

LOT 1

**ARCHITECTURAL**

COVER VICINITY MAP & PROPERTY SUMMARY  
A01 AREA PLAN CALCULATIONS

A11 SITE PLAN

A21 LOWER LEVEL PLAN  
A22 MAIN LEVEL PLAN  
A23 COURTYARD PLAN  
A24 ROOF ACCESS & GARAGE ROOF PLAN  
A25 ROOF PLAN

A31 EXTERIOR ELEVATIONS  
A32 EXTERIOR ELEVATIONS  
A33 EXTERIOR ELEVATIONS  
A34 EXTERIOR ELEVATIONS

A41 BUILDING CROSS-SECTION  
A42 BUILDING CROSS-SECTION

# MOSS BEACH - LOT 1

## VALLEMAR ST. & JULIANA AVE.

**GENERAL NOTES**

DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF THIS ARCHITECT WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED AND CONSTRUCTED OR NOT. THESE DOCUMENTS ARE NOT TO BE REPRODUCED IN ANY FORM AND THEY ARE NOT TO BE USED BY THE PROJECT OWNER OR ANY OTHER ENTITY ON ANY OTHER PROJECTS OR FOR ANY EXTENSIONS, ADDITIONS OR ALTERATIONS TO THE ORIGINAL PROJECT EXCEPT BY WRITTEN AUTHORIZATION AND PERMISSION FROM AND AGREEMENT WITH THIS ARCHITECT.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.

CONTRACTOR MUST COMPLY WITH THE RULES AND REGULATIONS OF AGENCIES WITHIN THE JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION, SAFETY AND SANITARY LAWS, CODES, ORDINANCES AND REGULATIONS. ALL FEES, TAXES, PERMITS, APPLICATIONS AND NOTICES OF INSPECTION AND THE FILING OF ALL WORK WITH GOVERNMENTAL AGENCIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN ACCORDANCE WITH THE BEST PRACTICES OF THOSE TRADES INVOLVED, AND IN COMPLIANCE WITH BUILDING REGULATIONS AND/OR GOVERNMENTAL LAWS, ORDINANCES AND REGULATIONS CONCERNING THE USE OF UNION LABOR.

WORK SHALL BE PERFORMED IN A MANNER THAT WILL NOT DELAY THE TRADES INVOLVED THEREIN.

CONTRACTORS SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS AND SPECIFICATIONS TO THE TRADES UNDER THEIR JURISDICTION.

WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT.

MATERIALS SHALL BE NEW UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS NOTED OTHERWISE. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.

THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED UNLESS THE TERMS "EQUAL TO", "EQUIVALENT" OR "APPROVED EQUAL" ARE USED. THE ARCHITECT SHALL DETERMINE EQUALITY BASED ON INFORMATION SUBMITTED BY THE CONTRACTOR.

CONTRACTOR AND MATERIALS SHALL BE GUARANTEED AGAINST DEFECTS FOR A PERIOD OF AT LEAST ONE (1) YEAR FROM APPROVAL FOR FINAL PAYMENT.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING REQUIRED FOR THEIR WORK.

CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATION OF SITE MATERIALS OR RUBBISH. PREMISES TO BE KEPT CLEAN DAILY OF RELATED CONSTRUCTION DEBRIS. AT THE COMPLETION OF THE WORK, LEAVE THE JOB SITE FREE OF ALL MATERIALS AND BROOM CLEAN.

NOT SCALE DRAWINGS: DIMENSIONS SHALL GOVERN. LARGER SCALE DRAWINGS SHALL GOVERN SMALLER SCALE.

PROTECT ALL AREAS WHERE FLOOR IS NOT LEVEL OR TRUE PRIOR TO THE INSTALLATION OF FLOORING OR CARPETING.

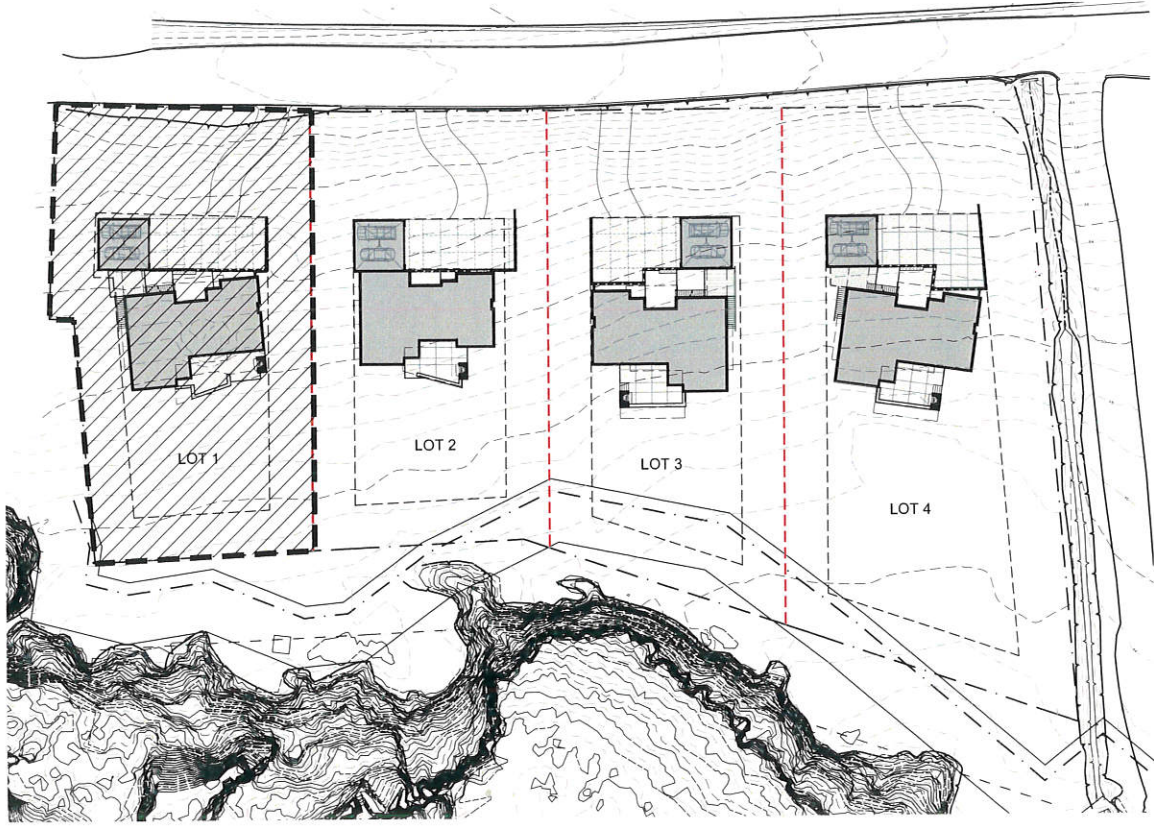
ENSURE PROPER AND ADEQUATE BLOCKING. ALL BLOCKING FOR CABINET WORK SHALL BE THE RESPONSIBILITY OF THE CABINET CONTRACTOR.

UPON COMPLETION OF THE WORK THE CONTRACTOR SHALL WALK THROUGH WITH THE ARCHITECT AND COMPLETE A "PUNCH LIST" OF CORRECTIONS AND UNSATISFACTORY WORK. UNLESS OTHERWISE NOTED, FINAL PAYMENT WILL BE CONTINGENT UPON THE COMPLETION OF THESE ITEMS.

ANY CHANGE WHICH RESULTS IN EXTRA COST SHALL NOT PROCEED WITHOUT WRITTEN AUTHORIZATION OF THE OWNER AND THE ARCHITECT.

THE DESIGN, ADEQUACY, AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS ETC. IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND HAS NOT BEEN CONSIDERED BY THE ARCHITECT OR ENGINEER. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE THROUGHOUT CONSTRUCTION.

ANY AMBIGUITIES, DISCREPANCIES, OR CONFLICTS DISCOVERED THROUGH THE USE OF THESE DRAWINGS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.



VICINITY MAP  
NTS

**PROPERTY SUMMARY**

LOT: 1

APN: 031086230  
PARCEL ID: T.B.D.  
CITY NAME: MOSS BEACH (UNINC)  
ZIP CODE: 94038  
MITIGATION FEE AREA: MIDCOAST URBAN

ZONING: RM-CZ/DR/CD  
MIDCOAST LCP

Maximum Building Height: 28'  
Parcel SF: 23,413 SF  
Maximum Floor Building Area: 6,200 SF.

SQUARE FOOTAGE SUMMARY	
LOWER LEVEL (GROSS)	1763#
MAIN LEVEL (GROSS)	2234#
TOTAL FLOOR AREA (GROSS)	3997#
GARAGE (GROSS)	576#
ROOF ACCESS (CATWALK)	233#
COVERED ENTRY PATIO	128#
COVERED GARAGE DECK	66#
COVERED REAR DECK	316#
ELEVATED DECKS	
ENTRY DECK	179#
GARAGE DECK	217#
REAR DECK	553#

**ARCHITECT**

**PDC**  
**PEARSON**  
**DESIGN GROUP**

102 NORTH BROADWAY AVE.  
BOZEMAN, MT 59715  
OFFICE: 406.587.1997 FAX: 406.587.0311  
WWW.PEARSONDESIGNGROUP.COM

**ISSUE DATE**

**COUNTY COASTSIDE  
DESIGN REVIEW SET**

**OCTOBER 12, 2017**



**SITE PLAN**

EXISTING 5 FT. CONTOURS	----- 7565
EXISTING 1 FT. CONTOURS	----- 32'-0"
NEW CONTOURS	----- 32'-0"
PROPERTY LINE	-----
EASEMENT, SETBACK OR ENVELOPE	-----
PROPOSED NEW, PROPERTY LOT LINE	-----
EXISTING, PROPERTY LOT LINE	-----
EXISTING TREE (TO REMAIN)	-----
EXISTING TREE DRIPLINE	-----
14'-0" WIDE PERVIOUS PAVING DRIVEWAY (W/ "TWO-TRACK" VEGETATION STRIP)	-----
PERVIOUS PAVING COURTYARD (PARKING)	-----
RE-VEGETATED NATIVE GRASS MEADOW	-----
PROTECTED GRASSLANDS, ZONE A	-----
PROTECTED GRASSLANDS, ZONE B	-----
100' BUFFER FROM LEPTOSIPHON	-----

- GENERAL SITE NOTES**
1. GRADING NOTES & SPOT ELEVATIONS, SEE CIVIL DRAWINGS
  2. UTILITY AND LOCATION INFORMATION, SEE CIVIL DRAWINGS
  3. AREA OF DISTURBANCE TO BE MINIMIZED BY CONTRACTOR
  4. SPECIFIC TREE REMOVAL SPECIFICATIONS, SEE LANDSCAPE
  5. RETAINING WALLS, TERRACES, AND FENCES, SEE LANDSCAPE FOR LOCATION & APPEARANCE

ELEVATION  
 0'-0" = 54'-9"  
 LOWER LEVEL ELEVATION  
 0'-3" = 55'-0"  
 GARAGE FLOOR ELEVATION  
 11'-3" = 66'-0"  
 MAIN LEVEL ELEVATION  
 11'-3" = 66'-0"

**MOSS BEACH - LOT 1**  
 VALLEMAR ST. # JULIANA AVE.

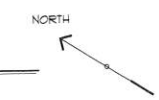
COASTSIDE DESIGN  
 REVIEW APPLICATION

DRAWING  
 SITE PLAN  
 PROJECT NUMBER: 1507  
 DATE: OCTOBER 12, 2017  
 DESIGN REVIEW SET  
 SHEET NO.

**A1.1**

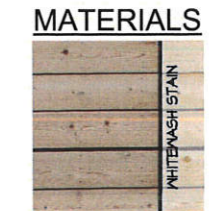
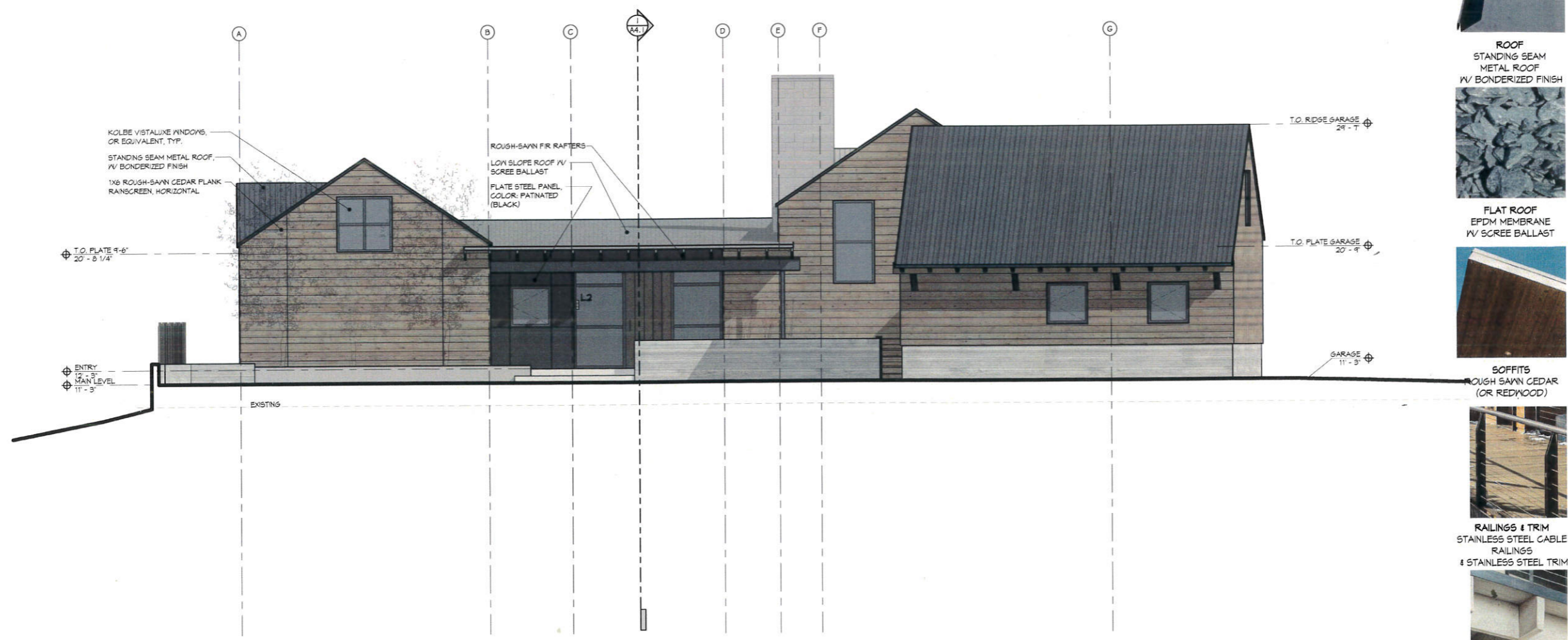


**SITE PLAN - LOT 1**  
 SCALE: 1/8"=1'-0"





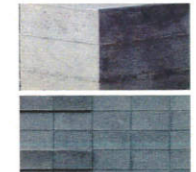
**MOSS BEACH - LOT 1**  
 VALLEMAR ST. & JULIANNA AVE.



**SIDING**  
 1X6 ROUGH-SAWN CEDAR, PLANK W/ REVEAL EVERY THIRD BOARD  
 (NATURAL WEATHERING STAIN, & WHITEWASH STAIN)



**SIDING**  
 PLATE STEEL (BLACK PATINA)



**WALLS**  
 BOARD-FORMED CONCRETE (CMU VENEER CHIMNEY)



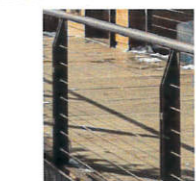
**ROOF**  
 STANDING SEAM METAL ROOF W/ BONDERIZED FINISH



**FLAT ROOF**  
 EPDM MEMBRANE W/ SCREE BALLAST



**SOFFITS**  
 ROUGH SAWN CEDAR (OR REDWOOD)



**RAILINGS & TRIM**  
 STAINLESS STEEL CABLE RAILINGS & STAINLESS STEEL TRIM



**RAFTERS**  
 ROUGH SAWN FIR

REVISION NO.	DATE

COASTSIDE DESIGN  
 REVIEW APPLICATION

DRAWING  
 ELEVATIONS

PROJECT NUMBER 1507  
 DATE OCTOBER 12, 2017

DESIGN REVIEW SET

SHEET NO.

**A3.1**

**1 NORTH ELEVATION**  
 1/4" = 1'-0"



**MATERIALS**



**SIDING**  
1X8 ROUGH-SAWN CEDAR,  
PLANK W/ REVEAL EVERY  
THIRD BOARD  
(NATURAL WEATHERING STAIN,  
& WHITEWASH STAIN)



**SIDING**  
PLATE STEEL (BLACK PATINA)



**WALLS**  
BOARD-FORMED CONCRETE  
(GMU VENEER CHIMNEY)



**ROOF**  
STANDING SEAM  
METAL ROOF  
W/ BONDERIZED FINISH



**FLAT ROOF**  
EPDM MEMBRANE  
W/ SCREE BALLAST



**SOFFITS**  
ROUGH SAWN CEDAR  
(OR REDWOOD)



**RAILINGS & TRIM**  
STAINLESS STEEL CABLE  
RAILINGS  
& STAINLESS STEEL TRIM



**RAFTERS**  
ROUGH SAWN FIR

**MOSS BEACH - LOT 1**  
VALLEMAR ST. & JULIANNA AVE.



**1 EAST ELEVATION**  
1/4" = 1'-0"

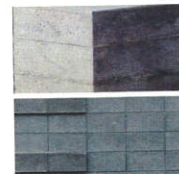
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NO.	DATE
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DRAWING: ELEVATIONS	
PROJECT NUMBER:	1507
DATE:	OCTOBER 12, 2017
DESIGN REVIEW SET	
SHEET NO.	
<b>A3.2</b>	



**SIDING**  
 1X6 ROUGH-SAWN CEDAR, PLANK 1/4" REVEAL EVERY THIRD BOARD  
 (NATURAL WEATHERING STAIN, & WHITEWASH STAIN)



**SIDING**  
 PLATE STEEL (BLACK PATINA)



**WALLS**  
 BOARD-FORMED CONCRETE (CMU VENEER CHIMNEY)



**ROOF**  
 STANDING SEAM METAL ROOF 1/4" BONDERIZED FINISH



**FLAT ROOF**  
 EPDM MEMBRANE 1/4" SCREE BALLAST



**SOFFITS**  
 ROUGH SAWN CEDAR (OR REDWOOD)



**RAILINGS & TRIM**  
 STAINLESS STEEL CABLE RAILINGS & STAINLESS STEEL TRIM



**RAFTERS**  
 ROUGH SAWN FIR

**MOSS BEACH - LOT 1**  
 VALLEMAR ST. & JULIANNA AVE.

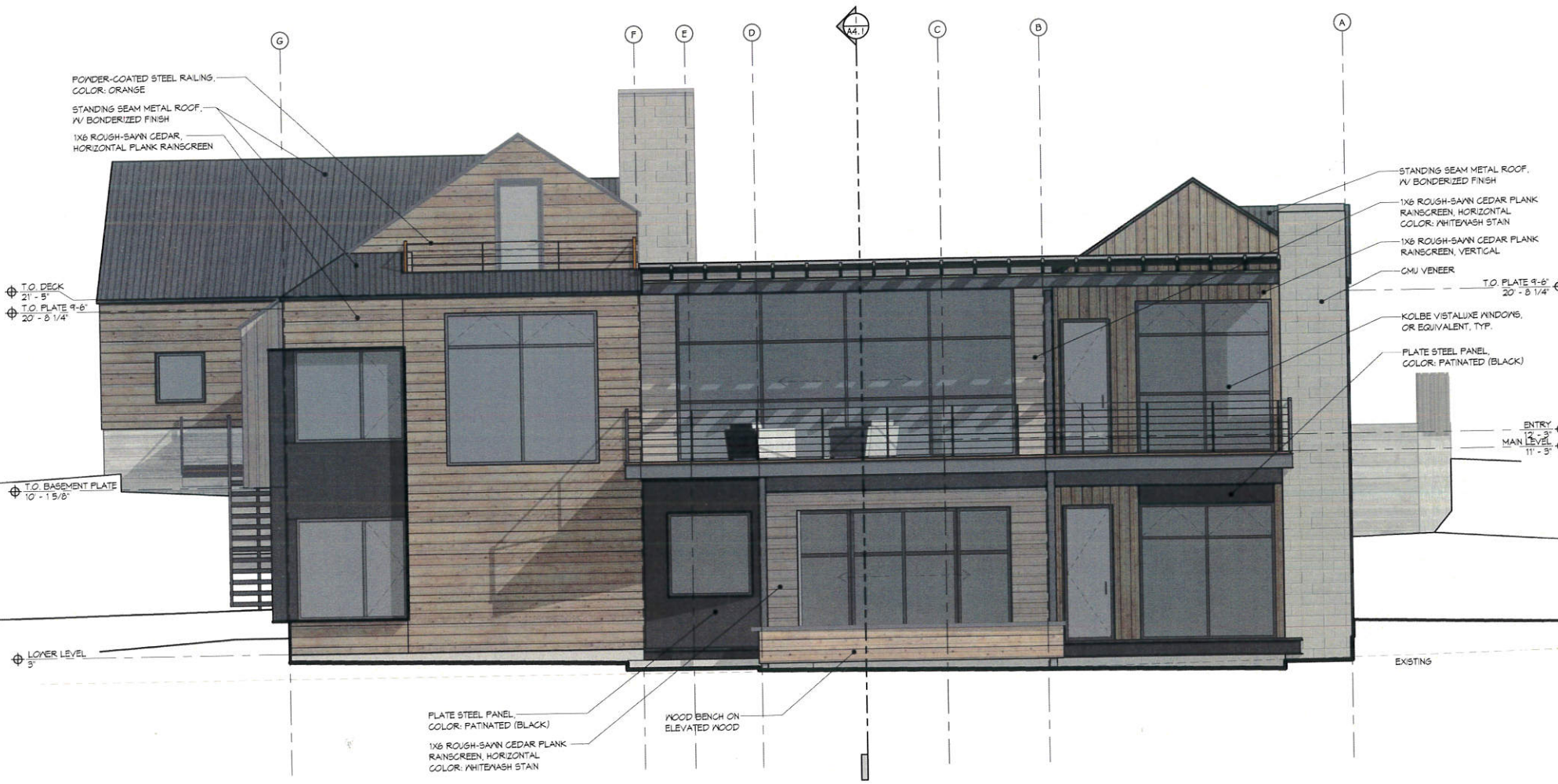
REVISION	
NO.	DATE

COASTSIDE DESIGN  
 REVIEW APPLICATION

DRAWING:  
 ELEVATIONS

PROJECT NUMBER: 1507  
 DATE: OCTOBER 12, 2017  
 DESIGN REVIEW SET  
 SHEET NO.

**A3.3**



**1 SOUTH ELEVATION**  
 1/4" = 1'-0"



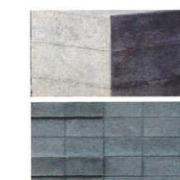
**MATERIALS**



**SIDING**  
1X6 ROUGH-SAWN CEDAR,  
PLANK W/ REVEAL EVERY  
THIRD BOARD  
(NATURAL WEATHERING STAIN,  
& WHITWASH STAIN)



**SIDING**  
PLATE STEEL (BLACK PATINA)



**WALLS**  
BOARD-FORMED CONCRETE  
(CMU VENEER CHIMNEY)



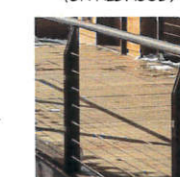
**ROOF**  
STANDING SEAM  
METAL ROOF  
W/ BONDERIZED FINISH



**FLAT ROOF**  
EPDM MEMBRANE  
W/ SCREE BALLAST



**SOFFITS**  
ROUGH SAWN CEDAR  
(OR REDWOOD)



**RAILINGS & TRIM**  
STAINLESS STEEL CABLE  
RAILINGS  
& STAINLESS STEEL TRIM



**RAFTERS**  
ROUGH SAWN FIR

**MOSS BEACH - LOT 1**  
VALLEMAR ST. & JULIANNA AVE.

REVISION	
NO.	DATE

COASTSIDE DESIGN  
REVIEW APPLICATION

DRAWING:  
ELEVATIONS

PROJECT NUMBER: 1507  
DATE: OCTOBER 12, 2017  
DESIGN REVIEW SET  
SHEET NO.

**A3.4**



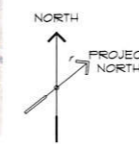
**1 WEST ELEVATION**  
1/4" = 1'-0"



**INDEX OF DRAWINGS**

**ARCHITECTURAL**

- COVER VICINITY MAP & PROPERTY SUMMARY
- A01 AREA PLAN CALCULATIONS
- A11 SITE PLAN
- A21 LOWER LEVEL PLAN
- A22 MAIN LEVEL PLAN
- A23 ROOF ACCESS & ROOF PLAN
- A31 EXTERIOR ELEVATIONS
- A32 EXTERIOR ELEVATIONS
- A33 EXTERIOR ELEVATIONS
- A34 EXTERIOR ELEVATIONS
- A41 BUILDING CROSS-SECTION
- A42 BUILDING CROSS-SECTION



LOT 2

# MOSS BEACH - LOT 2

## VALLEMAR ST. & JULIANA AVE.

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ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN ACCORDANCE WITH THE BEST PRACTICES OF THOSE TRADES INVOLVED, AND IN ACCORDANCE WITH BUILDING REGULATIONS AND/OR GOVERNMENTAL LAWS, ORDINANCES, AND/OR CODES CONCERNING THE USE OF UNION LABOR.

ALL WORK SHALL BE DONE IN A MANNER THAT WILL NOT DELAY THE TRADES INVOLVED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS AND SPECIFICATIONS TO THE TRADES UNDER THEIR JURISDICTION.

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES AND REGULATIONS.

ALL MATERIALS SHALL BE NEW UNLESS NOTED OTHERWISE. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AND SHALL BE GUARANTEED AGAINST DEFECTS FOR A PERIOD OF AT LEAST ONE (1) YEAR FROM APPROVAL FOR FINAL PAYMENT.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING REQUIRED TO COMPLETE THE WORK.

THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATION OF DEBRIS OR RUBBISH. PREMISES TO BE SWEEPED CLEAN DAILY OF RELATED TO THE WORK. AT THE COMPLETION OF THE WORK, LEAVE THE JOB SITE CLEAN AND FREE OF ALL MATERIALS AND DEBRIS.

ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS SHALL GOVERN. LARGER SCALE DRAWINGS SHALL GOVERN OVER SMALLER SCALE.

ALL AREAS WHERE FLOOR IS NOT LEVEL OR TRUE PRIOR TO THE INSTALLATION OF FLOORING OR CARPETING.

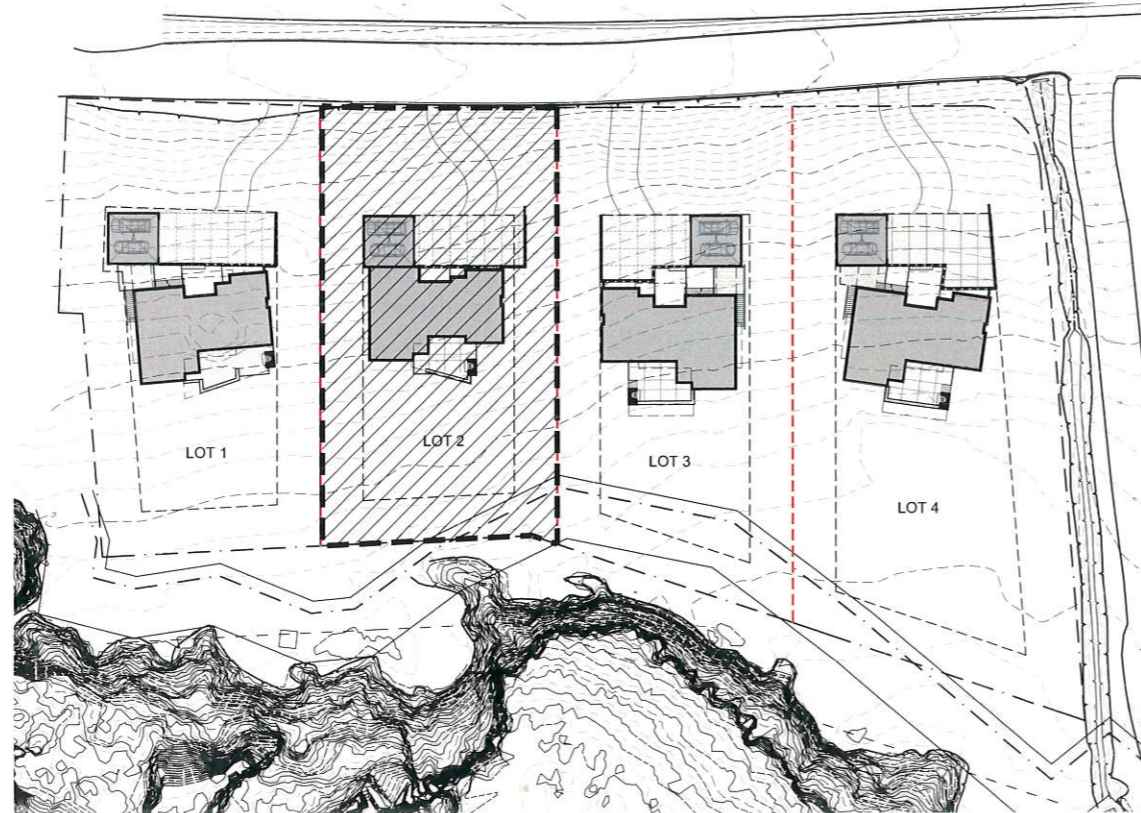
THE CONTRACTOR SHALL PROVIDE PROPER AND ADEQUATE BLOCKING. ALL BLOCKING FOR CABINET WORK SHALL BE THE RESPONSIBILITY OF THE CABINET CONTRACTOR.

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THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ADEQUACY, AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY STRUCTURES, ETC. IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND NOT THE ARCHITECT OR ENGINEER. THE ARCHITECT OR ENGINEER SHALL BE RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE THROUGHOUT CONSTRUCTION.

ALL DISCREPANCIES, DISCREPANCIES, OR CONFLICTS DISCOVERED THROUGH THE USE OF THESE DRAWINGS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.



VICINITY MAP  
NOTES

**PROPERTY SUMMARY**

LOT: 2

APN: 037086230  
 PARCEL ID: T.B.D.  
 CITY NAME: MOSS BEACH (UNINC)  
 ZIP CODE: 94038  
 MITIGATION FEE AREA: MIDCOAST URBAN

ZONING: RM-CZ/DR/CD  
 MIDCOAST LCP

Maximum Building Height: 28'

Parcel SF: 22,220 SF  
 Maximum Floor Building Area: 6,200 SF.

SQUARE FOOTAGE SUMMARY	
LOWER LEVEL (GROSS)	1862#
MAIN LEVEL (GROSS)	2132#
TOTAL FLOOR AREA (GROSS)	3994#
GARAGE (GROSS)	586#
GARAGE STRG/ ROOF ACCESS (GROSS)	461#
COVERED ENTRY PATIO	188#
COVERED REAR DECK	215#
ELEVATED DECKS	
REAR DECK	420#

**ARCHITECT**



102 NORTH BROADWAY AVE.  
 BOZEMAN, MT 59715  
 OFFICE: 406.587.1997 FAX: 406.587.0311  
 WWW.PEARSONDESIGNGROUP.COM

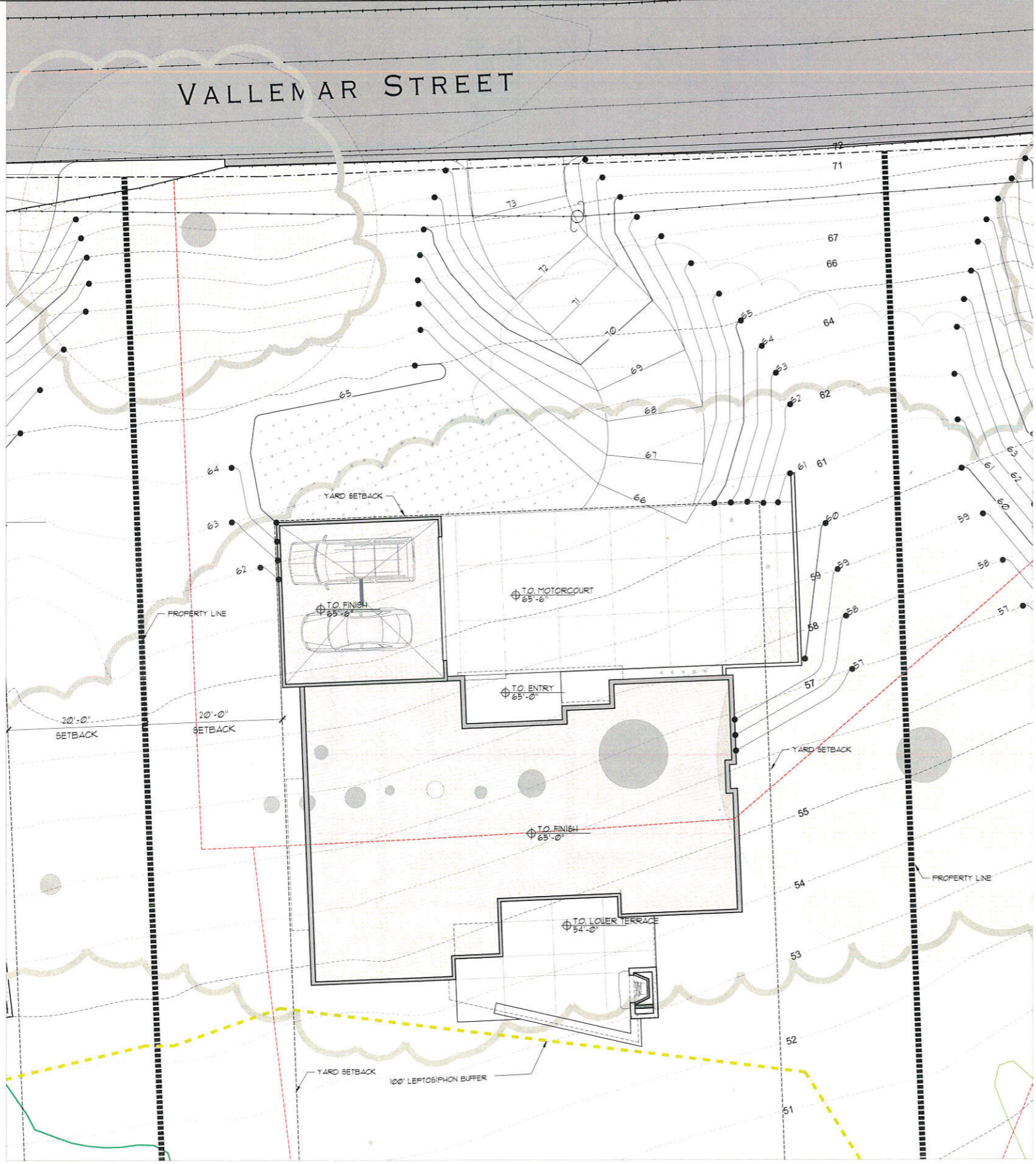
**ISSUE DATE**

COUNTY COASTSIDE  
 DESIGN REVIEW SET

OCTOBER 12, 2017

**ATTACHMENT K**





VALLEMAR STREET

**SITE LEGEND**

EXISTING 5 FT. CONTOURS	----- 7565 -----
EXISTING 1 FT. CONTOURS	----- 92'-0" -----
NEW CONTOURS	----- 92'-0" -----
PROPERTY LINE	----- 92'-0" -----
EASEMENT, SETBACK OR ENVELOPE	----- 92'-0" -----
PROPOSED NEW PROPERTY LOT LINE	----- 92'-0" -----
EXISTING PROPERTY LOT LINE	----- 92'-0" -----
EXISTING TREE (TO REMAIN)	----- 92'-0" -----
EXISTING TREE DRIPLINE	----- 92'-0" -----
14'-0" WIDE PERVIOUS PAVING DRIVEWAY (W/ "TWO-TRACK" VEGETATION STRIP)	----- 92'-0" -----
PERVIOUS PAVING COURTYARD (PARKING)	----- 92'-0" -----
RE-VEGETATED NATIVE GRASS MEADOW	----- 92'-0" -----
PROTECTED GRASSLANDS, ZONE A	----- 92'-0" -----
PROTECTED GRASSLANDS, ZONE B	----- 92'-0" -----
100' BUFFER FROM LEPTOSIPHON	----- 92'-0" -----

**GENERAL SITE NOTES**

1. GRADING NOTES & SPOT ELEVATIONS, SEE CIVIL DRAWINGS
2. UTILITY AND LOCATION INFORMATION, SEE CIVIL DRAWINGS
3. AREA OF DISTURBANCE TO BE MINIMIZED BY CONTRACTOR
4. SPECIFIC TREE REMOVAL SPECIFICATIONS, SEE LANDSCAPE
5. RETAINING WALLS, TERRACES, AND FENCES, SEE LANDSCAPE FOR LOCATION & APPEARANCE

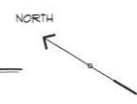
ELEVATION  
 0'-0" = 53'-9"  
 LOWER LEVEL ELEVATION  
 0'-3" = 54'-0"  
 GARAGE FLOOR ELEVATION  
 11'-9" = 65'-6"  
 MAIN LEVEL ELEVATION  
 11'-3" = 65'-0"

**MOSS BEACH - LOT 2**  
 VALLEMAR ST. & JULIANA AVE.

COASTSIDE DESIGN  
 REVIEW APPLICATION

DRAWING  
 SITE PLAN  
 PROJECT NUMBER 1507  
 DATE OCTOBER 12, 2017  
 DESIGN REVIEW SET  
 SHEET NO.

**A1.1**





**MATERIALS**



**SIDING**  
1X8 ROUGH-SAWN CEDAR,  
PLANK IV REVEAL EVERY  
THIRD BOARD  
(NATURAL WEATHERING STAIN,  
4 WHITENASH STAIN)



**SIDING**  
PLATE STEEL (BLACK PATINA)



**WALLS**  
BOARD-FORMED CONCRETE  
(CMU VENEER CHIMNEY)



**ROOF**  
STANDING SEAM  
METAL ROOF  
IV BONDERIZED FINISH



**FLAT ROOF**  
EPDM MEMBRANE  
IV SCREE BALLAST



**SOFFITS**  
ROUGH SAWN CEDAR  
(OR REDWOOD)



**RAILINGS & TRIM**  
STAINLESS STEEL CABLE  
RAILINGS  
& STAINLESS STEEL TRIM



**RAFTERS**  
ROUGH SAWN FIR

**MOSS BEACH - LOT 2**  
VALLEMAR ST. & JULIANNA AVE.

REVISION	
NO.	DATE

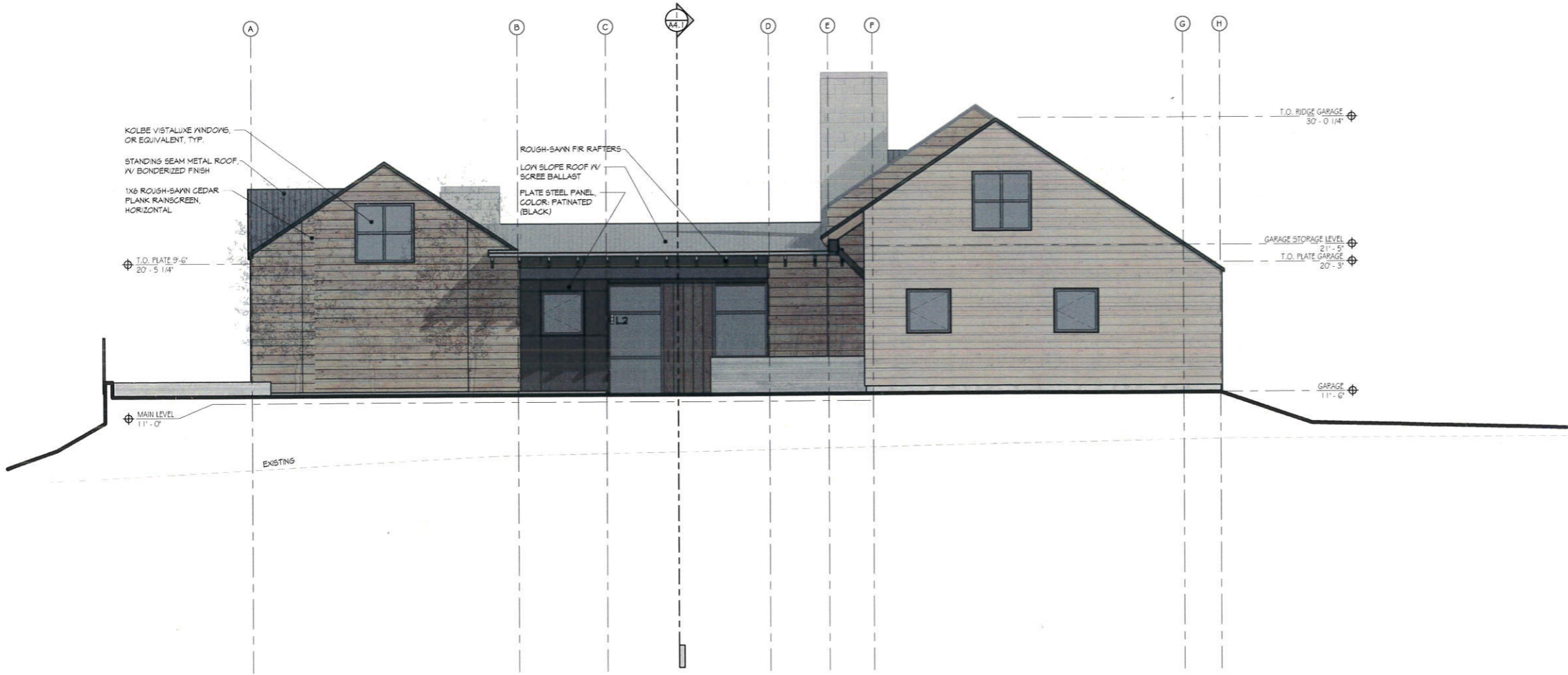
COASTSIDE DESIGN  
REVIEW APPLICATION

DRAWING  
ELEVATIONS

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SHEET NO.

**A3.1**



**1 NORTH ELEVATION**  
1/4" = 1'-0"



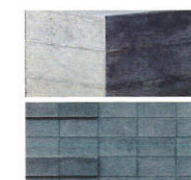
**MATERIALS**



**SIDING**  
1x8 ROUGH-SAWN CEDAR,  
FLANK 1/4" REVEAL EVERY  
THIRD BOARD  
(NATURAL WEATHERING STAIN,  
& WHITENASH STAIN)



**SIDING**  
PLATE STEEL (BLACK PATINA)



**WALLS**  
BOARD-FORMED CONCRETE  
(CMU VENEER CHIMNEY)



**ROOF**  
STANDING SEAM  
METAL ROOF  
1/4" BONDERIZED FINISH



**FLAT ROOF**  
EPDM MEMBRANE  
1/4" SCREE BALLAST



**SOFFITS**  
ROUGH SAWN CEDAR  
(OR REDWOOD)



**RAILINGS & TRIM**  
STAINLESS STEEL CABLE  
RAILINGS  
& STAINLESS STEEL TRIM



**RAFTERS**  
ROUGH SAWN FIR

**MOSS BEACH - LOT 2**  
VALLEMAR ST. & JULIANNA AVE.



**1 EAST ELEVATION**  
1/4" = 1'-0"

REVISION	
NO.	DATE
COASTSIDE DESIGN REVIEW APPLICATION	
DRAWING: ELEVATIONS	
PROJECT NUMBER	1507
DATE	OCTOBER 12, 2017
DESIGN REVIEW SET	
SHEET NO	
<b>A3.2</b>	



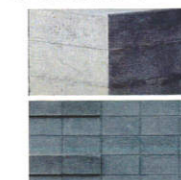
**MATERIALS**



**SIDING**  
1x6 ROUGH-SAWN CEDAR,  
PLANK 1/4" REVEAL EVERY  
THIRD BOARD  
(NATURAL WEATHERING STAIN,  
& WHITEWASH STAIN)



**SIDING**  
PLATE STEEL (BLACK PATINA)



**WALLS**  
BOARD-FORMED CONCRETE  
(CMU VENEER CHIMNEY)



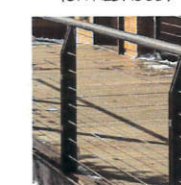
**ROOF**  
STANDING SEAM  
METAL ROOF  
1/4" BONDERIZED FINISH



**FLAT ROOF**  
EPDM MEMBRANE  
1/4" SCREE BALLAST



**SOFFITS**  
ROUGH SAWN CEDAR  
(OR REDWOOD)



**RAILINGS & TRIM**  
STAINLESS STEEL CABLE  
RAILINGS  
& STAINLESS STEEL TRIM



**RAFTERS**  
ROUGH SAWN FIR

**MOSS BEACH - LOT 2**  
VALEMAR ST. & JULIANNA AVE.

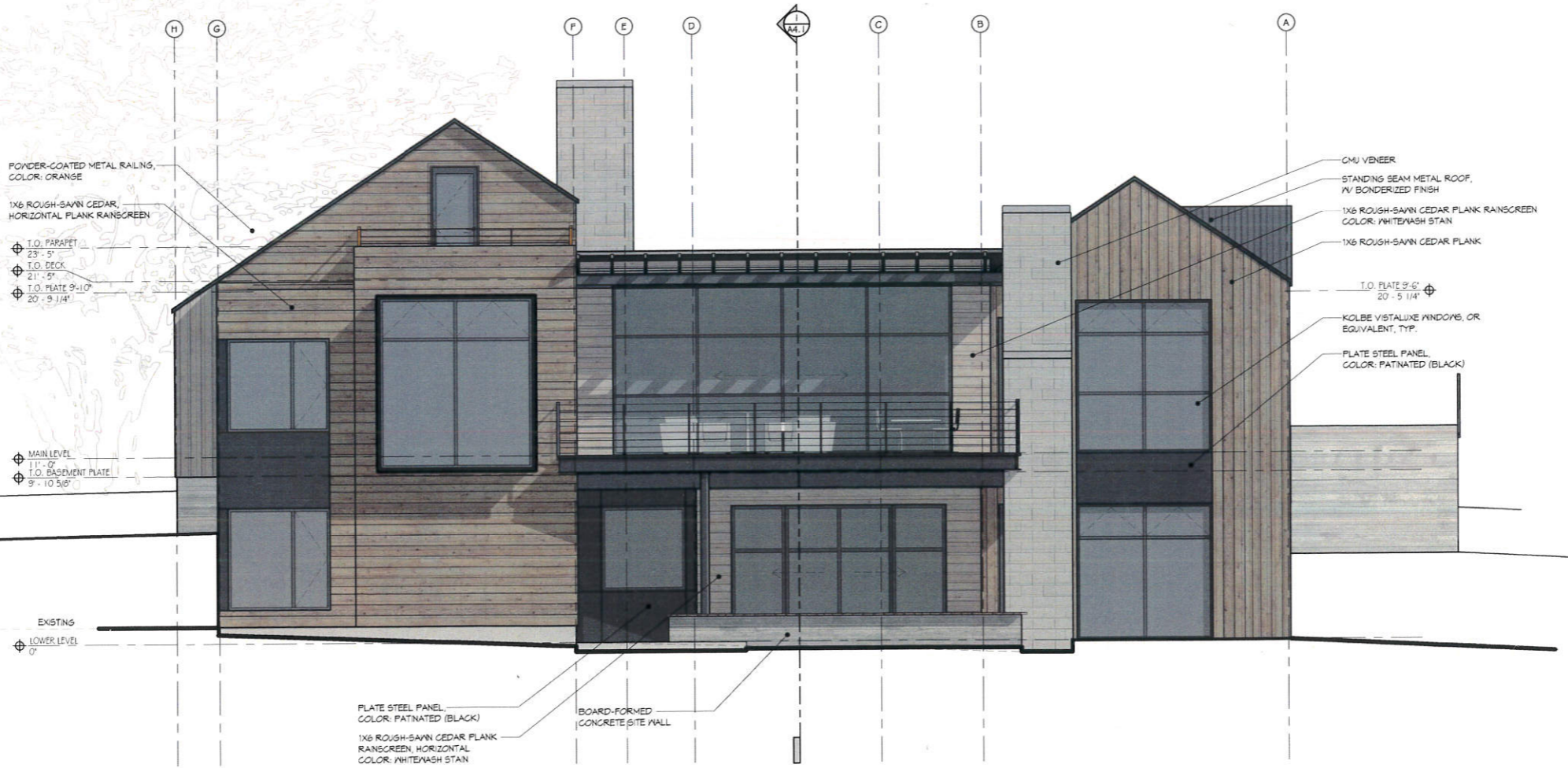
REVISION	
NO.	DATE

COASTSIDE DESIGN  
REVIEW APPLICATION

DRAWING  
ELEVATIONS

PROJECT NUMBER: 1507  
DATE: OCTOBER 12, 2017  
DESIGN REVIEW SET

SHEET NO.  
**A3.3**



**1 SOUTH ELEVATION**  
1/4" = 1'-0"



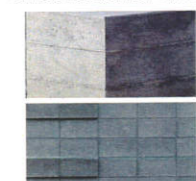
**MATERIALS**



**SIDING**  
1X6 ROUGH-SAWN CEDAR, PLANK W/ REVEAL EVERY THIRD BOARD (NATURAL WEATHERING STAIN, & WHITEWASH STAIN)



**SIDING**  
PLATE STEEL (BLACK PATINA)



**WALLS**  
BOARD-FORMED CONCRETE (CMU VENEER CHIMNEY)



**ROOF**  
STANDING SEAM METAL ROOF W/ BONDERIZED FINISH



**FLAT ROOF**  
EPDM MEMBRANE W/ SCREE BALLAST



**SOFFITS**  
ROUGH SAWN CEDAR (OR REDWOOD)

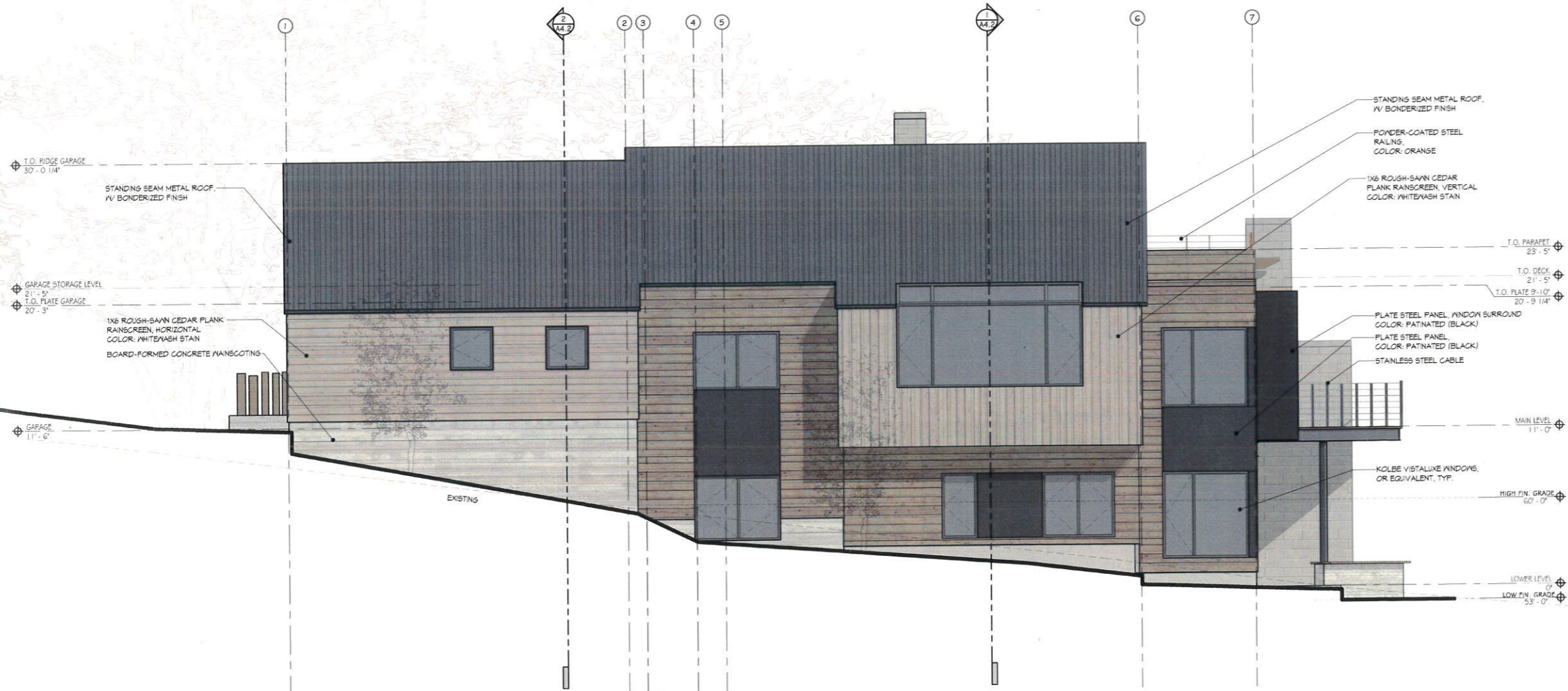


**RAILINGS & TRIM**  
STAINLESS STEEL CABLE RAILINGS & STAINLESS STEEL TRIM



**RAFTERS**  
ROUGH SAWN FIR

**MOSS BEACH - LOT 2**  
VALLEMAR ST. & JULIANNA AVE.



**1 WEST ELEVATION**  
1/4" = 1'-0"

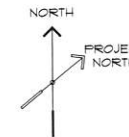
REVISION	
NO.	DATE

COASTSIDE DESIGN  
REVIEW APPLICATION

DRAWING:  
ELEVATIONS

PROJECT NUMBER: 1507  
DATE: OCTOBER 12, 2017  
DESIGN REVIEW BY: [Signature]  
SHEET NO. **A3.4**





LOT 3

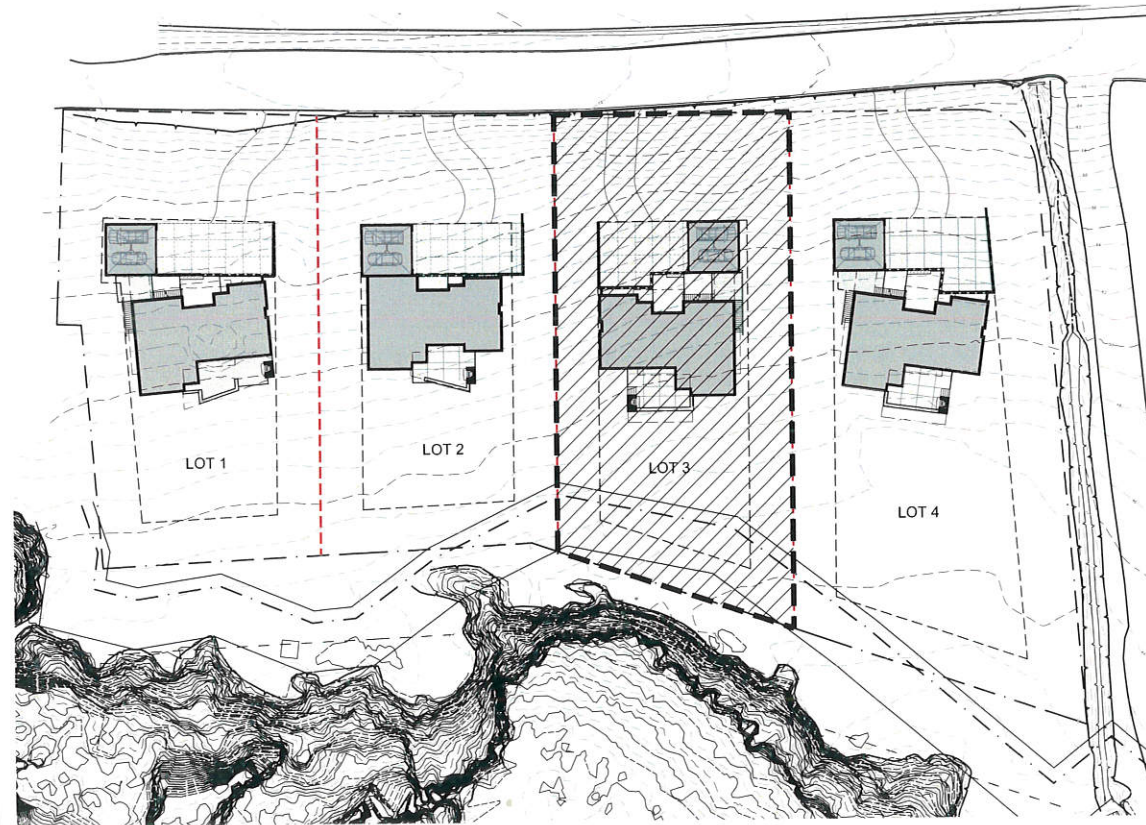
- ARCHITECTURAL**
- COVER VICINITY MAP & PROPERTY SUMMARY
  - A02 AREA PLAN CALCULATIONS
  - A11 SITE PLAN
  - A21 LOWER LEVEL PLAN
  - A22 MAIN LEVEL PLAN
  - A23 COURTYARD PLAN
  - A24 ROOF ACCESS & GARAGE ROOF PLAN
  - A25 ROOF PLAN
  - A31 EXTERIOR ELEVATIONS
  - A32 EXTERIOR ELEVATIONS
  - A33 EXTERIOR ELEVATIONS
  - A34 EXTERIOR ELEVATIONS
  - A41 BUILDING CROSS-SECTION
  - A42 BUILDING CROSS-SECTION

# MOSS BEACH - LOT 3

## VALLEMAR ST. & JULIANA AVE.

**GENERAL NOTES**

Drawings and specifications, as instruments of service, are the exclusive property of this architect. They are to be used only for the project and site for which they were prepared. They are not to be reproduced, copied, or used in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect. The architect shall not be responsible for any errors or omissions in these drawings or specifications, or for any consequences arising from their use. The contractor shall verify all dimensions and conditions shown on these drawings at the job site and shall notify the architect immediately of any discrepancies, omissions, and/or conflicts before proceeding with the work. The contractor must comply with the rules and regulations of agencies having jurisdiction and shall conform to all city, county, state, and federal construction, safety, and sanitary laws, codes, ordinances, and regulations, all fees, taxes, permits, applications and specifications of inspection, and the filing of all work with governmental agencies shall be the responsibility of the contractor. All work shall be performed by skilled and qualified workmen in accordance with the best practices of those trades involved, and in accordance with building regulations and/or governmental laws, codes, ordinances and regulations concerning the use of union labor. Trade shall proceed in a fashion that will not delay the trades following them. The contractor shall be responsible for the distribution of drawings and specifications to the trades under their jurisdiction. Work shall be erected and installed plumb, level, square, true and in proper alignment. Materials shall be new, unused and of the highest quality in every respect unless noted otherwise. Manufactured materials and equipment shall be installed per manufacturer's recommendations and instructions. There shall be no substitution of materials where a manufacturer is specified where the terms "equal to," "equivalent" or "approved equal" are used. The architect shall determine equality based on information provided by the contractor. Work and materials shall be guaranteed against defects for a period of at least one (1) year from approval for final payment. The contractor shall be responsible for all cutting and patching required during the work. The contractor shall at all times keep the premises free of accumulation of materials or rubbish; premises to be swept clean daily of related construction debris. At the completion of the work, leave the job site free of all materials and broom clean. Detail scale drawings & dimensions shall govern. Larger scale drawings shall govern smaller scale. In all areas where floor is not level or true prior to the installation of doors or carpeting. Ensure proper and adequate blocking. All blocking for cabinet work shall be the responsibility of the cabinet contractor. At completion of the work the contractor shall walk through with the architect and compile a "punch list" of corrections and unsatisfactory or incomplete work. Final payment will be contingent upon the completion of these items. Any change which results in extra cost shall not proceed without written authorization of the owner and the architect. The design, adequacy, and safety of erection bracing, shoring, temporary supports, etc. is the sole responsibility of the general contractor and has not been considered by the architect or engineer. The general contractor shall be responsible for the stability of the structure throughout construction. Any ambiguities, discrepancies, or conflicts discovered through the use of these drawings shall be reported immediately to the architect.



VICINITY MAP  
NTS

**PROPERTY SUMMARY**

LOT: 3

APN: 031086230  
 PARCEL ID: T.B.D.  
 CITY NAME: MOSS BEACH (UNINC)  
 ZIP CODE: 94038  
 MITIGATION FEE AREA: MIDCOAST URBAN

ZONING: RM-CZ/DR/CD  
 MIDCOAST LCP

Maximum Building Height: 28'

Parcel SF: 24,211 SF  
 Maximum Floor Building Area: 6,200 SF.

SQUARE FOOTAGE SUMMARY	
LOWER LEVEL (GROSS)	1,763#
MAIN LEVEL (GROSS)	2,234#
TOTAL FLOOR AREA (GROSS)	3,997#
GARAGE (GROSS)	576#
ROOF ACCESS (CATWALK)	239#
COVERED ENTRY PATIO	113#
COVERED GARAGE DECK	116#
COVERED REAR DECK	230#
ELEVATED DECKS	
ENTRY DECK	136#
GARAGE DECK	247#
REAR DECK	604#

**ARCHITECT**



102 NORTH BROADWAY AVE.  
 BOZEMAN, MT 59715  
 OFFICE: 406.587.1997 FAX: 406.587.0311  
 WWW.PEARSONDESIGNGROUP.COM

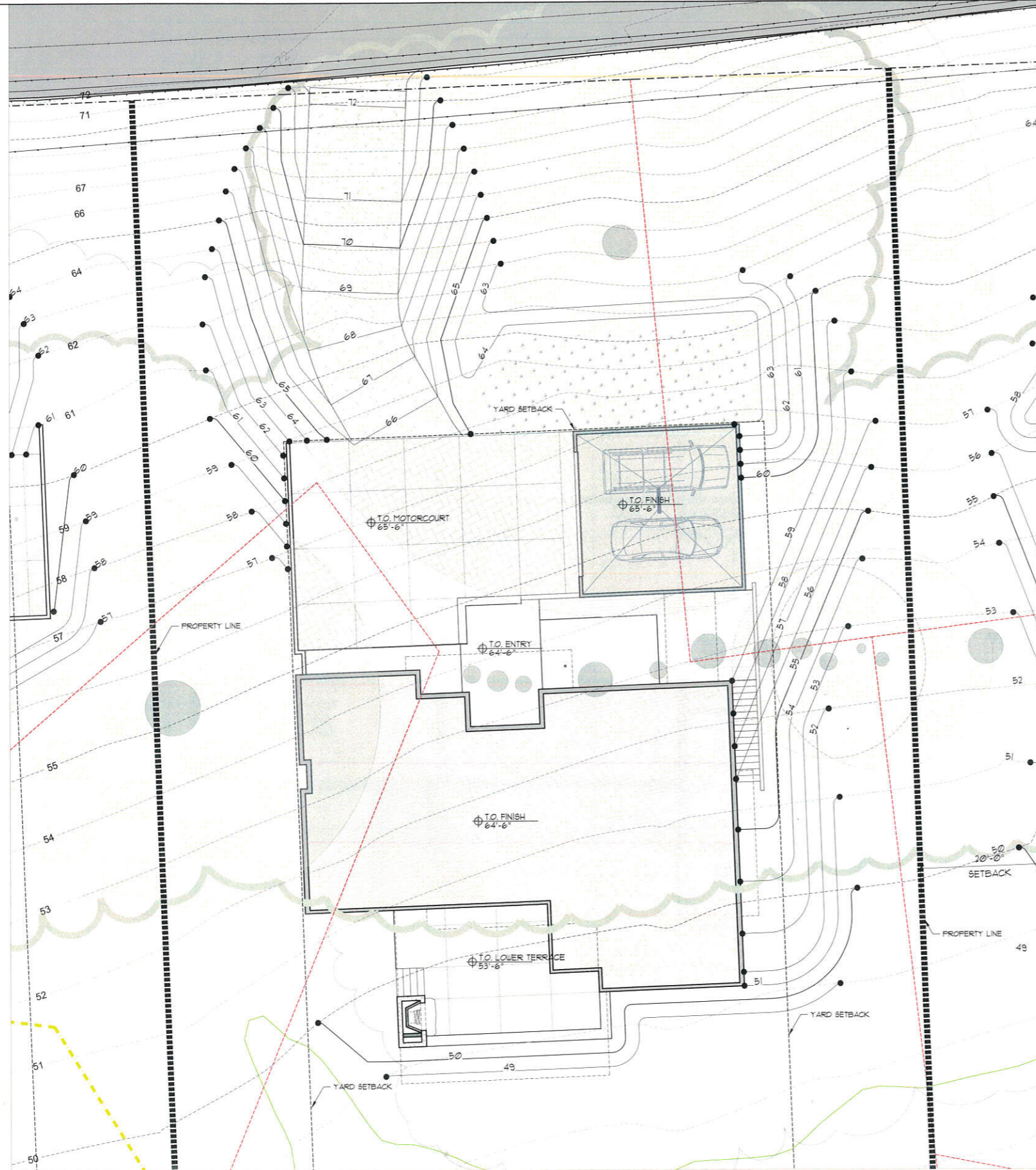
**ISSUE DATE**

**COUNTY COASTSIDE  
 DESIGN REVIEW SET**

**OCTOBER 12, 2017**

ATTACHMENT L





**SITE LEGEND**

EXISTING 5 FT. CONTOURS	----- 7565 -----
EXISTING 1 FT. CONTOURS	----- 1' -----
NEW CONTOURS	----- 1' -----
PROPERTY LINE	----- 1' -----
EASEMENT, SETBACK OR ENVELOPE	----- 1' -----
PROPOSED NEW PROPERTY LOT LINE	----- 1' -----
EXISTING PROPERTY LOT LINE	----- 1' -----
EXISTING TREE (TO REMAIN)	----- 1' -----
EXISTING TREE DRIPLINE	----- 1' -----
14'-0" WIDE PERVIOUS PAVING DRIVEWAY (W/ "TWO-TRACK" VEGETATION STRIP)	----- 1' -----
PERVIOUS PAVING COURTYARD (PARKING)	----- 1' -----
RE-VEGETATED NATIVE GRASS MEADOW	----- 1' -----
PROTECTED GRASSLANDS, ZONE A	----- 1' -----
PROTECTED GRASSLANDS, ZONE B	----- 1' -----
100' BUFFER FROM LEPTOSIPHON	----- 1' -----

**GENERAL SITE NOTES**

1. GRADING NOTES & SPOT ELEVATIONS, SEE CIVIL DRAWINGS
2. UTILITY AND LOCATION INFORMATION, SEE CIVIL DRAWINGS
3. AREA OF DISTURBANCE TO BE MINIMIZED BY CONTRACTOR.
4. SPECIFIC TREE REMOVAL SPECIFICATIONS, SEE LANDSCAPE
5. RETAINING WALLS, TERRACES, AND FENCES, SEE LANDSCAPE FOR LOCATION & APPEARANCE

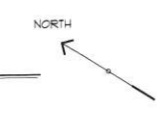
ELEVATION  
 0'-0" = 53'-3"  
 LOWER LEVEL ELEVATION  
 0'-3" = 53'-6"  
 GARAGE FLOOR ELEVATION  
 12'-3" = 65'-6"  
 MAIN LEVEL ELEVATION  
 11'-3" = 64'-6"

**MOSS BEACH - LOT 3**  
 VALLEMAR ST. & JULIANA AVE.

COASTSIDE DESIGN  
 REVIEW APPLICATION

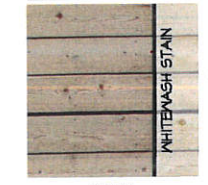
DRAWING  
 SITE PLAN  
 PROJECT NUMBER 1507  
 DATE OCTOBER 12, 2017  
 DESIGN REVIEW SET  
 SHEET NO.

**A1.1**





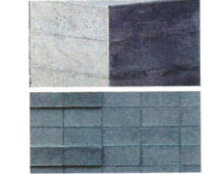
**MATERIALS**



**SIDING**  
1X6 ROUGH-SAWN CEDAR, PLANK 1/4" REVEAL EVERY THIRD BOARD (NATURAL WEATHERING STAIN, & WHITEWASH STAIN)



**SIDING**  
PLATE STEEL (BLACK PATINA)



**WALLS**  
BOARD-FORMED CONCRETE (CMU VENEER CHIMNEY)



**ROOF**  
STANDING SEAM METAL ROOF 1/4" BONDERIZED FINISH



**FLAT ROOF**  
EPDM MEMBRANE 1/4" SCREE BALLAST



**SOFFITS**  
ROUGH SAWN CEDAR (OR REDWOOD)

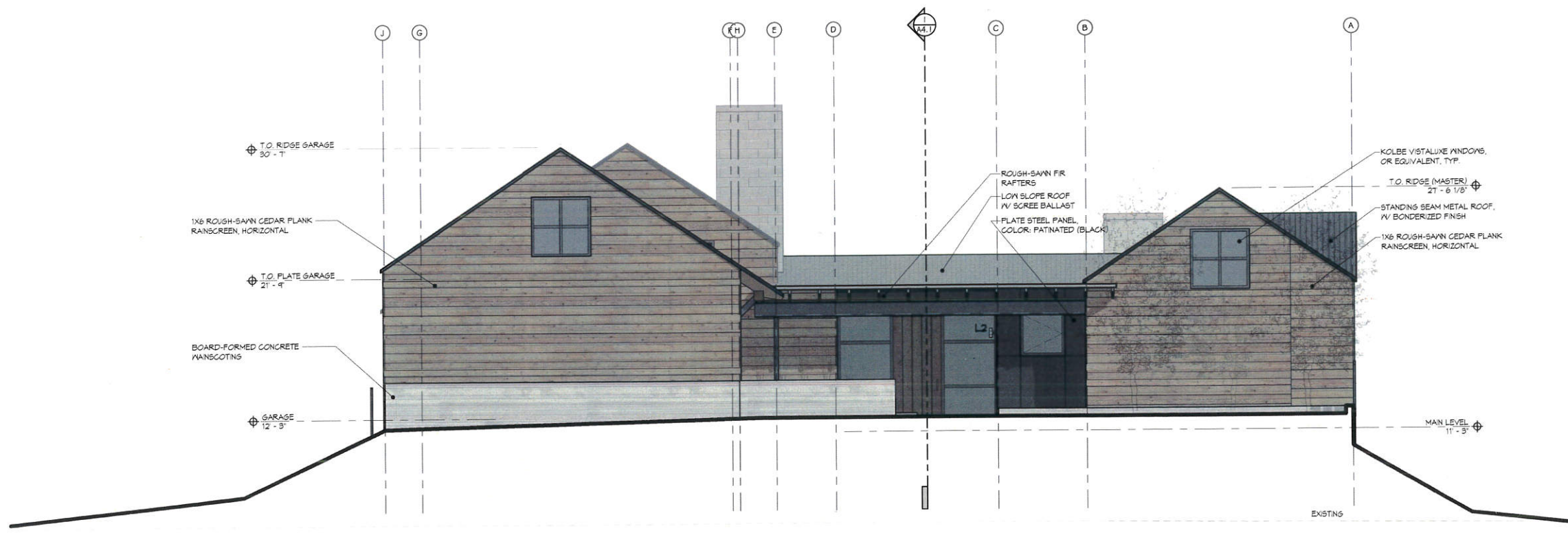


**RAILINGS & TRIM**  
STAINLESS STEEL CABLE RAILINGS & STAINLESS STEEL TRIM



**RAFTERS**  
ROUGH SAWN FIR

**MOSS BEACH - LOT 3**  
VALLEMAR ST. & JULIANNA AVE.



**1 NORTH ELEVATION**  
1/4" = 1'-0"

REVISION	
NO.	DATE

COASTSIDE DESIGN  
REVIEW APPLICATION

DRAWING  
ELEVATIONS

PROJECT NUMBER 1507  
DATE OCTOBER 12, 2017  
DESIGN REVIEW SET

SHEET NO.  
**A3.1**



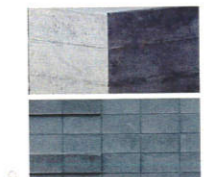
**MATERIALS**



**SIDING**  
1X6 ROUGH-SAWN CEDAR,  
PLANK W/ REVEAL EVERY  
THIRD BOARD  
(NATURAL WEATHERING STAIN,  
& WHITEWASH STAIN)



**SIDING**  
PLATE STEEL (BLACK PATINA)



**WALLS**  
BOARD-FORMED CONCRETE  
(CMU VENEER CHIMNEY)



**ROOF**  
STANDING SEAM  
METAL ROOF  
W/ BONDERIZED FINISH



**FLAT ROOF**  
EPDM MEMBRANE  
W/ SCREE BALLAST



**SOFFITS**  
ROUGH SAWN CEDAR  
(OR REDWOOD)

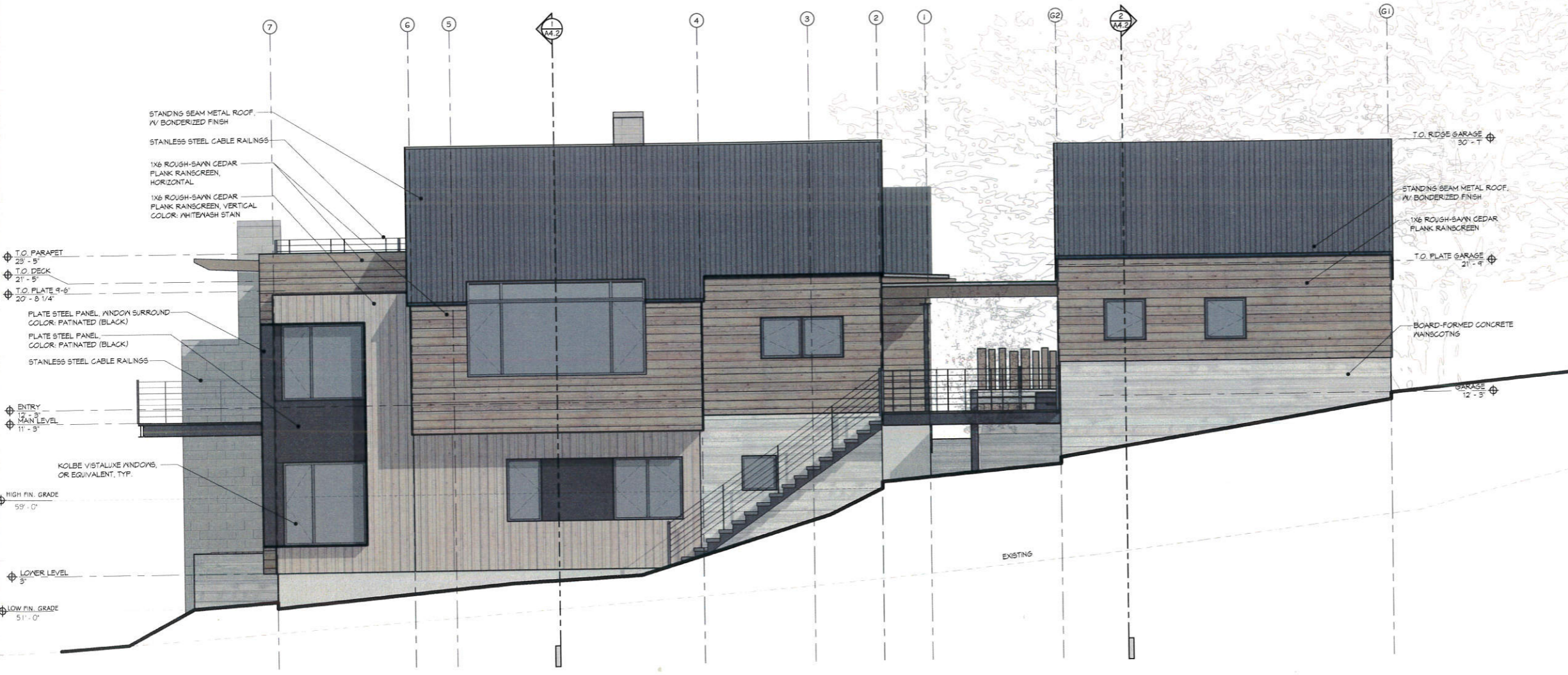


**RAILINGS & TRIM**  
STAINLESS STEEL CABLE  
RAILINGS  
& STAINLESS STEEL TRIM



**RAFTERS**  
ROUGH SAWN FIR

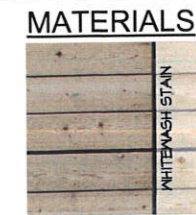
**MOSS BEACH - LOT 3**  
VALLEMAR ST. & JULIANNA AVE.



**1 EAST ELEVATION**  
1/4" = 1'-0"

REVISION	
NO.	DATE
COASTSIDE DESIGN REVIEW APPLICATION	
DRAWING ELEVATIONS	
PROJECT NUMBER	1507
DATE	OCTOBER 12, 2017
DESIGN REVIEW SET	
SHEET NO.	
<b>A3.2</b>	

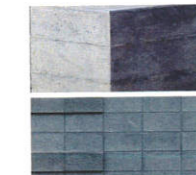




**SIDING**  
1X8 ROUGH-SAWN CEDAR,  
PLANK 1/4" REVEAL EVERY  
THIRD BOARD  
(NATURAL WEATHERING STAIN,  
4 WHITEWASH STAIN)



**SIDING**  
PLATE STEEL (BLACK PATINA)



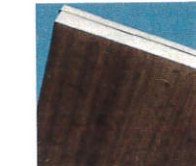
**WALLS**  
BOARD-FORMED CONCRETE  
(CMU VENEER CHIMNEY)



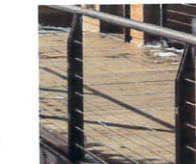
**ROOF**  
STANDING SEAM  
METAL ROOF  
1/4" BONDERIZED FINISH



**FLAT ROOF**  
EPDM MEMBRANE  
1/4" SCREE BALLAST



**SOFFITS**  
ROUGH SAWN CEDAR  
(OR REDWOOD)



**RAILINGS 4 TRIM**  
STAINLESS STEEL CABLE  
RAILINGS  
4 STAINLESS STEEL TRIM



**RAFTERS**  
ROUGH SAWN FIR

**MOSS BEACH - LOT 3**  
VALLEMAR ST. & JULIANNA AVE.

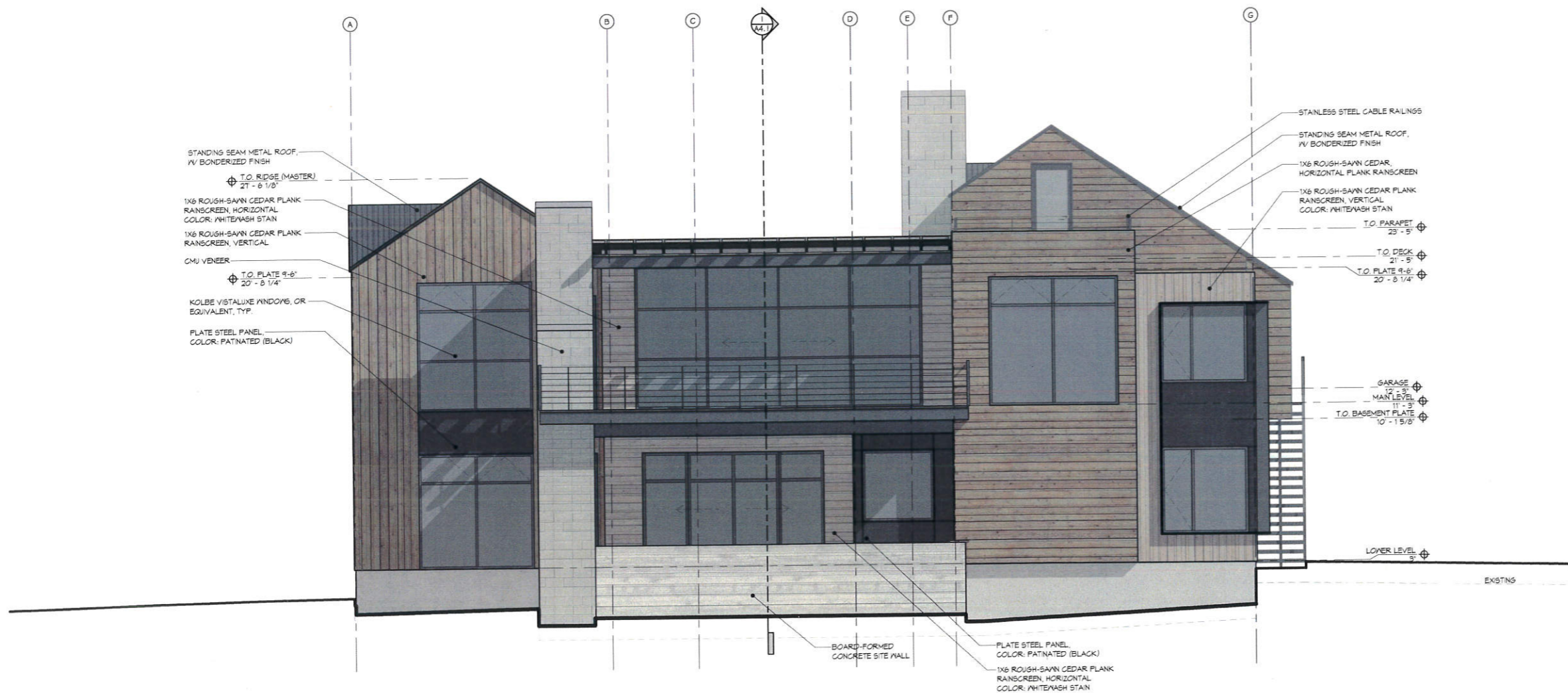
REVISION	
NO.	DATE

COASTSIDE DESIGN  
REVIEW APPLICATION

DRAWING  
ELEVATIONS

PROJECT NUMBER 1507  
DATE OCTOBER 12, 2017  
DESIGN REVIEW SET

SHEET NO  
**A3.3**



STANDING SEAM METAL ROOF,  
1/4" BONDERIZED FINISH  
T.O. RIDGE (MASTER)  
21' - 6 1/8"  
1X8 ROUGH-SAWN CEDAR PLANK  
RANSCREEN, HORIZONTAL  
COLOR: WHITEWASH STAIN  
1X8 ROUGH-SAWN CEDAR PLANK  
RANSCREEN, VERTICAL  
CMU VENEER  
T.O. PLATE 9'-6"  
20' - 8 1/4"  
KOLBE VISTALUXE WINDOWS, OR  
EQUIVALENT, TYP.  
PLATE STEEL PANEL,  
COLOR: PATINATED (BLACK)

STAINLESS STEEL CABLE RAILINGS  
STANDING SEAM METAL ROOF,  
1/4" BONDERIZED FINISH  
1X8 ROUGH-SAWN CEDAR,  
HORIZONTAL PLANK RANSCREEN  
1X8 ROUGH-SAWN CEDAR PLANK  
RANSCREEN, VERTICAL  
COLOR: WHITEWASH STAIN  
T.O. PARAPET  
23' - 5"  
T.O. DECK  
21' - 5"  
T.O. PLATE 9'-6"  
20' - 8 1/4"

GARAGE  
12' - 5"  
MAN LEVEL  
11' - 3"  
T.O. BASEMENT PLATE  
10' - 1 5/8"  
LOWER LEVEL  
5'

BOARD-FORMED  
CONCRETE SITE WALL  
PLATE STEEL PANEL,  
COLOR: PATINATED (BLACK)  
1X8 ROUGH-SAWN CEDAR PLANK  
RANSCREEN, HORIZONTAL  
COLOR: WHITEWASH STAIN

**1 SOUTH ELEVATION**  
1/4" = 1'-0"



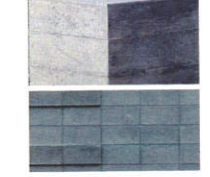
**MATERIALS**



**SIDING**  
1X6 ROUGH-SAWN CEDAR, PLANK IV REVEAL EVERY THIRD BOARD (NATURAL WEATHERING STAIN, & WHITENASH STAIN)



**SIDING**  
PLATE STEEL (BLACK PATINA)



**WALLS**  
BOARD-FORMED CONCRETE (CMU VENEER CHIMNEY)



**ROOF**  
STANDING SEAM METAL ROOF IV BONDERIZED FINISH



**FLAT ROOF**  
EPDM MEMBRANE IV SCREE BALLAST



**SOFFITS**  
ROUGH SAWN CEDAR (OR REDWOOD)



**RAILINGS & TRIM**  
STAINLESS STEEL CABLE RAILINGS & STAINLESS STEEL TRIM



**RAFTERS**  
ROUGH SAWN FIR

**MOSS BEACH - LOT 3**  
VALLEMAR ST. & JULIANNA AVE.

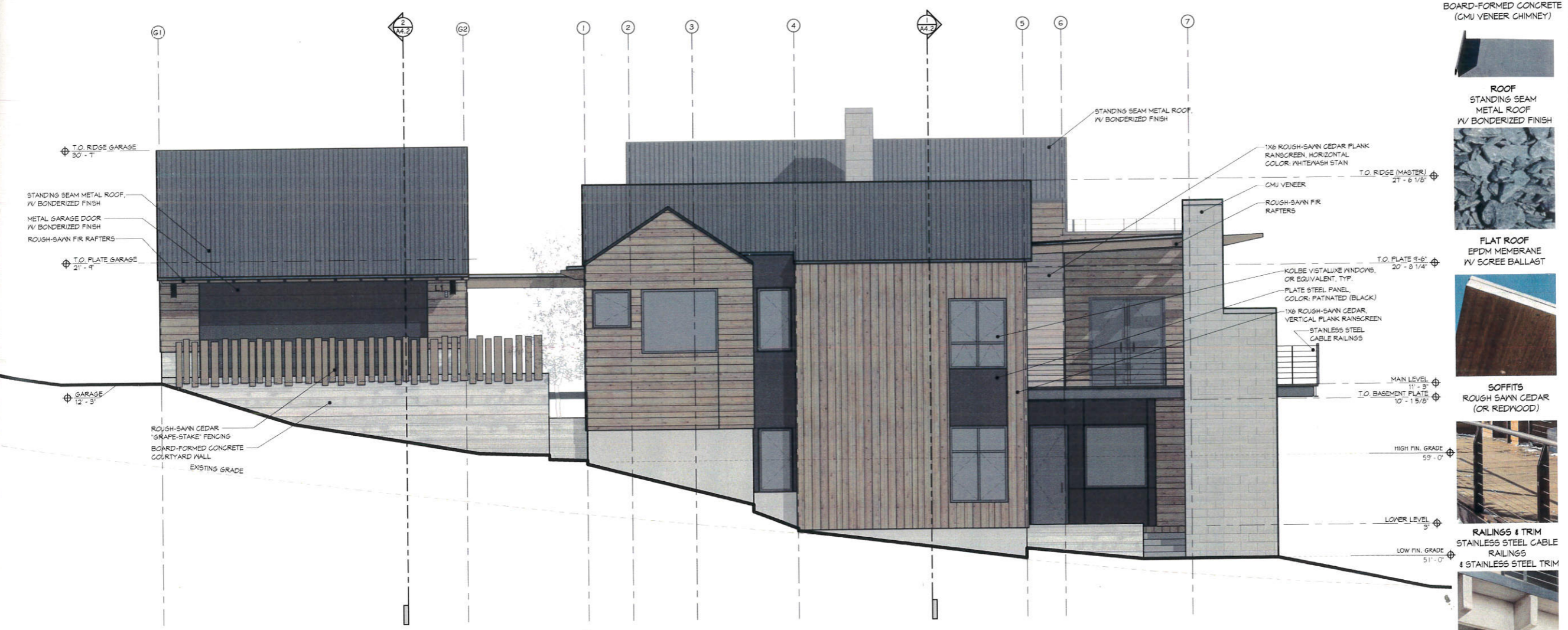
REVISION	
NO.	DATE

COASTSIDE DESIGN  
REVIEW APPLICATION

DRAWING  
ELEVATIONS

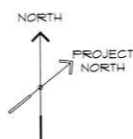
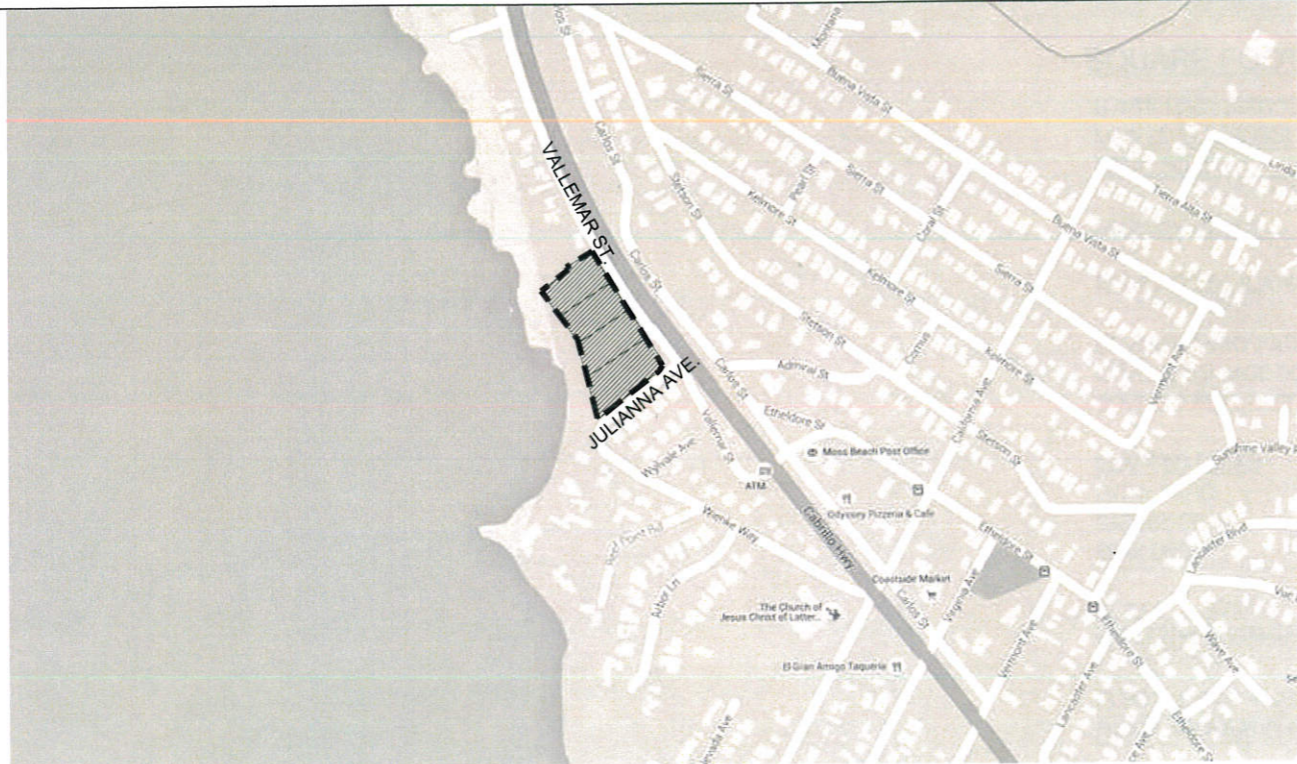
PROJECT NUMBER: 1507  
DATE: OCTOBER 12, 2017  
DESIGN REVIEW SET  
SHEET NO.

**A3.4**



**1 WEST ELEVATION**  
1/4" = 1'-0"





LOT 4

**INDEX OF DRAWINGS**

**ARCHITECTURAL**

COVER VICINITY MAP & PROPERTY SUMMARY  
 A01 AREA PLAN CALCULATIONS

A11 SITE PLAN

A21 LOWER LEVEL PLAN  
 A22 MAIN LEVEL PLAN  
 A23 COURTYARD PLAN  
 A24 ROOF ACCESS & GARAGE ROOF PLAN  
 A25 ROOF PLAN

A31 EXTERIOR ELEVATIONS  
 A32 EXTERIOR ELEVATIONS  
 A33 EXTERIOR ELEVATIONS  
 A34 EXTERIOR ELEVATIONS

A41 BUILDING CROSS-SECTION  
 A42 BUILDING CROSS-SECTION

# MOSS BEACH - LOT 4

## VALLEMAR ST. & JULIANA AVE.

**GENERAL NOTES**

ALL SPECIFICATIONS, AS INSTRUMENTS OF SERVICE ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE REPRODUCED OR CONSTRUCTED OR NOT. THESE DOCUMENTS ARE NOT TO BE USED IN ANY FORM AND THEY ARE NOT TO BE USED BY THE PROJECT OR OTHER ENTITY ON ANY OTHER PROJECTS OR FOR ANY EXTENSIONS OR ALTERATIONS TO THE ORIGINAL PROJECT EXCEPT BY WRITTEN PERMISSION FROM AND AGREEMENT WITH THIS ARCHITECT.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE JOB SITE AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.

THE CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF AGENCIES AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL ORDINANCES, ALL FEES, TAXES, PERMITS, APPLICATIONS AND INSPECTIONS, AND THE FILING OF ALL WORK WITH GOVERNMENTAL AGENCIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS.

ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN ACCORDANCE WITH THE BEST PRACTICES OF THOSE TRADES INVOLVED, AND IN ACCORDANCE WITH ALL CITY, COUNTY, STATE AND FEDERAL BUILDING REGULATIONS AND/OR GOVERNMENTAL LAWS, ORDINANCES CONCERNING THE USE OF UNION LABOR.

ALL WORK SHALL BE PROCEEDED IN A FASHION THAT WILL NOT DELAY THE TRADES INVOLVED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS AND SPECIFICATIONS TO THE TRADES UNDER THEIR JURISDICTION.

ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN ACCORDANCE WITH THE BEST PRACTICES OF THOSE TRADES INVOLVED.

ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE SPECIFIED AND OF THE HIGHEST QUALITY IN EVERY RESPECT. ALL MATERIALS SHALL BE MANUFACTURED IN THE UNITED STATES OF AMERICA UNLESS OTHERWISE SPECIFIED. ALL MATERIALS SHALL BE GUARANTEED AGAINST DEFECTS FOR A PERIOD OF AT LEAST ONE (1) YEAR FROM APPROVAL FOR FINAL PAYMENT.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING REQUIRED TO COMPLETE THE WORK.

THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATION OF LITTER OR RUBBISH. PREMISES TO BE SWEEPED CLEAN DAILY OF RELATED DEBRIS. AT THE COMPLETION OF THE WORK, LEAVE THE JOB SITE CLEAN, UNCLUTTERED AND BROOM CLEAN.

ALL DRAWINGS SHALL GOVERN LARGER SCALE DRAWINGS UNLESS OTHERWISE SPECIFIED.

ALL WORK SHALL BE PROCEEDED WHERE FLOOR IS NOT LEVEL OR TRUE PRIOR TO THE INSTALLATION OF FINISH FLOORING OR CARPETING.

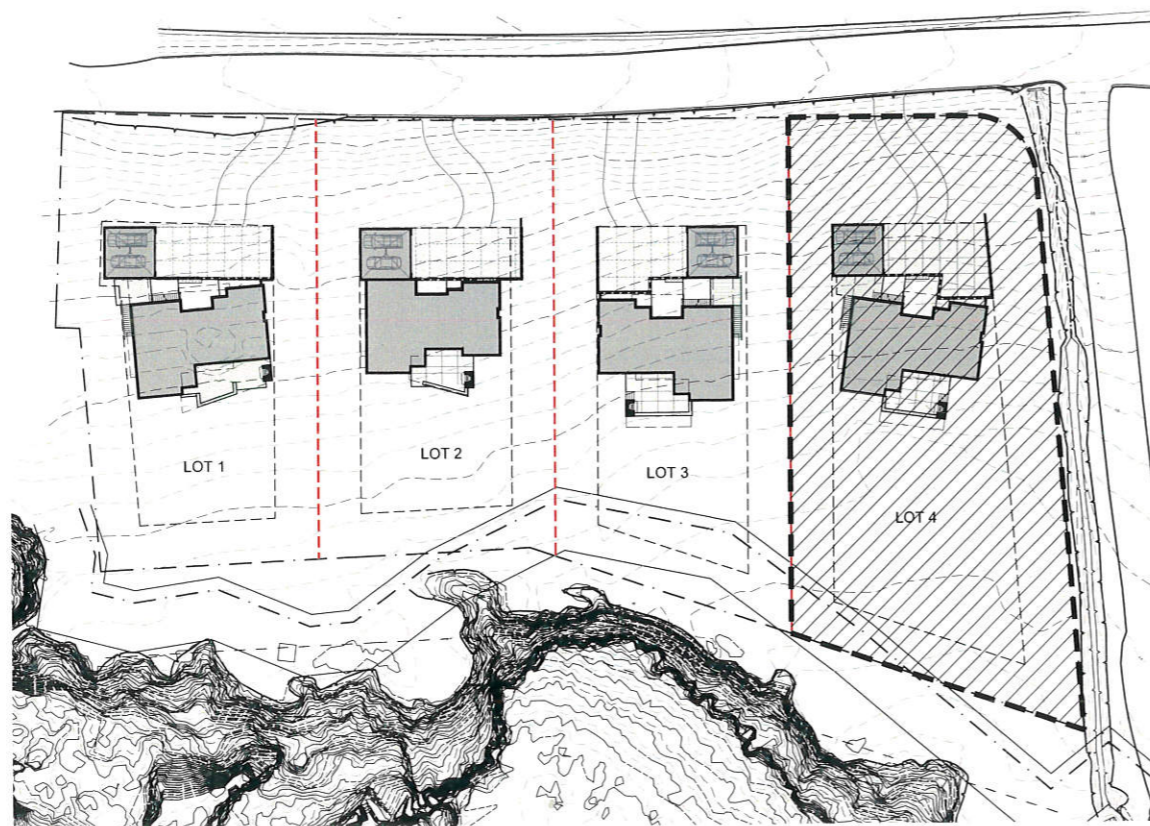
THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE BLOCKING FOR CABINET WORK. IT SHALL BE THE RESPONSIBILITY OF THE CABINET CONTRACTOR TO PROVIDE AND MAINTAIN ADEQUATE BLOCKING.

AT THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL WALK THROUGH WITH THE ARCHITECT TO COMPLETE A "PUNCH LIST" OF CORRECTIONS AND UNSATISFACTORY WORK. FINAL PAYMENT WILL BE CONTINGENT UPON THE COMPLETION OF THESE ITEMS.

ANY WORK WHICH RESULTS IN EXTRA COST SHALL NOT PROCEED WITHOUT WRITTEN PERMISSION FROM THE OWNER AND THE ARCHITECT.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ERECTION BRACING, SHORING, TEMPORARY BRACING AND SAFETY OF THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE THROUGHOUT CONSTRUCTION.

ALL DISCREPANCIES OR CONFLICTS DISCOVERED THROUGH THE USE OF THESE DOCUMENTS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.



VICINITY MAP  
 NTS

**PROPERTY SUMMARY**

LOT: 4

APN: 031086230  
 PARCEL ID: T.B.D.  
 CITY NAME: MOSS BEACH (UNINC)  
 ZIP CODE: 94038  
 MITIGATION FEE AREA: MIDCOAST URBAN

ZONING: RM-CZ/DR/CD  
 MIDCOAST LCP

Maximum Building Height: 28'

Parcel SF: 32,324 SF  
 Maximum Floor Building Area: 6,200 SF.

SQUARE FOOTAGE SUMMARY	
LOWER LEVEL (GROSS)	1,763#
MAIN LEVEL (GROSS)	2,234#
TOTAL FLOOR AREA (GROSS)	3,997#
GARAGE (GROSS)	576#
ROOF ACCESS (CATWALK)	239#
COVERED ENTRY PATIO	113#
COVERED GARAGE DECK	75#
COVERED REAR DECK	288#
ELEVATED DECKS	
ENTRY DECK	215#
GARAGE DECK	230#
REAR DECK	604#

**ARCHITECT**



102 NORTH BROADWAY AVE.  
 BOZEMAN, MT 59715  
 OFFICE: 406.587.1997 FAX: 406.587.0311  
 WWW.PEARSONDESIGNGROUP.COM

**ISSUE DATE**

COUNTY COASTSIDE  
 DESIGN REVIEW SET

OCTOBER 12, 2017

**ATTACHMENT M**





**SITE LEGEND**

EXISTING 5 FT. CONTOURS	----- 7565 -----
EXISTING 1 FT. CONTOURS	----- 52'-0" -----
NEW CONTOURS	----- 52'-0" -----
PROPERTY LINE	----- 52'-0" -----
EASEMENT, SETBACK OR ENVELOPE	----- 52'-0" -----
PROPOSED NEW PROPERTY LOT LINE	----- 52'-0" -----
EXISTING PROPERTY LOT LINE	----- 52'-0" -----
EXISTING TREE (TO REMAIN)	----- 52'-0" -----
EXISTING TREE DRIPLINE	----- 52'-0" -----
14'-0" WIDE PERVIOUS PAVING DRIVEWAY (W/ "TWO-TRACK" VEGETATION STRIP)	----- 52'-0" -----
PERVIOUS PAVING COURTYARD (PARKING)	----- 52'-0" -----
RE-VEGETATED NATIVE GRASS MEADOW	----- 52'-0" -----
PROTECTED GRASSLANDS, ZONE A	----- 52'-0" -----
PROTECTED GRASSLANDS, ZONE B	----- 52'-0" -----
100' BUFFER FROM LEPTOSIPHON	----- 52'-0" -----

**GENERAL SITE NOTES**

1. GRADING NOTES & SPOT ELEVATIONS, SEE CIVIL DRAWINGS
2. UTILITY AND LOCATION INFORMATION, SEE CIVIL DRAWINGS
3. AREA OF DISTURBANCE TO BE MINIMIZED BY CONTRACTOR
4. SPECIFIC TREE REMOVAL SPECIFICATIONS, SEE LANDSCAPE
5. RETAINING WALLS, TERRACES, AND FENCES, SEE LANDSCAPE FOR LOCATION & APPEARANCE

ELEVATION  
 0'-0" = 50'-9"  
 LOWER LEVEL ELEVATION  
 0'-3" = 51'-0"  
 GARAGE FLOOR ELEVATION  
 11'-3" = 62'-0"  
 MAIN LEVEL ELEVATION  
 11'-3" = 62'-0"

**MOSS BEACH - LOT 4**  
 VALLEMAR ST. & JULIANA AVE.

COASTSIDE DESIGN  
 REVIEW APPLICATION

DRAWING:  
 SITE PLAN

PROJECT NUMBER: 1507

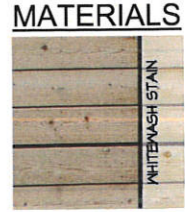
DATE: OCTOBER 12, 2017

DESIGN REVIEW SET  
 SHEET NO.

**A1.1**

**SITE PLAN - LOT 4**  
 SCALE: 1/8"=1'-0"





**SIDING**  
 1x6 ROUGH-SAWN CEDAR,  
 PLANK W/ REVEAL EVERY  
 THIRD BOARD  
 (NATURAL WEATHERING STAIN,  
 & WHITENASH STAIN)



**SIDING**  
 PLATE STEEL (BLACK PATINA)



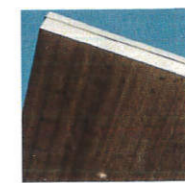
**WALLS**  
 BOARD-FORMED CONCRETE  
 (CMU VENEER CHIMNEY)



**ROOF**  
 STANDING SEAM  
 METAL ROOF  
 W/ BONDERIZED FINISH



**FLAT ROOF**  
 EPDM MEMBRANE  
 W/ SCREE BALLAST



**SOFFITS**  
 ROUGH SAWN CEDAR  
 (OR REDWOOD)

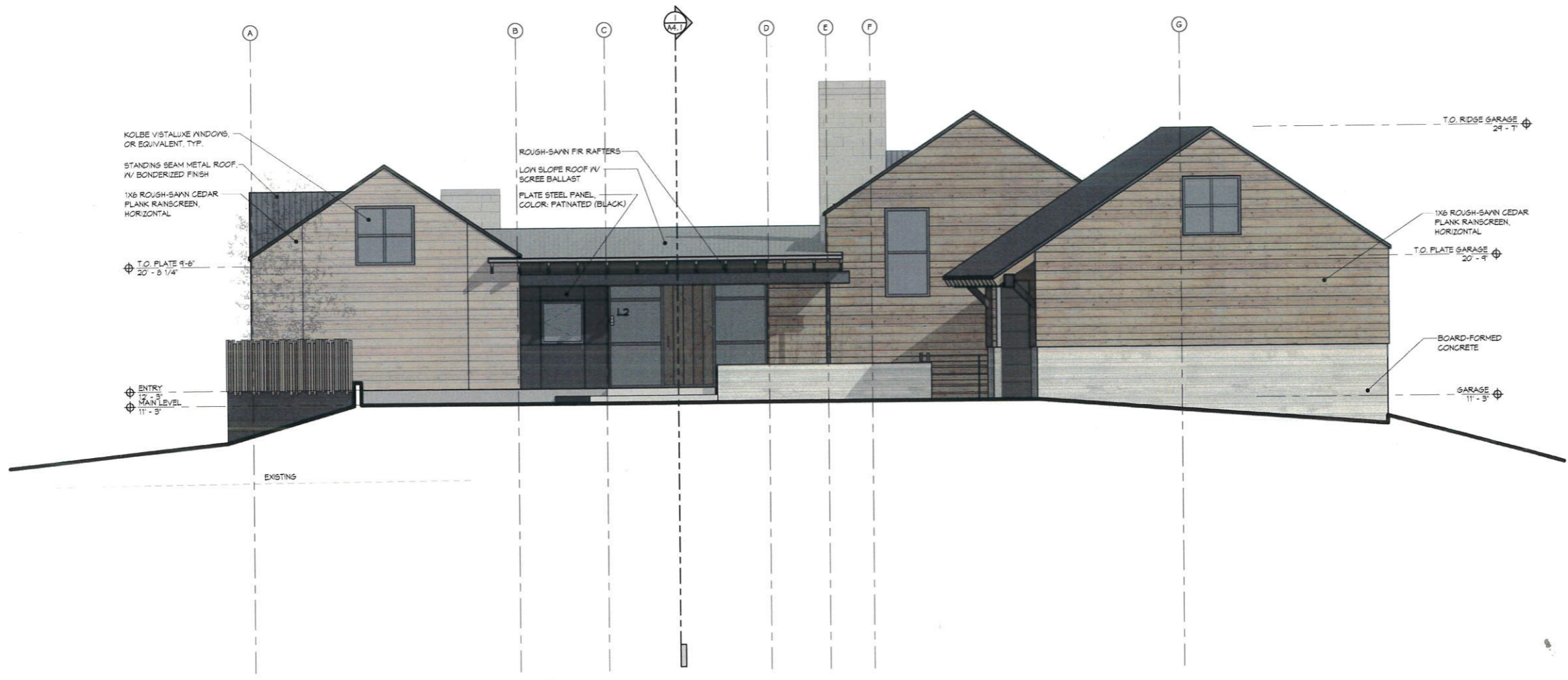


**RAILINGS & TRIM**  
 STAINLESS STEEL CABLE  
 RAILINGS  
 & STAINLESS STEEL TRIM



**RAFTERS**  
 ROUGH SAWN FIR

**MOSS BEACH - LOT 4**  
 VALLEMAR ST. & JULIANA AVE.



**1 NORTH ELEVATION**  
 1/4" = 1'-0"

REVISION	
NO.	DATE

COASTSIDE DESIGN  
 REVIEW APPLICATION

DRAWING  
 ELEVATIONS

PROJECT NUMBER: 1507  
 DATE: OCTOBER 12, 2017  
 DESIGN REVIEW SET  
 SHEET NO.

**A3.1**



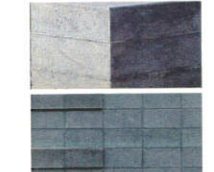
**MATERIALS**



**SIDING**  
1X8 ROUGH-SAWN CEDAR, PLANK 1/4" REVEAL EVERY THIRD BOARD (NATURAL WEATHERING STAIN, & WHITENASH STAIN)



**SIDING**  
PLATE STEEL (BLACK PATINA)



**WALLS**  
BOARD-FORMED CONCRETE (CMU VENEER CHIMNEY)



**ROOF**  
STANDING SEAM METAL ROOF 1/4" BONDERIZED FINISH



**FLAT ROOF**  
EPDM MEMBRANE 1/4" SCREE BALLAST



**SOFFITS**  
ROUGH SAWN CEDAR (OR REDWOOD)

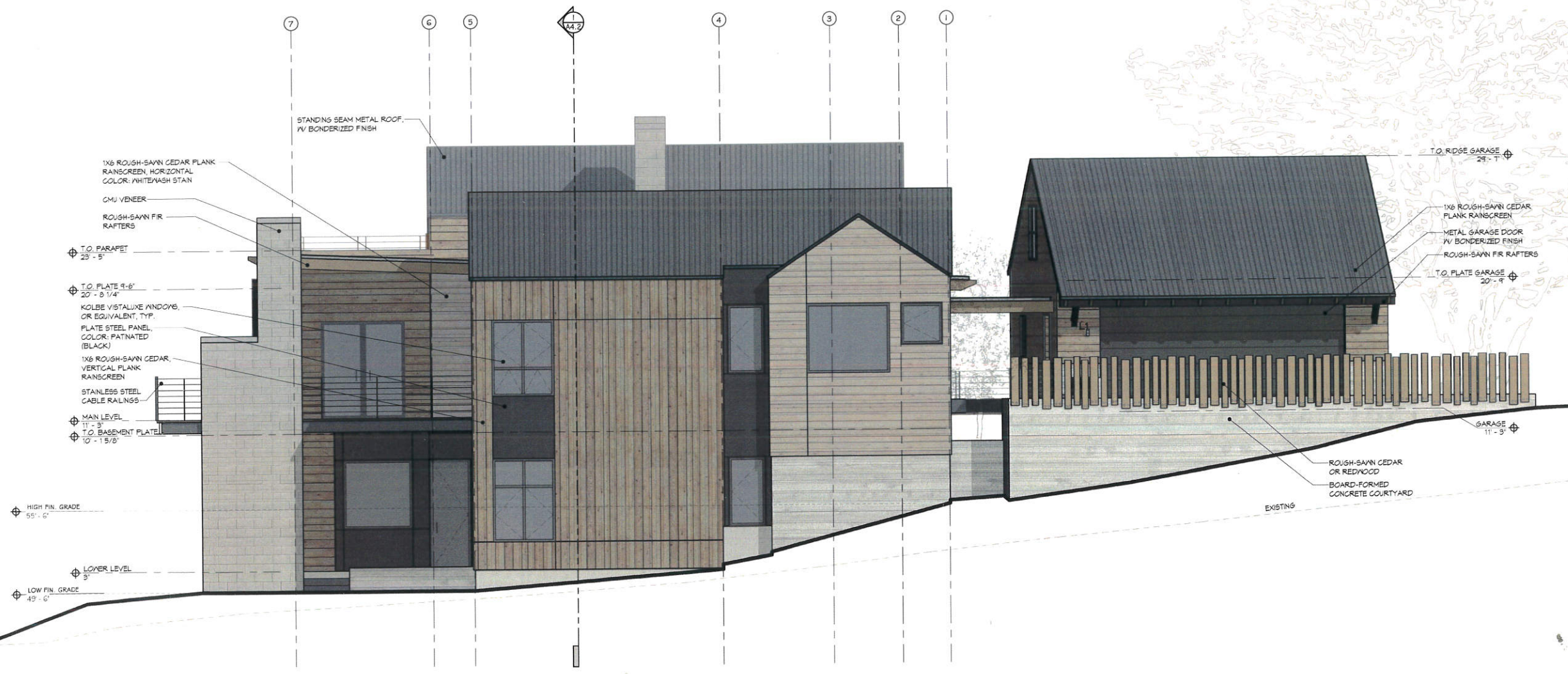


**RAILINGS & TRIM**  
STAINLESS STEEL CABLE RAILINGS & STAINLESS STEEL TRIM



**RAFTERS**  
ROUGH SAWN FIR

**MOSS BEACH - LOT 4**  
VALLEMAR ST. & JULIANA AVE.



**1 EAST ELEVATION**  
1/4" = 1'-0"

REVISION	
NO.	DATE

COASTSIDE DESIGN  
REVIEW APPLICATION

DRAWING:  
ELEVATIONS

PROJECT NUMBER: 1507  
DATE: OCTOBER 12, 2017  
DESIGN REVIEW SET

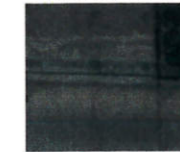
SHEET NO.  
**A3.2**



**MATERIALS**



**SIDING**  
1x6 ROUGH-SAWN CEDAR PLANK 1/4" REVEAL EVERY THIRD BOARD (NATURAL WEATHERING STAIN, 4 WHITEWASH STAIN)



**SIDING**  
PLATE STEEL (BLACK PATINA)



**WALLS**  
BOARD-FORMED CONCRETE (CMU VENEER CHIMNEY)



**ROOF**  
STANDING SEAM METAL ROOF 1/4" BONDERIZED FINISH



**FLAT ROOF**  
EPDM MEMBRANE 1/4" SCREE BALLAST



**SOFFITS**  
ROUGH SAWN CEDAR (OR REDWOOD)



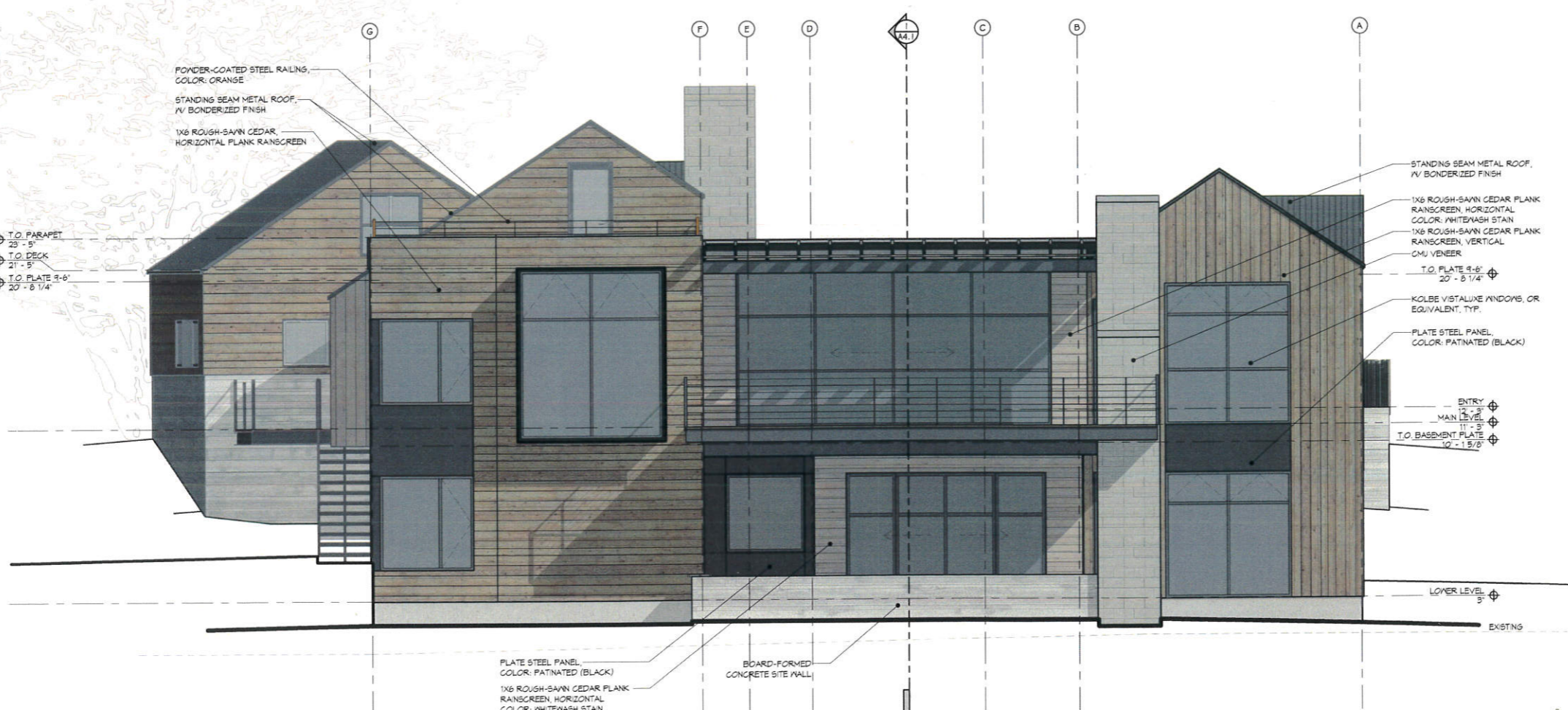
**RAILINGS & TRIM**  
STAINLESS STEEL CABLE RAILINGS & STAINLESS STEEL TRIM



**RAFTERS**  
ROUGH SAWN FIR

**MOSS BEACH - LOT 4**  
VALLEMAR ST. & JULIANA AVE.

REVISION	
NO.	DATE
COASTSIDE DESIGN REVIEW APPLICATION	
DRAWING: ELEVATIONS	
PROJECT NUMBER:	1507
DATE:	OCTOBER 12, 2017
DESIGN REVIEW SET	
SHEET NO.	
<b>A3.3</b>	



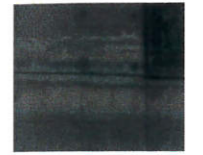
**1 SOUTH ELEVATION**  
1/4" = 1'-0"



**MATERIALS**



**SIDING**  
1x8 ROUGH-SAWN CEDAR,  
PLANK 1/4" REVEAL EVERY  
THIRD BOARD  
(NATURAL WEATHERING STAIN,  
4 WHITEWASH STAIN)



**SIDING**  
PLATE STEEL (BLACK PATINA)



**WALLS**  
BOARD-FORMED CONCRETE  
(CMU VENEER CHIMNEY)



**ROOF**  
STANDING SEAM  
METAL ROOF  
1/4" BONDERIZED FINISH



**FLAT ROOF**  
EPDM MEMBRANE  
1/4" SCREE BALLAST



**SOFFITS**  
ROUGH SAWN CEDAR  
(OR REDWOOD)

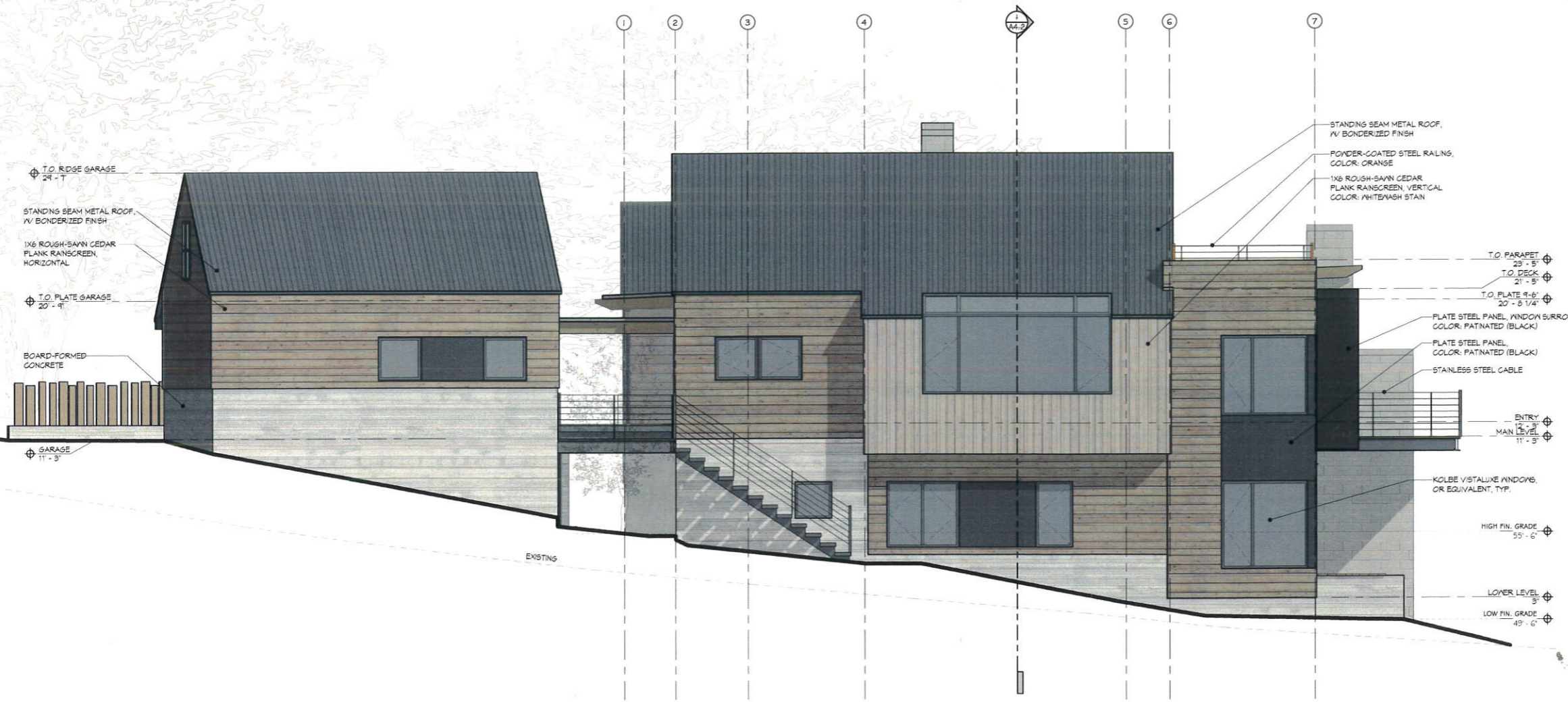


**RAILINGS & TRIM**  
STAINLESS STEEL CABLE  
RAILINGS  
& STAINLESS STEEL TRIM



**RAFTERS**  
ROUGH SAWN FIR

**MOSS BEACH - LOT 4**  
VALLEMAR ST. & JULIANA AVE.



T.O. RIDGE GARAGE  
24'-7"

STANDING SEAM METAL ROOF,  
1/4" BONDERIZED FINISH

1x6 ROUGH-SAWN CEDAR  
PLANK RAINSCREEN,  
HORIZONTAL

T.O. PLATE GARAGE  
20'-9"

BOARD-FORMED  
CONCRETE

GARAGE  
11'-3"

STANDING SEAM METAL ROOF,  
1/4" BONDERIZED FINISH

POWDER-COATED STEEL RAILING,  
COLOR: ORANGE

1x6 ROUGH-SAWN CEDAR  
PLANK RAINSCREEN, VERTICAL  
COLOR: WHITEWASH STAIN

T.O. PARAPET  
20'-5"

T.O. DECK  
21'-5"

T.O. PLATE 9'-6"  
20'-5 1/4"

PLATE STEEL PANEL, WINDOW SURROUND  
COLOR: PATINATED (BLACK)

PLATE STEEL PANEL,  
COLOR: PATINATED (BLACK)

STAINLESS STEEL CABLE

ENTRY  
12'-3"

MAN LEVEL  
11'-3"

KOLBE VISTALUXE WINDOWS,  
OR EQUIVALENT, TYP.

HIGH FIN. GRADE  
55'-6"

LOWER LEVEL  
3'

LOW FIN. GRADE  
49'-6"

**1 WEST ELEVATION**  
1/4" = 1'-0"

REVISION	
NO.	DATE

COASTSIDE DESIGN  
REVIEW APPLICATION

DRAWING  
ELEVATIONS

PROJECT NUMBER: 1507  
DATE: OCTOBER 12, 2017  
DESIGN REVIEW SET  
SHEET NO.

**A3.4**