8" TYPE-X FIRE CODE GYPSUM BOARD SURFACE. WRAP EXPOSED BEAMS & POSTS ARE REQUIRED. ROUNDED TERMINATIONS ORBENDS MANAGEMENT COMPANY, APPROVED BY THE ENFORCING 35. EVERY STAIRWAY LANDING SHALL HAVE A DIMENSION AGENCY, WHICH CAN PROVIDE VERIFIABLE DOCUMENTATION SHOWER ENCLOSURE: TILE/STONE SHOWER W/ PVC PAN LINER OR EQUAL; SHOWERS MEASURED IN THE DIRECTION OF TRAVEL. AT LEAST EQUAL TO THAT THE PERCENTAGE OF CONSTRUCTION AND DEMOLITION AND WALLS ABOVE BATHTUBS WITH SHOWER HEAD SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6 FEET ABOVE THE FLOOR. THE STAIRWAY WIDTH. IF A DOOR OCCURS AT THE LANDING, WASTE MATERIAL DIVERTED FROM THE LANDFILL COMPILES SUCH DIMENSIONS NEED NOT EXCEED 36 INCHES. SECTION [SET SHOWER IN RECESSED SLAB W/ NO CURB - ADA ENTRY] WITH SECTION 4.408.1. R311.7.6. EXCEPTION: AT THE TOP OF AN INTERIOR FLIGHT OF ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE STAIRS, PROVIDED A DOOR DOES NOT SWING OVER THE STAIRS. AND ANY SOFFITS PROTECTED ON ENCLOSED SIDE W/ ½" GYP. BOARD. THE OWNER OR CONTRACTOR MAY MAKE THE DETERMINATION IF THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS **EQUIPMENT** WILL BE DIVERTED BY A WASTE MANAGEMENT COMPANY. 11 01 4.408.4 GAS FIRED KITCHEN WASTE STREAM REDUCTION ALTERNATIVE (LR) 11 02 GAS RANGE PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF CONSTRUCTION AND DEMOLITION WASTE DISPOSED OF IN 11 03 GAS DRYER LANDFILLS, WHICH DO NOT EXCEED 3.41BS./SQ.FT. OF THE 11 04 **NEW KITCHEN RANGE HOOD** BUILDING AREA SHALL MEET THE MÍNIMUM 65% CONSTRUCTION WASTE REDUCTION REQUIREMENT IN SECTION 4.408.1 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE 22.1 LOW PROFILE SLOPED FLOORING FOR SHOWER PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF 22.2 POLISHED CONCRETE FLOOR FOR BATHROOMS CONSTRUCTION AND DEMOLITION WASTE DISPOSED OF IN LANDFILLS, WHICH DO NOT EXCEED 2 POUNDS PER SQUARE 22 01 TOILET [1.28 GPF] - KOHLER #K-11499-0 OR EQUAL FOOT OF THE BUILDING AREA, SHALL MEET THE MINIMUM 65% CONSTRUCTION WASTE REDUCTION REQUIREMENT IN SECTION 22 02 VANITY (GRANITE COUNTERTOP W/ UNDER-MOUNT SINK): FAUCET [1.5 GPF] 4.408.1. 21. 4.408.5 DOCUMENTATION SHOWER ENCLOSURE: TILE/STONE W/ PVC PAN LINER: FAUCET [1.75 GPF] W/ SEAT @ 16" - SLOPE TO DRAIN 1/8" PER FOOT MIN. COORDINATE FINAL LAYOUT WITH CONTRACTOR. [SET SHOWER IN RECESSED SLAB 22 03 DOCUMENTATION SHALL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH SECTION SHOWER RECEPTOR TO BE CONSTRUCTED PER CPC 408.7 W/ SLOPE NO LESS THAN 2% TO DRAIN. 4.408.2, ITEMS 1 THROUGH 5, SECTION 4.408.3 OR SECTION 4.408.4. NOTES: 22 04 1.SAMPLE FORMS FOUND IN "A GUIDE TO THE CALIFORNIA GREEN BUILDING STANDARDS CODE (RESIDENTIAL)" LOCATED HEATING, VENTILATION & AIR CONDITIONING AT WWW/HCD.CA.GOV/CALGREEN.HTML MAY BE USED TO ASSIST IN DOCUMENTING COMPLIANCE WITH THIS SECTION. 22.1 SEE P SHEETS FOR REQUIREMENTS AND NOTES 2. MIXED CONSTRUCTION AND DEMOLITION DEBRIS (C & D) PROCESSORS CAN BE LOCATED AT THE CALIFORNIA HVAC TYPE- NEW DUCTLESS MINI-SPLIT HEAT PUMP HAVING 11 HSPF AND 22.5 SEER 12.5 EER.(MODEL-PANSONIC E12RKUA) DEPARTMENT OF RESOURCES RECYCLING AND RECOVERY (CAIRECYCLE). USING VARIABLE CAPACITY HEAT PUMP CREDIT 22. 4.410.1 OPERATION AND MAINTENANCE MANUEL SINCE WE ARE TAKING THE VARIABLE CAPACITY HEAT PUMP CREDIT FOR THE DUCTLESS AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, MINI-SPLIT, THE BELOW CONDITIONS NEED TO BE MET: WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE BEDROOM 1 AND 2, LIVING ROOM OF ADU,M. BEDROOM, G. BEDROOM, AND LIVING ENFORCING AGENCY WHICH INCLUDES ALL OF THE FOLLOWING SHALL BE PLACED IN THE BUILDING: LIVING ROOM OF ADU AND RESIDENCE REQUIRE A PERMANENTLY INSTALLED WALL 1. DIRECTIONS TO THE OWNER OR OCCUPANT THAT THE MOUNTED THERMOSTAT (SINCE THEY ARE ABOVE 150 SF EACH) MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE REFRIGERANT CHARGE HERS VERIFICATION. LIFE CYCLE OF THE STRUCTURE. QII HERS Verification. 2. OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING: DRYER VENT - 4" SMOOTH METAL DUCT - 14' W/2 - 90 DEG. ELBOWS MAX WITH 22 05 a. EQUIPMENT AND APPLIANCES, INCLUDING BACK-DRAFT PREVENTER WATER-SAVING DEVICES AND SYSTEMS, HVAC SYSTEMS, 22 06 PHOTOVOLTAIC SYSTEMS, ELECTRIC VEHICLE CHARGER.;, WATER HEATER TYPE- NEW GAS TANKLESS WATER HEATER WITH EFF. 81% WATER-HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT 26 00 b. ROOF AND YARD DRAINAGE, INCLUDING GUTTER.; AND 26.1 SEE A-5 SHEETS FOR REQUIREMENTS AND NOTES DOWNSPOUTS. c. SPACE CONDITIONING SYSTEMS, INCLUDING **ELECTRICAL PANEL** 26 01 CONDENSERS AND AIR FILTERS. d. LANDSCAPE IRRIGATION SYSTEMS. 26 02 SMOKE DETECTOR, TYP e. WATER REUSE SYSTEMS. 26 03 3. INFORMATION FROM LOCAL UTILITY, WATER AND WASTE CARBON MONOXIDE DETECTOR, TYP RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE SITE IMPROVEMENTS 32 00 RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS. 32 01 SOLAR POWER SYSTEM (PV)- STANDARD PV SIZE



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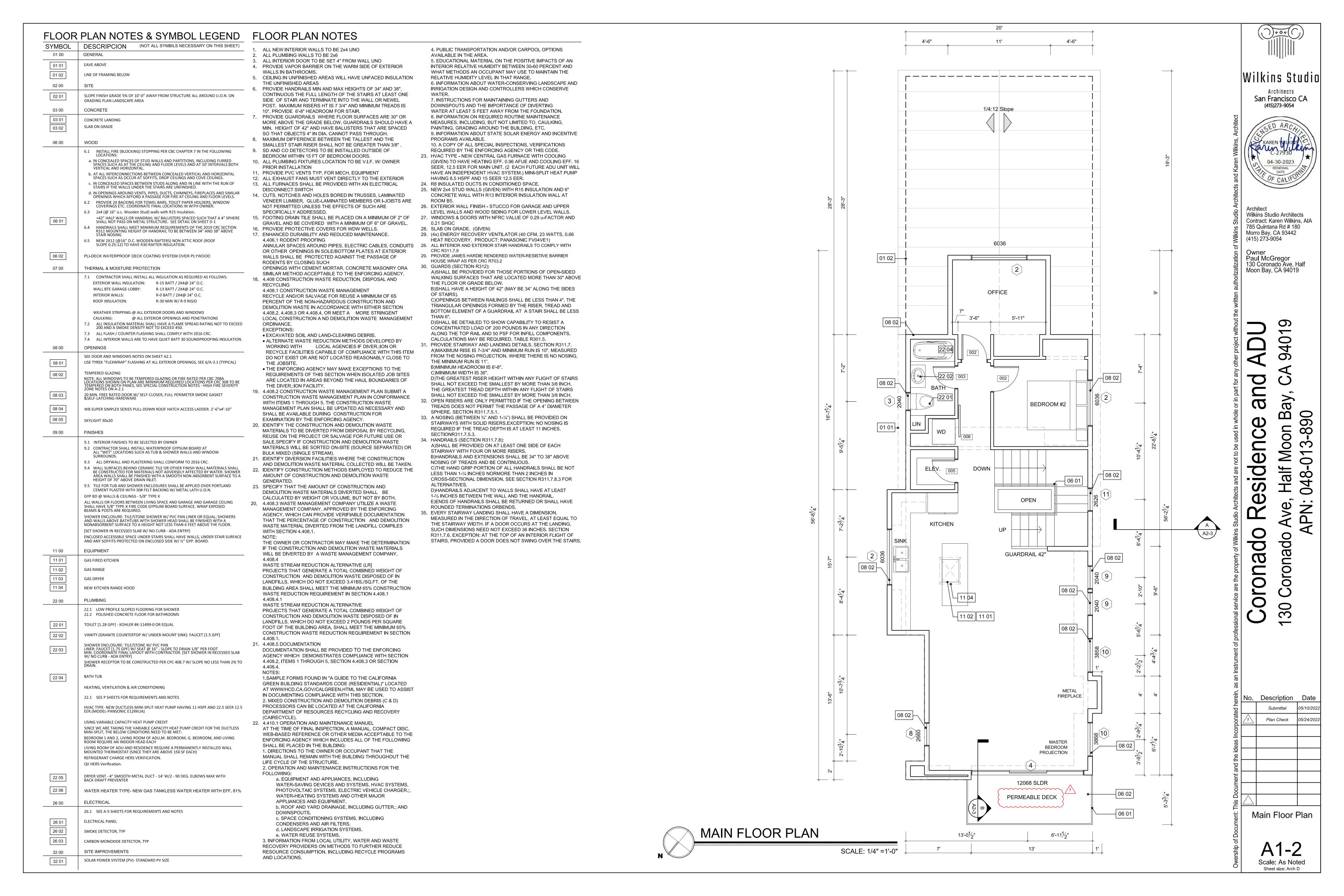
Owner Paul McGregor 130 Coronado Ave, Half Moon Bay, CA 94019

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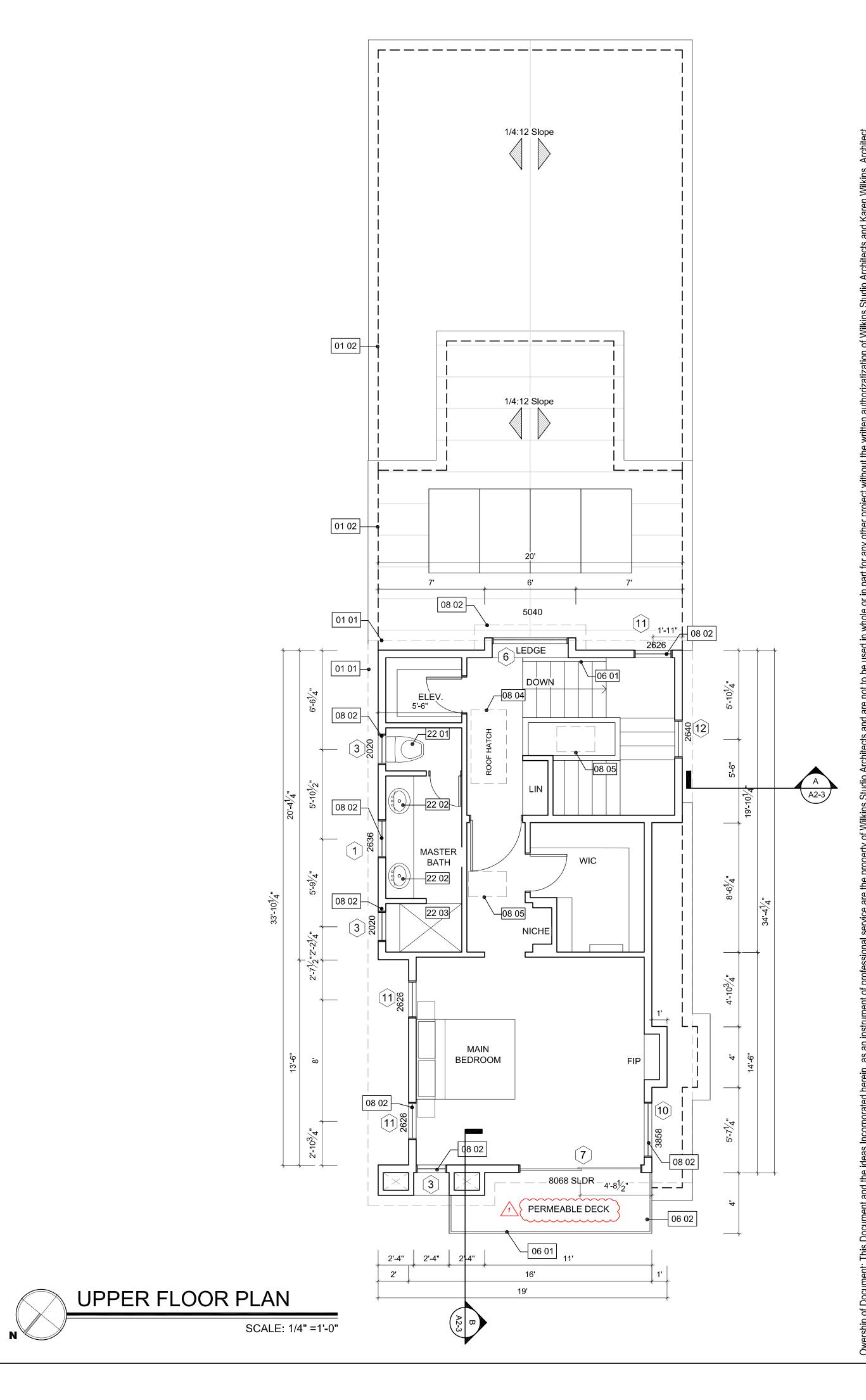
Ground Floor Plan

Scale: As Noted Sheet size Arch D



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CAULKING: @ ALL EXTERIOR OPENINGS AND PENETRATIONS LOCAL CONSTRUCTION A ND DEMOLITION WASTE MANAGEMENT ALL INSULATION MATERIAL SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 200 AND A SMOKE DENSITY NOT TO EXCEED 450. ORDINANCE **EXCEPTIONS** 7.3 ALL FLASH / COUNTER FLASHING SHALL COMPLY WITH 2016 CRC • EXCAVATED SOIL AND LAND-CLEARING DEBRIS. 7.4 ALL INTERIOR WALLS ARE TO HAVE QUIET BATT 30 SOUNDPROOFING INSULATION. • ALTERNATE WASTE REDUCTION METHODS DEVELOPED BY WORKING WITH LOCAL AGENCIES IF DIVER.;ION OR 08 00 **OPENINGS** RECYCLE FACILITIES CAPABLE OF COMPLIANCE WITH THIS ITEM SEE DOOR AND WINDOWS NOTES ON SHEET A2.1 DO NOT EXIST OR ARE NOT LOCATED REASONABLY CLOSE TO USE TYREK "FLEXWRAP" FLASHING AT ALL EXTERIOR OPENINGS, SEE 6/A-3.1 (TYPICAL) 08 01 THE JOBSITE • THE ENFORCING AGENCY MAY MAKE EXCEPTIONS TO THE 08 02 REQUIREMENTS OF THIS SECTION WHEN ISOLATED JOB SITES NOTE: ALL WINDOWS TO BE TEMPERED GLAZING OR FIRE RATED PER CBC 708A LOCATIONS SHOWN ON PLAN ARE MINIMUM REQUIRED LOCATIONS PER CRC 308 TO BE TEMPERED ON BOTH PANES, SEE SPECIAL CONSTRUCTION NOTES - HIGH FIRE SEVERITY ARE LOCATED IN AREAS BEYOND THE HAUL BOUNDARIES OF THE DIVER.; ION FACILITY 19. 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN SUBMIT A 20 MIN. FREE RATED DOOR W/ SELF-CLOSER, FULL PERIMETER SMOKE GASKET &SELF-LATCHING HARDWARE 08 03 CONSTRUCTION WASTE MANAGEMENT PLAN IN CONFORMANCE WITH ITEMS 1 THROUGH 5. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND 08 04 WB SUPER SIMPLEX SERIES PULL-DOWN ROOF HATCH ACCESS LADDER. 2'-6"x4'-10" SHALL BE AVAILABLE DURING CONSTRUCTION FOR 08 05 EXAMINATION BY THE ENFORCING AGENCY. SKYLIGHT 30x20 20. IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, 09 00 FINISHES REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE 9.1 INTERIOR FINISHES TO BE SELECTED BY OWNER 9.2 CONTRACTOR SHALL INSTALL WATERPROOF GYPSUM BOARD AT MATERIALS WILL BE SORTED ON-SITE (SOURCE SEPARATED) OR "WET" LOCATIONS SUCH AS TUB & SHOWER WALLS AND WINDOW BULK MIXED (SINGLE STREAM). 21. IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION 9.3 ALL DRYWALL AND PLASTERING SHALL CONFORM TO 2016 CRC. AND DEMOLITION WASTE MATERIAL COLLECTED WILL BE TAKEN. 9.4 WALL SURFACES BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS SHA 22. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE BE CONSTRUCTED FOR MATERIALS NOT ADVERSELY AFFECTED BY WATER. SHOWER AREA WALLS SHALL BE FINISHED WITH A SMOOTH NON-ABSORBENT SURFACE TO A AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE HEIGHT OF 70" ABOVE DRAIN INLET. GENERATED. 9.5 TILE FOR TUB AND SHOWER ENCLOSURES SHALL BE APPLIED OVER PORTLAND 23. SPECIFY THAT THE AMOUNT OF CONSTRUCTION AND CEMENT PLASTER WITH 30# FELT BACKING W/ METAL LATH U.O.N. DEMOLITION WASTE MATERIALS DIVERTED SHALL BE GYP BD @ WALLS & CEILINGS - 5/8" TYPE X CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH. ALL WALLS OR FLOORS BETWEEN LIVING SPACE AND GARAGE AND GARAGE CEILING 20, 4.408.3 WASTE MANAGEMENT COMPANY UTILIZE A WASTE SHALL HAVE 5/8" TYPE-X FIRE CODE GYPSUM BOARD SURFACE. WRAP EXPOSED BEAMS & POSTS ARE REQUIRED. MANAGEMENT COMPANY, APPROVED BY THE ENFORCING AGENCY, WHICH CAN PROVIDE VERIFIABLE DOCUMENTATION SHOWER ENCLOSURE: TILE/STONE SHOWER W/ PVC PAN LINER OR EQUAL; SHOWERS THAT THE PERCENTAGE OF CONSTRUCTION AND DEMOLITION AND WALLS ABOVE BATHTUBS WITH SHOWER HEAD SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6 FEET ABOVE THE FLOOR. WASTE MATERIAL DIVERTED FROM THE LANDFILL COMPILES [SET SHOWER IN RECESSED SLAB W/ NO CURB - ADA ENTRY] WITH SECTION 4.408.1. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON ENCLOSED SIDE W/ ½" GYP. BOARD. THE OWNER OR CONTRACTOR MAY MAKE THE DETERMINATION IF THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS **EQUIPMENT** WILL BE DIVERTED BY A WASTE MANAGEMENT COMPANY. 11 01 4.408.4 GAS FIRED KITCHEN WASTE STREAM REDUCTION ALTERNATIVE (LR) 11 02 GAS RANGE PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF CONSTRUCTION AND DEMOLITION WASTE DISPOSED OF IN 11 03 GAS DRYER LANDFILLS, WHICH DO NOT EXCEED 3.41BS./SQ.FT. OF THE 11 04 **NEW KITCHEN RANGE HOOD** BUILDING AREA SHALL MEET THE MÍNIMUM 65% CONSTRUCTION WASTE REDUCTION REQUIREMENT IN SECTION 4.408.1 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE 22.1 LOW PROFILE SLOPED FLOORING FOR SHOWER PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF 22.2 POLISHED CONCRETE FLOOR FOR BATHROOMS CONSTRUCTION AND DEMOLITION WASTE DISPOSED OF IN LANDFILLS, WHICH DO NOT EXCEED 2 POUNDS PER SQUARE 22 01 TOILET [1.28 GPF] - KOHLER #K-11499-0 OR EQUAL FOOT OF THE BUILDING AREA, SHALL MEET THE MINIMUM 65% CONSTRUCTION WASTE REDUCTION REQUIREMENT IN SECTION 22 02 VANITY (GRANITE COUNTERTOP W/ UNDER-MOUNT SINK): FAUCET [1.5 GPF] 4.408.1. 21. 4.408.5 DOCUMENTATION SHOWER ENCLOSURE: TILE/STONE W/ PVC PAN LINER: FAUCET [1.75 GPF] W/ SEAT @ 16" - SLOPE TO DRAIN 1/8" PER FOOT MIN. COORDINATE FINAL LAYOUT WITH CONTRACTOR. [SET SHOWER IN RECESSED SLAB 22 03 DOCUMENTATION SHALL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH SECTION 4.408.2, ITEMS 1 THROUGH 5, SECTION 4.408.3 OR SECTION SHOWER RECEPTOR TO BE CONSTRUCTED PER CPC 408.7 W/ SLOPE NO LESS THAN 2% TO DRAIN. 4.408.4. NOTES: 22 04 1.SAMPLE FORMS FOUND IN "A GUIDE TO THE CALIFORNIA GREEN BUILDING STANDARDS CODE (RESIDENTIAL)" LOCATED HEATING, VENTILATION & AIR CONDITIONING AT WWW/HCD.CA.GOV/CALGREEN.HTML MAY BE USED TO ASSIST IN DOCUMENTING COMPLIANCE WITH THIS SECTION. 22.1 SEE P SHEETS FOR REQUIREMENTS AND NOTES 2. MIXED CONSTRUCTION AND DEMOLITION DEBRIS (C & D) PROCESSORS CAN BE LOCATED AT THE CALIFORNIA HVAC TYPE- NEW DUCTLESS MINI-SPLIT HEAT PUMP HAVING 11 HSPF AND 22.5 SEER 12.5 EER.(MODEL-PANSONIC E12RKUA) DEPARTMENT OF RESOURCES RECYCLING AND RECOVERY (CAIRECYCLE). USING VARIABLE CAPACITY HEAT PUMP CREDIT 22. 4.410.1 OPERATION AND MAINTENANCE MANUEL SINCE WE ARE TAKING THE VARIABLE CAPACITY HEAT PUMP CREDIT FOR THE DUCTLESS AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC MINI-SPLIT, THE BELOW CONDITIONS NEED TO BE MET: WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE BEDROOM 1 AND 2, LIVING ROOM OF ADU, M. BEDROOM, G. BEDROOM, AND LIVING ENFORCING AGENCY WHICH INCLUDES ALL OF THE FOLLOWING ROOM REQUIRE AN INDOOR HEAD EACH SHALL BE PLACED IN THE BUILDING: LIVING ROOM OF ADU AND RESIDENCE REQUIRE A PERMANENTLY INSTALLED WALL 1. DIRECTIONS TO THE OWNER OR OCCUPANT THAT THE MOUNTED THERMOSTAT (SINCE THEY ARE ABOVE 150 SF EACH) MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE REFRIGERANT CHARGE HERS VERIFICATION. LIFE CYCLE OF THE STRUCTURE. QII HERS Verification. 2. OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING: DRYER VENT - 4" SMOOTH METAL DUCT - 14' W/2 - 90 DEG. ELBOWS MAX WITH 22 05 a. EQUIPMENT AND APPLIANCES, INCLUDING BACK-DRAFT PREVENTER WATER-SAVING DEVICES AND SYSTEMS, HVAC SYSTEMS, 22 06 PHOTOVOLTAIC SYSTEMS, ELECTRIC VEHICLE CHARGER.;, WATER HEATER TYPE- NEW GAS TANKLESS WATER HEATER WITH EFF. 81% WATER-HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT 26 00 b. ROOF AND YARD DRAINAGE, INCLUDING GUTTER.; AND 26.1 SEE A-5 SHEETS FOR REQUIREMENTS AND NOTES DOWNSPOUTS. c. SPACE CONDITIONING SYSTEMS, INCLUDING ELECTRICAL PANEL 26 01 CONDENSERS AND AIR FILTERS. d. LANDSCAPE IRRIGATION SYSTEMS. 26 02 SMOKE DETECTOR, TYP e. WATER REUSE SYSTEMS. 3. INFORMATION FROM LOCAL UTILITY, WATER AND WASTE 26 03 CARBON MONOXIDE DETECTOR, TYP RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE SITE IMPROVEMENTS 32 00 RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS. 32 01 SOLAR POWER SYSTEM (PV)- STANDARD PV SIZE

4. PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA. 5. EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN THE RELATIVE HUMIDITY LEVEL IN THAT RANGE. 6. INFORMATION ABOUT WATER-CONSERVING LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE 7. INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST S FEET AWAY FROM THE FOUNDATION. 8. INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING, BUT NOT LIMITED TO, CAULKING, PAINTING, GRADING AROUND THE BUILDING, ETC. 9. INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE. 10. A COPY OF ALL SPECIAL INSPECTIONS, VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE. 23. HVAC TYPE - NEW CENTRAL GAS FURNACE WITH COOLING (GIVEN) TO HAVE HEATING EFF. 0.96 AFUE AND COOLING EFF. 16 SEER, 12.5 EER FOR MAIN UNIT. (2 EACH FUTURE ADU UNIT WILL HAVE AN INDEPENDENT HVAC SYSTEM.) MINI-SPLIT HEAT PUMP HAVING 8.5 HSPF AND 15 SEER 12.5 EER. 24. R8 INSULATED DUCTS IN CONDITIONED SPACE. 25. NEW 2x4 STUD WALLS (GIVEN) WITH R15 INSULATION AND 6" CONCRETE WALL WITH R13 INTERIOR INSULATION WALL AT 26. EXTERIOR WALL FINISH - STUCCO FOR GARAGE AND UPPER LEVEL WALLS AND WOOD SIDING FOR LOWER LEVEL WALLS. 27. WINDOWS & DOORS WITH NFRC VALUE OF 0.29 u-FACTOR AND 28. SLAB ON GRADE. (GIVEN) 29. (4x) ENERGY RECOVERY VENTILATOR (40 CFM, 23 WATTS, 0.66 HEAT RECOVERY. PRODUCT; PANASONIC FV04VE1) 29. PROVIDE JAMES HARDIE RENDERED WATER-RESISTIVE BARRIER HOUSE WRAP AS PER CRC R703.2 30. GUARDS (SECTION R312): A)SHALL BE PROVIDED FOR THOSE PORTIONS OF OPEN-SIDED WALKING SURFACES THAT ARE LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW. B)SHALL HAVE A HEIGHT OF 42" (MAY BE 34" ALONG THE SIDES C)OPENINGS BETWEEN RAILINGS SHALL BE LESS THAN 4". THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A GUARDRAIL AT A STAIR SHALL BE LESS D)SHALL BE DETAILED TO SHOW CAPABILITY TO RESIST A CONCENTRATED LOAD OF 200 POUNDS IN ANY DIRECTION ALONG THE TOP RAIL AND 50 PSF FOR INFILL COMPONENTS. CALCULATIONS MAY BE REQUIRED. TABLE R301.5. 31. PROVIDE STAIRWAY AND LANDING DETAILS. SECTION R311.7. A)MAXIMUM RISE IS 7-3/4" AND MINIMUM RUN IS 10", MEASURED FROM THE NOSING PROJECTION. WHERE THERE IS NO NOSING, THE MINIMUM RUN IS 11". B)MINIMUM HEADROOM IS 6'-8". C)MINIMUM WIDTH IS 36". D)THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH. 32. OPEN RISERS ARE ONLY PERMITTED IF THE OPENING BETWEEN TREADS DOES NOT PERMIT THE PASSAGE OF A 4" DIAMETER SPHERE. SECTION R311.7.5.1. 33. A NOSING (BETWEEN ¾" AND 1-¼") SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS.EXCEPTION: NO NOSING IS REQUIRED IF THE TREAD DEPTH IS AT LEAST 11 INCHES. SECTIONR311.7.5.3. 34. HANDRAILS (SECTION R311.7.8): A)SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH STAIRWAY WITH FOUR OR MORE RISERS B)HANDRAILS AND EXTENSIONS SHALL BE 34" TO 38" ABOVE NOSING OF TREADS AND BE CONTINUOUS. C)THE HAND GRIP PORTION OF ALL HANDRAILS SHALL BE NO LESS THAN 1-1/4 INCHES NORMORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION. SEE SECTION R311.7.8.3 FOR ALTERNATIVES. D)HANDRAILS ADJACENT TO WALLS SHALL HAVE AT LEAST 1-1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL. E)ENDS OF HANDRAILS SHALL BE RETURNED OR SHALL HAVE ROUNDED TERMINATIONS ORBENDS 35. EVERY STAIRWAY LANDING SHALL HAVE A DIMENSION MEASURED IN THE DIRECTION OF TRAVEL, AT LEAST EQUAL TO THE STAIRWAY WIDTH. IF A DOOR OCCURS AT THE LANDING, SUCH DIMENSIONS NEED NOT EXCEED 36 INCHES. SECTION R311.7.6. EXCEPTION: AT THE TOP OF AN INTERIOR FLIGHT OF STAIRS, PROVIDED A DOOR DOES NOT SWING OVER THE STAIRS.



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Description Date Submittal Plan Check 5/24/202

Upper Floor Plan

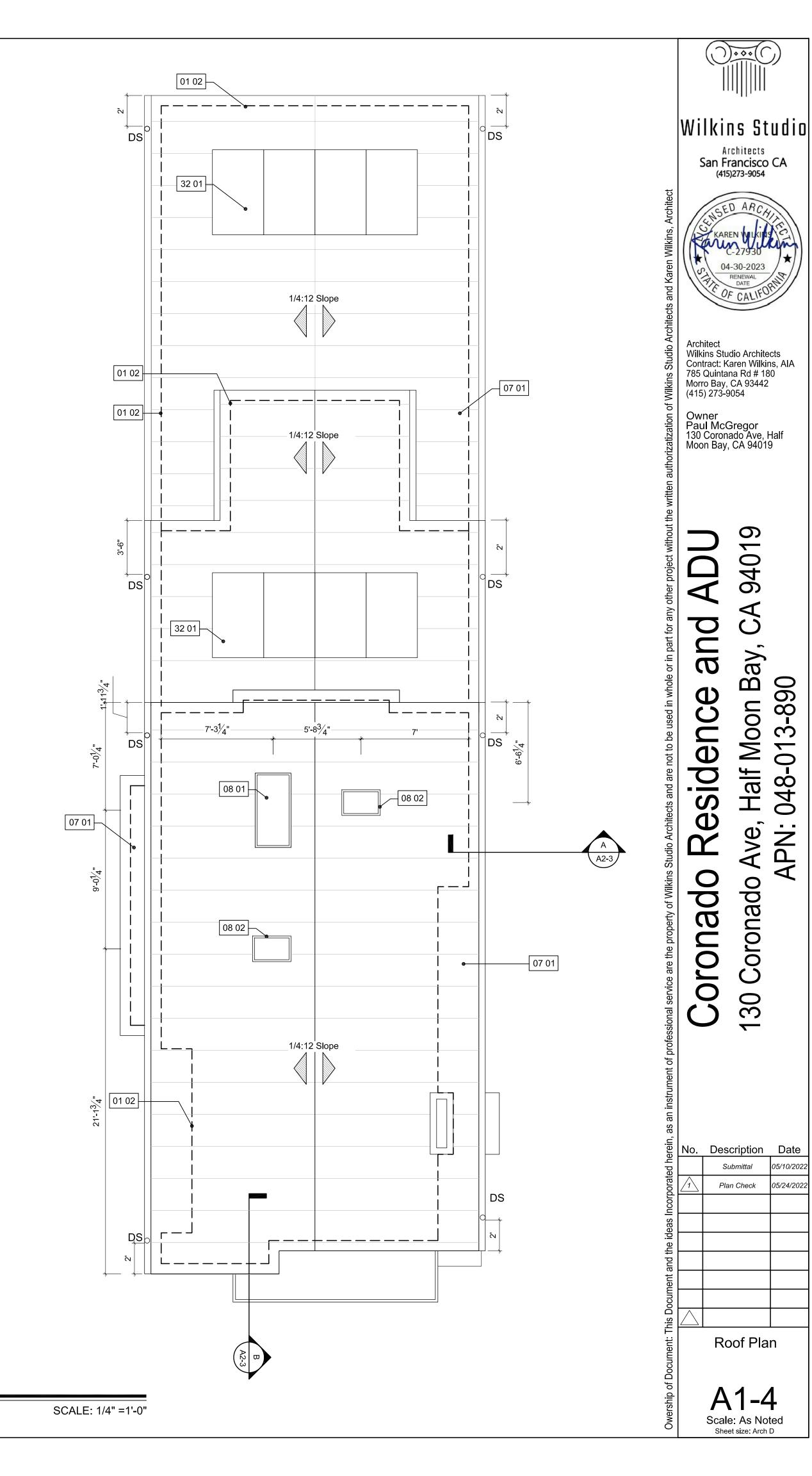
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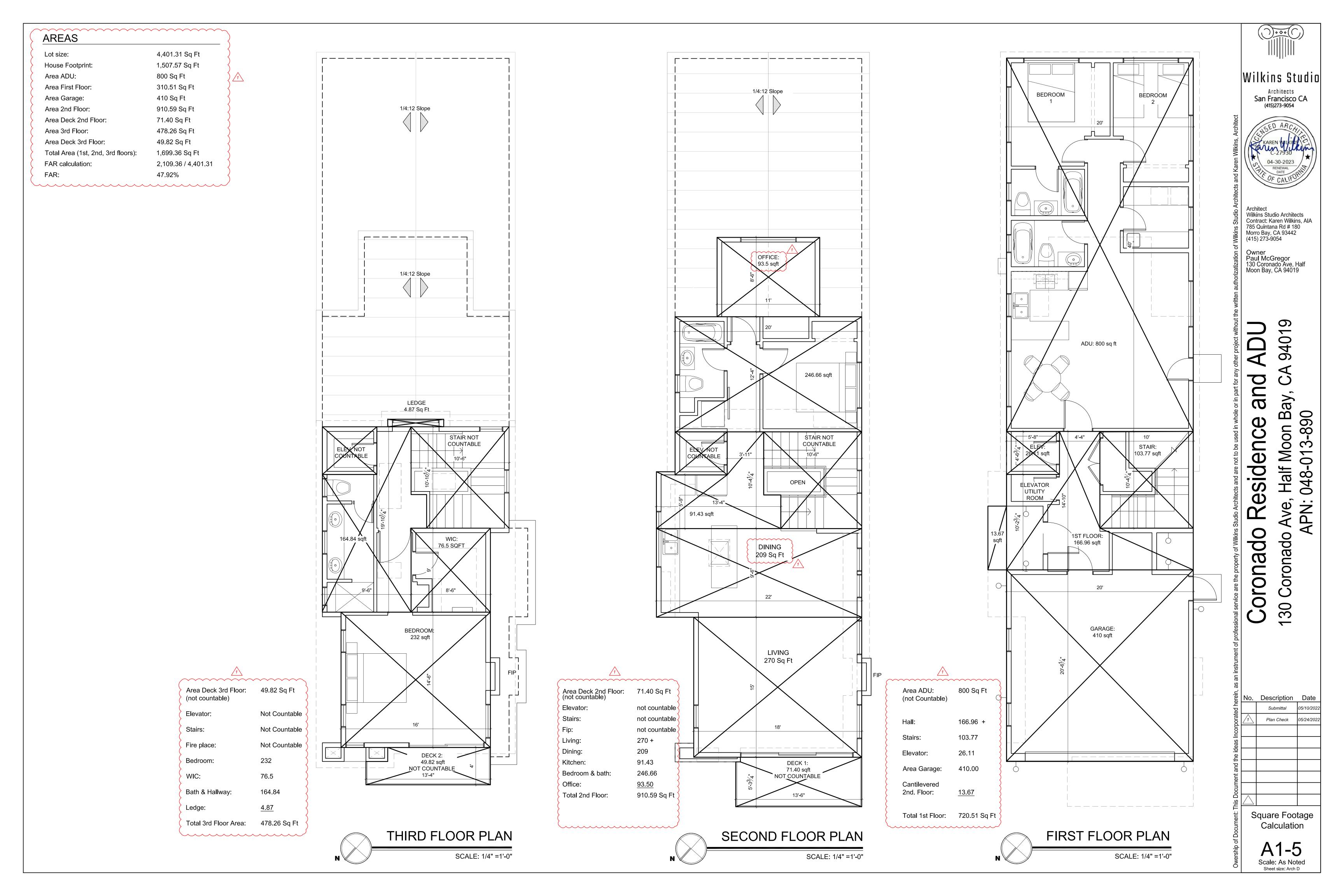
SYMBOL	DESCRIPTION (NOT ALL SYMBOLS NECESSARY ON THIS SHEET)
01 00	GENERAL
01 01	EAVE ABOVE
01 02	LINE OF FRAMING BELOW
07 00	THERMAL & MOISTURE PROTECTION
	7.1 CONTRACTOR SHALL VERIFY ALL CONDITIONS SHOWN ON THE DRAWINGS AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
	7.2 CONTRACTOR SHALL INSTALL ALL G.L. FLASHING AS REQUIRED TO COMPLETE ASSEMBLY FOR WATER-TIGHT CONSTRUCTION. (26 GAUGE, TYPICAL) COLOR MATCH ROO WHERE VISIBLE.
	7.3 ALL PENETRATIONS AS MAY OCCUR SHALL BE FLASHED AND CAPPED AS REQUIRED.
	7.4 PROVIDE ALL FLASHING AND CLOSURE STRIPS AND INSTALL PER MANUFACTURER'S REQUIREMENTS - SEE DETAILS.
	7.5 MATCH ROOF SLOPE TO DRAIN @ CRICKETS WHEN POSSIBLE.
	7.6 ROOF COVERING AND UNDERLAYMENT SHALL COMPLY W/ 2019 CRC CHAPTER 9.
	7.7 ALL ROOD EAVES AND FASCIA CONDITIONS SHALL BE AS PER DETAILS. ADJUSTMENTS IN THE FIELD SHALL OCCUR ONLY AS NECESSITATED BY DIMENSIONAL DISCREPANCIES - COORDINATE WITH ARCHITECT.
	7.8 NEW VENTILATED ATTIC ROOF (ROOF SLOPE 4:12) TO HAVE R30 CEILING INSULATION W/ RADIANT BARRIER.
	7.9 ROOFING LIGHTWEIGHT ROOFING OR EQUIVALENT.
07 01	GAF WEATHER WATCH MINERAL SURFACE PEEL AND STICK LEAK BARRIER ROLL
07 02	5" FASCIA GUTTER "DS" INDICATES 2" DOWNSPOUT, TYPICAL (TERMINATE PER SOILS REPORT) "DTR" INDICATES DOWNSPOUT TO ROOF OR GUTTER BELOW
08 00	OPENINGS
08 01	WB SUPER SIMPLEX SERIES PULL-DOWN ROOF HATCH ACCESS LADDER. 2'-6"x4'-10"
08 02	SKYLIGHT 20x30
32 00	SITE IMPROVEMENTS
32 01	SOLAR POWER SYSTEM (PV)- STANDARD PV SIZE

#### **GENERAL NOTES**

- 1. OVERLAP MEMBRANES LATERALLY 3" AND FRONTALLY 6".
  MEMBRANES SHOULD BE STAGGERED ABOUT 18" SO SEAMS
  DO NOT OVERLAP.
- 2. FOR SLOPES LESS THAN 3" PER FOOT, INSTALL THE PROPYLENE MEMBRANE PERPENDICULAR TO THE SLOPE.



**ROOF PLAN** 



#### **ELEVATION NOTES & KEYNOTES**

SYMBOL	DESCRIPTION (NOT ALL SYMBOLS NECESSARY ON THIS SHEET)
02 00	SITE
02 01	FINISH GRADE / SURFACE - SLOPE 5%FOR 10' AWAY FROM STRUCTURE
03 00	CONCRETE
03 01	CONCRETE LANDING / SIDEWALK, FOR MINIMUM SIZE REQUIREMENTS
03 02	SLAB ON GRADE
06 00	WOOD
06 01	NEW 2X12 (@16" O.C. WOODEN RAFTERS) NON ATTIC ROOF (ROOF SLOPE 0.25:12) TO HAVE R30 RAFTER INSULATION.
06 02	2X4 (@ 16" O.C. WOODEN STUD) WALLS WITH R15 INSULATION.
07 00	THERMAL & MOISTURE PROTECTION
07 01	GAF WEATHER WATCH MINERAL SURFACE PEEL AND STICK LEAK BARRIER ROLL
07 02	5" FASCIA GUTTER "DS" INDICATES DOWNSPOUT TO ROOF OR GUTTER BELOW
	7.1 2 LAYERS OF TYVEK AIR AND WATER BARRIER PROTECTION BUILDING PAPER
08 00	OPENINGS
	8.1 USE TYVEK "FLEXWRAP" FLASHING AT ALL EXTERIOR OPENINGS.  1 HOUR FYRE-TEC FIRE RATED WINDOWS, OPTIMUM FIRE RATED WINDOWS
09 00	FINISHES
09 01	HARDIE FIBER CEMENT 4X8 PANELS, BENJAMIN MOORE WHITE DOVE OC-17
09 02	EXTERIOR WALL FINISH- WOOD SIDING
	9.1 FOAM TRIM - USE INVICTA OR EQUAL SILL/HORIZONTAL BAND: SS-105 WINDOW TRIM: ST1X4. BENJAMIN MOORE TULSA TWIGHLIGHT, 2070-10
26 00	ELECTRICAL
26 01	KITCHLER LIGHTING 92348K OUTDOOR CYLINDER WALL MOUNT SCONCE DOWNLIGHT, BLACK

#### DOOR SCHEDULE

			FRAME	DOOR	DOOR		
MARK	WIDTH	HEIGHT	MATERIAL	MATERIAL	FINISH	QTY	COMMENTS
001	3' - 8"	6' - 10"	ALUM	ALUM	PTD	1	EXTERIOR DOOR
002	2' - 10"	6' - 10"	WD	WD	PTD	7	
003	2' - 7"	6' - 10"	WD	WD	PTD	6	
004	16' - 0"	6' - 5"	WD	WD	PTD	1	
005	2' - 7"	6' - 10"	WD	WD	PTD	3	
006	3' - 3"	6' - 10"	WD	WD	PTD	1	POCKET DOOR
007	2' - 2"	6' - 10"	WD	WD	PTD	1	
800	2' - 8"	6' - 10"	ALUM	ALUM	PTD	2	EXTERIOR DOOR
009	4' - 8"	6' - 10"	WD	WD	PTD	1	DOUBLE DOOR

#### WINDOW SCHEDULE

NO.	WIDTH	HEIGHT	QTY	COMMENTS
1	2' - 6"	3' - 6"	4	
2	6' - 0"	3' - 6"	7	
3	2' - 0"	2' - 0"	6	
4	12' - 0"	6' - 8"	1	SLIDING DOOR
5	2' - 0"	3' - 6"	1	
6	5' - 0"	4' - 0'	3	
7	8' - 0"	6' - 8"	1	SLIDING DOOR
8	2' - 6"	6' - 0"	1	
9	2' - 0"	4' - 0"	2	
10	3' - 8"	6' - 8"	3	
11	2' - 6"	2' - 6"	4	
12	2' - 6"	4' - 0"	1	

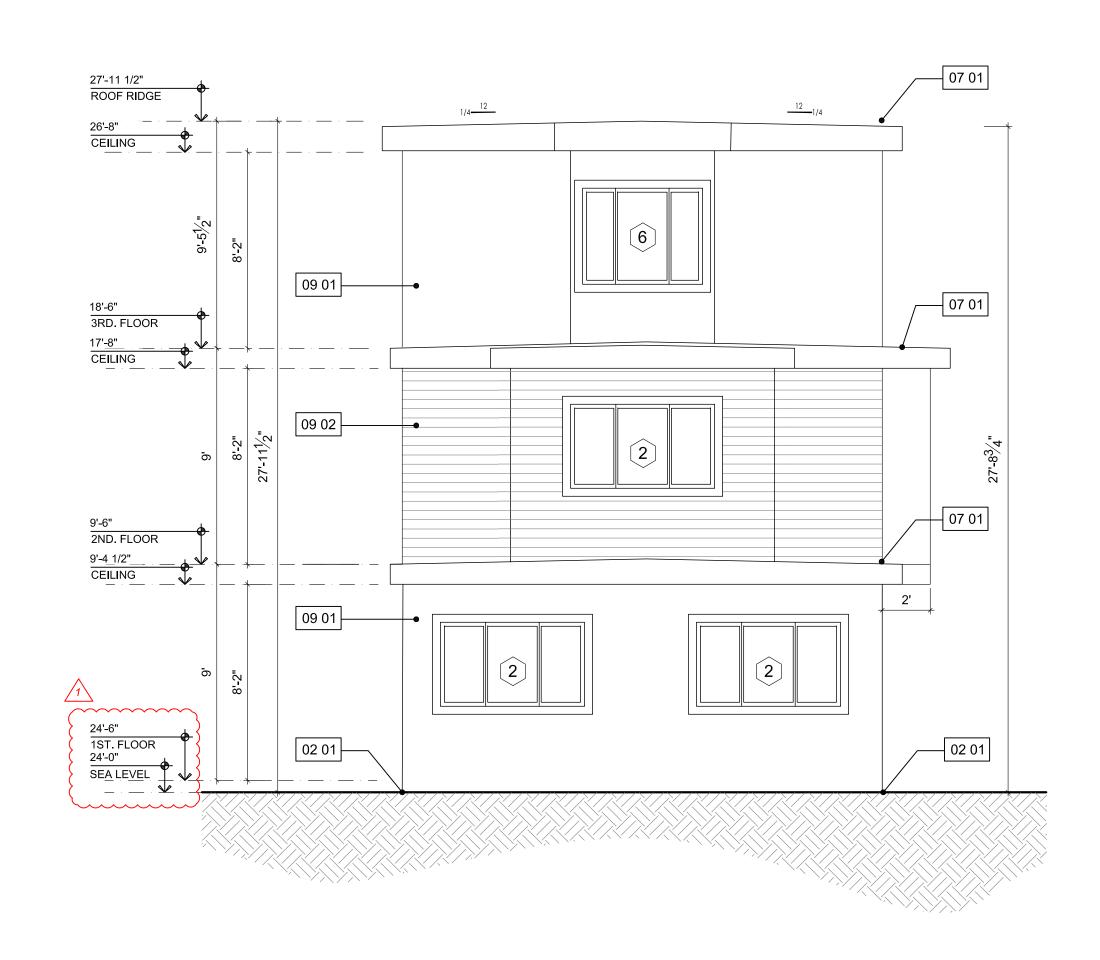
#### DOORS AND WINDOWS NOTES

ALL EXTERIOR DOOR U - VALUE MAX. 0.32.

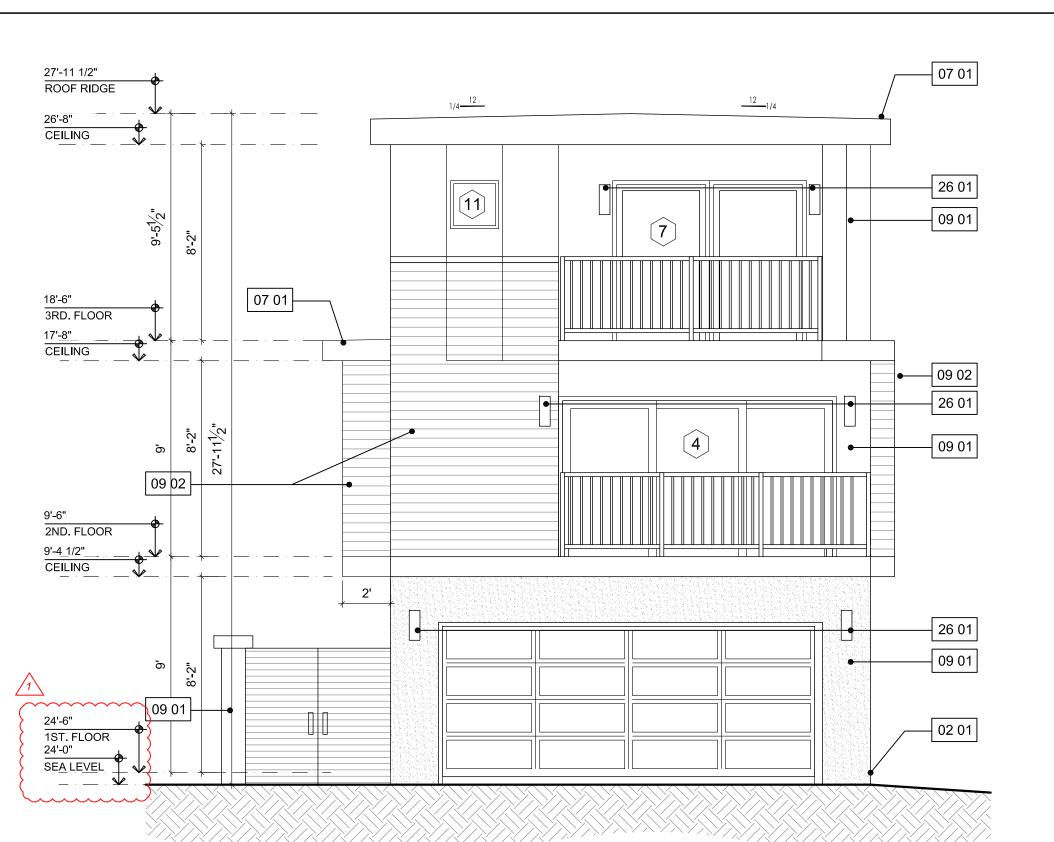
A.F.F. TO HAVE SAFETY GLASS.

- 1 HOUR FYRE-TEC FIRE RATED WINDOWS.
- WINDOWS & DOORS WITH NFRC VALUE OF 0.3 U-FACTOR AND 0.35 SHGC. (2) SKYLIGHT WITH NFRC VALUE OF 0.49 U-FACTOR AND 0.27 SHGC
- ALL SIZES TO BE VERIFIED w/ MANUFACTURE. ALL WINDOWS IN BATHROOMS, STAIRS AREA, AND WITH SILL LOCATION LOWER THAN 18"
- WINDOWS MUST HAVE AN OPENABLE AREA OF AT LEAST 5.7 SQUARE FEET, WITH THE MINIMUM OPENABLE WIDTH 20" AND THE MINIMUM OPENABLE HEIGHT 24".
- THE BOTTOM OF THE CLEAR OPENING SHALL NOT EXCEED 44" ABOVE THE FLOOR.
- THE EMERGENCY DOOR OR WINDOW SHALL BE OPENABLE FROM THE INSIDE TO PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF ANY KEYS OR TOOLS.
- 10. ALL HABITABLE ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA OF NOT LESS
- THAN 8% OF THE FLOOR AREA OF SUCH ROOMS, PER SECTION R303.1. 11. NATURAL VENTILATION SHALL BE PROVIDED FOR ALL HABITABLE ROOMS, WITH THE MINIMUM
- OPENABLE AREA TO THE OUTDOORS OF 4% OF THE FLOOR AREA BEING VENTILATED. 12. GLAZING ADJACENT TO A DOOR WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS
- LESS THAN 60" ABOVE THE WALKING SURFACE. AND IT MEETS EITHER OF THE FOLLOWING CONDITIONS: I) WHERE THE GLAZING IS WITHIN 24" OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR IN A CLOSED POSITION.
- II) WHERE THE GLAZING IS ON A WALL LESS THAN 180 DEGREES FROM THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24" OF THE HINGE SIDE OF AN IN-SWINGING DOOR.

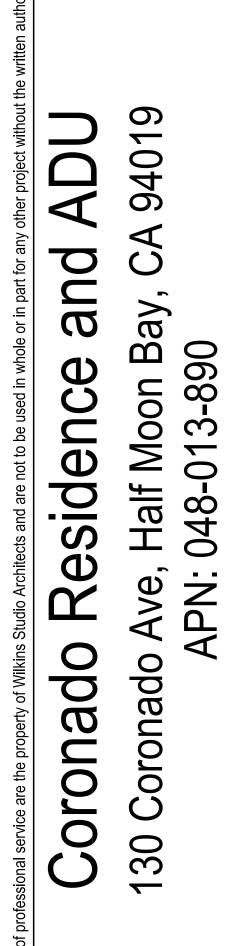
  13. POCKET DOOR TO THE MASTER CLOSET OPENS FROM THE LEFT SIDE.











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Description Date Plan Check

Front and Rear

Scale: As Noted Sheet size: Arch D

#### **GENERAL NOTES**

1. ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS

SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE OR SCAQMD RULE 1168 VOC LIMITS, AS SHOWN IN TABLE 4.504.1 OR 4.504.2, AS APPLICABLE. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS, AS SPECIFIED IN SUBSECTION 2 BELOW.

2. AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507.

#### 3. 4.504.2.2 PAINT AND COATINGS.

ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE ARB ARCHITECTURAL SUGGESTED CONTROL MEASURE, AS SHOWN IN TABLE 4.504.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 4.504.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36, AND 4.37 OF THE 2007 CALIFORNIA AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 4.504.3 SHALL

#### 4.4.504.2.3 AEROSOL PAINTS AND COATINGS.

AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC IN SECTION 94522(A)(2) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(E)(1) AND (F)(1) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION...

#### 5. 4.504.2.4 VERIFICATION.

VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY. DOCUMENTATION MAY INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING:

> 1.- MANUFACTURER'S PRODUCT SPECIFICATION. 2.- FIELD VERIFICATION OF ON-SITE PRODUCT CONTAINERS. TABLE 4.504.1 - ADHESIVE VOC LIMIT 1,2 (LESS WATER AND LESS EXEM PT COMPOUNDS IN GRAMS PER LITER)

# **ELEVATION NOTES & KEYNOTES**

See outline specific	acions on sheet A0.4 for additional information in eahc category.
SYMBOL	DESCRIPTION (NOT ALL SYMBOLS NECESSARY ON THIS SHEET)
02 00	SITE
02 01	FINISH GRADE / SURFACE - SLOPE 5%FOR 10' AWAY FROM STRUCTURE
03 00	CONCRETE
03 01	CONCRETE LANDING / SIDEWALK, FOR MINIMUM SIZE REQUIREMENTS
03 02	SLAB ON GRADE
06 00	WOOD
06 01	NEW 2X12 (@16" O.C. WOODEN RAFTERS) NON ATTIC ROOF (ROOF SLOPE 0.25:12) TO HAVE R30 RAFTER INSULATION.
06 02	2X4 (@ 16" O.C. WOODEN STUD) WALLS WITH R15 INSULATION.
07 00	THERMAL & MOISTURE PROTECTION
07 01	GAF WEATHER WATCH MINERAL SURFACE PEEL AND STICK LEAK BARRIER ROLL
07 02	5" FASCIA GUTTER "DS" INDICATES DOWNSPOUT TO ROOF OR GUTTER BELOW
	7.1 2 LAYERS OF TYVEK AIR AND WATER BARRIER PROTECTION BUILDING PAPER
08 00	OPENINGS
	8.1 USE TYVEK "FLEXWRAP" FLASHING AT ALL EXTERIOR OPENINGS. 1 HOUR FYRE-TEC FIRE RATED WINDOWS, OPTIMUM FIRE RATED WINDOWS
09 00	FINISHES
09 01	HARDIE FIBER CEMENT 4X8 PANELS, BENJAMIN MOORE WHITE DOVE OC-17
09 02	EXTERIOR WALL FINISH- WOOD SIDING
	9.1 FOAM TRIM - USE INVICTA OR EQUAL SILL/HORIZONTAL BAND: SS-105 WINDOW TRIM: ST1X4. BENJAMIN MOORE TULSA TWIGHLIGHT, 2070-10
26 00	ELECTRICAL
26 01	KITCHLER LIGHTING 92348K OUTDOOR CYLINDER WALL MOUNT SCONCE DOWNLIGHT, BLACK



# WEST ELEVATION SCALE: 1/4" =1'-0"

#### **GENERAL NOTES**

1. ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS

SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE OR SCAQMD RULE 1168 VOC LIMITS, AS SHOWN IN TABLE 4.504.1 OR 4.504.2, AS APPLICABLE. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS, AS SPECIFIED IN SUBSECTION 2 BELOW.

2. AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507.

#### 3. 4.504.2.2 PAINT AND COATINGS.

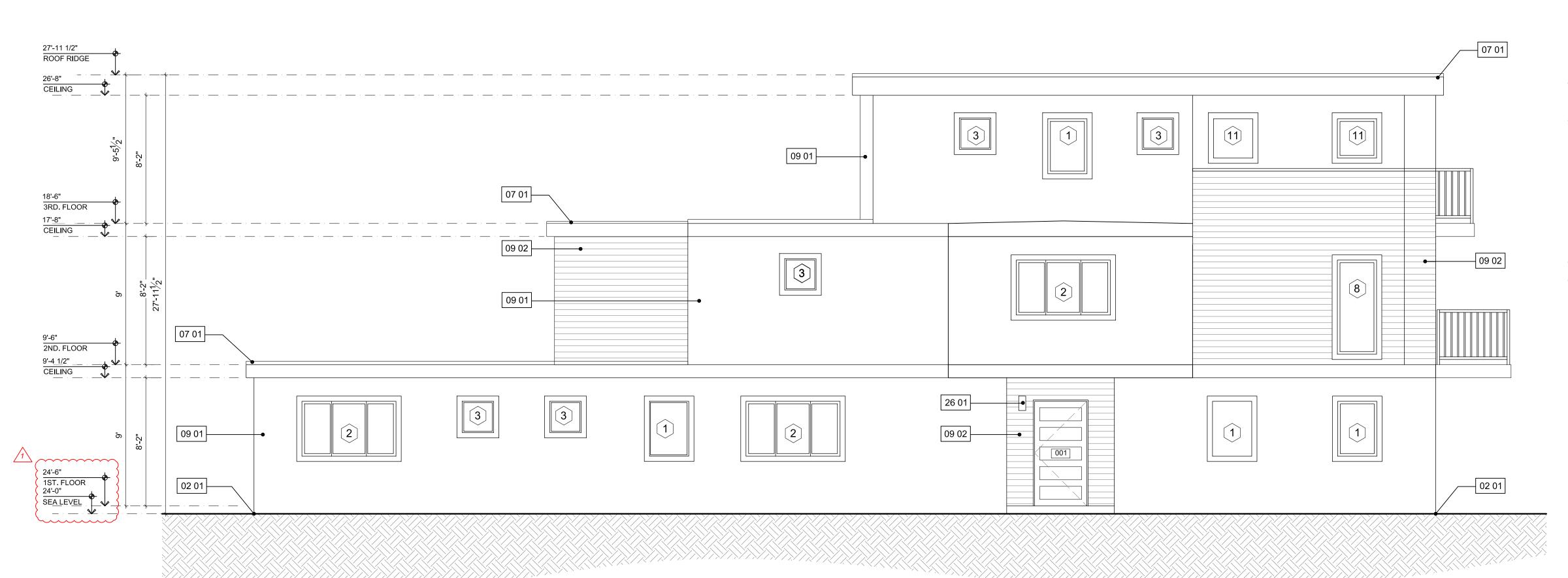
ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE ARB ARCHITECTURAL SUGGESTED CONTROL MEASURE, AS SHOWN IN TABLE 4.504.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 4.504.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36, AND 4.37 OF THE 2007 CALIFORNIA AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 4.504.3 SHALL

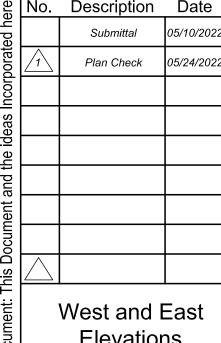
#### 4. 4.504.2.3 AEROSOL PAINTS AND COATINGS.

AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC IN SECTION 94522(A)(2) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(E)(1) AND (F)(1) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION. .

VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY. DOCUMENTATION MAY INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING:

> 1.- MANUFACTURER'S PRODUCT SPECIFICATION. 2.- FIELD VERIFICATION OF ON-SITE PRODUCT CONTAINERS. TABLE 4.504.1 - ADHESIVE VOC LIMIT 1,2 (LESS WATER AND LESS EXEM PT COMPOUNDS IN GRAMS PER LITER)





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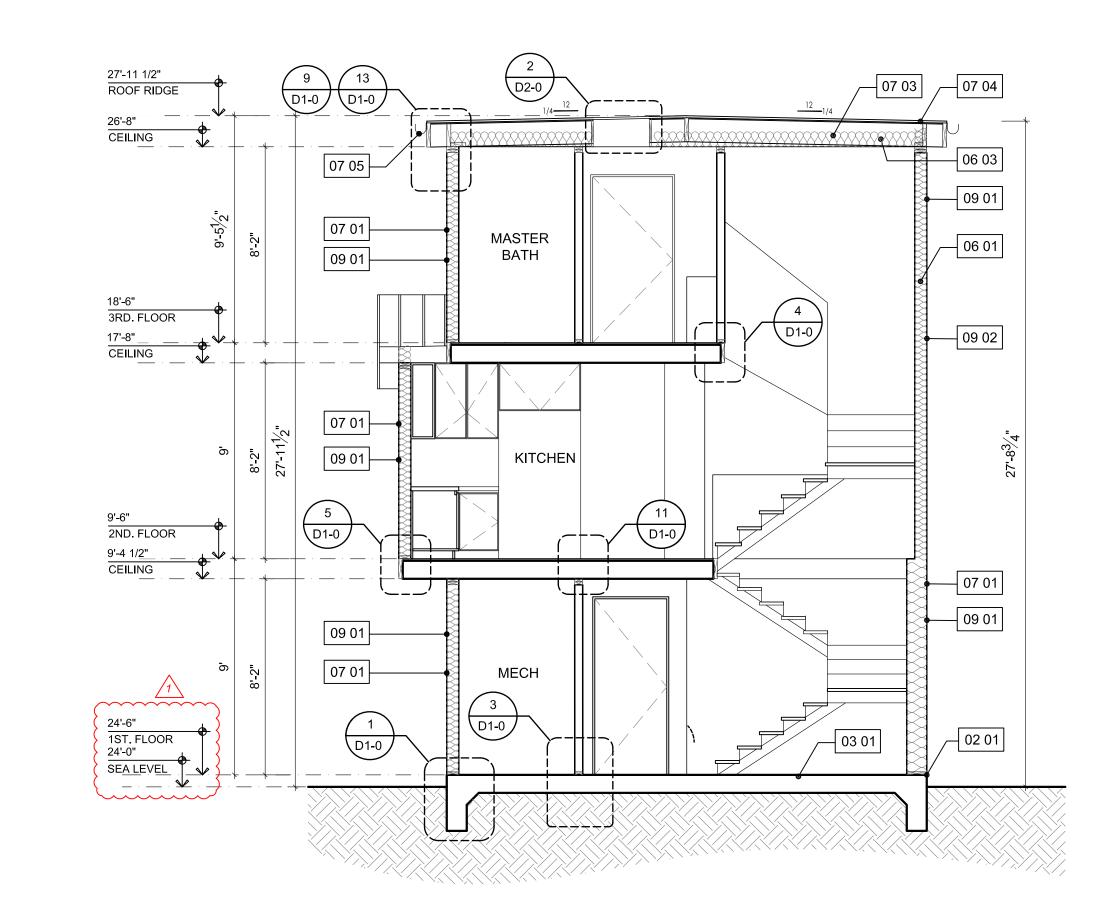
4 EAST ELEVATION

Elevations

Scale: As Noted

#### CECTION NOTES & MEVNIOTES

SYMBOL	DESCRIPTION (NOT ALL SYMBOLS NECESSARY ON THIS SHEET)
02 00	SITE
02 01	FINISH GRADE / SURFACE - SLOPE 5%FOR 10' AWAY FROM STRUCTURE
03 00	CONCRETE
03 01	CONCRETE LANDING / SIDEWALK, FOR MINIMUM SIZE REQUIREMENTS
03 02	SLAB ON GRADE
06 00	WOOD
06 01	2X4 (@ 16" O.C. WOODEN STUD) WALLS WITH R15 INSULATION.
	6.1 INSTALL FIRE (BLOCKING) STOPPING PER CBC CHAPTER 7 IN THE FOLLOWING LOCATIONS:  a. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES SUCH AS AT THE CEILING AND FLOOR LEVELS AND AT 10' INTERVALS BOTH VERTICAL AND HORIZONTAL.
	b. At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
	c. IN CONCEALED SPACES BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
	d. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS.
	6.2 PROVIDE 2X BACKING FOR TOWEL BARS, TOILET PAPER HOLDERS, WINDOW COVERINGS ETC. COORDINATE FINAL LOCATIONS IN WITH OWNER.
06 02	+42" HALF WALLS OR GUARDRAIL W/ BALUSTERS SPACED SUCH THAT A 4" SPHERE SHALL NOT PASS WITH METAL STRUCTURE AND WOOD HANDRAIL .
	6.3 HANDRAILS SHALL MEET MINIMUM REQUIREMENTS OF THE 2019 CRC SECTION R311 MOUNTING HEIGHT OF HANDRAIL TO BE BETWEEN 34" AND 38" ABOVE STAIR NOSING
06 03	NEW 2X12 (@16" O.C. WOODEN RAFTERS) NON ATTIC ROOF (ROOF SLOPE 0.25:12) TO HAVE R30 RAFTER INSULATION.
07 00	THERMAL & MOISTURE PROTECTION
	7.1 FOR INTERIOR WALLS R-0 INSULATION
07 01	FOR EXTERIOR WALLS R-15 INSULATION
07 02	FOR WALL BETWEEN GARAGE AND LOBBY R-13 INSULATION
07 03	FOR ROOF CONSIDER R-30 INSULATION
07 04	GAF WEATHER WATCH MINERAL SURFACE PEEL AND STICK LEAK BARRIER ROLL
07 05	5" FASCIA GUTTER "DS" INDICATES DOWNSPOUT TO ROOF OR GUTTER BELOW
08 00	OPENINGS
	8.1 USE TYVEK "FLEXWRAP" FLASHING AT ALL EXTERIOR OPENINGS. 1 HOUR FYRE-TEC FIRE RATED WINDOWS
08 01	WB SUPER SIMPLEX SERIES PULL-DOWN ROOF HATCH ACCESS LADDER. 2'-6"x4'-10"
08 02	SKYLIGHT 30x20
09 00	FINISHES
09 01	HARDIE FIBER CEMENT 4X8 PANELS, BENJAMIN MOORE WHITE DOVE
09 02	EXTERIOR WALL FINISH- WOOD SIDING
09 03	FOAM TRIM - USE INVICTA OR EQUAL, SILL/HORIZONTAL BAND: SS-105, WINDOW TRIM: ST1X4, BENJAMIN MOORE TULSA TWIGHLIGHT



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# SECTION A SCALE: 1/4" =1'-0"

#### **GENERAL NOTES**

1. ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE OR SCAQMD RULE 1168 VOC LIMITS, AS SHOWN IN TABLE 4.504.1 OR 4.504.2, AS APPLICABLE. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS, AS SPECIFIED IN SUBSECTION 2

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#### 3. 4.504.2.2 PAINT AND COATINGS.

BELOW.

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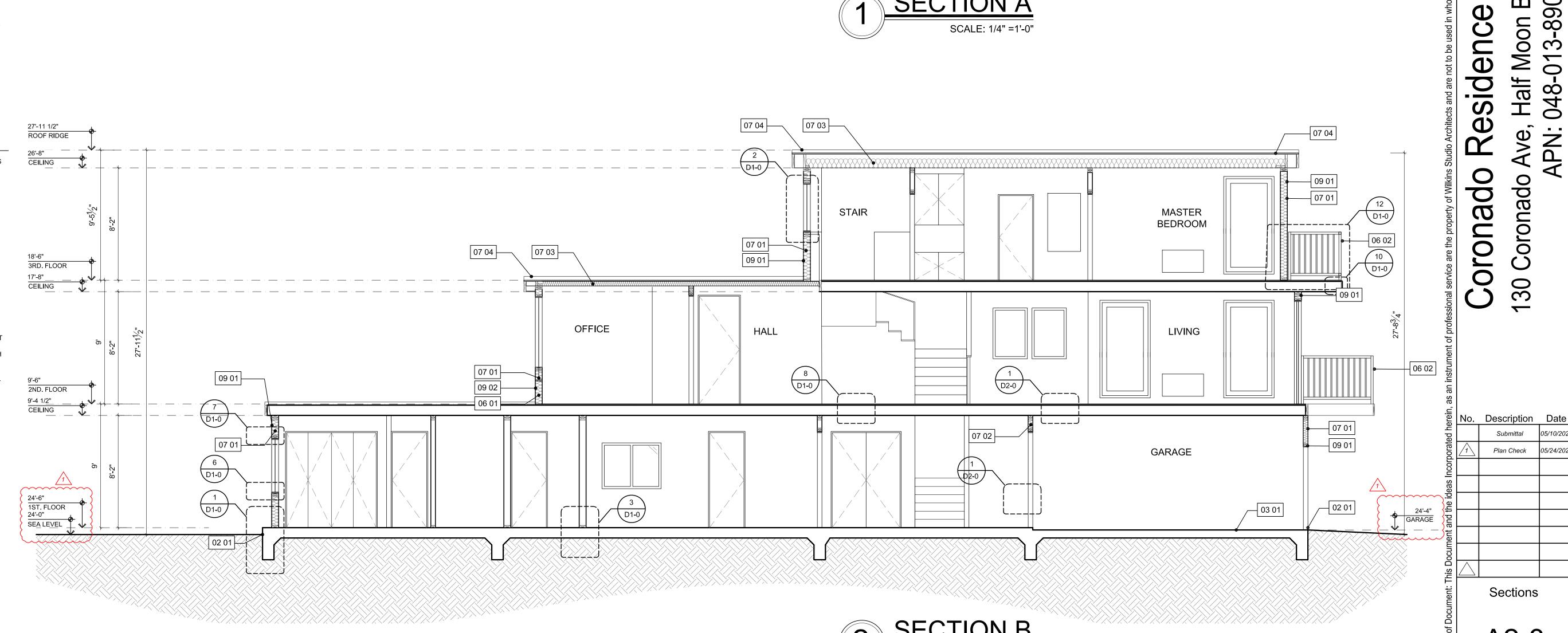
#### 4.4.504.2.3 AEROSOL PAINTS AND COATINGS.

AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC IN SECTION 94522(A)(2) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(E)(1) AND (F)(1) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION..

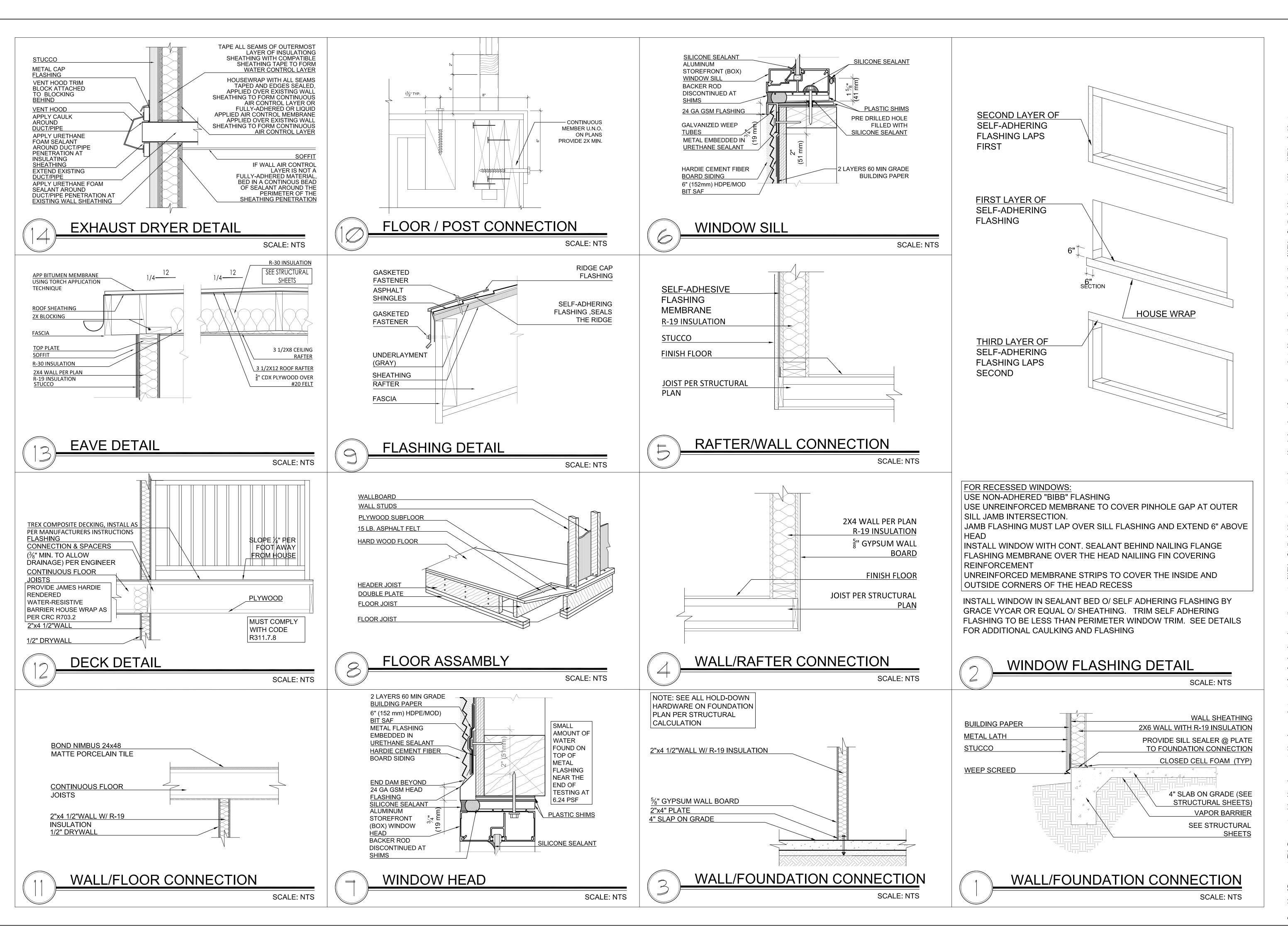
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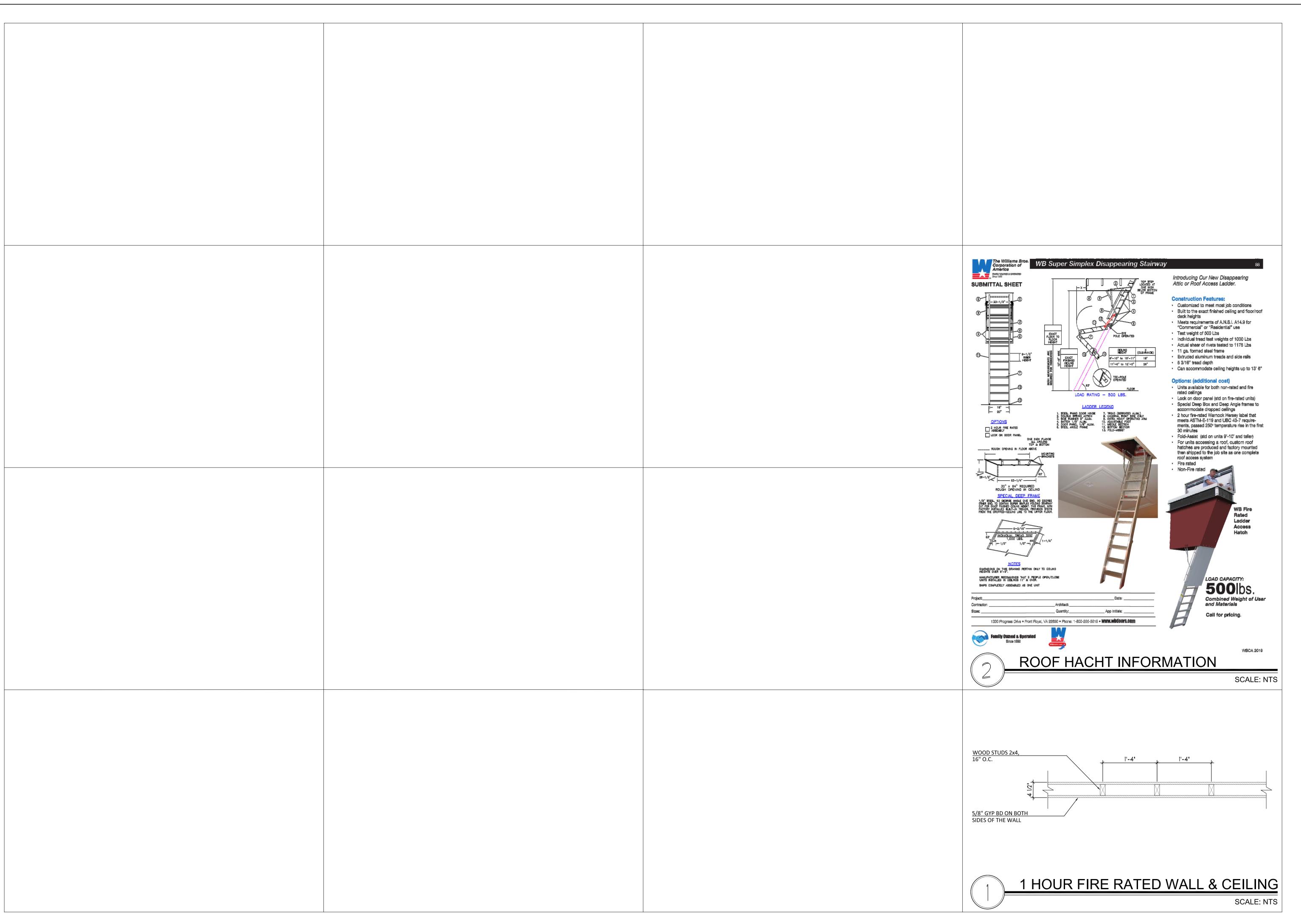
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**Details** 

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#### MECHANICAL NOTES & KEYNOTES SYMBOL DESCRIPTION (NOT ALL SYMBOLS NECESSARY ON THIS SHEET) 06 00 06 01 SOFFIT FOR RANGE HOOD AND DRYER EXHAUST VENT. 07 00 THERMAL & MOISTURE PROTECTION IAQ CFM WITH AIRFLOW OF 70 CFM AND POWER CONSUMPTION <= 0.25 WATTS/CFM. 07 05 PANASONIC MINI-SPLIT CONDITIONING SYSTEM. SEE DETAIL 1 / M1-0 SHEET 07 06 AIR CONDITIONING AND HEATING NEW DUCTLESS 7.1 USING VARIABLE CAPACITY HEAT PUMP CREDIT 7.2 SINCE WE ARE TAKING THE VARIABLE CAPACITY HEAT PUMP CREDIT FOR THE DUCTLESS MINI-SPLIT, THE BELOW CONDITIONS NEED TO BE MET: -MASTER BEDROOM, BEDROOM-1, BEDROOM-2, LIVING ROOM REQUIRE AN INDOOR HEAD. -LIVING ROOM REQUIRES A PERMANENTLY INSTALLED WALL MOUNTED THERMOSTAT 7.3 THE MINI SPLIT SYSTEMS NEEDS TO BE IN CONDITIONED SPACE 7.4 REFRIGERANT CHARGE HERS VERIFICATION. 7.5 HYDRONIC RADIANT HEATING **FINISHES** 09 00 09 01 DRYER EXHAUST SOFFIT

15 00

15 01

15 02

15 03

MECHANICAL

DRYER EXHAUST

EXHAUST FAN FOR BATHROOMS

WHITE/300 CFM BLOWER OR EQUAL

VENT-A-HOOD PROFESSIONAL SERIES PRH9130WH

UNDER CABINET RANGE HOOD WITH INLINE BLOWER & 2-LEVEL HALOGEN LIGHTING: 30 INCH

			OUTDOOR [	DUCTLESS L	INIT SCHED	ULE		
NAME MARK	MANUFACTURER/ MODEL	NOMINAL COOLING (BTU/H)	NOMINAL HEATING (BTU/H)	SEER	EER	MCA(A)	MOCP(A)	VOLT/ PHASE / HZ
ODU	PANASONIC 12,000 BTU E MINI SPLIT W/ HEAD PUMP. MODEL E12RKUA		62,600	14.5	8.0	25.0	30.0	240 V/ 1PH / 50

INDOOR DUCTLESS UNIT SCHEDULE					
NAME MARK	ODU	MANUFACTURER/ MODEL	NOMINAL COOLING (BTU/H)	NOMINAL HEATING (BTU/H)	
IDU - 1	ODU	PANASONIC MODEL E12RKUA	12,000	13,600	
IDU - 2	ODU	PANASONIC MODEL E12RKUA	6,000	8,700	

MANDATORY (CBEES 150.0(O), ASHRAE STANDARD 62.2):

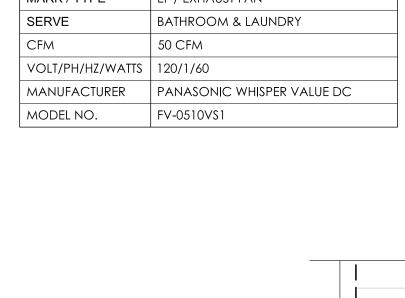
A MECHANICAL EXHAUST VILATION SYSTEM, SUPPLY VILATION SYSTEM, OR COMBINATION THEREOF SHALL BE INSTALLED FOR EACH DWELLING UNIT TO PROVIDE WHOLE-BUILDING VILATION WITH OUTDOOR AIR IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION.

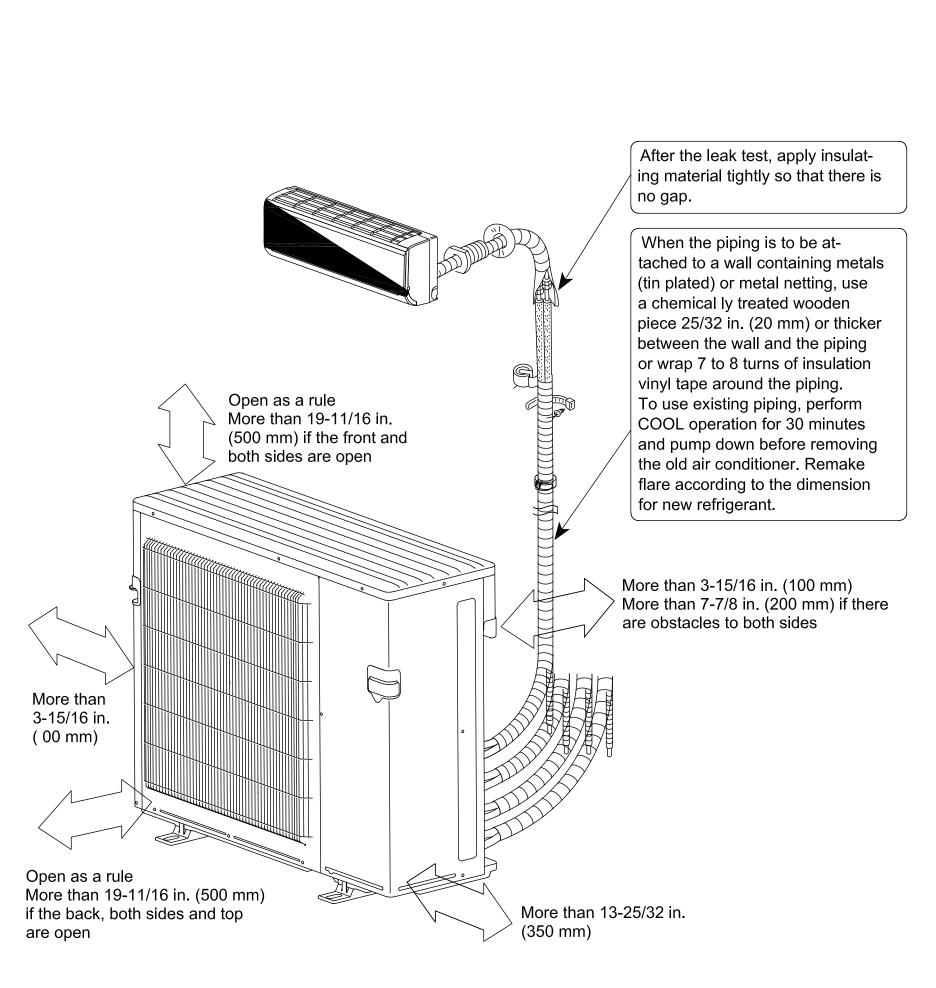
HERS VERIFICATION REQUIRED TO CONFIRM WHOLE-BUILDING VILATION AIRFLOW. AN INTERMITTENTLY OR CONTINUOUSLY OPERATING LOCAL MECHANICAL EXHAUST VILATION SYSTEM SHALL BE INSTALLED IN EACH BATHROOM WITH A BATHTUB, SHOWER, OR SIMILAR MOISTURE SOURCE AND IN EACH KITCHEN IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION. INTERMITTENT LOCAL EXHAUST VILATION AIRFLOW RATES SHALL BE 50 CFM IN BATHROOMS AND 100 CFM IN KITCHENS. CONTINUOUS LOCAL EXHAUST VILATION AIRFLOW RATES SHALL BE

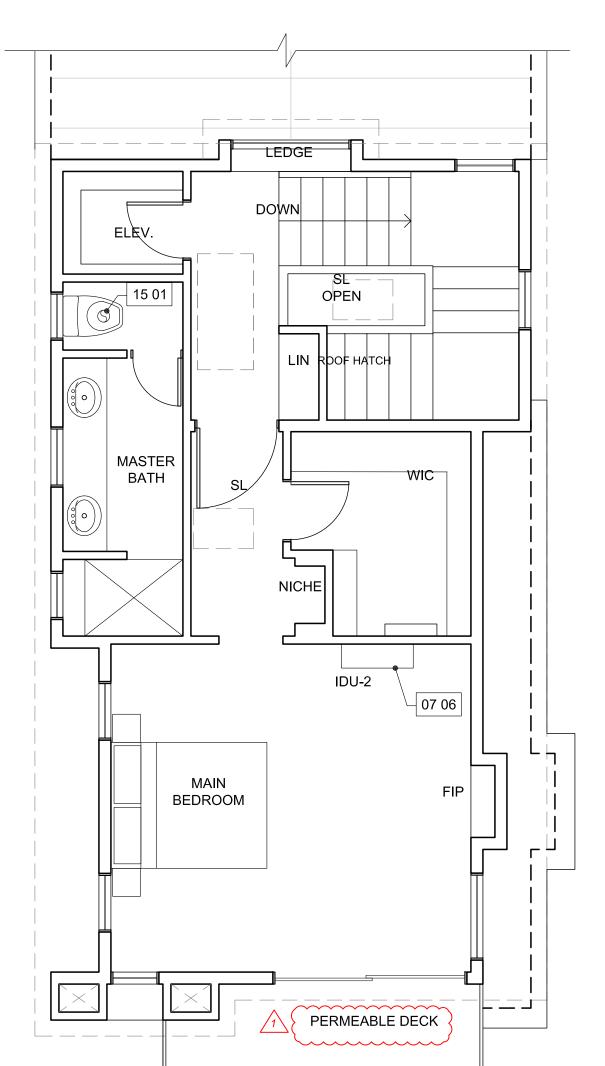
20 CFM IN BATHROOMS AND 5 AIR CHANGES PER HOUR IN KITCHENS BASED ON KITCHEN VOLUME.

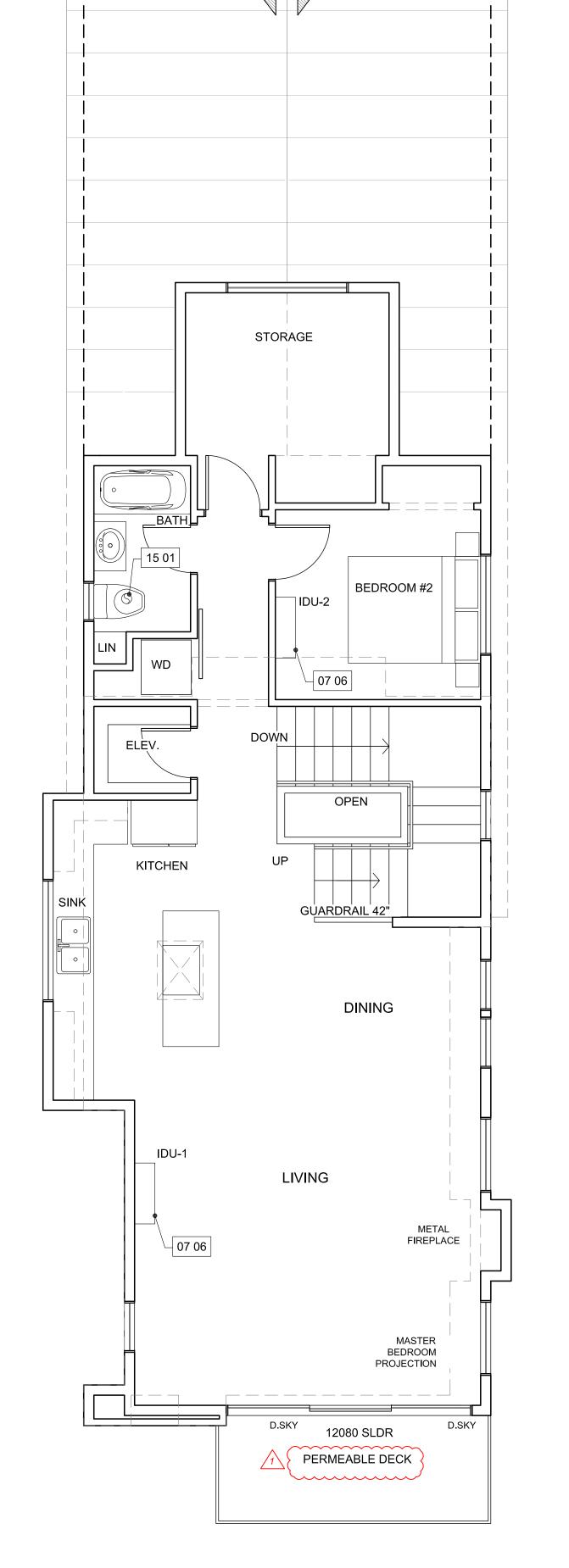
#### **VENTILATION SCHEDULE**

MARK / TYPE	EF / EXHAUST FAN
SERVE	BATHROOM & LAUNDRY
CFM	50 CFM
VOLT/PH/HZ/WATTS	120/1/60
MANUFACTURER	PANASONIC WHISPER VALUE DC
MODEL NO.	FV-0510VS1

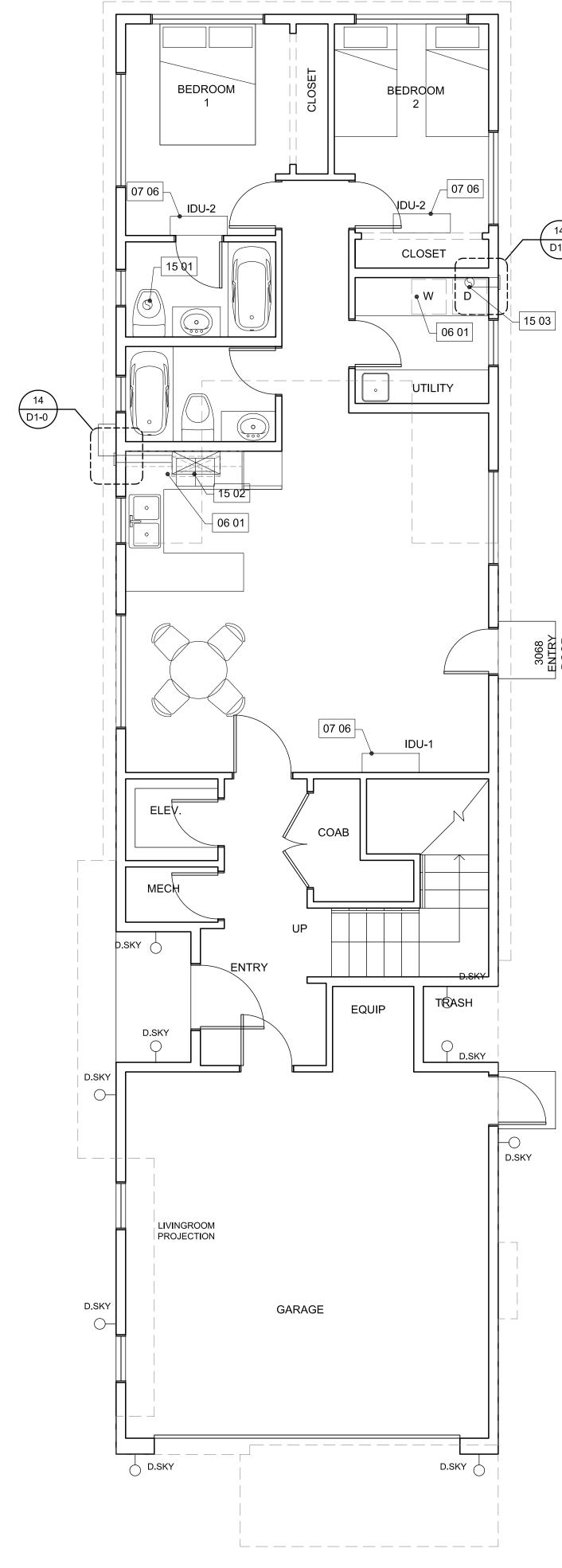








1/4:12 Slope

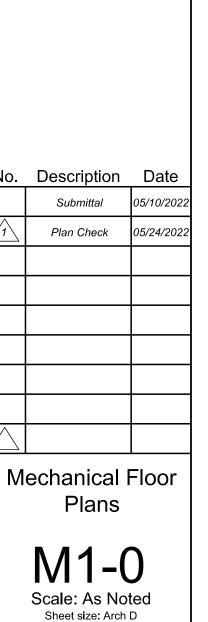












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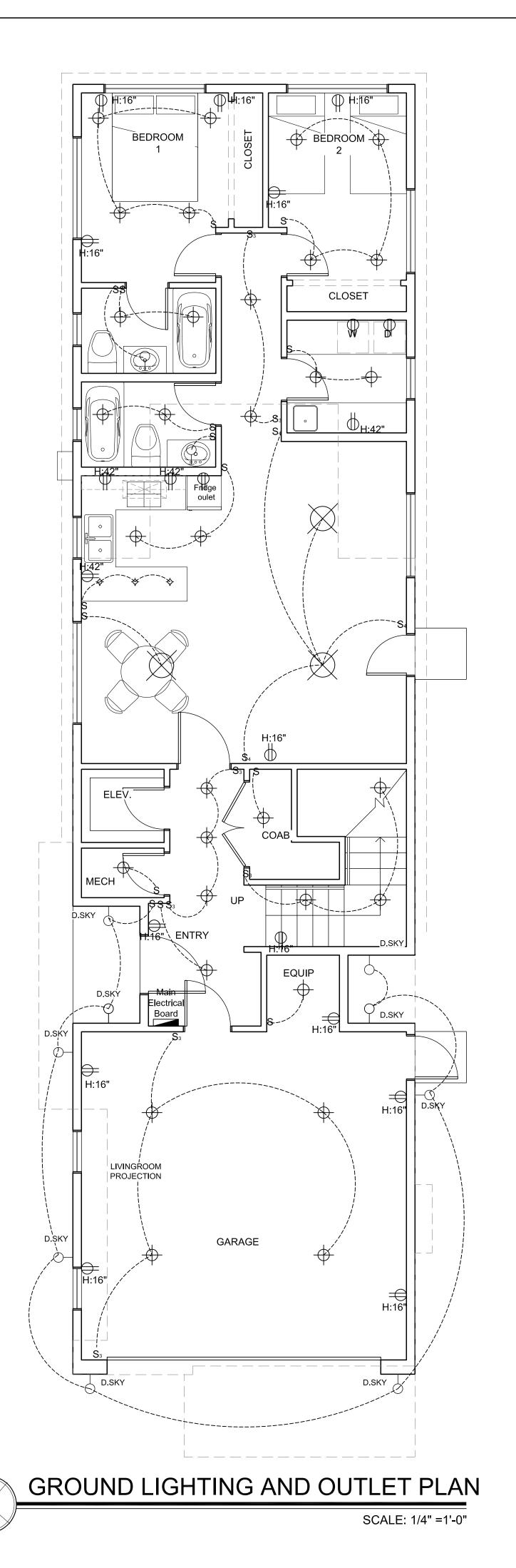
Contract: Karen Wilkins, AIA

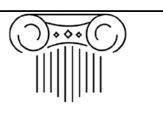
#### FLECTRICAL NOTES & SYMBOL LEGEND

(not all symbols i	CAL NOTES & SYMBOL LEGENI  necessarily on this sheet)
SYMBOL	DESCRIPCION
	RECESSED LIGHT
$\square_{WP}$	WATER-PROOF RECESSED LIGHT
⊖ <sub>EXT-R1</sub>	EXTERIOR ENTRY LIGHT
Ю в1	24" INCANDESCENT LIGHT BAR
-ф- м	CEILING MOUNTED LIGHT
- <b>○</b> - <sub>P-1</sub>	KITCHEN ISLAND PENDANT
- <del></del>	LIGHT PENDANT
- <del>-</del> - P-3	LIGHT PENDANT
-O <sub>KL</sub>	KEYLESS LIGHT FIXTURE
$\rightleftharpoons$	DUPLEX OUTLET
$\ominus_{\overline{WP}}$	WEATHER PROOF DUPLEX OUTLET (WP)
⊖ <sub>GFI</sub>	GROUND FAULT INTERRUPT DUPLEX OUTLET (GFI)
$\ominus$	SWITCHED DUPLEX OUTLET
CLG. OUTLET FOR GARAGE DOOR OPENER	CEILING MOUNTED DUPLEX OUTLET
€ <u>220V</u>	220 VOLT OUTLET
▼ PHONE	TELEPHONE OUTLET
√ TV	CABLE TV OUTLET
<b>◀</b> INTERNET	INTERNET OUTLET
(D)	DISPOSAL
$\mathbb{S}_{M}$	EXHAUST FAN - MECH VENTED TO EXTERIOR
\$	SINGLE-POLE SWITCH
\$ <sub>3</sub>	3 WAY SWITCH
\$4	4 WAY SWITCH
DB	DOOR BELL
	CEILING FAN
	1

#### GENERAL ELECTRICAL NOTES

- 1. OUTDOOR LIGHTING FIXTURES SHALL BE CONTROLLED BY A MOTION SENSOR W/ AN INTEGRAL PHOTOSENSOR, TYP. ALSO MANUALLY ON/OFF CONTROLLED. 2. ALL INSTALLED LUMINAIRES SHALL BE HIGH-EFFICACY.
- 3. IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS AT LEAST ONE LUMINAIRE SHALL BE CONTROLLED BY A VACANCY
- 4. DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LED STYLE LUMINAIRES TWO EXCEPTIONS: FIXTURES INSTALLED IN HALLWAYS OR (CLOSETS UNDER 70 SQUARE FEET)
- 5. ALL NECESSARY REGULATIONS AND GUIDELINES MUST BE CHECKED BEFORE PROCEEDING WITH THE INSTALLATION OR PURCHASE OF





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No. Description Date Plan Check 05/24/2022

**Ground Lighting** and Oulet Plan

Scale: As Noted Sheet size: Arch D

# ELECTRICAL NOTES & SYMBOL LEGEND (not all symbols necessarily on this sheet)

(not all symbols necessarily on this sheet)					
SYMBOL	DESCRIPCION				
	RECESSED LIGHT				
□ <sub>WP</sub>	WATER-PROOF RECESSED LIGHT				
⊢ EXT-R1	EXTERIOR ENTRY LIGHT				
Ю в1	24" INCANDESCENT LIGHT BAR				
-ф- м	CEILING MOUNTED LIGHT				
-Ç- <sub>P-1</sub>	KITCHEN ISLAND PENDANT				
- <b>\( \rightarrow \)</b> P-2	LIGHT PENDANT				
-\$- <sub>P-3</sub>	LIGHT PENDANT				
-Ó <sub>KL</sub>	KEYLESS LIGHT FIXTURE				
$\ominus$	DUPLEX OUTLET				
$ \leftarrow_{WP} $	WEATHER PROOF DUPLEX OUTLET (WP)				
⊖ <sub>GFI</sub>	GROUND FAULT INTERRUPT DUPLEX OUTLET (GFI)				
<del>-</del>	SWITCHED DUPLEX OUTLET				
CLG. OUTLET FOR GARAGE DOOR OPENER	CEILING MOUNTED DUPLEX OUTLET				
€ <sub>220V</sub>	220 VOLT OUTLET				
<b>▼</b> PHONE	TELEPHONE OUTLET				
⟨ TV	CABLE TV OUTLET				
<b>◀</b> INTERNET	INTERNET OUTLET				
©	DISPOSAL				
S <sub>m</sub>	EXHAUST FAN - MECH VENTED TO EXTERIOR				
\$	SINGLE-POLE SWITCH				
\$ <sub>3</sub>	3 WAY SWITCH				
\$4	4 WAY SWITCH				
DB	DOOR BELL				
X	CEILING FAN				

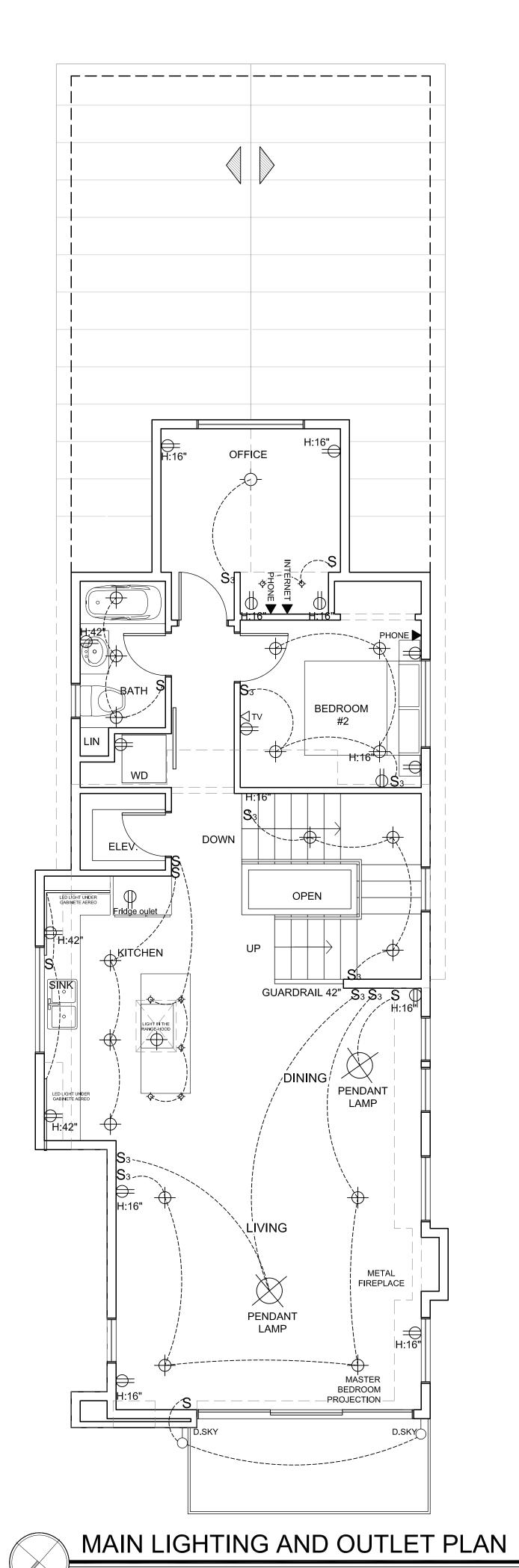
#### GENERAL ELECTRICAL NOTES

1. OUTDOOR LIGHTING FIXTURES SHALL BE CONTROLLED BY A MOTION SENSOR W/ AN INTEGRAL PHOTOSENSOR, TYP. ALSO MANUALLY ON/OFF CONTROLLED. 2. ALL INSTALLED LUMINAIRES SHALL BE HIGH-EFFICACY.

3. IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS AT LEAST ONE LUMINAIRE SHALL BE CONTROLLED BY A VACANCY SENSOR.

4. DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LED STYLE LUMINAIRES TWO EXCEPTIONS: FIXTURES INSTALLED IN HALLWAYS OR (CLOSETS UNDER 70 SQUARE FEET)

5. ALL NECESSARY REGULATIONS AND GUIDELINES MUST BE CHECKED BEFORE PROCEEDING WITH THE INSTALLATION OR PURCHASE OF LUMINAIRES.



SCALE: 1/4" =1'-0"



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Contract: Karen Wilkins, AIA
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Owner Paul McGregor 130 Coronado Ave, Half Moon Bay, CA 94019

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Bay f Moon Ba -013-890 Half Sid 048-Coronado Coronado 130

No. Description Date Plan Check

Main Lighting and Oulet Plan

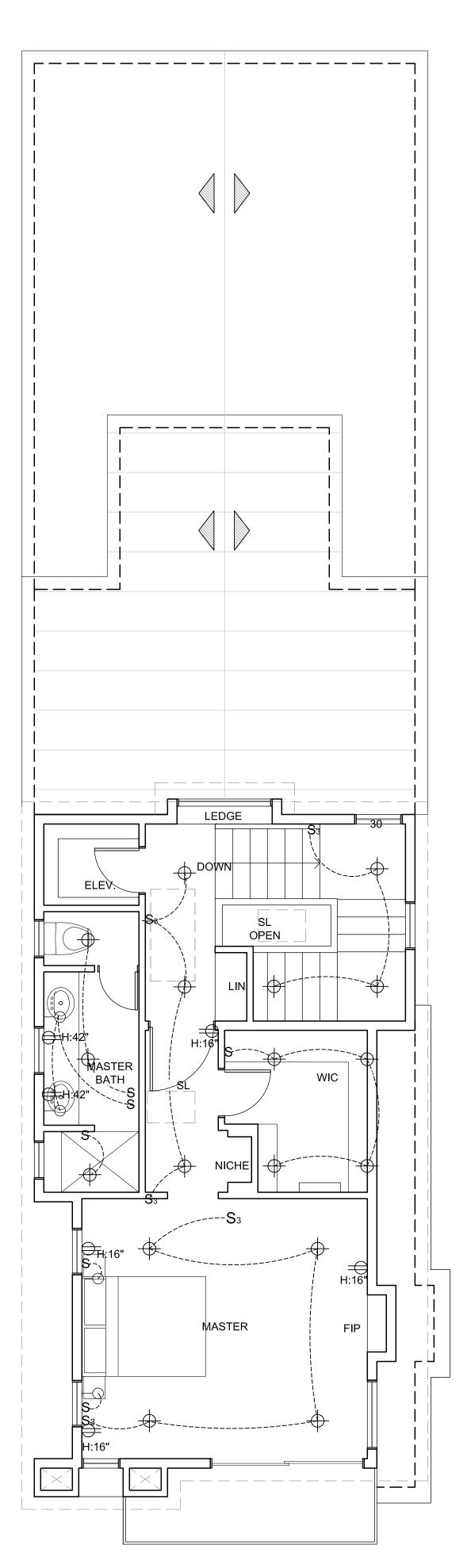
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### **ELECTRICAL NOTES & SYMBOL LEGEND**

SYMBOL	DESCRIPCION
	RECESSED LIGHT
□ <sub>WP</sub>	WATER-PROOF RECESSED LIGHT
Ю <sub>EXT-R1</sub>	EXTERIOR ENTRY LIGHT
Ю в1	24" INCANDESCENT LIGHT BAR
ф м	CEILING MOUNTED LIGHT
- <b>○</b> - <sub>P-1</sub>	KITCHEN ISLAND PENDANT
- <b>⇔</b> <sub>P-2</sub>	LIGHT PENDANT
-\$\(\rightarrow\) P-3	LIGHT PENDANT
-O <sub>KL</sub>	KEYLESS LIGHT FIXTURE
$\Leftrightarrow$	DUPLEX OUTLET
$\bigoplus_{WP}$	WEATHER PROOF DUPLEX OUTLET (WP)
⊖GFI	GROUND FAULT INTERRUPT DUPLEX OUTLET (GFI)
$\Rightarrow$	SWITCHED DUPLEX OUTLET
CLG. OUTLET FOR GARAGE DOOR OPENER	CEILING MOUNTED DUPLEX OUTLET
€ <u>220V</u>	220 VOLT OUTLET
▼ PHONE	TELEPHONE OUTLET
√ TV	CABLE TV OUTLET
<b>◀</b> INTERNET	INTERNET OUTLET
©	DISPOSAL
$\mathbb{S}_{m}$	EXHAUST FAN - MECH VENTED TO EXTERIOR
\$	SINGLE-POLE SWITCH
\$3	3 WAY SWITCH
\$4	4 WAY SWITCH
DB	DOOR BELL
•	

#### GENERAL ELECTRICAL NOTES

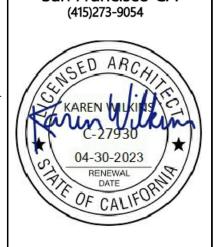
- 1. OUTDOOR LIGHTING FIXTURES SHALL BE CONTROLLED BY A MOTION SENSOR W/ AN INTEGRAL PHOTOSENSOR, TYP. ALSO
- MANUALLY ON/OFF CONTROLLED. 2. ALL INSTALLED LUMINAIRES SHALL BE HIGH-EFFICACY.
- 3. IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS AT LEAST ONE LUMINAIRE SHALL BE CONTROLLED BY A VACANCY
- 4. DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LED STYLE LUMINAIRES TWO EXCEPTIONS: FIXTURES INSTALLED IN HALLWAYS OR (CLOSETS UNDER 70 SQUARE FEET)
- 5. ALL NECESSARY REGULATIONS AND GUIDELINES MUST BE CHECKED BEFORE PROCEEDING WITH THE INSTALLATION OR PURCHASE OF







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940 and Bay Moon Be-013-890 Resid Half Coronado Coronado

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No. Description Date Plan Check

130

**Upper Lighting** and Oulet Plan

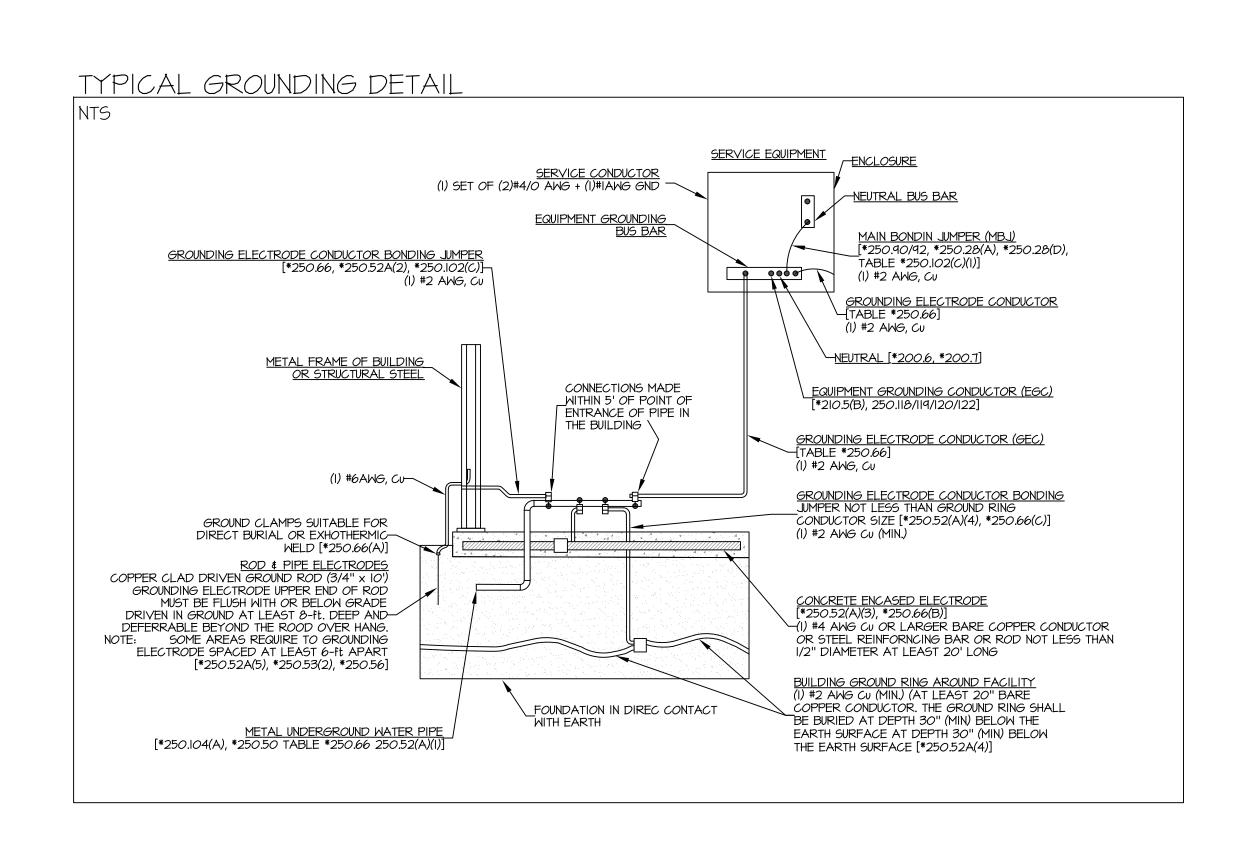
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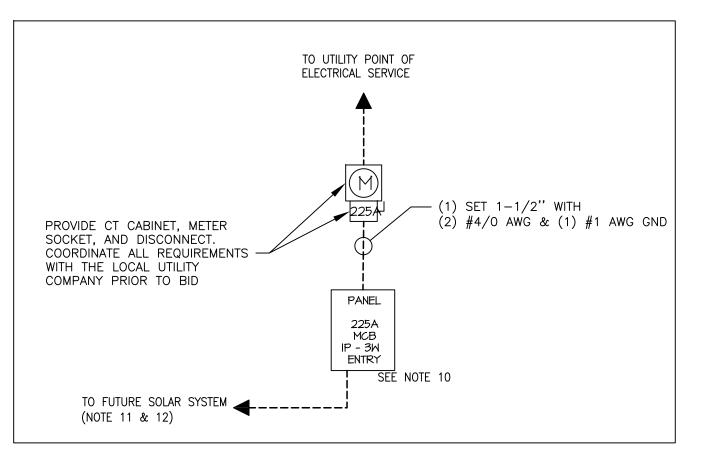
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- 3) THE INCOMING FEEDER SIZE SHALL BE VERIFIED IN FIELD AS PER THE INCREMENT FOR THE NEW LOAD.
- 4) CONTRACTOR SHALL CHECK BREAKER SIZES AS PER EXISTING PANEL SCHEDULE AND VERIFY IF IS THERE ANY CORRECTION BEFORE CONSTRUCTION.
- 5) AS PER NEC 210.8 GFCI RECEPTACLE SHALL BE ON READILY ACCESSIBLE LOCATION. IF NOT CONTRACTOR SHALL PROVIDE GFCI BREAKER IN PANEL.
- 6) THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A MINIMUM BUSBAR RATING OF 200 A, CEC 110.10(e).
- 7) THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR THE INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVE SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION. THE RESERVED SPACE SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR ELECTRIC", CEC 110.10(e).
- 8) THE SOLAR CIRCUIT BREAKER CAN BE NO MORE THAN 20% OF THE MAIN ELECTRICAL PANEL RATING, AND MUST BE AT LEAST 125% OF SYSTEM OUTPUT.

LOAD DEMAND CALCULATION BASED ON NEC 2020.

# PROPOSED LOAD DEMAND CALCULATION FOR TYPICAL CORONADO RESIDENCE





# PROPOSED SINGLE-LINE DIAGRAM

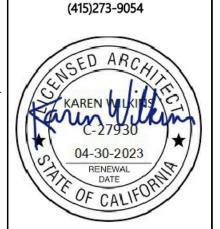
#### NOTES

- 1. TYPICAL SINGLE-LINE DIAGRAM FOR CORONADO RESIDENCE
- 2. ELECTRICAL CONTRACTOR SHALL VERIFY AVAILABLE FAULT CURRENT W/LOCAL ELECTRICAL UTILITY COMPANY.
- 3. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANY FOR THE TYPE OF ELECTRIC SERVICE TO SERVE THIS PROJECT INCLUDING THE LOCATION OF ENERGY RECORDING EQUIPMENT. ALL CHARGES BY THE UTILITY COMPANY TO THE OWNER SHALL BE INCLUDED INTO THE ELECTRICAL CONTRACT. ANY AND ALL DISCREPANCIES BETWEEN THE CONTRACT DESIGN AND THE UTILITY COMPANY'S REQUIREMENTS SHALL BE REPORTED TO THE ENGINEER FOR CLARIFICATION AND NECESSARY ADDENDUMS DURING THE PROJECT BIDDING PERIOD.
- 4. ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT, TRENCH, AND BACKFILL FOR ELECTRICAL SERVICE ENTRANCE FROM THE MAIN SERVICE TO UTILITY POINT OF ELECTRICAL SERVICE. ELECTRICAL CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE ELECTRICAL SERVICE ENTRANCE WITH SERVING UTILITY COMPANY.
- 5. ELECTRICAL CONTRACTOR SHALL VERIFY ALL SWITCHBOARDS WITH THE POWER COMPANY STANDARDS AND REQUIREMENTS PRIOR TO BIDDING. SUBMIT ALL SWITCHBOARDS EQUIPMENT CUT SHEETS TO POWER COMPANY FOR FINAL APPROVAL PRIOR TO ORDERING ANY EQUIPMENT.
- 6. ALL UNDERGROUND SERVICE CONDUITS SHALL BE SEALED TO PREVENT MOISTURE FROM CONTACTING ENERGIZED LIVE PARTS AS PER NEC 230.8.
- 7. ALL CONDUCTOR SIZES SHOWN ARE BASED ON NEC FOR COOPER WIRE, 75 ° C RATED.
- 8. FAULT CURRENT DATA FROM THE UTILITY MUST BE VERIFIED AND THE AIC RATING OF THE EQUIPMENT MUST BE RATED FOR THE FAULT CURRENT THAT IS AVAILABLE.
- 9. CONTRACTOR SHALL VERIFY UPSIZE WIRES BASED ON LOAD AND LENGTH OF RUN.
- 10. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A MINIMUM BUSBAR RATING OF 200 A, CEC 110.10(e).
- 11. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR THE INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVE SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION. THE RESERVED SPACE SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR ELECTRIC", CEC 110.10(e).
- 12. THE SOLAR CIRCUIT BREAKER CAN BE NO MORE THAN 20% OF THE MAIN ELECTRICAL PANEL RATING, AND MUST BE AT LEAST 125% OF SYSTEM OUTPUT.



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# Residence and ADU ve, Half Moon Bay, CA 94019

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o. Description Date

Submittal 05/10/2022

Submittal 05/10/202.

Proposed
Load-Demand Calc,
One-line Diagram &
Grounding Detail
E4-0
Scale: As Noted

#### PLUMBING NOTES & SYMBOL LEGEND (not all symbols necessarily on this sheet)

SYMBOL DESCRIPCION COLD WATER HOT WATER HOT WATER RETURN HWR VENT TO ROOF SWR SEWER CO CLEAN OUT WCO WALL CLEAN OUT FCO FLOOR CLEAN OUT FLOOR DRAIN WATER CLOSET URINARY LAV LAVORATORY SHOWER DRINKING FOUNTAIN TRAP PRIMER GW TANKLESS WATER HEATER IDW INDIRECT WASTE CONDENSATE DRAIN SHUT-OFF VALVE (BALL TYPE) GAS SHUT-OFF VALVE P&T CHECK VALVE WHA WATER HAMMER ARRESTER HOSE BUBB PRESSURE GAUCE POC POINT OF CONNECTION ABOVE CEILING B/G **BELOW GRADE** BELOW FLOOR BFG BELOW FINISHED GRADE DEGREES FAHRENHEIT GALLONS PER FLUSH GALLONS PER MINUTE

GREASE WASTE BELOW FLOOR LOW PRESSURE NATURAL GAS PRESURE & TEMP, RELIEF VALVE

GALLONS PER HOUR INVERT ELEVATION MAXIMUM

MINIMUM

MIN

MFR

NIC

W/D

----

D.WASHER

MANUFACTURER QUANTITY TYPICAL NOT INCLUDED TWIST TIMER WALL SWITCH **EXISTING** NFW MOP WASH WASH AND DRYER MACHINE DISH WASHER

LAVATORY

SHOWER

LAV

SH

COLD WATER PIPING NEW HOT WATER PIPING NEW VENT PIPING

25. USE TYPE "B" VENT FOR HOT WATER HEATER AS REQUIRED PER THE PLUMBING CODE SECTION 510

26. ISOLATE ALL PIPING FROM STRUCTURE W/FELT PADS OR TRISOLATORS. ALL SUSPENDED PIPING TO BE HUNG W/ ADJUSTABLE "J" HANGER AND THREADED ROD DOUBLE NUTTED. USE "J" HANGERS FOR WATER PIPE TO BE FELT LINED. PROVIDE 12" LONG 24 GA. S/M SLEEVE FOR INSULATED PIPES AT HANGERS.

27. PROVIDE GROUT OR SEALANT FOR ALL FIXTURES AT WALL OR FLOOR. 28. ALL SHOWER OR TUB PANS TO BE CONSTRUCTED PER SECTION 411.8 OF THE PLUMBING CODE, AND MAPMO STANDARD IS 4-2019.

29. TEMPERATURE SHALL BE LIMITED TO 110 DEG F FLOOR ALL PUBLIC LAVATORIES PER TITLE 24 1130.3. 30. UNDERGROUND WATER PIPING WITHIN BUILDING ENVELOPE IS TO BE TYPE "L" COPPER TUBING WITH BRAZER JOINTS AS APPLICABLE, CPC SECTION 609.3 AND 604.2 BRAZED AND WELDED JOINTS TO BE INSTALLED PER CPC SECTION

31. WATER CLOSET BOWS SHALL E OF THE ELONGATED TYPE FOR PUBLIC USE. 32. NEW OR REPAIRED POTABLE WATER SYSTEMS SHALL BE DISINFECTED PRIOR TO USE ACCORDING TO THE METHODS SET IN SECTION 609.09 OF THE

33. NOTICE; CONTRACTOR TO VERIFY EXACT LOCATION AND DEPTH OF EXISTING SEWER PRIOR TO BIDDING, NOTIFY ARCHITECT AND ENGINEER IF REQUIRED SEWER FALL IS NOT ADEQUATE.

34. THE CONTROL VALVES IN SHOWERS, TUB/SHOWERS, BATHTUBS, AND BIDETS MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES. CPC SECTIONS 408, 409, 410

35. INSTANTANEOUS WATER HEATERS SHALL HAVE ISOLATION VALVES ON BOTH THE COLD AND THE HOT WATER PIPING LEAVING THE WATER HEATER COMPLETE WITH HOSE BIBS OR OTHER FITTINGS ON EACH VALVE FOR FLUSHING THE WATER HEATER WHEN THE VALVES ARE CLOSED. (ES 110.3) 36. ALL DOMESTIC HOT WATER PIPING TO HAVE THE FOLLOWING MINIMUM

INSTALLED: ½" PIPE (1/2" INSULATION); ¾" PIPE (1" INSULATION); 1" TO 1-½" PIPE (1-1/2"INSULATION). CPC 609.11 & ES 150.0(J) A)ADDITIONALLY, THE 1/2" HOT WATER PIPE TO THE KITCHEN SINK, AND THE COLD-WATERPIPE WITHIN 5' OF THE WATER HEATER BOTH REQUIRE 1" MINIMUM INSULATION. ES150.O(J

1-1/4 1-1/4

#### FIXTURE ABBREV | FIX. UNIT REMARKS TRAP) VENT HW TYPE VALUE WATER WC **FLUSH TANK** CLOSET

1/2

SCOPE: THE WORK COVERED BY THIS SECTION INCLUDES ALL LABOR AND MATERIALS, EQUIPMENT, TRANSPORTATION AND OTHER ITEMS NECESSARY FOR AND REASONABLY INCIDENTAL TO THE PROPER AND SATISFACTORY INSTALLATION OF THE PLUMBING SYSTEMS SHOWN ON THE DRAWINGS AND SPECIFIED, AND THE REMOVAL OF EXISTING EQUIPMENT AS REQUIRED AND OR INDICATED ON THE DRAWINGS, CONTRACTOR TO PROVIDE 5 SETS OF EQUIPMENT AND MATERIAL SUBMITTALS TO ARCHITECT FOR APPROVAL. CONTRACTOR TO REVIEW ALL DOCUMENTS INCLUDING ARCHITECTURAL, MECHANICAL, CIVIL, AND STRUCTURAL PLANS PRIOR TO BOUNDING THE JOB. REPORT ANY DISCREPANCIES OR POSSIBLE CONFLICTS TO THE ARCHITECT, ENGINEER AND OWNER. ALL THE PLUMBING FIXTURES ARE NEW.

LAYOUTS SHOWN ARE SCHEMATIC AND DEPICT ROUGH LOCATIONS AND DESIRED RESULTS OF CONSTRUCTION. VERIFY EXACT LOCATIONS OF EXISTING SEWER & WATER LINES ON SITE, VERIFY EXACT LOCATIONS OF EQUIPMENT, ETC WITH EQUIPMENT SUPPLIER, APPLICABLE TRACES & OWNER AS REQUIRED PRIOR TO COMMENCING WORK. ALL WORK SHALL BE DONE IN A WORKMAN-LIKE MANNER, ACCORDING TO

STANDARD INDUSTRY PRACTICES AND IN COMPLIANCE WITH APPLICABLE CODES OF THE LOCAL ADMINISTRATIVE AUTHORITY HAVING JURISDICTION AND ALL STATE AND FEDERAL REGULATIONS APPLICABLE TO THIS PROJECT CONTRACTOR TO VERIFY LOCATION AND PROVIDE VISUAL INSPECTION OF EXISTING SWR AND REPORT TO OWNER OR ARCHITECT. VERIFY POINT OF CONNECTION OF ALL UTILITIES PRIOR TO COMMENCING WORK.

COORDINATE ALL INSTALLATIONS WITH OTHER TRADES. PLUMBING VENTS SHALL TERMINATE NOT LESS THAN 10' FROM OR AT LEAST 3" ABOVE ANY AIR INTAKE INTO BUILDING, NOR LESS THAN 3" IN EVERY DIRECTION FROM ANY LOT LINE PER SECTION 905.0 OF THE PLUMBING CODE. COORDINATE TERMINATION LOCATIONS WITH MECHANICAL CONTRACTOR. TERMINATE VENTS FOR GAS FIRED APPLIANCES PER SECTION 510.6 OF THE PLUMBING CODE. COORDINATE TERMINATION LOCATIONS WITH MECHANICAL

STUDS, PLATES, AND REQUIRED BLOCKING BORED OR CUT 25% OR MORE SHALL BE REINFORCED WITH 1/8"x1/2"x18" STRUCTURAL STEEL STRAP EACH

ALL FIXTURES AND OPERATING CONTROLS SHALL BE CALIFORNIA ENERGY COMMISSION (CEC) APPROVED

ALL EXCAVATIONS SHALL BE BACKFILLED WITH APPROVED FILL MATERIAL AND COMPACTED TO 90% AT BUILDING AND 90% AT SITE AREAS. PROVIDE 6" OF CLEAN FILL SAND BELOW AND ABOVE ALL UNDERGROUND PIPING. WHEN 4" OR GREATER IN DEPTH, COMPLY WITH OSHA CFR 1926.650.551.652. INSULATE HOT AND COLD WATER LINES WITHIN 5" OF HOT WATER TANK WITH 1" PIPE INSULATION, PROVIDE SEISMIC ANCHORAGE TO WATER HEATER. FOR

SYSTEMS WITH RECIRCULATION PUMPS, INSULATE ALL HOT WATER AND RETURN LINES. PROVIDE VALVE EXTENSIONS FOR INSULATED PIPE PER TITLE 24 ENERGY CODE. ALL MATERIALS SHALL BE INSTALLED IN STRICT COMPLIANCE WITH MANUFACTURES INSTALLATION INSTRUCTIONS, LISTED FOR THE INTENDED

USE WITH THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL

OFFICIALS (L.A.P.M.O.) WITH PLUMBING RESEARCH REPORTS, PROVIDE NON REMOVABLE BACK FLOW PREVENTION DEVICE ON ALL THREADED TYPE CONNECTIONS OF THE WATER SYSTEM. PROVIDE NON REMOVABLE/INTEGRATEDVACUUM BEAKERS AT ALL HOSE BIBS. PROVIDE HOSE BIB IN IN ALL MECHANICAL ROOMS.

PLUMBING CONTRACTOR SHALL CONNECT ALL SERVICE EQUIPMENT, AND NECESSARY INDIRECT WASTE LINES TO POINT OF DISPOSAL (2x6 WALLS @

PLUMBING CONTRACTOR TO FURNISH AND INSTALL ALL NECESSARY WCCO OR METAL BACKING TO ADEQUATELY SUPPORT ALL PLUMBING FIXTURES AND

PLUMBING CONTRACTOR SHALL INSTALL CONDENSATE DRAINS FOR "HVAC" EQUIPMENT, CONDENSATE DRAINS SAHLL BE THE MOST DIRECT ROUTE TO THE DRAIN SYSTEM WITH REQUIRED AIR CAP. ALL DISCHARGE FROM CONDENSATE SHALL BE PER UPC 8.7.2. INSULATE ALL CONDENSATE LINES WITH 3/8" RUBETEX. INSTALL SHUT OFF BALL VALVES AND UNIONS ON ALL EQUIPMENT, HOT AND

COLD WATER LINES. CLEANOUTS SHALL BE READLY ACCESSIBLE AND SHALL BE INSTALLED WITH ADEQUATE CLEARANCE FOR EFFECTIVE USE AND WILL NOT BE PLACED IN HIGH TRAFFIC AREAS OR WORK STATION AREAS. PROVIDE CLEANOUTS PER THE PLUMBING CODE SECTION 707.0 EACH 135 DEG OF TURN. CLEANOUTS TO BE EVERY 100' MAX, BROUGHT TO GRADE

. PROVIDE WATER HAMMER ARRESTORS FOR ALL QUICK, ACTING VALVES, AND AT THE END OF LONG WATER PIPING RUNS. . ALL BUILDING WATER DRAINS SHALL SLOPE 1/4" PER FOOT.

20. PROVIDE AUTOMATIC TRAP PRIMERS FOR FLOOR DRAINS AND INFREQUENTLY USES RECEPTACLES PER THE PLUMBING CODE SECTION 1907. PLUMBING FIXTURES & PLUMBING FITTINGS SHALL MEET THE FOLLOWING

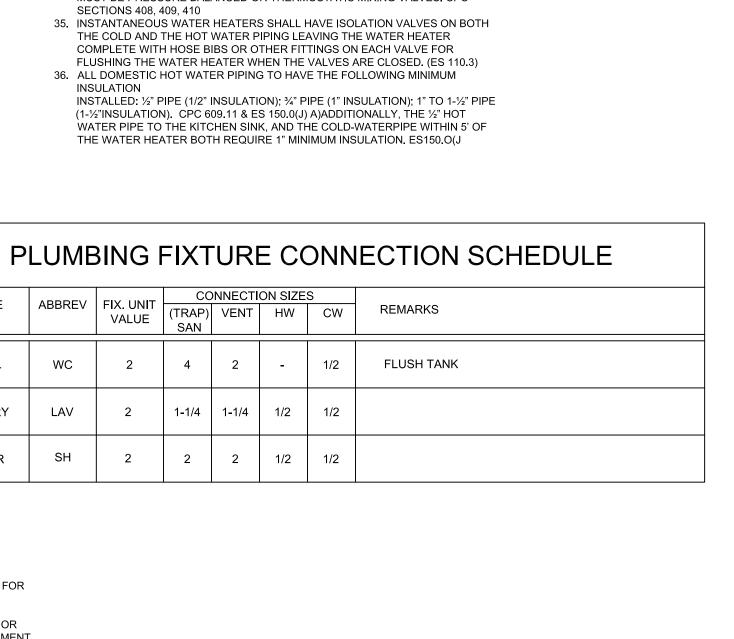
• WATER CLOSET = 1.25 GAL. PER FLUSH MAX. • URINAL = 0.5 GAL. PER FLUSH MAX.

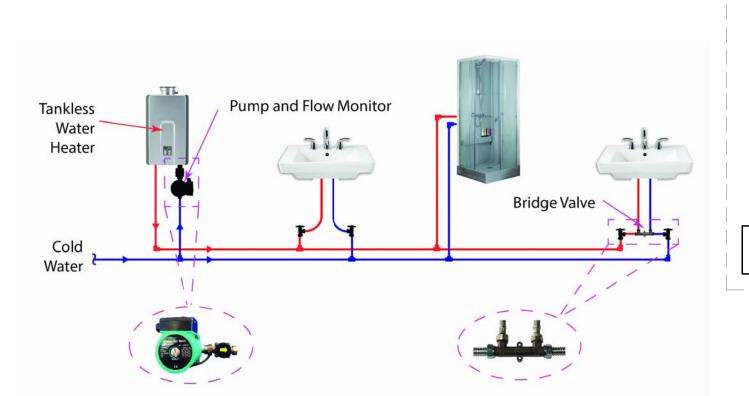
• SHOWER HEAD = 2.0 GPM MAX. • LAVATORY FAUCETS = 1.5 GPM MAX. • METERING FAUCETS = 0.2 G/CYCLE

 SINK FAUCETS = 1.8 GPM MAX. SHOWERS SHALL BE PROVIDED WITH A SHOWER CONTROL VALVE OF PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE AND

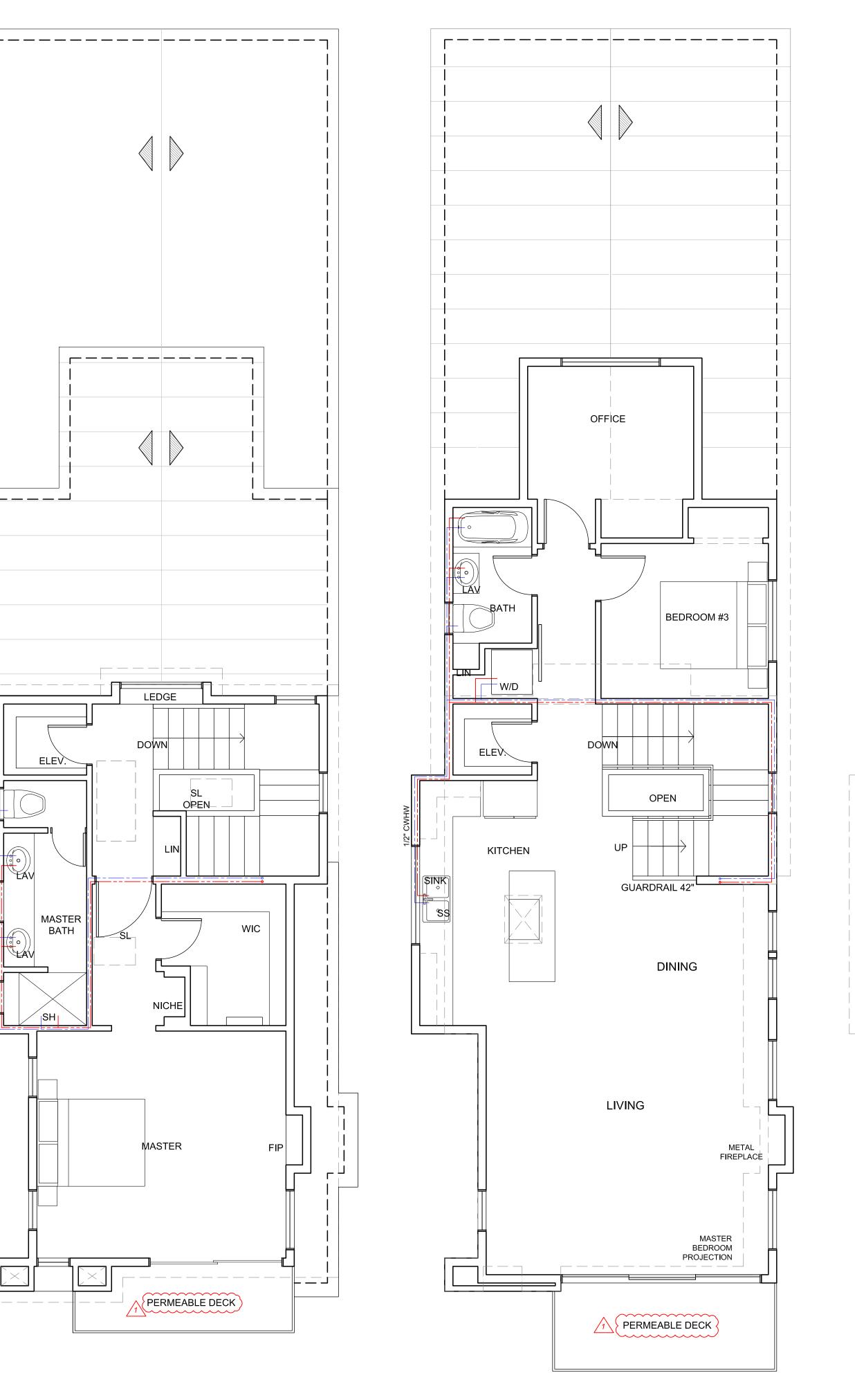
DELIVER MAX OF 120 DEG F. PER PLUMBING CODE SECTION 418. PROVIDE FLEXIBLE CONNECTIONS AND SHUT OFF VALVES FOR ALL HOT & COLD WATER SUPPLY AND FOR GAS CONNECTIONS TO APPLIANCES. PROVIDE RELIEF VENTS FOR GAS PRESSURE REGULATORS INSTALLED IN CONFINED SPACES.

PROVIDE COMBUSTION AIR PER THE PLUMBING CODE SECTION 507.0 I. PROVIDE TEMPERATURE AND PRESSURE RELIEF VALVES ON ALL HOT WATER HEATING EQUIPMENT PER THE PLUMBING CODE 504.4, AND 504.5 DRAIN TO OUTSIDE AND SLOPE MIN. 2%.



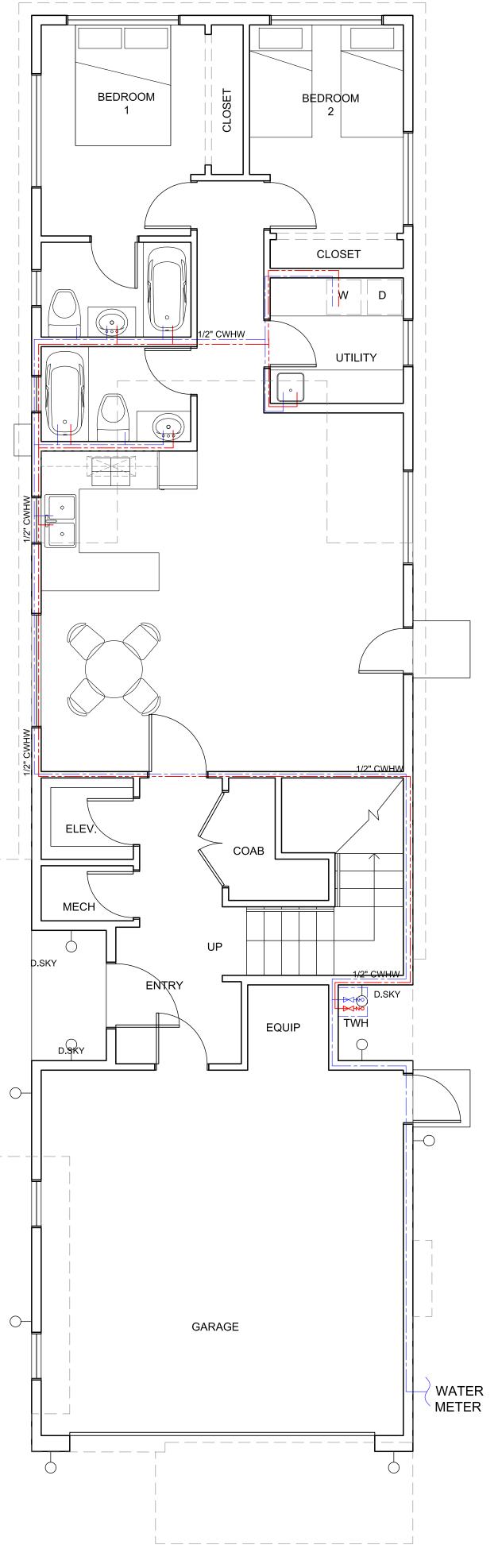


TANKLESS WATER HEATER CONNECTION



PROPOSED WATER SUPPLY

SCALE: 1/4" =1'-0"





Architects San Francisco CA



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Paul McGregor 130 Coronado Ave, Half Moon Bay, CA 94019

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Description Date Plan Check

**Proposed Water** 

Scale: As Noted

#### PLUMBING NOTES & SYMBOL LEGEND

(not all symbols necessarily on this sheet) SYMBOL DESCRIPCION COLD WATER HOT WATER HWR HOT WATER RETURN VENT VENT TO ROOF SWR SEWER CO CLEAN OUT WCO WALL CLEAN OUT FCO FLOOR CLEAN OUT FD FLOOR DRAIN WATER CLOSET UR URINARY LAV LAVORATORY SHOWER DRINKING FOUNTAIN TRAP PRIMER GW GREASE WASTE BELOW FLOOR TWH TANKLESS WATER HEATER IDW INDIRECT WASTE CD CONDENSATE DRAIN LOW PRESSURE NATURAL GAS SOV SHUT-OFF VALVE (BALL TYPE) GAS SHUT-OFF VALVE P&T PRESURE & TEMP, RELIEF VALVE CHECK VALVE WHA WATER HAMMER ARRESTER HB HOSE BUBB PRESSURE GAUCE POC POINT OF CONNECTION A/C ABOVE CEILING B/G BELOW GRADE **BELOW FLOOR** BFG BELOW FINISHED GRADE DEGREES FAHRENHEIT GALLONS PER FLUSH GPM GALLONS PER MINUTE GPH **GALLONS PER HOUR** 

INVERT ELEVATION MAXIMUM MINIMUM MANUFACTURER QUANTITY TYPICAL NOT INCLUDED TWIST TIMER WALL SWITCH EXISTING NEW

MOP WASH WASH AND DRYER MACHINE COLD WATER PIPING NEW

D.WASHER DISH WASHER

MAX

MIN

MFR

QTY

TYP

(E)

MW

W/D

\_\_\_\_

\_\_\_\_\_

HOT WATER PIPING NEW VENT PIPING

25. USE TYPE "B" VENT FOR HOT WATER HEATER AS REQUIRED PER THE

PLUMBING CODE SECTION 510. 26. ISOLATE ALL PIPING FROM STRUCTURE W/FELT PADS OR TRISOLATORS. ALL SUSPENDED PIPING TO BE HUNG W/ ADJUSTABLE "J" HANGER AND THREADED ROD DOUBLE NUTTED. USE "J" HANGERS FOR WATER PIPE TO BE FELT LINED. PROVIDE 12" LONG 24 GA. S/M SLEEVE FOR INSULATED PIPES AT HANGERS. 27. PROVIDE GROUT OR SEALANT FOR ALL FIXTURES AT WALL OR FLOOR. 28. ALL SHOWER OR TUB PANS TO BE CONSTRUCTED PER SECTION 411.8 OF THE

PLUMBING CODE, AND MAPMO STANDARD IS 4-2019. 29. TEMPERATURE SHALL BE LIMITED TO 110 DEG F FLOOR ALL PUBLIC LAVATORIES PER TITLE 24 1130.3.

30. UNDERGROUND WATER PIPING WITHIN BUILDING ENVELOPE IS TO BE TYPE "L" COPPER TUBING WITH BRAZER JOINTS AS APPLICABLE, CPC SECTION 609.3 AND 604.2 BRAZED AND WELDED JOINTS TO BE INSTALLED PER CPC SECTION

31. WATER CLOSET BOWS SHALL E OF THE ELONGATED TYPE FOR PUBLIC USE. 32. NEW OR REPAIRED POTABLE WATER SYSTEMS SHALL BE DISINFECTED PRIOR TO USE ACCORDING TO THE METHODS SET IN SECTION 609.09 OF THE PLUMBING CODE. 33. NOTICE: CONTRACTOR TO VERIFY EXACT LOCATION AND DEPTH OF EXISTING

SEWER PRIOR TO BIDDING, NOTIFY ARCHITECT AND ENGINEER IF REQUIRED SEWER FALL IS NOT ADEQUATE. 34. THE CONTROL VALVES IN SHOWERS, TUB/SHOWERS, BATHTUBS, AND BIDETS MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES. CPC

SECTIONS 408, 409, 410 35. INSTANTANEOUS WATER HEATERS SHALL HAVE ISOLATION VALVES ON BOTH THE COLD AND THE HOT WATER PIPING LEAVING THE WATER HEATER COMPLETE WITH HOSE BIBS OR OTHER FITTINGS ON EACH VALVE FOR

36. ALL DOMESTIC HOT WATER PIPING TO HAVE THE FOLLOWING MINIMUM INSULATION INSTALLED: 1/2" PIPE (1/2" INSULATION); 3/4" PIPE (1" INSULATION); 1" TO 1-1/2" PIPE (1-1/2"INSULATION). CPC 609.11 & ES 150.0(J) A)ADDITIONALLY, THE 1/2" HOT WATER PIPE TO THE KITCHEN SINK, AND THE COLD-WATERPIPE WITHIN 5' OF THE WATER HEATER BOTH REQUIRE 1" MINIMUM INSULATION. ES150.O(J

FLUSHING THE WATER HEATER WHEN THE VALVES ARE CLOSED. (ES 110.3)

FIXTURE TYPE	ABBREV	FIX. UNIT VALUE	CONNECTION SIZES				
			(TRAP)	VENT	HW	CW	REMARKS
111 -		VALUE	SAN				
WATER	wc	2	4	2	-	1/2	FLUSH TANK
CLOSET							
LAVATORY	LAV	2	1-1/4	1-1/4	1/2	1/2	
	011	_		_			
SHOWER	SH	2	2	2	1/2	1/2	

SCOPE: THE WORK COVERED BY THIS SECTION INCLUDES ALL LABOR AND MATERIALS, EQUIPMENT, TRANSPORTATION AND OTHER ITEMS NECESSARY FOR AND REASONABLY INCIDENTAL TO THE PROPER AND SATISFACTORY INSTALLATION OF THE PLUMBING SYSTEMS SHOWN ON THE DRAWINGS AND SPECIFIED, AND THE REMOVAL OF EXISTING EQUIPMENT AS REQUIRED AND OR INDICATED ON THE DRAWINGS, CONTRACTOR TO PROVIDE 5 SETS OF EQUIPMENT AND MATERIAL SUBMITTALS TO ARCHITECT FOR APPROVAL. CONTRACTOR TO REVIEW ALL DOCUMENTS INCLUDING ARCHITECTURAL, MECHANICAL, CIVIL, AND STRUCTURAL PLANS PRIOR TO BOUNDING THE JOB. REPORT ANY DISCREPANCIES OR POSSIBLE CONFLICTS TO THE ARCHITECT, ENGINEER AND OWNER. ALL THE PLUMBING FIXTURES ARE NEW.

LAYOUTS SHOWN ARE SCHEMATIC AND DEPICT ROUGH LOCATIONS AND DESIRED RESULTS OF CONSTRUCTION. VERIFY EXACT LOCATIONS OF EXISTING SEWER & WATER LINES ON SITE. VERIFY EXACT LOCATIONS OF EQUIPMENT, ETC WITH EQUIPMENT SUPPLIER, APPLICABLE TRACES & OWNER AS REQUIRED PRIOR TO COMMENCING WORK.

ALL WORK SHALL BE DONE IN A WORKMAN-LIKE MANNER. ACCORDING TO STANDARD INDUSTRY PRACTICES AND IN COMPLIANCE WITH APPLICABLE CODES OF THE LOCAL ADMINISTRATIVE AUTHORITY HAVING JURISDICTION, AND ALL STATE AND FEDERAL REGULATIONS APPLICABLE TO THIS PROJECT. CONTRACTOR TO VERIFY LOCATION AND PROVIDE VISUAL INSPECTION OF EXISTING SWR AND REPORT TO OWNER OR ARCHITECT. VERIFY POINT OF CONNECTION OF ALL UTILITIES PRIOR TO COMMENCING WORK.

COORDINATE ALL INSTALLATIONS WITH OTHER TRADES. PLUMBING VENTS SHALL TERMINATE NOT LESS THAN 10' FROM OR AT LEAST 3" ABOVE ANY AIR INTAKE INTO BUILDING, NOR LESS THAN 3" IN EVERY DIRECTION FROM ANY LOT LINE PER SECTION 905.0 OF THE PLUMBING CODE. COORDINATE TERMINATION LOCATIONS WITH MECHANICAL CONTRACTOR. TERMINATE VENTS FOR GAS FIRED APPLIANCES PER SECTION 510.6 OF THE PLUMBING CODE. COORDINATE TERMINATION LOCATIONS WITH MECHANICAL

CONTRACTOR. STUDS, PLATES, AND REQUIRED BLOCKING BORED OR CUT 25% OR MORE SHALL BE REINFORCED WITH 1/8"x1/2"x18" STRUCTURAL STEEL STRAP EACH SIDE OF MEMBER.

ALL FIXTURES AND OPERATING CONTROLS SHALL BE CALIFORNIA ENERGY COMMISSION (CEC) APPROVED. ALL EXCAVATIONS SHALL BE BACKFILLED WITH APPROVED FILL MATERIAL AND COMPACTED TO 90% AT BUILDING AND 90% AT SITE AREAS. PROVIDE 6" OF CLEAN FILL SAND BELOW AND ABOVE ALL UNDERGROUND PIPING. WHEN 4" OR GREATER IN DEPTH, COMPLY WITH OSHA CFR 1926.650.551.652.

). INSULATE HOT AND COLD WATER LINES WITHIN 5" OF HOT WATER TANK WITH 1" PIPE INSULATION, PROVIDE SEISMIC ANCHORAGE TO WATER HEATER, FOR SYSTEMS WITH RECIRCULATION PUMPS, INSULATE ALL HOT WATER AND RETURN LINES. PROVIDE VALVE EXTENSIONS FOR INSULATED PIPE PER TITLE 24 ENERGY CODE. . ALL MATERIALS SHALL BE INSTALLED IN STRICT COMPLIANCE WITH

MANUFACTURES INSTALLATION INSTRUCTIONS, LISTED FOR THE INTENDED USE WITH THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS (L.A.P.M.O.) WITH PLUMBING RESEARCH REPORTS, PROVIDE NON REMOVABLE BACK FLOW PREVENTION DEVICE ON ALL

THREADED TYPE CONNECTIONS OF THE WATER SYSTEM. PROVIDE NON

REMOVABLE/INTEGRATEDVACUUM BEAKERS AT ALL HOSE BIBS. PROVIDE HOSE BIB IN IN ALL MECHANICAL ROOMS. 3. PLUMBING CONTRACTOR SHALL CONNECT ALL SERVICE EQUIPMENT, AND NECESSARY INDIRECT WASTE LINES TO POINT OF DISPOSAL (2x6 WALLS @

ALL PLUMBING PARTITIONS). 4. PLUMBING CONTRACTOR TO FURNISH AND INSTALL ALL NECESSARY WCCO OR METAL BACKING TO ADEQUATELY SUPPORT ALL PLUMBING FIXTURES AND EQUIPMENT.

5. PLUMBING CONTRACTOR SHALL INSTALL CONDENSATE DRAINS FOR "HVAC" EQUIPMENT, CONDENSATE DRAINS SAHLL BE THE MOST DIRECT ROUTE TO THE DRAIN SYSTEM WITH REQUIRED AIR CAP. ALL DISCHARGE FROM CONDENSATE SHALL BE PER UPC 8.7.2. INSULATE ALL CONDENSATE LINES WITH 3/8" RUBETEX.

6. INSTALL SHUT OFF BALL VALVES AND UNIONS ON ALL EQUIPMENT, HOT AND COLD WATER LINES. 17. CLEANOUTS SHALL BE READLY ACCESSIBLE AND SHALL BE INSTALLED WITH ADEQUATE CLEARANCE FOR EFFECTIVE USE AND WILL NOT BE PLACED IN HIGH TRAFFIC AREAS OR WORK STATION AREAS. PROVIDE CLEANOUTS PER

THE PLUMBING CODE SECTION 707.0 EACH 135 DEG OF TURN. CLEANOUTS TO BE EVERY 100' MAX, BROUGHT TO GRADE. 18. PROVIDE WATER HAMMER ARRESTORS FOR ALL QUICK, ACTING VALVES, AND

AT THE END OF LONG WATER PIPING RUNS. ALL BUILDING WATER DRAINS SHALL SLOPE 1/4" PER FOOT.

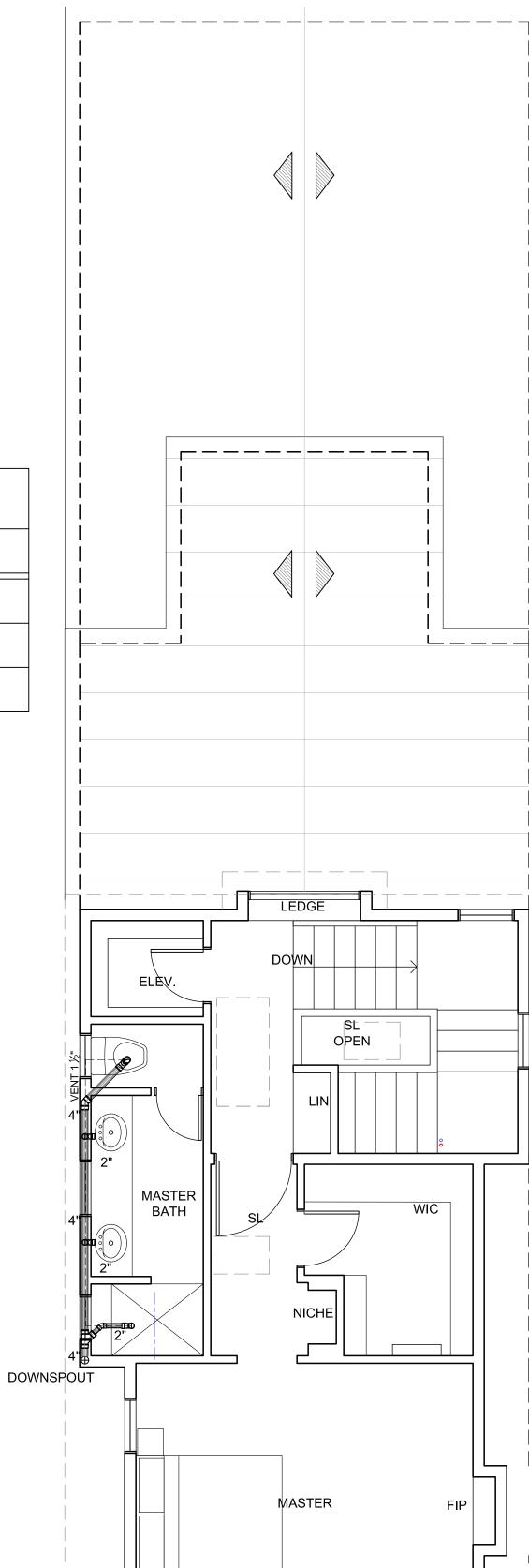
20. PROVIDE AUTOMATIC TRAP PRIMERS FOR FLOOR DRAINS AND INFREQUENTLY USES RECEPTACLES PER THE PLUMBING CODE SECTION 1907. 1. PLUMBING FIXTURES & PLUMBING FITTINGS SHALL MEET THE FOLLOWING

STANDARDS: • WATER CLOSET = 1.25 GAL. PER FLUSH MAX. • URINAL = 0.5 GAL. PER FLUSH MAX. SHOWER HEAD = 2.0 GPM MAX. LAVATORY FAUCETS = 1.5 GPM MAX.

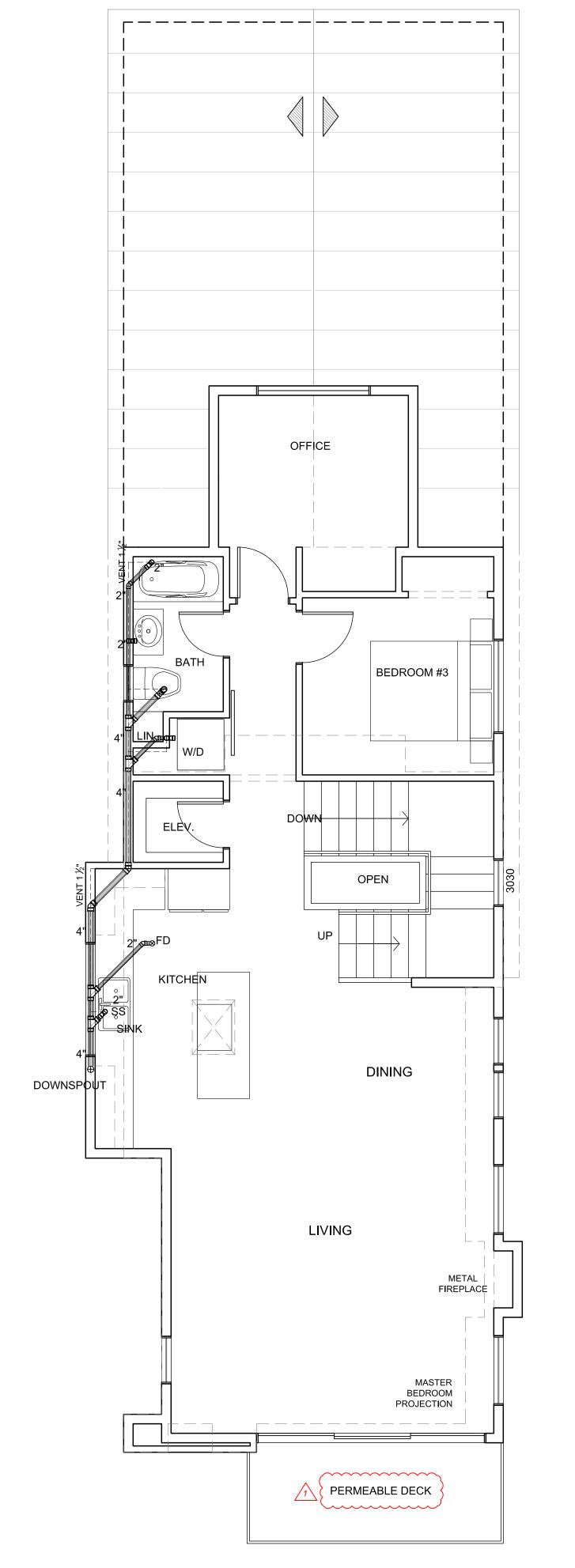
• METERING FAUCETS = 0.2 G/CYCLE SINK FAUCETS = 1.8 GPM MAX. . SHOWERS SHALL BE PROVIDED WITH A SHOWER CONTROL VALVE OF

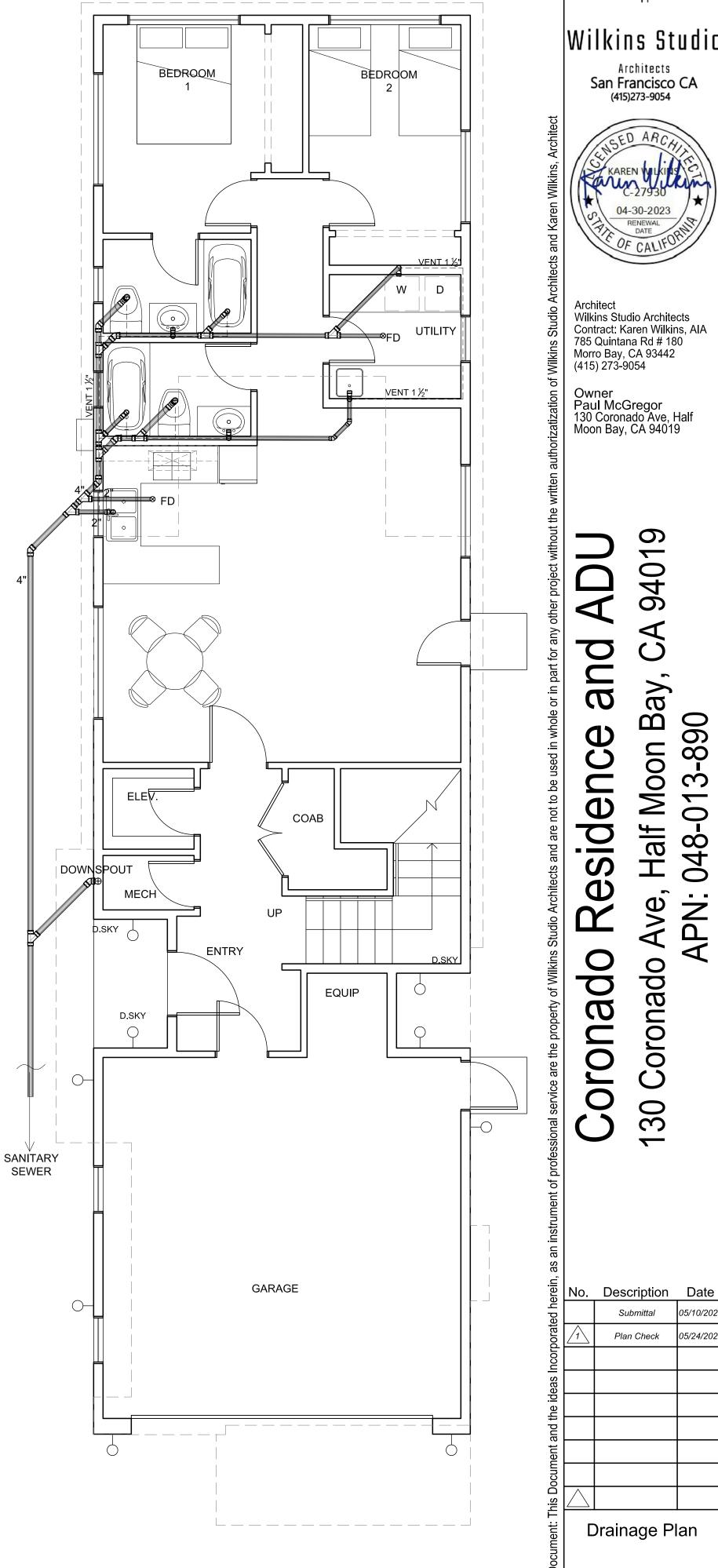
PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE AND DELIVER MAX OF 120 DEG F. PER PLUMBING CODE SECTION 418. 2. PROVIDE FLEXIBLE CONNECTIONS AND SHUT OFF VALVES FOR ALL HOT & COLD WATER SUPPLY AND FOR GAS CONNECTIONS TO APPLIANCES. PROVIDE RELIEF VENTS FOR GAS PRESSURE REGULATORS INSTALLED IN CONFINED SPACES.

3. PROVIDE COMBUSTION AIR PER THE PLUMBING CODE SECTION 507.0 24. PROVIDE TEMPERATURE AND PRESSURE RELIEF VALVES ON ALL HOT WATER HEATING EQUIPMENT PER THE PLUMBING CODE 504.4, AND 504.5 DRAIN TO OUTSIDE AND SLOPE MIN. 2%.



PERMEABLE DECK





Owner Paul McGregor 130 Coronado Ave, Half Moon Bay, CA 94019 an ay Moon enc aff 0 ronad oron

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Architects

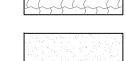
DRAINAGE PLAN

SCALE: 1/4" =1'-0'

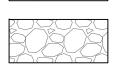
#### MATERIAL LEGEND

**VEHICULAR PAVING - PAVERS** 

PEDESTRIAN PAVING - PAVERS



GRASS



#### PLANTING LEGEND



COFFEE BERRY



SEASIDE DAISY



**CEANOTHOS - YANKEE POINT** 



STATICE



**COAST ROSEMARY** 

#### **NOTES:**

- DO NOT USE MEXICAN FEATHER OR CRIMSON FOUNTAIN GRASS.
- NO TREES ARE REMOVED FOR THIS PROJECT.
- 3. ALL PLANTS TO BE PROVIDED IN MIN 1 GAL. SIZE.

#### **DESIGN INTENT**

THE LANDSCAPE IS DESIGNED TO COMPLY WITH THE PRESCRIPTIVE COMPLIANCE OPTION OF THE LOCALLY ADOPTED STATE OF CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORFINANCE ("WELO") COMPLIANCE WITH MANDATORY ELEMENTS OF WELO MUST BE DOCUMENTED ON LANDSCAPE PLANS.

THE PLANS ARE DESIGNED TO DEMONSTRATE FIRE SAFER LANDSCAPING APPROACHES WITH LOWER, LESS WOODY PLANTS CLOSE TO BUILDINGS, AND TREES POSITIONED TO ALLOW MAINTENANCE OF BRANCHES 10' AWAY FROM BUILDINGS.

LOW IMPACT DEVELOPMENT ("LID") ELEMENTS SUCH AS PERMEABLE PAVING, AND DOWNSPOUTS DISCONNECTED FROM STORM SEWERS AND DRAINING TO RAIN GARDENS OR LANDSCAPE STRIPS, ARE PROVIDED TO INFILTRATE MORE STORMWATER RUN-ODD ON SITE, INCREASE GROUNDWATER RECHARGE AND IMPROVE THE AMOUNT OF SOIL MOISTURE AVAILABLE TO PLANTS THEREBY REDUCING IRRIGATION

#### LANDSCAPE DESIGN REQUIREMENTS

THE PLANTINGS ARE DESIGNED TO COMPLY WITH THE APPENDIX D "PRESCRIPTIVE COMPLIANCE" OPTION OF

- 1.- MEDIUM WATER USE PLANTINGS DO NOT EXCEED 25 PERCENT OF THE TOTAL PLANTED AND IRRIGATED
- 2.- LOW WATER USE OR CLIMATE ADAPTED SPECIES THAT REQUIRE LITTLE OR NO SUMMER WATER ARE
- SELECTED FOR AT LEAST 75 PERCENT OF THE PLANTED AND IRRIGATED AREA. 3.- PERMITTED LANDSCAPE AREA MUST BE SMALLER THAN 2500 SF OF PLANTED AND IRRIGATED AREA
- 4.- PLANS ARE INTENDED FOR USE ON SITES WITH LESS THAN 8% SLOPES.

#### ADDITIONAL GUIDELINES FOR THE PLANTINGS:

- A. FIRE SAFER PLANTINGS ARE INDICATED ON PLANT LISTS AND USED WITHIN 5' OF HOMES.
- B. CONVENTIONAL TURF IS NOT PROVIDED DUE TO HIGH WATER USE.
- C. TREES ARE LOCATED AWAY FROM BUILDING STRUCTURES SO THAT BRANCHES CAN BE MAINTAINED 10' FROM ROOFS AND CHIMNEYS.
- D. PLANTS AREA PLACED IN APPROPRIATE MICROCLIMATES BY EVALUATING THE DIRECTION THE FRONT
- YARD IS FACING AND NORTH ARROWS ARE INDICATED ON PLANS. E. PLANTS ARE GROUPED IN IRRIGATION ZONES ("HIDROZONES") BASED ON SIMILAR WATER NEEDS AS DEFINED BY THE STATE WATER USE CLASSIFICATIONS OF LANDSCAPE SPECIES IV ("WUCOLS IV")
- **REGION 1 LIST** F. RAINWATER AND STORMWATER ELEMENTS SHOULD BE REVIEWED WITH SITE DESIGN TEAM AND
- GENERAL CONTRACTOR PRIOR TO SITE GRADING G. PERVIOUS PAVING OPTIONS SHOULD BE REVIEWED WITH SITE DESIGN TEAM AND GENERAL CONTRACTOR.

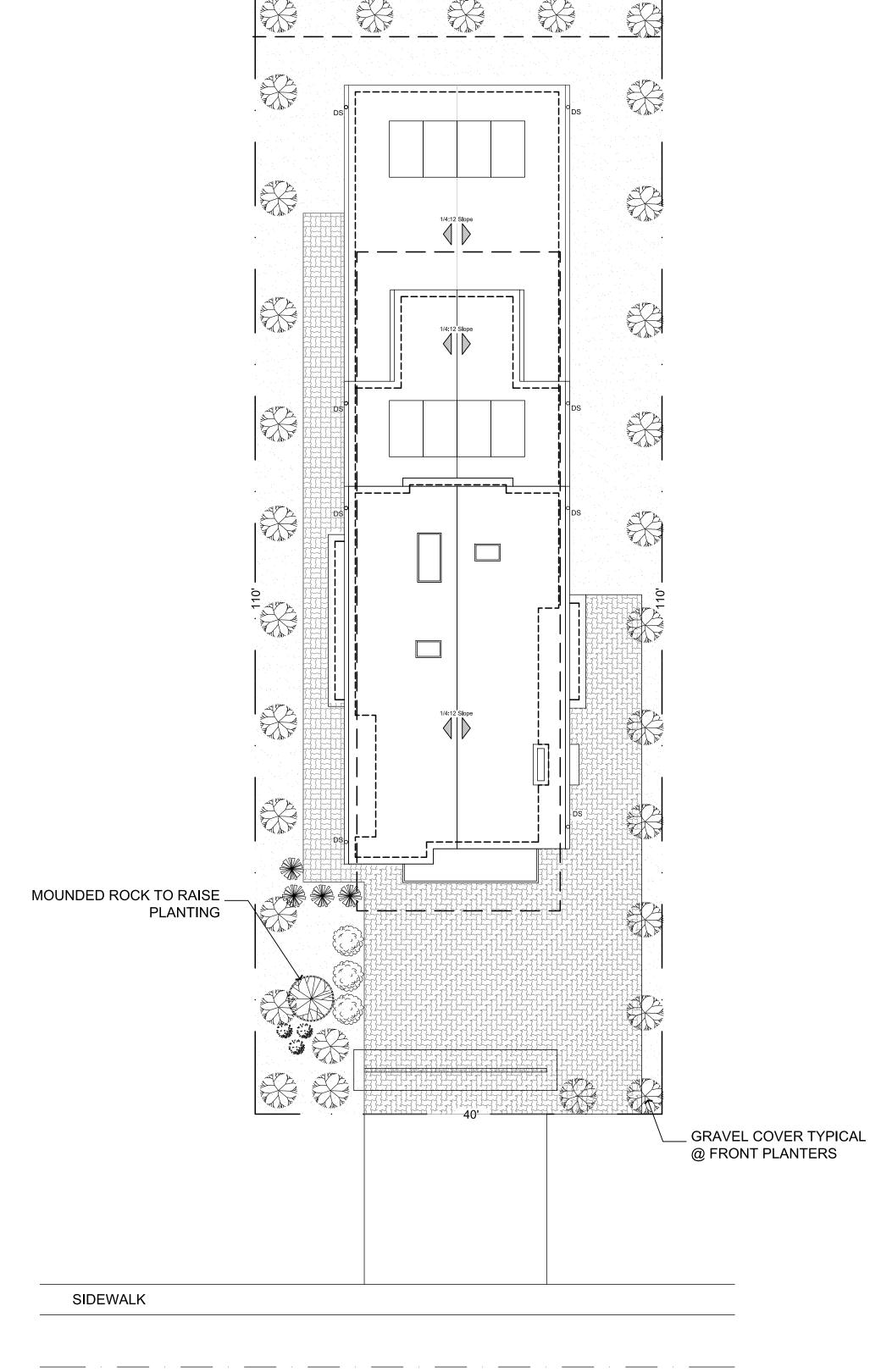
#### SOIL MANAGEMENT REQUIREMENTS

SOIL MANAGEMENT IS DESIGNED TO COMPLY WITH TEH PRESCRIPTIVE COMPLIANCE OPTION OF WELO:

- 1. INCORPORATE CONPOST AT A RATE OF AT LEAST FOUR CUBIC YARDS PER 1,000 SQUARE FEET TO A DEPTH OF SIX INCHES INTO THE LANDSCAPE AREA.
- 2. AFTER PLANTING, A MINIMUM THREE INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS.
- 3. MULCH CAN BE REDUCED FOR NATIVE GRASS AND/OR WILDFLOWER AREAS.

#### **APPLICANT INSTRUCTIONS:**

- 1. MEASURE ENTIRE FRONT YARD AREA. SUBTRACT HARDSCAPE AREAS TO GET THE TOTAL SQUARE FEET OF PLANTED AND IRRIGATED AREA, ENTER THIS NUMBER IN THE PLANT WATER USE TABLE ON THIS SHEET.
- 2. IF NEEDED USE A RED PEN TO ADJUST THE LAYOUT OF DRIVEWAY, PATHS AND PLANTING AREAS TO FIT
- 3. ADJUST ORIENTATION OF NORTH ARROW TO SITE CONDITION.
- 4. ADD ANY EXISTING TREES IN RED ON THE PLAN. ADJUST TREE LOCATIONS IF NEEDED TO FIT YOUR
- 5. FILL IN PLANT WATER USE TABLE.
- 6. INSURE LESS THAN 25% OF PLANTED AREA IS MEDIUM WATER USE PLANTINGS.
- 7. IN THE LEGEND, CIRCLE THE HARDSCAPE MATERIALS YOU WILL BE USING AND ON DETAIL SHEETS L5-0
- 8. INDICATE ANY SUBSTITUTIONS TO THE PLANTINGS BY CROSSING OUT THE LISTED PLANTS AND WRITING THE SUBSTITUTION BELOW IN RED INK, MAKE SURE THE PLANTS USED HAVE MATCHING WATER USE AND ARE ROUGHLY THE SAME SIZE (SEE SONOMA-MARIN SAVING WATER PARTNERSHIP



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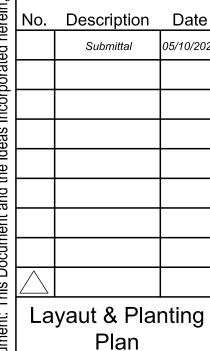
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